

TOWN OF SMITHFIELD PLANNING BOARD AGENDA PACKET



Chairman: Stephen Upton

Vice-Chairman: Daniel Sanders

Members:

Mark Lane

Ashley Spain

Michael Taylor

Eddie Foy

Teresa Daughtry

Oliver Johnson

Mark Helmer, Senior Planner

Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, November 2, 2017

Meeting Time: 6:00 p.m.

Meeting Place: Council Chambers, Smithfield Town Hall

**AGENDA
PLANNING BOARD
REGULAR MEETING
NOVEMBER 2, 2017
MEETING TIME: 6:00 PM
TOWN HALL**

Call to Order.

Identify voting members

Approval of the agenda.

Approval of the minutes for October 5, 2017

Public Hearings

RZ-17-04 Thomas Concrete: The applicant is requesting to rezone approximately 5.6 acres of land from the LI (Light Industrial) to the HI (Heavy Industrial) zoning district. The property considered for approval is located on Citation Lane approximately 980 feet northeast of its intersection with US Hwy Bus 70 West and further identified as Johnston County Tax ID# 15079005J.

Old Business

New Business

SP-17-15 Thomas Concrete: The applicant is requesting site plan approval of a 5.6 acre batch concrete plant on property located within a HI (Heavy Industrial) zoning district. The property considered for approval is located on Citation Lane approximately 980 feet northeast of its intersection with US Hwy Bus 70 West and further identified as Johnston County Tax ID# 15079005J.

Adjournment

DRAFT
Smithfield Planning Board Minutes
Thursday, October 5, 2017
6:00 P.M., Town Hall, Council Chambers

Members Present:

Chairman Stephen Upton
Ashley Spain
Teresa Daughtry
Oliver Johnson

Members Absent:

Daniel Sanders
Mark Lane
Eddie Foy
Michael Taylor

Staff Present:

Mark Helmer, Senior Planner
Julie Edmonds, Administrative Assistant

Staff Absent:

CALL TO ORDER

Mr. Upton identified the members of the board and as well as the Planning Department staff. He asked if there were any amendments to the agenda. Mr. Helmer recommended we postpone training until we have a full board present.

APPROVAL OF THE AGENDA

Teresa Daughtry made a motion to approve the agenda, seconded by Oliver Johnson.
Unanimous.

APPROVAL OF MINUTES FROM September 7, 2017

Oliver Johnson made a motion, seconded by Teresa Daughtry to approve the minutes as written. Unanimous.

APPROVAL TO OPEN THE PUBLIC HEARING RZ-17-02

Oliver Johnson made a motion, seconded by Ashley Spain to open the Public Hearing.
Unanimous.

RZ-17-02 Twin States Farming:

Mr. Helmer stated the applicant is requesting to rezone approximately 8.25 acres of land from the R-20A (Residential-Agricultural) to the B-3 (Business) zoning district. The property considered for approval is located on the south side of West Market Street approximately 1950 feet northwest of its intersection with Front Street and further identified as Johnston County Tax ID #15080062. The portion of the property is located within the 100 year floodplain but does not appear to be within a flood way. Any future development of the property would be subject to the Town of Smithfield flood damage prevention ordinance. The adjacent land use to the North is currently zoned B-3 and commercial in nature. The property to the South is currently zoned R-20A and vacant. To the east is Wallace Welding and to the west a nightclub. The Future Land Use Plan has identified this property as being a conservation district. Adjacent properties within this corridor are currently zoned and developed as commercial. The rezoning will be consistent with the Town of Smithfield Unified Development Ordinance provided that all

proposed future land uses and site specific development plans meet the minimum development standards of the Town of Smithfield Unified Development Ordinance. The property considered for rezoning is immediately adjacent to other B-3 (Highway Entrance Business) zoned properties. Compatibility issues are unlikely providing that any future development is commercial in nature. The Town of Smithfield will provide services for fire and police protection, as well as water, sewer and electric. The Planning Department has determined that the application is consistent with applicable adopted plans, policies and ordinances. The Smithfield Planning Board is requested to review the petition of the rezoning request of approximately 8.25 acres of land from the R-20A (Residential-Agricultural) to the B-3 (Business zoning district and make a recommendation to Town Council.

Mr. Upton opened the floor up to any board members that may have questions for Mr. Helmer.

Mrs. Daughtry asked if the entrance to this property was opened up enough for just that one entrance.

Mr. Helmer stated that NCDOT would be the driveway permit authority here, so any future development plan would have to show an access point on the property, which NCDOT would have to permit. It's unclear since we don't have a development plan, exactly what NCDOT would require. We do know that any future subdivision would require those lots to be on a public right-of-way.

Mrs. Daughtry asked if there had been any issues with tanks on the proposed property in connection with the property that joined up to it.

Andrew Hodge with Adams and Hodge Engineering came forward and stated no not that he was aware of.

Oliver Johnson made a motion to close RZ-17-02, seconded by Teresa Daughtry. Unanimous.

Teresa Daughtry made a motion to approve RZ-17-02, seconded by Ashley Spain. Unanimous.

SP-17-13 Atlantic Coast Pipeline, LLC:

Mr. Helmer stated the applicant is requesting site plan review and approval of a temporary contractor storage yard on property located within R-20-A (Residential-Agricultural) zoning district. The Planning Board is requested to review the site plan for compliance with the Town of Smithfield Unified Development Ordinance minimum development standards. Planning staff recommends approval of the site plan with the condition storm water management plan is approved prior to issuance of a valid zoning permit. The applicant requested that the use permit be delayed by 30 days before it is reviewed by Town Council. This process tonight, site plan review is completely separate; it has no bearings on the other hearing. We are reviewing this request to see if it is in compliance the Unified Development Ordinance. If it meets the standards of the UDO, we are then obligated to recommend approval. The plans does meet the standards, therefore the Planning Department recommends site plan approval with the

condition that a complete storm water management plan is approved prior to issuance of a valid zoning permit.

Mrs. Daughtry asked how long temporary uses were good for.

Mr. Helmer stated that temporary use dates are set by Town Council and are based on what the applicant feels they need. Once the permit nears expiration, the applicant will have to come back and request the permit be extended.

Mr. Johnson asked if there was a maximum time of usage for these temporary use permits.

Mr. Helmer said no, not for the temporary permits. It is a set date made by Town Council as to how long the permit would be valid for.

Mrs. Daughtry asked if any neighbors had concerns or opposition against this project.

Mr. Helmer said no one has contacted him.

Mr. Helmer asked the Planning Board if they would like him to go over some of the key features of the plan. Mr. Upton answered sure.

Mr. Helmer stated that the proposed contractor yard will be used in support of the construction of the Atlantic Coast Pipeline. The applicant has submitted a site plan indicating approximately 29 acres of the 42 acre tract of land will be used for the proposed use. Approximately 13 acres will consist of impervious gravel surfaces to include the parking and work areas. The site is bisected by a jurisdictional stream and riparian buffer. The plan shows some wetlands. Mr. Helmer made reference to the map showing the gravel area as being shaded. It would be used for employee and equipment parking. He also made reference to modular office units and storage containers. The applicants is proposing to remove the topsoil and store it, place gravel down and at the end of the project remove the gravel and replace original topsoil. There is a screening fence along the northeast property line and along Mallard Rd. The existing tree line will be used to screen properties from south to west. There's 3 access points to be approved by NCDOT, one being on the northeast corner of the project, another on the southwest corner and the other being approximately in the middle. The applicant is not proposing to tie into public utilities; they will provide portable facilities for employees. Given the nature of the proposed use the applicant has requested to use fencing with screening material in lieu of landscaping. The applicant is meeting the setbacks of the R-20A zoning district.

Hal Kitchin, the applicants attorney and Min So, the Senior Engineer with Dominion Energy came forward to answer questions.

Mr. Helmer asked Mr. Kitchin if he has received clarification about any proposed land uses south west of the riparian buffer.

Mr. Kitchin stated after consulting with Mr. Min So, they don't believe there is any intention of using that area between the wetland that will serve as a buffer and the adjoining properties to the south west. We certainly wouldn't have a problem agreeing to install the fence with screen along those properties. The storm water hasn't been designed to allow use of that land.

Mr. Spain asked if this property will be used as a maintenance or servicing facility to change oil and work on the truck.

Mr. Kitchin stated it would be fair to assume that some maintenance and servicing will take place at the sight considering the equipment will be there.

Mr. Spain asked Mr. Helmer if that wouldn't change the nature or use of the property.

Mr. Helmer said the site plan will need to show that the use can occur in a safe manor and it shows plenty of open space there.

Mr. Spain said he had no objections but he feels like it needs to have a designated area stating that type of activity will take place there. Spills or run-off would then be contained to that designated area and prevent a safety issue.

Mr. Upton asked where the distribution of the equipment would be held. Do the vehicles stay on this property or are they brought in from another town.

Mr. Kitchin said the construction in this part of the state is scheduled to begin in 2019-2020. That would be the period of time that you would expect to see construction on site. I'm sure they don't intend to use both of those years. I feel sure during that period time you will see the same equipment from time to time during the temporary use period.

Mr. Helmer asked how many employees you will estimate to be on site. Will there be a fleet of vehicles on the property.

Min So said 800 to 900 employees will be coming to the site but not at all once. They will not all come at once. There will be buses at the sight, once they arrive in the mornings they would be given their work orders and will be taken to the job site. Some employees will drive their own trucks, like welders or inspectors.

Mrs. Daughtry asked if the employees would all stay at the same hotel. What would their accommodations be?

Mr. So said most of these workers have RV's so they would stay in RV Parks. The employees without RV's will stay in hotels all taken care of by the contractor.

Mr. Kitchin said there will be a fair amount of carpooling going on in the morning and the buses would actually take employees out to the job site wherever that may be. The construction

spread reaches from Johnston and Nash counties. This property will be a staging point for those employees.

Mrs. Daughtry asked if this property would be the staging point for Johnston County or the construction spread.

Mr. So said it's going to be for the spread. The whole 600 mile pipeline is broken down by spreads. Currently we're anticipating this spread to start in 2019.

Mr. Kitchin said Halifax County will have a similar yard such as this one, which will cover North Hampton, Halifax and the Northern part of Nash County. Northern Robinson County will also have a similar facility like this as well.

Mr. Helmer asked how many buses they would anticipate traveling through the property.

Mr. Kitchin said the trip generation table is estimating the use of 6 buses and 300 working vehicles.

Mr. Helmer requested a layout of the parking area that clearly demonstrates compliance with published parking standards.

Mr. Helmer did want to point out that the applicant has submitted a preliminary storm water plan showing 4 storm water detention basins.

Mr. Johnson made a motion to approve SP-17-13, with the staff recommendations. Seconded by Teresa Daughtry. Unanimous.

Mrs. Daughtry made a motion to adjourn the meeting, seconded by Oliver Johnson.

Old Business:

No Report

New Business:

Our next Planning Board Meeting is scheduled for November 2, 2017 at 6:00 pm.

Submitted this 10th day of October, 2017.

Julie Edmonds
Administrative Assistant
Planning Department



Town of Smithfield
Planning Department
350 East Market Street
P.O. Box 761
Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

STAFF REPORT

Application Number: RZ-17-04
Project Name: Thomas Concrete
TAX ID number: 15079005J
Town Limits / ETJ: ETJ
Applicant: Thomas Concerte of the Carolinas, INC
Owners: SCA Ventures, LLC
Agents: none
Neighborhood Meeting: none

PROJECT LOCATION: The property is located on Citation Lane approximately 980 feet northeast of its intersection with US Hwy Bus 70 West.

REQUEST: The applicant is requesting to rezone approximately 6.00 acres of land from the LI (Light Industrial) to the HI (Heavy Industrial) zoning district.

SITE DATA:

Acreage: 6.00 acres
Present Zoning: LI (Light Industrial),
Proposed Zoning: HI (Heavy Industrial)
Existing Use: Undeveloped land
Proposed Use: Concrete batch plant - All uses permitted within the HI zoning can be considered for future approval.

ENVIRONMENTAL: The property is not located within a floodplain and no delineated wetlands exist on or near property considered for rezoning.

ADJACENT ZONING AND LAND USES:

North: **Zoning:** LI (Light Industrial)
 Existing Use: Undeveloped

South: **Zoning:** LI (Light Industrial)
 Existing Use: Carolina Electronic Assemblers / undeveloped

East: **Zoning:** LI (Light Industrial)
 Existing Use: Agriculture

West: Zoning: Li (Light Industrial)
Existing Use: Undeveloped

STAFF ANALYSIS AND COMMENTARY:

○ **Consistency with the Strategic Growth Plan**

The Future Land Use Map has identified this property and the surrounding properties as being suitable of industrial land uses.

○ **Consistency with the Unified Development Code**

The rezoning will be consistent with the Town of Smithfield Unified Development Ordinance as all proposed future land uses and site specific development plans must meet the minimum development standards of the Town of Smithfield Unified Development Ordinance.

○ **Compatibility with Surrounding Land Uses**

The property considered for a rezoning is immediately adjacent to other Industrial zoned properties. Compatibility issues are unlikely provided that any future development is industrial in nature.

OTHER:

FIRE DISTRICT: Wilsons Mills

SCHOOL IMPACTS: NA

PARKS AND RECREATION: NA

ACCESS/STREETS: 2 direct access points to Citation Lane (private street)

WATER/SEWER PROVIDER: Johnston County

ELECTRIC PROVIDER: Duke Progress Energy

Planning Department Recommendations:

The Planning Department has determined that the application is consistent with applicable adopted plans, policies and ordinances and recommends approval of the rezoning request.

Planning Board Action Requested:

The Smithfield Planning Board is requested to review the petition and make a recommendation on the rezoning request of approximately 6.00 acres of land from the LI (Light Industrial) to the HI (Heavy Industrial) zoning district.

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
RZ-17-04**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE IS ADOPTED,

That the Planning Board recommendation regarding text amendment RZ-17-04 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public hearing; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public hearing. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE FAILS,

That the final recommendation regarding zoning map amendment RZ-17-04 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached) and the application fee. The application fee is \$300.00 for a rezoning to a Standard District.

Name of Project: Thomas Concrete Acreage of Property: 6.0 acres
Parcel ID Number: 15079005J Tax ID: _____
Deed Book: Plat book 85 Deed Page(s): 384
Address: Citation Lane, Smithfield, NC 27577
Location: North Aviation Industrial Park

Existing Use: Vacant Land Proposed Use: Ready Mix Concrete Plant
Existing Zoning District: Light Industrial (LI)
Requested Zoning District: Heavy Industrial (HI)
Is project within a Planned Development: Yes No
Planned Development District (if applicable): _____
Is project within an Overlay District: Yes No
Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: _____	Date Received: _____	Amount Paid: _____
--------------------	----------------------	--------------------

OWNER INFORMATION:

Name: SCA Ventures, LLC

Mailing Address: 132 Citation Lane, Smithfield, NC 27577

Phone Number: 919-938-1086 Ext 104 Fax: 919-938-3280

Email Address: syauch@CEAmanufacturing.com

APPLICANT INFORMATION:

Applicant: Thomas Concrete of the Carolinas, INC

Mailing Address: 2500 Cumberland Parkway, Suite 200, Atlanta GA 30339

Phone Number: 205-335-9942 Fax: 770-431-3315

Contact Person: James P Daniel

Email Address: James.Daniel@thomasconcrete.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a Conditional Use Permit application. This information is required to be present on all plans, except where otherwise noted:

- A map with metes and bounds description of the property proposed for reclassification.
- A list of adjacent property owners.
- A statement of justification.
- Other applicable documentation: _____

STATEMENT OF JUSTIFICATION

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

Rezoning to HI (Heavy Industrial) is requested in order to locate a Ready Mix Concrete plant on the ~~5.5~~^{6.0} acre site.

The parcel is currently zone LI (Light Industrial) and is located in the North Aviation Industrial Park on US 70 West (Business) and Citation Lane. North Aviation is an established industrial park with existing infrastructure of paved roads, utilities and sewage. Access to the Industrial Park is directly from US 70 West or from Swift Creek Road.

The manufacturing of ready mix concrete in Smithfield requires the property to be zoned Heavy Industrial. The applicant is requesting this zoning change to allow for the construction and operation of a new ready mix concrete plant and related facilities.

REQUIRED FINDINGS OF FACT

Article 13, Section 13-17 of the Town of Smithfield Unified Development Ordinance requires applications for zoning map amendment to address the following findings. The burden of proof is on the applicant and failure to adequately address the findings may result in denial of the application. Please attach additional pages if necessary.

1. *The zoning petition is in compliance with all applicable plans and policies of the Town of Smithfield:*

The parcel requested for rezoning to Heavy Industrial is located in an existing Industrial Park with all of the required infrastructure (paved roads, utilities, and sewage) that conform to Smithfield ordinances and requirements for this type of use. Construction and operation will be in accordance with the Smithfield ordinances and requirements.

2. *The zoning petition is compatible with established neighborhood patterns of the surrounding area:*

The parcel requested to be rezoned lies within an existing industrial park containing existing manufacturing businesses and thus is compatible with the neighborhood.

3. *The rezoning petition is compatible with the changing neighborhood conditions that might warrant a rezoning:*

It is not anticipated that the nature of the Industrial Park will change.

4. *The rezoning request is in the community interest:*

The city of Smithfield and Johnston County are in need of additional ready mix concrete production capacity due to both commercial and residential construction and growth.

5. *The request does not constitute "Spot Zoning":*

This request is not spot zoning in that the current industrial park is zoned for industrial use and is part of the Smithfield Comprehensive Growth Plan.

6. *Present regulations deny or restrict the economic use of the property:*

Current zoning (Light Industrial) does not allow for the construction and operation of a ready mix concrete plant.

7. *The availability of public services allows consideration of this rezoning request:*

All public services (paved roads, utilities, and sewage) needed are currently in place.

8. *Physical characteristics of the site prohibit development under present regulations:*

There are no physical characteristics that prevent development.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

James P Daniel

Print Name



Signature of Applicant

9/14/2017

Date



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: Thomas Concrete Submittal Date: 9/14/2017

OWNERS AUTHORIZATION

I hereby give CONSENT to Thomas Concrete of the Carolinas, INC (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

See Attached signature

Signature of Owner Print Name Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Signature of Owner/Applicant James P. Daniel 9/14/2017
Print Name Date

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Parcel ID Number: _____



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: _____ Submittal Date: _____

OWNERS AUTHORIZATION

I hereby give CONSENT to Thomas Concrete (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.


Signature of Owner

Steve Yurch
Print Name

9/11/17
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.


Signature of Owner/Applicant

James P Daniel
Print Name

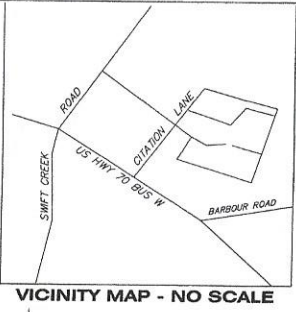
9/14/2017
Date

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Parcel ID Number: _____

STATE OF NORTH CAROLINA, COUNTY OF JOHNSTON
 FILED FOR REGISTRATION AT 2:43:41 P.M. 2017, IN THE REGISTER OF DEEDS OFFICE.
 RECORDED IN BOOK 85, PAGE 385
 REGISTER OF DEEDS, BY *Tracy Olive*

REVIEW OFFICER'S CERTIFICATE
 STATE OF NORTH CAROLINA, COUNTY OF JOHNSTON
 REVIEW OFFICER OF JOHNSTON COUNTY CERTIFIES THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATE IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORPING.
Sophina Nichele
 REVIEW OFFICER
 10/2/17



NC GRID NORTH
 SEE GRID NOTE BELOW

GRID NOTE
 GRID NORTH
 NCGS VRS
 NAD 1983 (2011)
 GEOID 12 A
 COMBINED FACTOR - 0.99988290

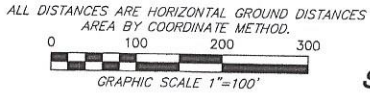


I, JIMMY C. BARBOUR, PLS, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN BY ME OR UNDER MY SUPERVISION AND THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED BY DASHED LINES. I HAVE FOUND NO INFORMATION TO THE CONTRARY.
 PRECISION AS CALCULATED IS 1:10,000+/-, THAT THE GLOBAL POSITIONING ACCURACY (GPS) OBSERVATIONS WERE STANDARD TO THE GEOSPATIAL POSITIONING ACCURACY STANDARDS OF THE FEDERAL BUREAU OF SURVEYING (FBS) AT 1 CENTIMETER ACCURACY CLASSIFICATION (SERVICE) USING RTK NETWORK; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.
 WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS DAY OF *Sept*, A.D. 2017

Jimmy C. Barbour
 JIMMY C. BARBOUR, PROFESSIONAL LAND SURVEYOR, LICENSE NO. L-2855

PH	DASHED LINES	---	FIRE HYDRANT	MNS	MAGNETIC NAIL SET
WM	WM	---	WATER METER / WATER VALVE	ERB	EXISTING IRON REBAR
EIP	EIP	---	EXISTING IRON PIPE FOUND	RSS	RAILROAD SPIKE SET
EIS	EIS	---	EXISTING CONCRETE MONUMENT FOUND	N/F	NOW OR FORMERLY
ECM	ECM	---	EXISTING CENTERLINE OF ROAD	PP/SP/AL	POWER POLE/SERVICE POLE/AREA LIGHT
C/L	C/L	---	EXISTING PARKER-KALON NAIL FOUND	OHP	OVERHEAD POWER LINE
EPK	EPK	---	EXISTING RAILROAD SPIKE FOUND	(PNL)	COMPUTED POINT FROM REFERENCED SOURCES (PROPOSED NEW LINE)
ERRS	ERRS	---	EXISTING IRON NAIL FOUND	R/W	RIGHT OF WAY
EIA	EIA	---	EXISTING RAILROAD SPIKE FOUND		
RBS	RBS	---	#5 IRON REBAR SET WITH RED PLASTIC CAP		
ECS	ECS	---	EXISTING COTTON SPINDLE FOUND		
EMN	EMN	---	EXISTING MAGNETIC NAIL FOUND		

SURVEYOR'S DISCLAIMER:
 THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED. HOWEVER, A NORTH CAROLINA LICENSED ATTORNEY SHOULD BE CONSULTED CONCERNING CORRECT DIMENSIONS, BIRTH, AND LOCATIONS OF ANY EASEMENTS, RIGHTS OF WAY, COVENANTS OR FAMILY BURIAL GROUNDS NOT SHOWN ON RECORDED MAPS OR DEEDS MADE AVAILABLE TO THIS SURVEYOR BY THE RECENT OWNERS AT THE TIME OF THIS SURVEY AND OTHER QUESTIONS THAT MAY BE RELEVANT BY THE TITLE EXAMINATION INCLUDING ANY RESTRICTIVE COVENANTS. ALSO THIS SURVEYOR HAS NO KNOWLEDGE OF THE OWNERSHIP OR MAINTENANCE RESPONSIBILITIES OF ANY FENCES OR OR NEAR THE BOUNDARY LINES. NO RESPONSIBILITY OF ANY NATURE IS ASSUMED BY THIS SURVEYOR FOR AS EASEMENTS, FAMILY BURIAL GROUNDS, TOWN OR HAZARDOUS WASTE MATERIALS, WELLS, FLOOD HAZARD AREAS, SUCH AS ANY CONDITIONS WHICH MAY PRESENTLY EXIST BUT ARE UNKNOWN, SUCH AS ANYTHING ELSE THAT MAY BE IN THE RESTRICTIVE COVENANTS, ALSO AS USED IN THE SURVEYOR'S CERTIFICATION HEREON. THE WORD "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF COVENANTS, CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, NOT BE USED WITH AN AFFIDAVIT OR LETTER OF ANY KIND FOR REUSE CONSTRUCTION, LANDSCAPING, PERMITTING, ETC. IT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THIS SURVEY BEYOND THE DATE AND SCOPE NOTED ON THIS MAP OR PLAT. BARBOUR SURVEYING, P.A., ITS ASSOCIATES, AND/OR AGENTS SHALL NOT BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR PERSONS FOR ANY PURPOSE BEYOND THE DATE AND SCOPE AS NOTED ON THIS MAP OR PLAT.



SCA VENTURES, LLC
 DB 3214, PG 236
LOTS 9, 10 and 11
 PB 69, PG 135
 PARCEL ID NO. 15079005G
 ZONED-LI

GATES GROUP OF JOHNSTON COUNTY
 DB 3212, PG 780
-12-
 PB 69, PG 121
 PARCEL ID NO. 15079005F
 ZONED-LI

SCA VENTURES, LLC
 DB 3214, PG 236
-2-
 PB 69, PG 135
 PARCEL ID NO. 15079005E
 ZONED-LI

STAG SMITHFIELD LLC
 DB 4049, PG 863
 PARCEL ID NO. 15079001B
 ZONED-LI

SCA VENTURES, LLC
 DB 2360, PG 414
-3-
 PB 61, PG 278
 PARCEL ID NO. 15079005B
 ZONED-LI

-6-
 PB 85, PGS 279-280
 PARCEL ID NO. 15079005I
2.271 ACRES REMAINING

-5-
6.000 ACRES IN COMBINED TRACT

-4-
 PB 85, PGS 279-280
 PARCEL ID NO. 15079005D

DOROTHY G. UNDERWOOD FAMILY TRUST
 DB 4696, PG 177
 PARCEL ID NO. 150790006
 ZONED-R20A

BEING A RECOMBINATION OF LOT 5 AND A PORTION OF LOT 6 AS SHOWN IN PLAT BK. 85, PGS 279-280
see SHEET 1 FOR CURVE DATA, NOTES, ETC.
RECOMBINATION MAP FOR:

JIMMY BARBOUR SURVEYING, PA
 JIMMY C. BARBOUR, PLS, GSI
 C-3109
 213 S. SECOND STREET
 P. O. BOX 28
 SMITHFIELD, N.C. 27577
 919 989-6642 919-989-3013
 919 989-6643 FAX

SCA VENTURES, LLC SHEET 2 of 2			
OWNER	N/F SCA VENTURES, LLC		
TOWNSHIP	SMITHFIELD	COUNTY	JOHNSTON
	TOWN OF SMITHFIELD ETU	STATE	NC
SURVEYED BY	RM	DRAWN BY	CINDA MOORE
DATE SURVEYED	8-7 thru 8-17-17	SCALE	1" = 100'
		DRAWING NO.	17-196 REC

SUE U. WARRICK
 DB 1166, PG 233
 PARCEL ID NO. 15079006B
 ZONED-R-20A

COPYRIGHT JIMMY BARBOUR SURVEYING, P.A. - PROFESSIONAL LAND SURVEYOR - UNAUTHORIZED COPIES PROHIBITED BY LAW

STATE OF NORTH CAROLINA
 COUNTY JOHNSTON
 FILED FOR REGISTRATION AT 2:43:41 PM
 2017, IN THE
 REGISTER OF DEEDS OFFICE
 RECORDED IN BOOK 85, PAGE 384
 REGISTER OF DEEDS, BY *Jimmy C. Barbour, A.L.S.*

REVIEW OFFICER'S CERTIFICATE
 STATE OF NORTH CAROLINA, COUNTY OF JOHNSTON
 I, *Stephani Fichter*, REVIEW OFFICER OF JOHNSTON COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS APPLIED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
 DATE 10/2/17
 REVIEW OFFICER

SURVEYOR'S DISCLAIMER:
 THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED; HOWEVER, A NORTH CAROLINA LICENSED ATTORNEY SHOULD BE CONSULTED CONCERNING CORRECT OWNERSHIP, WIDTH, AND LOCATIONS OF ANY EASEMENTS, RIGHTS OF WAY, CEMETERIES OR FAMILY BURIAL GROUNDS NOT SHOWN ON RECORDED MAPS OR DEEDS MADE AVAILABLE TO THIS SURVEYOR BY THE RECENT OWNER(S) AT THE TIME OF THIS SURVEY AND OTHER QUESTIONS THAT MAY BE REVEALED BY THE TITLE EXAMINATION INCLUDING ANY RESTRICTIVE COVENANTS. ALSO THIS SURVEYOR HAS NO KNOWLEDGE OF THE OWNERSHIP OR MAINTENANCE RESPONSIBILITIES OF ANY FENCES ON OR NEAR THE BOUNDARY LINES. NO RESPONSIBILITY OF ANY NATURE IS ASSUMED BY THIS SURVEYOR FOR ANY CONDITIONS WHICH MAY PRESENTLY EXIST BUT ARE UNKNOWN, SUCH AS CEMETERIES, FAMILY BURIAL GROUNDS, TOXIC OR HAZARDOUS WASTE MATERIALS/SITES, WETLANDS, FLOOD HAZARD AREAS/SOILS, ETC., OR ANYTHING ELSE THAT MAY BE IN THE RESTRICTIVE COVENANTS. ALSO AS USED IN THE SURVEYOR'S CERTIFICATION HEREON, THE WORD "CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS REGARDING THOSE FACTS OR FINDINGS WHICH ARE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED. THE MAP OR PLAT SHOWN HEREON SHALL NOT BE USED WITH AN AFFIDAVIT OR LETTER OF ANY KIND FOR REUSE INCLUDING, BUT NOT LIMITED TO FUTURE LOAN CLOSINGS, PLOT PLANS, CONSTRUCTION, LANDSCAPING, PERMITTING, ETC. IT IS A VIOLATION OF THE FEDERAL COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THIS SURVEY BEYOND THE DATE AND SCOPE NOTED ON THE MAP. JIMMY BARBOUR SURVEYING, PA., ITS ASSOCIATES, AND/OR AGENTS SHALL NOT BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR PERSONS FOR ANY PURPOSE BEYOND THE DATE AND SCOPE AS NOTED ON THIS MAP OR PLAT.

GRID NOTE
 GRID NORTH
 NCGS VRS
 NAD 1983 (2011)
 GEOID 12 A
 COMBINED FACTOR=0.99988290

- NOTES:
1. WATER AND SEWER BY COUNTY OF JOHNSTON
 2. PARCEL ID NO. 15079005D
 3. PROPERTY LOCATED WITHIN THE ETJ OF THE TOWN OF SMITHFIELD
 4. PROPERTY IS ZONED - LI
 BUILDING SETBACKS FOR LI ZONING
 FRONT-50'
 SIDE-25'
 REAR-40'
 MINIMUM LOT SIZE-20,000 SF
 MINIMUM LOT WIDTH-150'

OWNER:
 SCA VENTURES, LLC
 132 CITATION LANE
 SMITHFIELD, NC 27577



- REFERENCES:
 DEED BOOK 3027, PAGE 1
 PLAT BOOK 67, PAGE 285
 PLAT BOOK 61, PAGE 278
 PLAT BOOK 69, PAGE 135
 PLAT BOOK 85, PAGES 279-280

I, JIMMY C. BARBOUR, PROFESSIONAL LAND SURVEYOR No. L-2855, CERTIFY THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION IN ACCORDANCE WITH G.S. 47-30.2 (11).
Jimmy C. Barbour
 JIMMY C. BARBOUR, PROFESSIONAL LAND SURVEYOR LICENSE No. L-2855

FM DASHED LINES	--- FIRE HYDRANT	MNS	MAGNETIC NAIL SET
WM / WV	--- WATER METER / WATER VALVE	ERB	EXISTING IRON REBAR
EIP	--- EXISTING IRON PIPE FOUND	RRSS	RAILROAD SPIKE SET
ES	--- EXISTING IRON STAKE FOUND	N/F	NOW OR FORMERLY
ECM	--- EXISTING CONCRETE MONUMENT FOUND	PP/SP/AL	POWER POLE/SERVICE POLE/AREA LIGHT
C/L	--- CENTERLINE OF ROAD	OHPL	--- OVERHEAD POWER LINE
EPK	--- EXISTING PARKER-KALON NAIL FOUND	CP	--- COMPUTED POINT FROM REFERENCED SOURCES
ERS	--- EXISTING RAILROAD SPIKE FOUND	CSS	--- COTTON SPINDLE SET
EIA	--- EXISTING IRON AXLE FOUND	R/W	--- RIGHT OF WAY
RBS	--- #5 IRON REBAR SET WITH RED PLASTIC CAP		
ECS	--- EXISTING COTTON SPINDLE FOUND		
EMN	--- EXISTING MAGNETIC NAIL FOUND		

CURVE DATA TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	50.00'	53.89'	51.32'	N29°44'20"W
C2	50.00'	65.77'	61.13'	S81°41'54"W
C3	20.00'	15.51'	15.12'	S66°13'34"W
C4	270.00'	207.77'	202.68'	N69°31'08"W
C5	20.00'	31.42'	28.28'	N02°28'29"W
C6	330.00'	120.67'	120.00'	N32°01'22"E
C7	20.00'	15.51'	15.12'	N43°45'25"E
C8	50.00'	45.67'	44.28'	N39°41'06"E
C9	330.00'	57.99'	57.92'	S86°31'47"E
C10	20.00'	15.50'	15.12'	S74°15'58"E
C11	50.00'	47.33'	45.58'	N39°52'23"E
C12	50.00'	67.61'	62.58'	N87°45'34"E
C13	20.00'	31.42'	28.28'	S64°29'06"E
C14	330.00'	195.94'	193.08'	S85°16'04"W
C15	50.00'	188.73'	95.03'	S00°39'46"E
C16	20.00'	15.51'	15.12'	S32°01'21"W
C17	270.00'	98.73'	98.18'	



CERTIFICATE OF APPROVAL
 I HEREBY CERTIFY THAT THE RECOMBINATION AS SHOWN ON THIS PLAT DOES NOT INVOLVE THE CREATION OF NEW PUBLIC STREETS OR ANY CHANGE IN EXISTING PUBLIC STREETS, THAT THE RECOMBINATION PLAT SHOWN IS IN ALL RESPECTS IN COMPLIANCE WITH THE TOWN OF SMITHFIELD UNIFIED DEVELOPMENT ORDINANCE, AND THAT THEREFORE THIS PLAT HAS BEEN APPROVED BY THE UDO ADMINISTRATOR, SUBJECT TO ITS BEING RECORDED IN THE JOHNSTON COUNTY REGISTRY WITHIN SIXTY DAYS OF THE DATE BELOW.
Shane L. Med L
 UDO ADMINISTRATOR
 10/2/17
 DATE

NOTES:
 THIS PLAT REFLECTS A PROPOSED CHANGE IN THE PROPERTY LINES OF THE TRACTS SHOWN HEREON, BUT THAT CHANGE DOES NOT TAKE EFFECT UNTIL THE DEEDS OR AFFIDAVITS OF SAID CHANGE ARE FILED WITH THE APPROPRIATE COUNTY REGISTER OF DEEDS.

BEING A RECOMBINATION OF LOT 5 AND A PORTION OF LOT 6 AS SHOWN IN PLAT BK. 85, PGS 279-280
see SHEET 2 FOR SURVEY MAP RECOMBINATION MAP FOR:

JIMMY BARBOUR SURVEYING, PA
 JIMMY C. BARBOUR, PLS, GSI
 C-3109
 213 S. SECOND STREET
 P. O. BOX 28
 SMITHFIELD, N.C. 27577
 919 989-6642 919-989-3013
 919 989-6643 FAX

SCA VENTURES, LLC
 SHEET 1 of 2

OWNER N/F SCA VENTURES, LLC

TOWNSHIP SMITHFIELD	COUNTY JOHNSTON	STATE NC
SURVEYED BY RM	DRAWN BY CINDA MOORE	
DATE SURVEYED 8-7 thru 8-17-17	SCALE 1" = 100'	DRAWING NO. 17-196 REC

COPYRIGHT JIMMY BARBOUR SURVEYING, PA - PROFESSIONAL LAND SURVEYOR - UNAUTHORIZED COPIES PROHIBITED BY LAW

200 Block of Citation Lane



Project Name:
Thomas Concrete
Batch Plant

Existing Zoning:
LI (Light Industrial)

Proposed Zoning:
HI (Heavy Industrial)

File Number:
RZ-17-04
SP-17-15

Owner:
SCA Ventures, LLC

Applicant:
Thomas Concrete LLC

Location:
200 Citation Lane

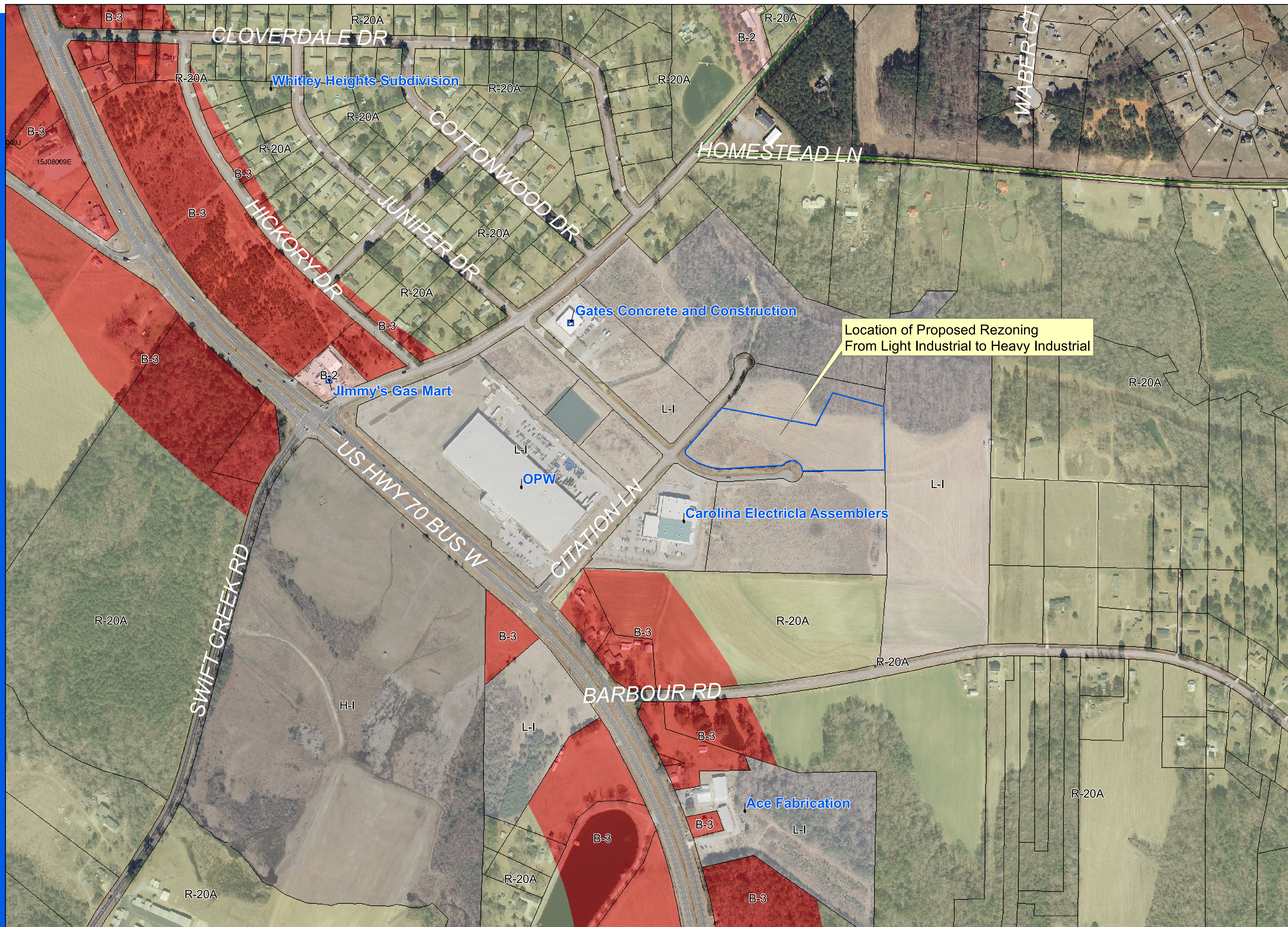
Tax ID#
15079005J

Zoning District:
LI to HI

Map created by the
Mark E. Helmer, AICP
Senior Planner,
GIS Specialist
on 10/20/2017

1 inch = 200 feet

0 100 200 400 600 Feet





PLANNING DEPARTMENT
Steve Medlin, AICP, Interim Director

ADJOINING PROPERTY OWNERS CERTIFICATION

I, **Mark E. Helmer**, hereby certify that the property owner and adjacent property owners of the following petition, **RZ-17-04**, were notified by First Class Mail on **10-19-17**.



Signature

Johnston County, North Carolina

I, Melissa Rodriguez, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

____ 19 day of October, 2017

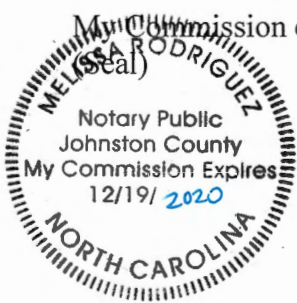


Notary Public Signature

Melissa Rodriguez

Notary Public Name

My Commission expires on 12/19/2020



TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15079005E	168510-37-9463	SCA VENTURES LLC	132 CITATION LN	SMITHFIELD	NC	27577-0000
15079005G	168506-47-5802	SCA VENTURES LLC	132 CITATION LN	SMITHFIELD	NC	27577-0000
15079005B	168510-47-1066	SCA VENTURES LLC	132 CITATION LN	SMITHFIELD	NC	27577-0000
15079005D	168510-47-8027	SCA VENTURES LLC	132 CITATION LANE	SMITHFIELD	NC	27577-0000
15079005F	168506-37-9875	GATES GROUP OF JOCO	300 CITATION LANE	SMITHFIELD	NC	27577-0000
15079006B	168511-57-4009	WARRICK, SUE U	CHURCH ROAD	CLAYTON	NC	27520-6833
15079005I	168506-47-7699	SCA VENTURES LLC	132 CITATION LANE	SMITHFIELD	NC	27577-0000

Notice Of Public Hearing

Notice is hereby given that a public hearing will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, November 2, 2017 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following request:

RZ-17-04 Thomas Concrete: The applicant is requesting to rezone approximately 5.6 acres of land from the LI (Light Industrial) to the HI (Heavy Industrial) zoning district. The property considered for approval is located on Citation Lane approximately 980 feet northeast of its intersection with US Hwy Bus 70 West and further identified as Johnston County Tax ID# 15079005J.

You have been identified as a property owner in the area specified above and are being advised of this meeting as you may have interest in this matter. You are welcome to attend; however, you are not required to in order for the Board to act on this request. Additional information may be obtained by contacting the Town of Smithfield Planning Department at 919-934-2116.

Notice Of Public Hearing

Notice is hereby given that a public hearing will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, November 2, 2017 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following request:

RZ-17-04 Thomas Concrete: The applicant is requesting to rezone approximately 5.6 acres of land from the LI (Light Industrial) to the HI (Heavy Industrial) zoning district. The property considered for approval is located on Citation Lane approximately 980 feet northeast of its intersection with US Hwy Bus 70 West and further identified as Johnston County Tax ID# 15079005J.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Smithfield Planning Department at (919) 934-2116 or online at www.smithfield-nc.com.

Run “Legal Ad” in the Smithfield Herald on 10/18/17 and 10/25/17



Request for Planning Board Action

**Business
Agenda** SP-17-15
Item:
Date: 11/2/17

Subject: SP-17-15

Department: Planning

Presented by: Mark Helmer, AICP, Senior Planner

Presentation:

Issue Statement: The applicant is requesting preliminary site plan review and approval of a concrete batch facility on property located within a HI (Heavy Industrial) zoning district.

Financial Impact: none

Action Needed: The Planning Board is requested to review the preliminary site plan for compliance with the Town of Smithfield Unified Development Ordinance minimum development standards.

Recommendation: Planning staff recommends approval of the site plan with the condition that that a storm water management plan is approved prior to staff issuing a valid zoning permit.

Approved: City Manager City Attorney

Attachments:



Staff Report

**Business
Agenda Item:** SP-17-05

Thomas Concrete key site elements

- 1,200 square foot modular office building & 3,600 square foot shop
- Conveyors are exempt from maximum height requirements of the zoning district.
- Paved parking provided as required by current development standards
- Storage bins for raw materials
- Wash pit with water recycling pond
- Access provided by two proposed driveway
- Required landscaped street yards
- Public utility connections within Citation Lane
- Storm water management facility
- Erosion control plan included.

Site Data

Proposed Project Name: Site Plan for Thomas Concrete

Current Property Owner of Record: SCA Ventures LLC

Developer/Applicant:

Zoning: HI

Existing Use, Vacant

Proposed Use: Concrete Batch Plant

Electricity Provider: Duke Progress Energy

Total Boundary Area= 6.0 Ac

Area in Existing NCDOT ROW = N/A

Buildable Site Area = 6.0 Ac

Existing Building/Structure Sq. Ft. = n/a

Proposed Building/Structure Sq. Ft. = 4,800 Sq. Ft.

Parking Spaces Required = 16 Proposed

Handicap Spaces Required= 1

Handicap Spaces Provide = 1

Existing Impervious Area 0.0 Ac

Proposed Impervious Area= 3.95 Ac

Net New/Additional Impervious Area = 3.95 Ac

Storm water: > 1.00 Ac New Impervious - Attenuation will be required

Nitrogen loading calculations and buy down will be required

Site lighting plan included- No area lighting proposed at this time.

Planning staff has reviewed the plan and recommends approval of the plan with the condition that a storm water management plan is approved prior to staff issuing a valid zoning permit.



Storm Water Permit Application

Development/Site Name: Thomas Concrete Ready Mix Plant - North Aviation Industrial Park

Owner/Developer Name: Thomas Concrete of the Carolinas, Inc

Address: 2500 Cumberland Parkway Suite 200, Atlanta GA 30339

Phone: 205-335-9942 Contact Person: James P Daniel

Fax: 770-431-3315 No. of acres to be disturbed: 6.0

Email: James.Daniel@thomasconcrete.com No. of acres in development: 6.0

Type of Development: (circle one)	Fee
Residential	\$30/acre (\$500 minimum)
Non-Residential	\$75/acre (\$500 minimum)

I hereby certify that all information contained within this Storm Water Management Application is accurate and complete to the best of my knowledge and conforms to the Town of Smithfield's Storm Water Management Ordinance and storm water design criteria. The Town of Smithfield has the right to inspect all storm water facilities on this site.

James P Daniel

Type or Printed Name



Signature of Owner/Developer

October 12, 2017

Date

I assume responsibility for inspections, maintenance and operation of all storm water facilities/Best Management Practices in accordance with the Inspection and Maintenance Agreement enclosed and with the Storm Water Management Permit.

Justin Hartley

Type or Printed Name

*Signature

October 12, 2017

Date

Acting as an agent for: Thomas Concrete of the Carolinas, Inc.

*Note: Responsibility for the continued operation and maintenance of the storm water facilities can be assumed from the developer by an individual landowner or Home Owner's Association. In the event that a Home Owner's Association assumes responsibility, the signature shall be of an individual acting as an agent for the Home Owner's Association.

Submit the completed application along with detailed plans, Inspection and Maintenance Agreement, easements, supporting design information and the associated fee to:

Storm Water Administrator, Town of Smithfield
PO Box 761
350 East Market Street
Smithfield, NC 27577

If you have any questions or need more information, contact the SW Administrator at 919-934-2116.

SITE DEVELOPMENT PLANS

THOMAS CONCRETE OF THE CAROLINAS, INC.

3733 NATIONAL DRIVE, SUITE 124
 RALEIGH, NORTH CAROLINA, 27613

SMITHFIELD CONCRETE PLANT

132 CITATION LANE
 SMITHFIELD, NORTH CAROLINA, 27977
 DATE: AUGUST 12 , 2017

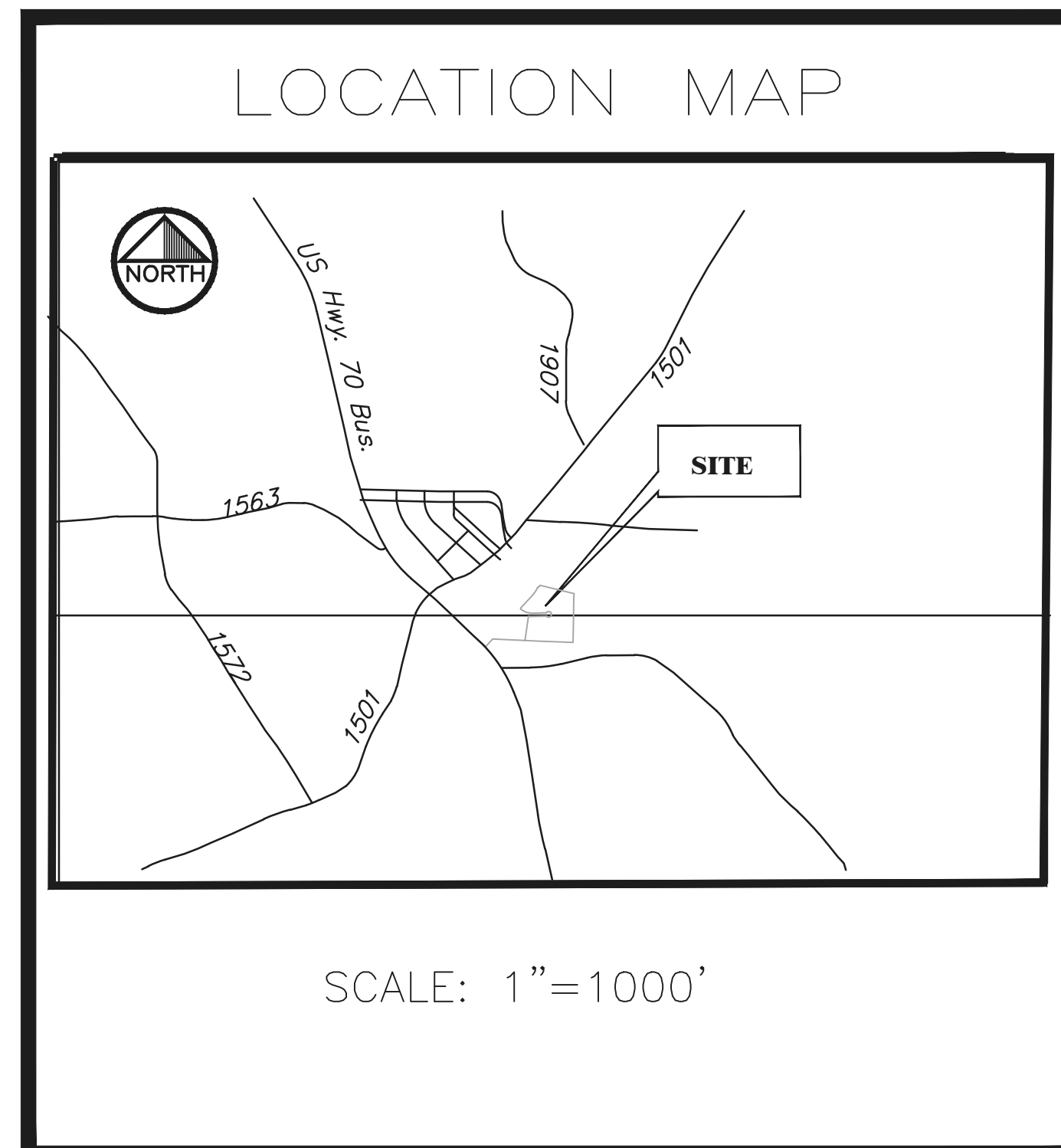


BLACK ROCK CONSULTING, LLC
 Seven Dunwoody Park, Suite 115
 Atlanta, Georgia 30338
 Ph:770-395-6111 Fax:770-395-6999

SITE DATA

AREA - 6.00 ACRES
 APPLICANT: THOMAS CONCRETE OF THE CAROLINAS, INC.
 ADDRESS: 3733 NATIONAL DRIVE
 SUITE 124
 RALEIGH, NORTH CAROLINA, 27612
 PHONE: 919-832-0451
 CONTACT: JAMES DANIEL
 CELL: (205) 335-9942
 OWNER: SCA VENTURES, LLC
 ADDRESS: 132 CITATION LANE
 SMITHFIELD, NORTH CAROLINA, 27577
 CURRENT ZONING: LIGHT INDUSTRIAL
 PROPOSED ZONING: HEAVY INDUSTRIAL
 TAX ID: 4667317
 DEED BOOK: 03027 PAGE: 0001
 BOUNDARY INFORMATION PROVIDED BY
 W. STANTON MASSENGILL, PLS
 DATED NOVEMBER 30, 2005

REVISION SCHEDULE	
DATE	REVISION DESCRIPTION

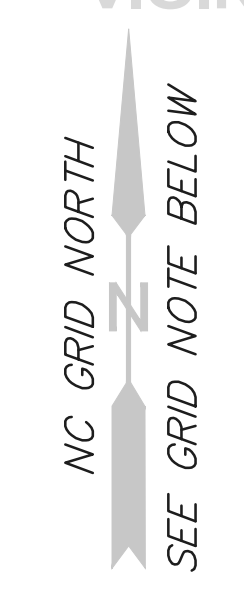


SHEET INDEX	
SHEET No.	DESCRIPTION
1	BOUNDARY SURVEY
2	SITE PLAN
3	GRADING AND DRAINAGE PLAN
4	COMPOSITE UTILITY PLAN
5	PHASE 1 - EROSION AND SEDIMENT CONTROL PLAN
6	PHASE 2 - EROSION AND SEDIMENT CONTROL PLAN
7	LANDSCAPE PLAN
8	LANDSCAPE DETAILS AND SPECIFICATIONS
9	EROSION AND SEDIMENT CONTROL DETAILS
10	CONSTRUCTION DETAILS

STATE OF NORTH CAROLINA, COUNTY OF _____, IN THE
 COUNTY OF _____, FILED FOR REGISTRATION AT _____ M.
 REGISTERED IN BOOK _____, PAGE _____, REGISTERED IN BOOK _____, DEPUTY
 REGISTERED IN BOOK _____, REGISTERED IN BOOK _____, REGISTERED IN BOOK _____, REGISTERED IN BOOK _____

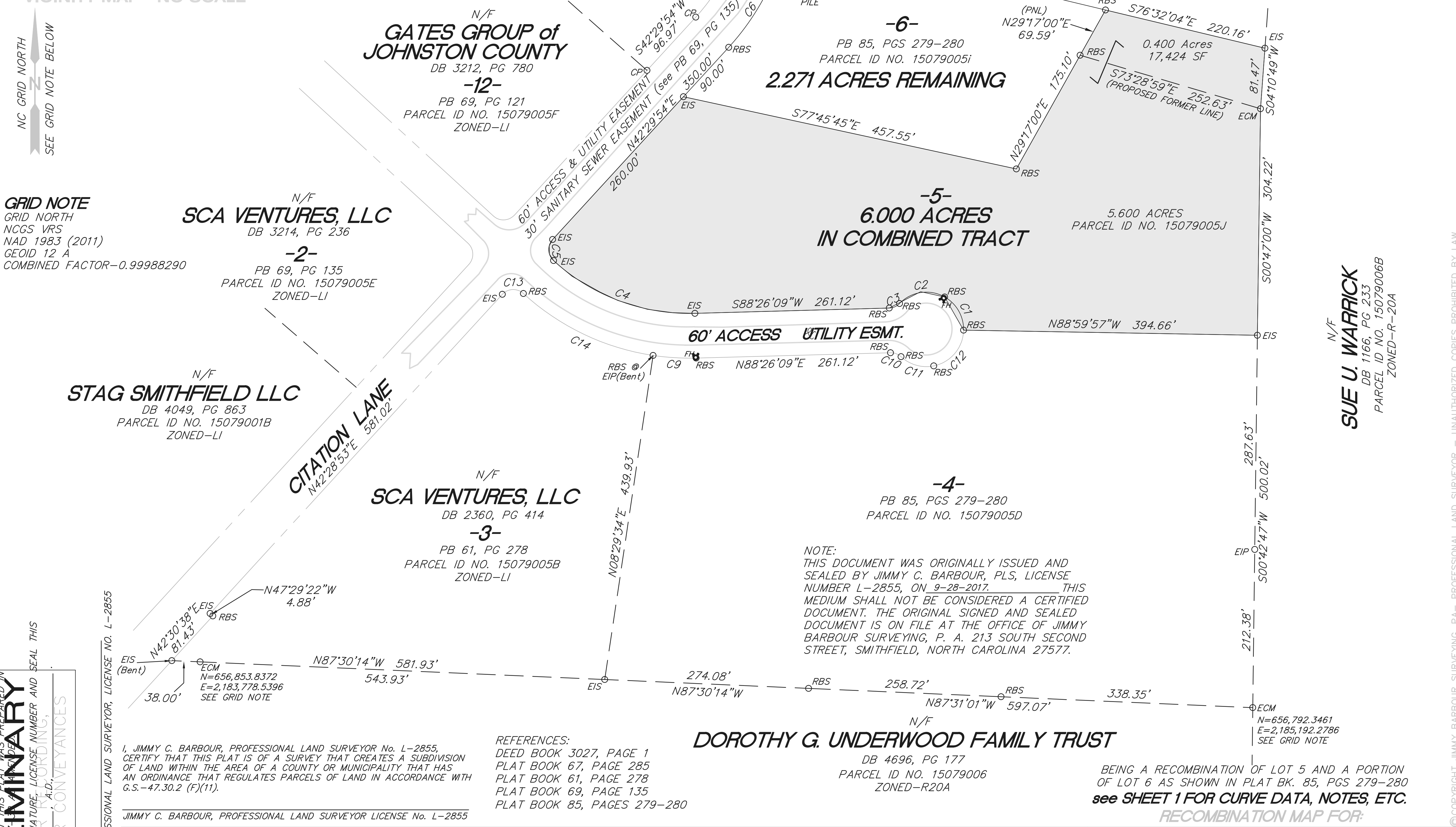
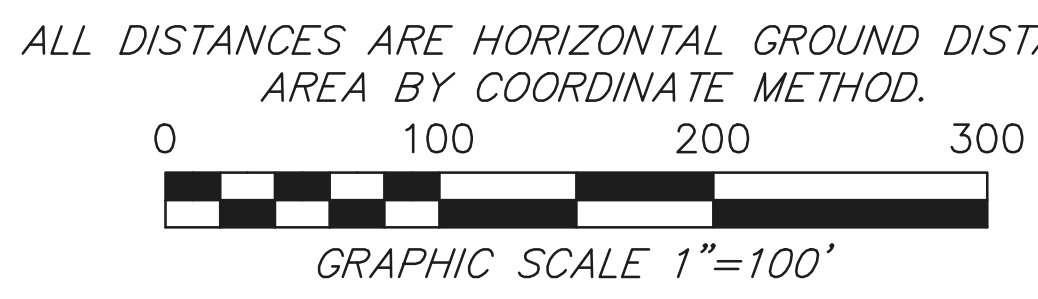
REVIEW OFFICER'S CERTIFICATE
 STATE OF NORTH CAROLINA, COUNTY OF _____, REVIEW OFFICER OF _____
 COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION
 IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.
 DATE _____ REVIEW OFFICER _____

I, JIMMY C. BARBOUR, PLS, DO HEREBY CERTIFY THAT THIS
 PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN
 ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED
 DESCRIPTION RECORDED IN BOOK _____, PAGE _____,
 INDICATED AS DRAWN FROM INFORMATION FOUND IN
 BOOK _____, PAGE _____; THAT THE RATIO OF
 PRECISION AS CALCULATED IS 1:10,000+; THAT THE
 GLOBAL POSITIONING ACCURACY (GPS) OBSERVATIONS WERE
 PERFORMED TO THE GEOSPATIAL POSITIONING ACCURACY
 STANDARDS, PART 2; STANDARDS FOR GEODETIC NETWORKS
 AT 1 CENTIMETER ACCURACY CLASSIFICATION (95% CONFIDENCE)
 USING RTK NETWORK THAT THIS PLAT WAS PREPARED BY
 ACCORDANCE WITH SECTION 477.147 FOR RECORDING,
 WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS
 DAY OF _____ A.D., IN WITNESS WHEREOF, I HAVE
 SIGNED AND CONVEYANCES



GRID NOTE
 GRID NORTH
 NCGS VRS
 NAD 1983 (2011)
 GEOID 12 A
 COMBINED FACTOR=0.99988290

SURVEYOR'S DISCLAIMER:
 THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED;
 HOWEVER, A NORTH CAROLINA LICENSED ATTORNEY SHOULD BE
 CONSULTED CONCERNING CORRECT OWNERSHIP, WIDTH, AND LOCATIONS OF
 ANY EASEMENTS, RIGHTS OF WAY, CEMETERIES OR FAMILY BURIAL
 GROUNDS NOT SHOWN ON RECORDED MAPS OR DEEDS MADE AVAILABLE
 TO THIS SURVEYOR BY THE RECENT OWNER(S) AT THE TIME OF THIS
 SURVEY AND OTHER QUESTIONS THAT MAY BE REVEALED BY THE TITLE
 EXAMINATION INCLUDING ANY RESTRICTIVE COVENANTS, ALSO THIS
 SURVEYOR HAS NO KNOWLEDGE OF THE OWNERSHIP OR MAINTENANCE
 RESPONSIBILITIES OF ANY FENCES ON OR NEAR THE BOUNDARY LINES, NO
 RESPONSIBILITY OF ANY NATURE IS ASSUMED BY THIS SURVEYOR FOR
 ANY CONDITIONS WHICH MAY PRESENTLY EXIST BUT ARE UNKNOWN, SUCH
 AS CEMETERIES, FAMILY BURIAL GROUNDS, TOXIC OR HAZARDOUS WASTE
 MATERIALS/SITES, WETLANDS, FLOOD HAZARD AREAS/SOILS, ETC., OR
 ANYTHING ELSE THAT MAY BE IN THE RESTRICTIVE COVENANTS, ALSO AS
 USED IN THE SURVEYOR'S CERTIFICATION HEREON, THE WORD "CERTIFY"
 MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS
 REGARDING THOSE FACTS OR FINDINGS WHICH ARE SUBJECT OF THE
 CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE,
 EITHER EXPRESS OR IMPLIED. THE MAP OR PLAT SHOWN HEREON SHALL
 NOT BE USED WITH AN AFFIDAVIT OR LETTER OF ANY KIND FOR REUSE
 INCLUDING, BUT NOT LIMITED TO FUTURE LOAN CLOSINGS, PLOT PLANS,
 CONSTRUCTION, LANDSCAPING, PERMITTING, ETC., IT IS A VIOLATION OF
 THE FEDERAL COPYRIGHT ACT TO COPY OR MODIFY AND REUSE THIS
 SURVEY BEYOND THE DATE AND SCOPE NOTED ON THE MAP. JIMMY
 BARBOUR SURVEYING, PA, ITS ASSOCIATES, AND/OR AGENTS SHALL NOT
 BE LIABLE FOR USE OF THIS SURVEY BY ANY OTHER ENTITIES OR
 PERSONS FOR ANY PURPOSE BEYOND THE DATE AND SCOPE AS NOTED
 ON THIS MAP OR PLAT.



NOTE:
 THIS DOCUMENT WAS ORIGINALLY ISSUED AND
 SEALED BY JIMMY C. BARBOUR, PLS, LICENSE
 NUMBER L-2855, ON 9-28-2017. THIS
 MEDIUM SHALL NOT BE CONSIDERED A CERTIFIED
 DOCUMENT. THE ORIGINAL SIGNED AND SEALED
 DOCUMENT IS ON FILE AT THE OFFICE OF JIMMY
 BARBOUR SURVEYING, P. A. 213 SOUTH SECOND
 STREET, SMITHFIELD, NORTH CAROLINA 27577.

REFERENCES:
 DEED BOOK 3027, PAGE 1
 PLAT BOOK 67, PAGE 285
 PLAT BOOK 61, PAGE 278
 PLAT BOOK 69, PAGE 135
 PLAT BOOK 85, PAGES 279-280

I, JIMMY C. BARBOUR, PROFESSIONAL LAND SURVEYOR No. L-2855,
 CERTIFY THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION
 OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS
 AN ORDINANCE THAT REGULATES PARCELS OF LAND IN ACCORDANCE WITH
 G.S.-47.30.2 (F)(11).
 JIMMY C. BARBOUR, PROFESSIONAL LAND SURVEYOR LICENSE No. L-2855

FH	DASHED LINES	---	FIRE HYDRANT	MNS	MAGNETIC NAIL SET
WM / WV	---	---	WATER METER / WATER VALVE	ERB	EXISTING IRON REBAR
EIP	---	---	EXISTING IRON PIPE FOUND	RRSS	RAILROAD SPIKE SET
EIS	---	---	EXISTING IRON STAKE FOUND	N/F	NOW OR FORMERLY
ECM	---	---	EXISTING CONCRETE MONUMENT FOUND	PP/SP/AL	POWER POLE/SERVICE POLE/AREA LIGHT
C/L	---	---	CENTERLINE OF ROAD	OHPL	OVERHEAD POWER LINE
EPK	---	---	EXISTING PARKER-KALON NAIL FOUND	CP	COMPUTED POINT FROM REFERENCED SOURCES
ERRS	---	---	EXISTING RAILROAD SPIKE FOUND	(PNL)	(PROPOSED NEW LINE)
EIA	---	---	EXISTING IRON AXLE FOUND	R/W	RIGHT OF WAY
RBS	#5 IRON REBAR SET WITH RED PLASTIC CAP		EXISTING IRON AXLE FOUND		
ECS	EXISTING COTTON SPINDLE FOUND		EXISTING MAGNETIC NAIL FOUND		
EMN	EXISTING MAGNETIC NAIL FOUND				

BASED UPON GRAPHIC DETERMINATION, THE SURVEYED
 PROPERTY INDICATED ON THIS PLAT DOES NOT LIE IN THE
 FEMA/FIRM SPECIAL 100 YR. FLOOD HAZARD AREA. SEE
 COMMUNITY PANEL No.3720168500 J dated 12-2-2005.

DOROTHY G. UNDERWOOD FAMILY TRUST
 DB 4696, PG 177
 PARCEL ID NO. 15079006
 ZONED-R20A

BEING A RECOMBINATION OF LOT 5 AND A PORTION
 OF LOT 6 AS SHOWN IN PLAT BK. 85, PGS 279-280
see SHEET 1 FOR CURVE DATA, NOTES, ETC.
 RECOMBINATION MAP FOR:

JIMMY BARBOUR SURVEYING, PA
 JIMMY C. BARBOUR, PLS, GSI
 C-3109
 213 S. SECOND STREET
 P. O. BOX 28
 SMITHFIELD, N.C. 27577
 919 989-6642 919-989-3013
 919 989-6643 FAX

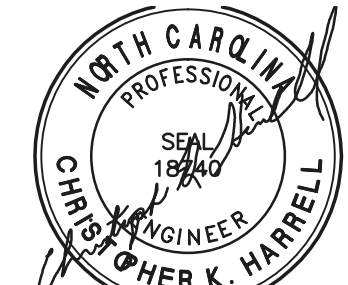
SCA VENTURES, LLC
 SHEET 2 of 2

OWNER N/F SCA VENTURES, LLC

TOWNSHIP SMITHFIELD TOWN OF SMITHFIELD ETJ	COUNTY JOHNSTON	STATE NC
SURVEYED BY RM	DRAWN BY CINDA MOORE	
DATE SURVEYED 8-7 thru 8-17-17	SCALE 1" = 100'	DRAWING NO. 17-196 REC

N/F
SUE U. WARRICK
 DB 1166, PG 233
 PARCEL ID NO. 15079006B
 ZONED-R-20A

© COPYRIGHT JIMMY BARBOUR SURVEYING, PA - PROFESSIONAL LAND SURVEYOR - UNAUTHORIZED COPIES PROHIBITED BY LAW



BRC
BLACK ROCK CONSULTING, LLC
 Seven Dunwoody Park, Suite 115
 Atlanta, Georgia 30338
 Ph: 770-395-6111 Fax: 770-395-6999

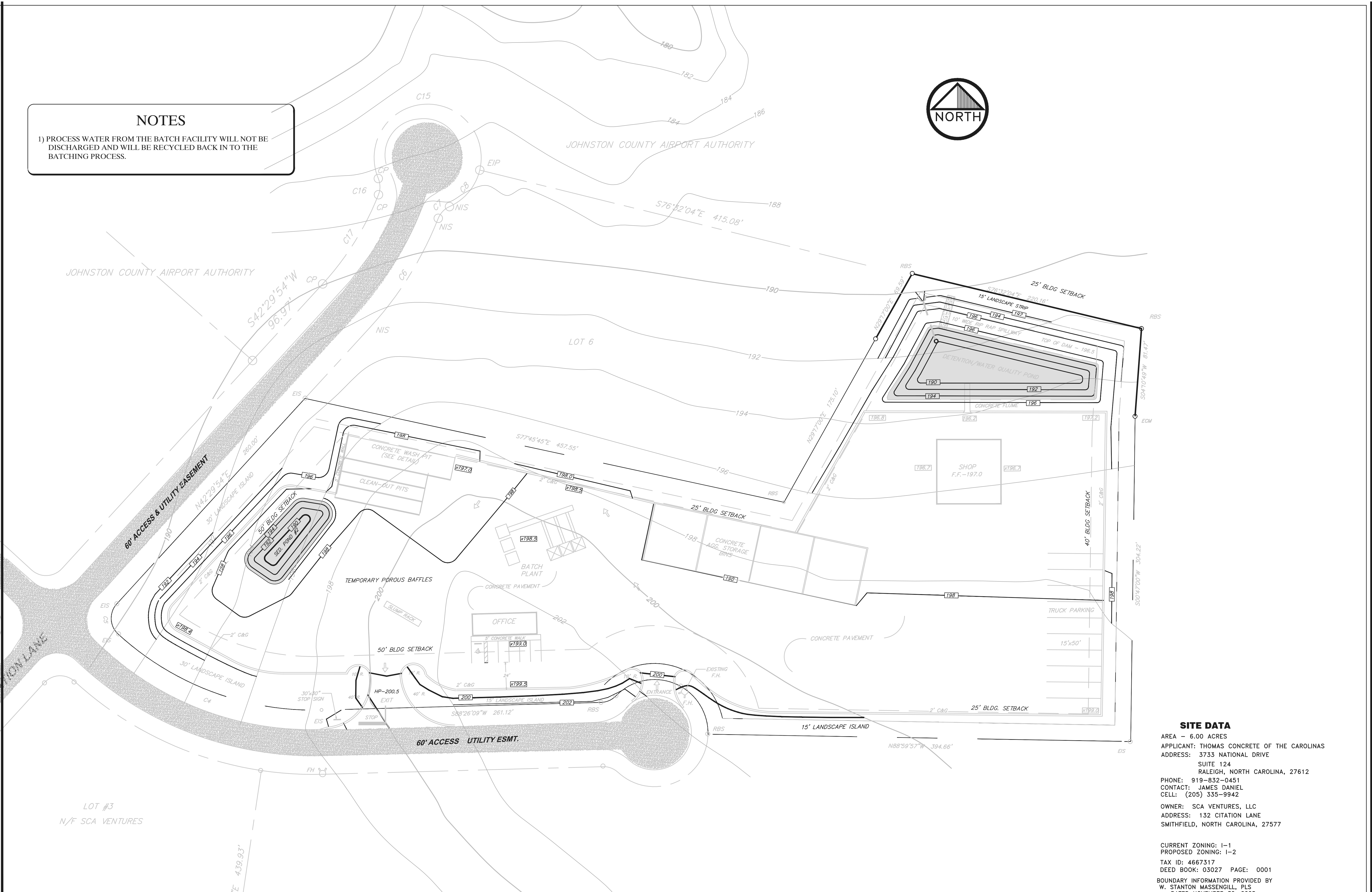
THOMAS CONCRETE OF THE CAROLINAS
 3733 NATIONAL DRIVE
 SUITE 124
 RALEIGH, NORTH CAROLINA, 27612

Project No.	Date	Revision
90903		
Design By: BDU		
Drawn By: BDU		
Checked By: DB		
Date: 1/20/17		
Scale: 1" = 40'		

GRADING PLAN
SMITHFIELD BATCH PLANT
 SMITHFIELD, NORTH CAROLINA

Drawing No.
3
 Grading Plan.dwg

NOTES
 1) PROCESS WATER FROM THE BATCH FACILITY WILL NOT BE DISCHARGED AND WILL BE RECYCLED BACK IN TO THE BATCHING PROCESS.



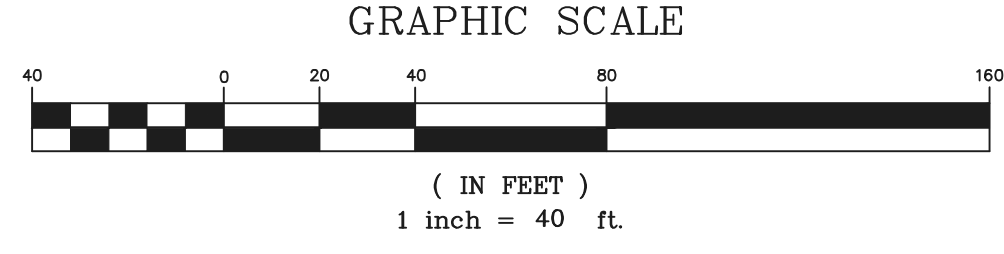
SITE DATA
 AREA - 6.00 ACRES
 APPLICANT: THOMAS CONCRETE OF THE CAROLINAS
 ADDRESS: 3733 NATIONAL DRIVE
 SUITE 124
 RALEIGH, NORTH CAROLINA, 27612
 PHONE: 919-832-0451
 CONTACT: JAMES DANIEL
 CELL: (205) 335-9942
 OWNER: SCA VENTURES, LLC
 ADDRESS: 132 CITATION LANE
 SMITHFIELD, NORTH CAROLINA, 27577

CURRENT ZONING: I-1
 PROPOSED ZONING: I-2
 TAX ID: 4667317
 DEED BOOK: 03027 PAGE: 0001
 BOUNDARY INFORMATION PROVIDED BY
 W. STANTON MASSENGILL, PLS
 DATED NOVEMBER 30, 2005

*****CAUTION*****
 THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

24-Hr Emergency Contact
JUSTIN HARTLEY
 (Cell) 919-669-3019

Know what's below
 Call 811 or (800) 282-7411
 Before You Dig





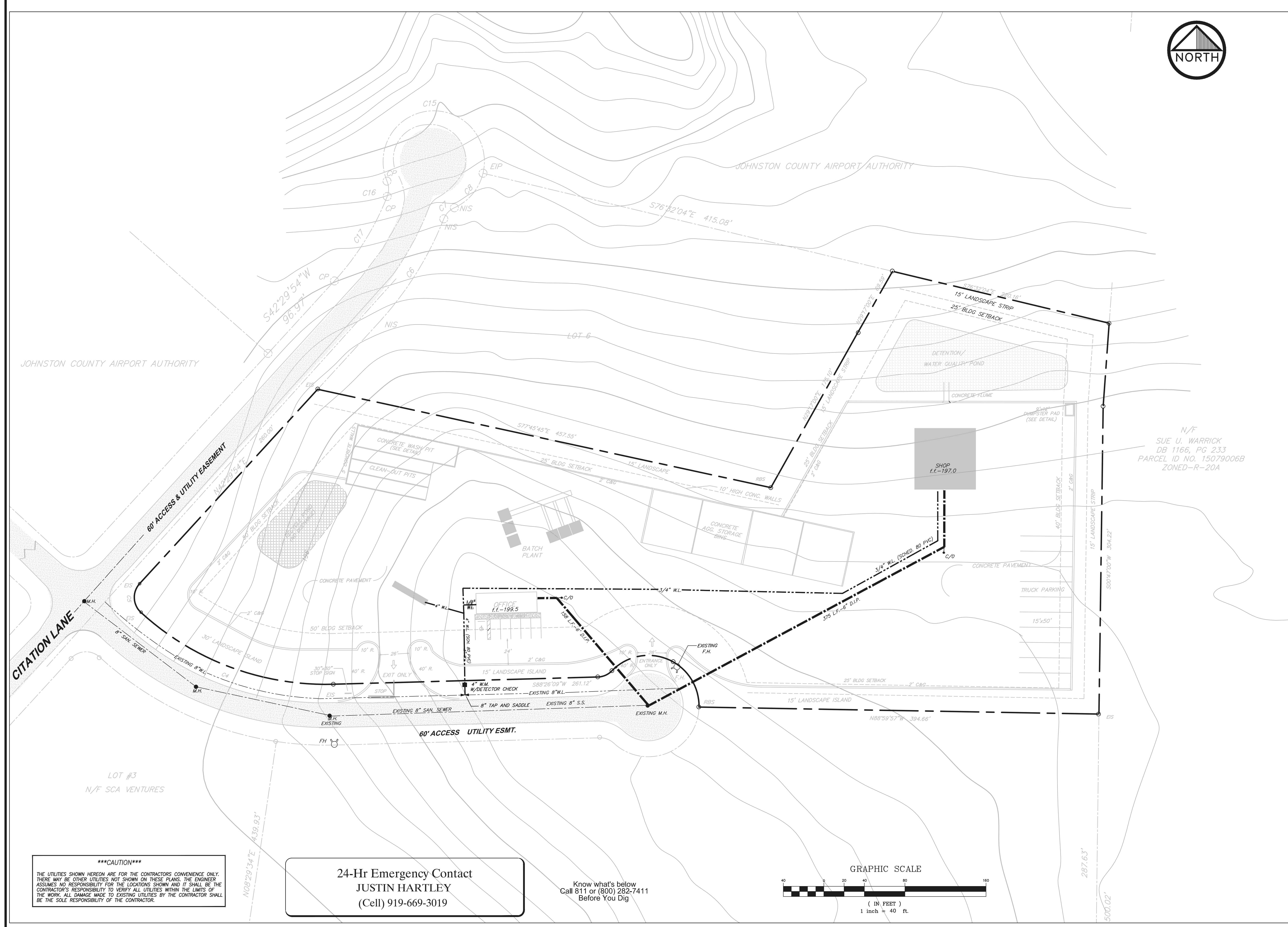
BRC
BLACK ROCK CONSULTING, LLC
 15079006B
 3733 NATIONAL DRIVE, SUITE 124
 RALEIGH, NORTH CAROLINA, 27612
 PH: 770-395-6111 FAX: 770-395-6999

THOMAS CONCRETE OF THE CAROLINAS, INC
 3733 NATIONAL DRIVE, SUITE 124
 RALEIGH, NORTH CAROLINA, 27612
 OFFICE: 912-832-0451

Project No.	Date
90903	
Design By:	Revision
BDJ	
Drawn By:	
BDJ	
Checked By:	
DB	
Date:	
9/2/17	
Scale:	
1" = 40'	

UTILITY PLAN
SMITHFIELD BATCH PLANT
 132 CITATION LANE
 SMITHFIELD, NORTH CAROLINA. 27577

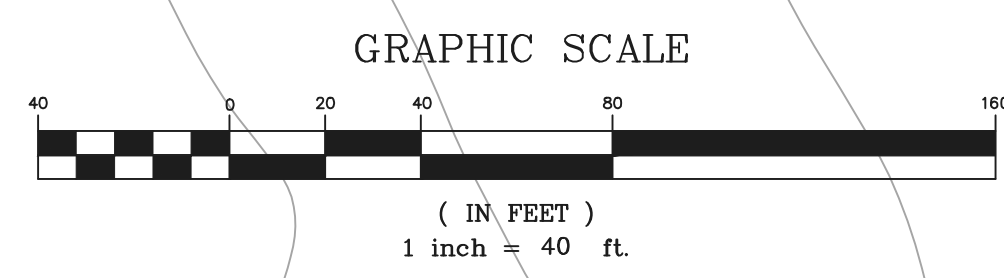
Drawing No.
4
 Grading Plan.dwg



*****CAUTION*****
 THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

24-Hr Emergency Contact
JUSTIN HARTLEY
 (Cell) 919-669-3019

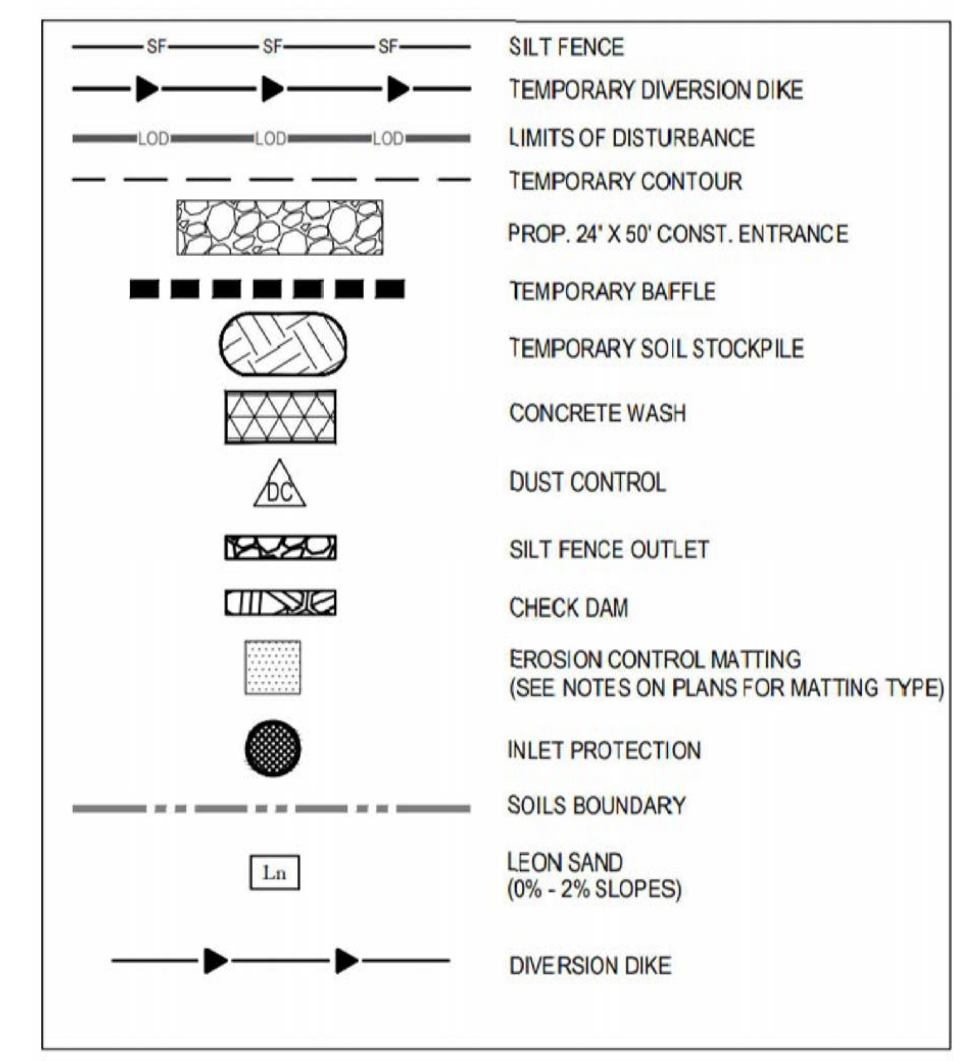
Know what's below
 Call 811 or (800) 282-7411
 Before You Dig



STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.



EROSION CONTROL LEGEND



NCDEQ EROSION AND SEDIMENT CONTROL NOTES

- ON-SITE BURIAL PITS ARE NOT ALLOWED AT ANY LOCATION WITHIN TOWN OF SMITHFIELD.
- RES PIPE ENTERING PERMANENT BASIN IS AN EQUALIZER PIPE.
- WATER LINE WORK IN OPPOSITE AREA WILL ONLY COMPLETE AS MUCH AS CAN BE STABILIZED IN ONE DAY.
- ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THIS PLAN IS SUBJECT TO A FINE. GRADING 1 ACRE OR MORE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND SUBJECT TO A FINE.
- GROUND STABILIZATION MUST OCCUR WITHIN 7 DAYS ON PERIMETER AREAS AND SLOPES GREATER THAN 3:1, AND GROUND STABILIZATION MUST OCCUR WITHIN 14 DAYS ON OTHER AREAS.
- BASH OUTLET STRUCTURES WITH DRAINAGE AREAS EQUAL OR GREATER THAN ONE ACRE MUST WITHDRAW WATER FROM THE SURFACE.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE NCDEQ EROSION CONTROL INSPECTOR.
- ALL ELEVATIONS ARE IN REFERENCE TO THE SURVEYORS BENCHMARK WHICH MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, AND ANY APPLICABLE LOCAL LAWS AND CODES.
- PERMANENT CUT AND FILL SLOPES PLACED ON A SUITABLE FOUNDATION SHOULD BE CONSTRUCTED AT 2:1 (HORIZONTAL TO VERTICAL) OR FLATTER. PERMANENT SLOPES OF 3:1 SHOULD BE CONSTRUCTED WHERE MOVING IS DESIRABLE AND AS INDICATED. IF FILL MATERIAL IS BROUGHT ONTO THE PROPERTY OR IF WASTE MATERIAL IS HAULED FROM THE PROPERTY THEN THE CONTRACTOR SHALL DISCLOSE THE LOCATION OF ANY ON-SITE AND/OR OFF-SITE BARRROW LOCATION AND/OR WASTE BURIAL LOCATION TO THE EROSION CONTROL INSPECTOR.
- LIMITS OF CLEARING SHOWN ARE BASED ON CUT AND FILL SLOPES OR OTHER GRADING REQUIREMENTS.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES AS INDICATED PRIOR TO GRADING OPERATIONS. NO DEVICE MAY BE REMOVED WITHOUT APPROVAL OF EROSION CONTROL COORDINATOR.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.
- ALL DISTANCES ARE HORIZONTAL GROUND.
- ANCHOR SILT FENCE WITH COMPACTED BACKFILL ON TREE PROTECTION ZONES. DO NOT BURY.
- ALL EROSION CONTROL DEVICES SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM EVENT. IF ANY FAILURES ARE FOUND, THEY SHOULD BE REPAIRED AS SOON AS POSSIBLE.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, AND ANY APPLICABLE LOCAL LAWS AND CODES.
- SEDEMENT TRAPS AND BASINS NEED TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.
- STONE OUTLETS SHOULD BE INSTALLED AT LOW POINTS OF THE SILT FENCING, BASED ON FIELD CONDITIONS.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM CAN BE FOUND ON THE LAND QUALITY WEBSITE (HTTP://PORTAL.NCDEQ.ORG/WEB/EROSION). IF YOU HAVE QUESTIONS OF THE SELF-INSPECTION PROGRAM, PLEASE CONTACT (877) 623-4748.
- A LAND DISTURBANCE PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO ANY DISTURBANCE ON THE SITE.
- ALL CONSTRUCTION SHALL COMPLY WITH NCDEQ STANDARDS AND SPECIFICATIONS.
- LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. ALL EXISTING UTILITY LOCATIONS MUST BE INDEPENDENTLY VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- SITE GRADING AND EXCAVATION MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. EXCAVATION AND EARTH MOVING OPERATIONS MUST BE PERFORMED UNDER THE SUPERVISION OF THE OWNER'S GEOTECHNICAL ENGINEER.
- FOOTING EXCAVATIONS SHALL BE CONTINUOUSLY DEWATERED DURING CONSTRUCTION TO PREVENT SETTLEMENT AND SEDIMENT DEPOSIT.
- ALL TEMPORARY DIVERSIONS MUST BE INSTALLED WITH POSITIVE DRAINAGE AND SHALL OPPOSE EXISTING GRADE WHEN NECESSARY TO PROVIDE A MINIMUM OF 0.3% LONGITUDINAL SLOPE.
- ALL ADJACENT ROADWAYS TO THE SITE ARE TO BE SWEEPED (NOT WASHED) AT THE END OF EACH WORK DAY TO REMOVE SEDIMENT FROM THE ROAD SURFACE.
- ALL EROSION CONTROL MEASURES MUST BE INSPECTED AND PROPERLY MAINTAINED AT THE END OF EACH WEEK AND AFTER EVERY RAINFALL EVENT.
- INSTALL ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL PERFORM PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING. PARTICLES WHICH CAN BE PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER TO PREVENT PARTICLES FROM BECOMING AIRBORNE AND FROM EXISTING THE SITE PERIMETER. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATION ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH FEDERAL, LOCAL, AND STATE DUST CONTROL REGULATIONS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- EROSION CONTROL FEATURES SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THIS SITE BY CONTRACTOR. PERMETER CONTROL IS TO REMAIN FUNCTIONING FOR THE DURATION OF THE PROJECT. THE MONITORING AND INSPECTING OF EROSION CONTROL MEASURES SHOULD FOLLOW THE GUIDELINES OF THE NPDES

PHASE I EROSION CONTROL CONSTRUCTION SEQUENCE:

- POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION ENTRANCE AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC.
- STAKEFLAG THE LOD WHERE STAKING IS NOT POSSIBLE/PRACTICAL. THE LOD MUST BE CONSPICUOUSLY AND PROMINENTLY MARKED TO DENOTE THE BOUNDARY. LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
- INSTALL SILT FENCE, CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERMETER CONTROL BARRIERS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SET THE PROJECT OFFICE TRAILER.
- DEMOLISH EXISTING BUILDINGS AND STRUCTURES.
- CONSTRUCT SKIMMER SEDIMENT BASINS WITH APPROPRIATE OUTLET PIPES, AS SPECIFIED ON THE EROSION CONTROL PLANS. STABILIZE SLOPES AND FLOW LINE TEMPORARY DIVERSION DICES WITH SEED, FERTILIZER AND ROLLED EROSION CONTROL PRODUCTS AND LINERS AS SPECIFIED IN THE EROSION CONTROL PLANS.
- INSTALL STRAW AND NETTING AS SPECIFIED IN THE EROSION CONTROL DETAILS FOR THE LINER.
- CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF SITE FEATURES (PAVEMENT, CURB, ETC) WHEN REMOVING REMAINING PAVEMENT START DEMOLITION AT DIVERSION DIKES.
- BEGIN STRIPPING THE SITE (PHASE CLEARING AND GRUBBING TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME).

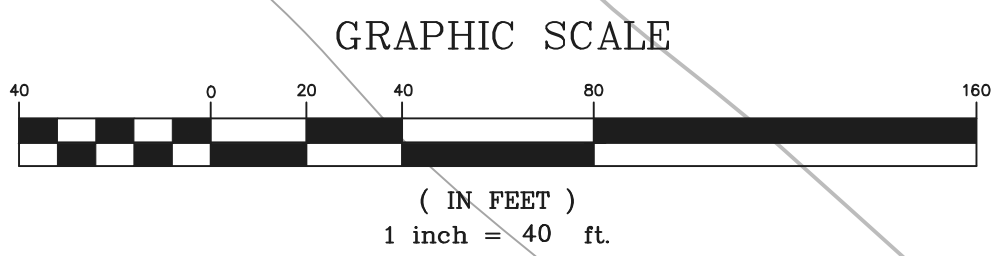
NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY WITH EROSION AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. THE CEC MUST APPROVE, IN WRITING, ANY CHANGES IN THE ABOVE IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.
THE ESTIMATED DATES OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR.

SEDIMENT POND #2
D.A. = 1.32 ACRES
STORAGE REQUIRED - 2,378 CF.
STORAGE SHOWN - 6614 CF.
SURFACE AREA REQUIRED - 1645 SF.
SURFACE AREA SHOWN - 2,209 SF.
BOTTOM ELEV. - 190.00
TOP ELEV. - 194.00
SKIMMER SIZE - 1.5"
ORIFICE SIZE - 1.5"

DETENTION/ WATER QUALITY POND #1
D.A. = 2.78 ACRES
STORAGE REQUIRED - 5010 CF.
STORAGE SHOWN - 23,590 CF.
SURFACE AREA REQUIRED - 3,462 SF.
SURFACE AREA SHOWN - 8,288 SF.
BOTTOM ELEV. - 190.00
TOP ELEV. - 194.00
SKIMMER SIZE - 2"
ORIFICE SIZE - 2"

LOT #3
N/F SCA VENTURES

CAUTION
THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



Seeding mixture Species	Rate (lb/acre)
German millet	40

In the Piedmont and Mountains, a small-stemmed Sudan grass may be substituted at a rate of 50 lb/acre.

Seeding dates
Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Re-fertilize if growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.

Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding dates
Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Re-fertilize if growth is not fully adequate. Re-seed, re-fertilize and mulch immediately following erosion or other damage.

Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120

Seeding dates
Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 30

Soil amendments
Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Repair and re-fertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.



BRC
BLACK ROCK CONSULTING, LLC
Sewer, Dunsmuir Park, Suite 115
Alamogordo, Georgia 30538
Ph: 770-395-6111 Fax: 770-395-6999

THOMAS CONCRETE OF THE CAROLINAS
3753 NATIONAL DRIVE
SUITE 124
RALEIGH, NORTH CAROLINA, 27612

Date	Revision	No	Project No.	Design By:	Drawn By:	Checked By:	Date:	Scale:
			90903	BDJ	BDJ	DB	1/20/17	1" = 40'

PHASE I EROSION CONTROL PLAN
SMITHFIELD BATCH PLANT
SMITHFIELD, NORTH CAROLINA

Drawing No. **5**



BLACK ROCK CONSULTING, LLC
Sewer, Damaged, Park, Suite 115
Alamogordo, Georgia 30538
Ph: 770-395-6111 Fax: 770-395-6999

THOMAS CONCRETE OF THE CAROLINAS
3753 NATIONAL DRIVE
SUITE 124
RALEIGH, NORTH CAROLINA, 27612

Project No.	Design By:	Drawn By:	Checked By:	Date:
90903	BDJ	BDJ	DB	1/20/17

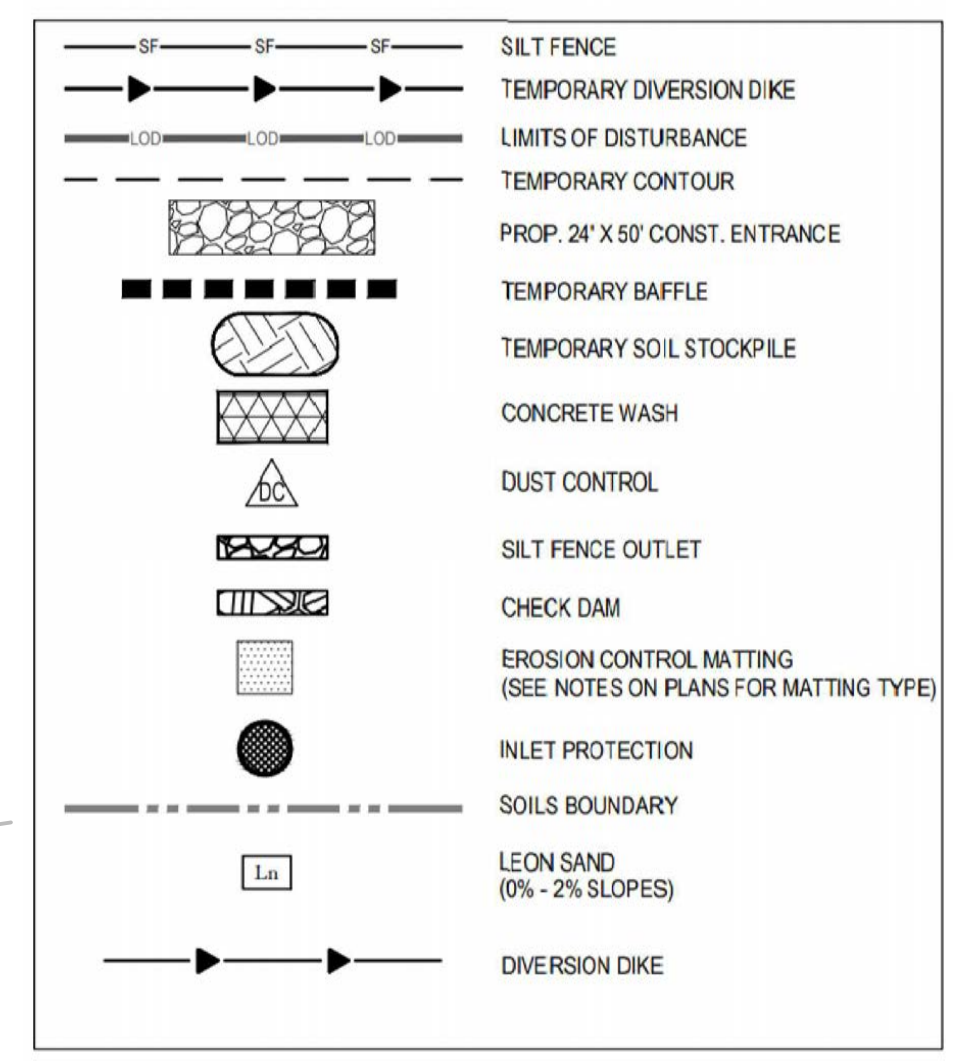
PHASE II EROSION CONTROL PLAN
SMITHFIELD BATCH PLANT
SMITHFIELD, NORTH CAROLINA



NPDES Stormwater Discharge Permit for Construction Activities (N0001) NCDEQ/Division of Energy, Mineral and Land Resources

STABILIZATION TIMEFRAMES (Effective Aug. 3, 2015)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

EROSION CONTROL LEGEND



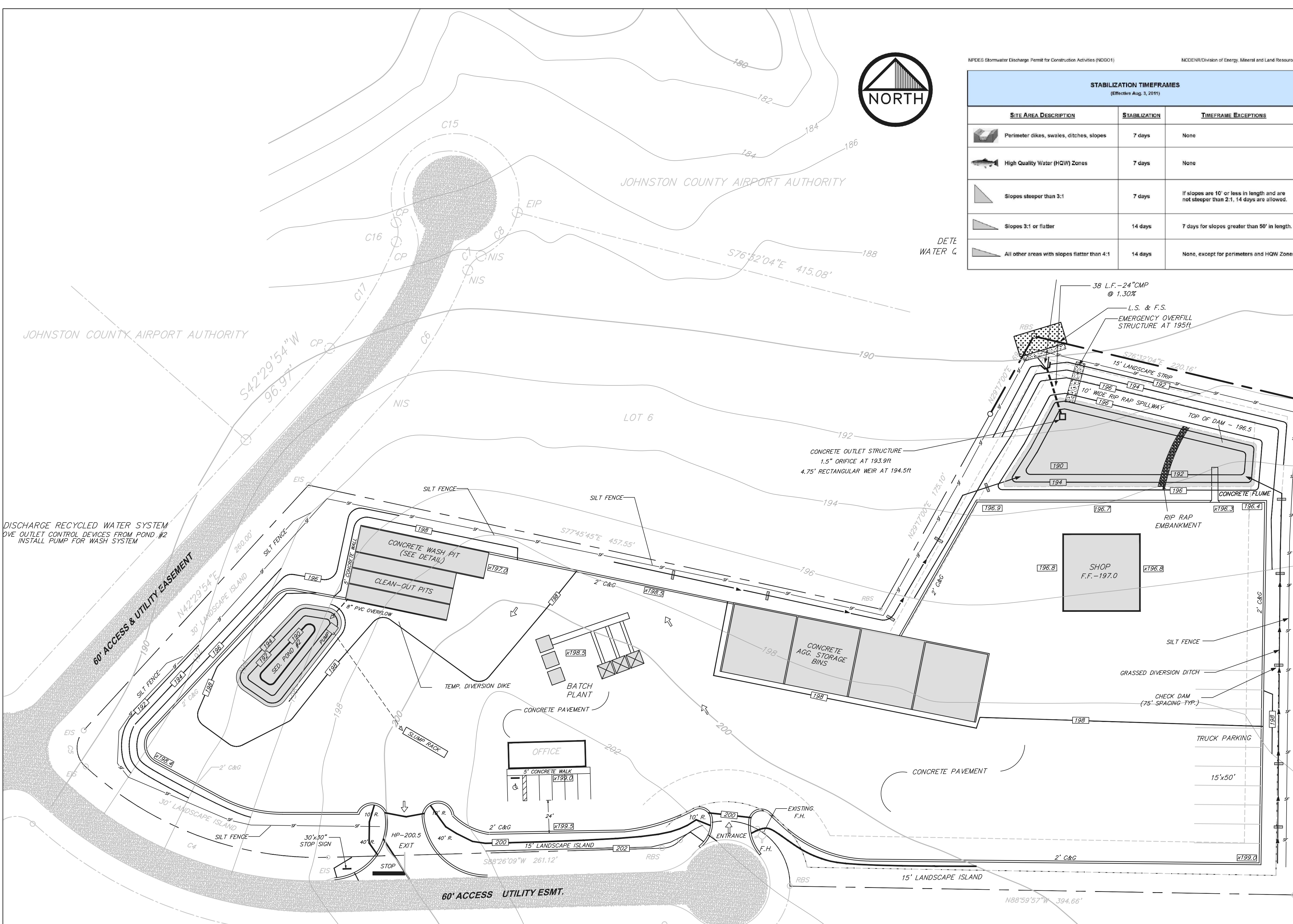
NCDEQ EROSION AND SEDIMENT CONTROL NOTES

- ON-SITE BURIAL PITS ARE NOT ALLOWED AT ANY LOCATION WITHIN TOWN OF SMITHFIELD.
- RES PIPE ENTERING PERMANENT BASIN IS AN EQUALIZER PIPE.
- WATER LINE WORK IN OFF-SITE AREA WILL ONLY COMPLETE AS MUCH AS CAN BE STABILIZED IN ONE DAY.
- ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION SHOWN ON THIS PLAN IS SUBJECT TO A FINE.
- GROUND STABILIZATION MUST OCCUR WITHIN 7 DAYS ON PERIMETER AREAS AND SLOPES GREATER THAN 3:1, AND GROUND STABILIZATION MUST OCCUR WITHIN 14 DAYS ON OTHER AREAS.
- BASH OUTLET STRUCTURES WITH DRAINAGE AREAS EQUAL OR GREATER THAN ONE ACRE MUST WITHDRAW WATER FROM THE SURFACE.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE NCDEQ EROSION CONTROL INSPECTOR.
- ALL ELEVATIONS ARE IN REFERENCE TO THE SURVEYORS BENCHMARK WHICH MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, AND ANY APPLICABLE LOCAL LAWS AND CODES.
- PERMANENT CUT AND FILL SLOPES PLACED ON A SUITABLE FOUNDATION SHOULD BE CONSTRUCTED AT 2:1 (HORIZONTAL TO VERTICAL) OR FLATTER. PERMANENT SLOPES OF 3:1 SHOULD BE CONSTRUCTED WHERE MOVING IS DESIRABLE AND AS INDICATED. IF FILL MATERIAL IS BROUGHT ONTO THE PROPERTY OR IF WASTE MATERIAL IS HAULED FROM THE PROPERTY THEN THE CONTRACTOR SHALL DISCLOSE THE LOCATION OF ANY ON-SITE AND/OR OFF-SITE BARRROW LOCATION AND/OR WASTE BURIAL LOCATION TO THE EROSION CONTROL INSPECTOR.
- LIMITS OF CLEARING SHOWN ARE BASED ON CUT AND FILL SLOPES OR OTHER GRADING REQUIREMENTS.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES AS INDICATED PRIOR TO GRADING OPERATIONS. NO DEVICE MAY BE REMOVED WITHOUT APPROVAL OF EROSION CONTROL COORDINATOR.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.
- ALL DISTANCES ARE HORIZONTAL GROUND.
- ANCHOR SILT FENCE WITH COMPACTED BACKFILL ON TREE PROTECTION ZONES. DO NOT BURY.
- ANY ASSOCIATED EROSION PERMITS AND METHODS OF DEMOLITION ARE TO BE OBTAINED AND ARRANGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- SEDIMENT TRAPS AND BASINS NEED TO BE STABILIZED IMMEDIATELY AFTER INSTALLATION.
- STONE OUTLETS SHOULD BE INSTALLED AT LOW POINTS OF THE SILT FENCING, BASED ON FIELD CONDITIONS.
- EFFECTIVE OCTOBER 1, 2010, PERSONS RESPONSIBLE FOR LAND DISTURBING ACTIVITIES MUST INSPECT A PROJECT AFTER EACH PHASE OF CONSTRUCTION TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. SELF-INSPECTION REPORTS ARE REQUIRED. A SAMPLE SELF-INSPECTION REPORT, AS WELL AS DETAILS OF THE SELF-INSPECTION PROGRAM CAN BE FOUND ON THE LAND QUALITY WEBSITE (HTTP://PORTAL.NCDEQ.ORG/WEB/EROSION). IF YOU HAVE QUESTIONS OF THE SELF-INSPECTION PROGRAM, PLEASE CONTACT (877) 623-4748.
- A LAND DISTURBANCE PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO ANY DISTURBANCE ON THE SITE.
- ALL CONSTRUCTION SHALL COMPLY WITH NCDEQ STANDARDS AND SPECIFICATIONS.
- LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN FROM THE BEST AVAILABLE RECORDS AND FROM A SURVEY OF ABOVE GROUND FEATURES. ALL EXISTING UTILITY LOCATIONS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- SITE GRADING AND EXCAVATION MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. EXCAVATION AND EARTH MOVING OPERATIONS MUST BE PERFORMED UNDER THE SUPERVISION OF THE OWNER'S GEOTECHNICAL ENGINEER.
- FOOTING EXCAVATIONS SHALL BE CONTINUOUSLY DEWATERED DURING CONSTRUCTION TO PREVENT SETTLEMENT AND SEDIMENT DEPOSIT.
- ALL TEMPORARY DIVERSIONS MUST BE INSTALLED WITH POSITIVE DRAINAGE AND SHALL OPPOSE EXISTING GRADE WHEN NECESSARY TO PROVIDE A MINIMUM OF 0.3% LONGITUDINAL SLOPE.
- ALL ADJACENT ROADWAYS TO THE SITE ARE TO BE SWEEPED (NOT WASHED) AT THE END OF EACH WORK DAY TO REMOVE SEDIMENT FROM THE ROAD SURFACE.
- ALL EROSION CONTROL MEASURES MUST BE INSPECTED AND PROPERLY MAINTAINED AT THE END OF EACH WEEK AND AFTER EVERY RAINFALL EVENT.
- INSTALL ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL PERFORM PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING. PARTICLES WHICH CAN BE PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER TO PREVENT PARTICLES FROM BECOMING AIRBORNE AND FROM EXISTING THE SITE PERIMETER. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATION ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH FEDERAL, LOCAL, AND STATE DUST CONTROL REGULATIONS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- CONTRACTOR SHALL PERFORM PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING. PARTICLES WHICH CAN BE PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER TO PREVENT PARTICLES FROM BECOMING AIRBORNE AND FROM EXISTING THE SITE PERIMETER. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATION ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH FEDERAL, LOCAL, AND STATE DUST CONTROL REGULATIONS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- CONTRACTOR SHALL PERFORM PRACTICES AND PROCEDURES WHICH MINIMIZE AND PREVENT AIRBORNE DUST OR OTHER PARTICLES FROM OCCURRING. PARTICLES WHICH CAN BE PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH A TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER TO PREVENT PARTICLES FROM BECOMING AIRBORNE AND FROM EXISTING THE SITE PERIMETER. WATER TRUCKS OR OTHER DUST CONTROL AGENTS SHALL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATION ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH FEDERAL, LOCAL, AND STATE DUST CONTROL REGULATIONS. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

PHASE I EROSION CONTROL CONSTRUCTION SEQUENCE

- POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION ENTRANCE AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC.
- STAKE/FLAG THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY AND PROMINENTLY MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
- INSTALL SILT FENCE, CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL BARRIERS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SET THE PROJECT OFFICE TRAILER.
- DEMOLISH EXISTING BUILDINGS AND STRUCTURES.
- CONSTRUCT SKIMMER SEDIMENT BASINS WITH APPROPRIATE OUTLET PIPES, AS SPECIFIED ON THE EROSION CONTROL PLANS.
- INSTALL TEMPORARY DIVERSION CHANNELS AS SPECIFIED ON THE EROSION CONTROL PLANS. STABILIZE SLOPES AND FLOW LINE TEMPORARY DIVERSION DICES WITH SEED, FERTILIZER AND ROLLED EROSION CONTROL PRODUCTS AND LINERS AS SPECIFIED IN THE EROSION CONTROL PLANS. INSTALL STRAW AND NETTING AS SPECIFIED IN THE EROSION CONTROL DETAILS FOR THE LINER.
- CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF SITE FEATURES (PAVEMENT, CURB, ETC.) WHEN REMOVING REMAINING PAVEMENT START DEMOLITION AT DIVERSION DIKES.
- BEGIN STRIPPING THE SITE (PHASE CLEARING AND GRUBBING) TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF PRECEDING BARRIERS AND STABILIZATION ACTIVITIES HAVE BEEN COMPLETELY INSTALLED. THE CEC MUST APPROVE, IN WRITING, ANY CHANGES IN THE ABOVE IMPLEMENTATION SEQUENCE, BEFORE THEIR IMPLEMENTATION BEGINS.
THE ESTIMATED DATES OF IMPLEMENTATION OF POLLUTION CONTROL MEASURES SHALL BE DOCUMENTED BY THE CONTRACTOR.



Seeding mixture Species	Rate (lb/acre)
German millet	40

In the Piedmont and Mountains, a small-stemmed Sudan grass may be substituted at a rate of 50 lb/acre.

Seeding dates
Mountains—May 15 - Aug 15
Piedmont—May 1 - Aug 15
Coastal Plain—Apr. 15 - Aug. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Refer to growth if not fully adequate. Reseed, refer to growth and mulch immediately following erosion or other damage.

Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding dates
Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Refer to growth if not fully adequate. Reseed, refer to growth and mulch immediately following erosion or other damage.

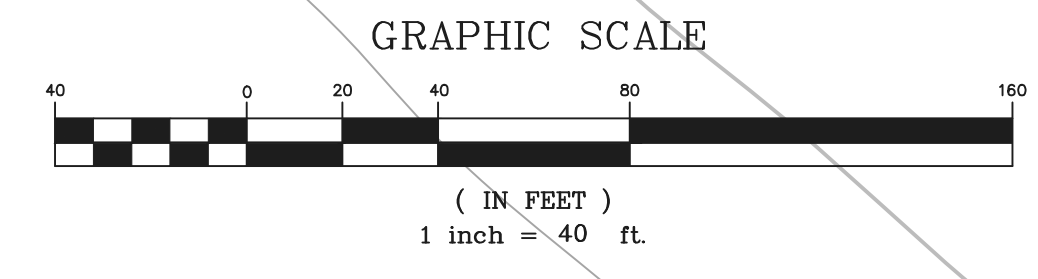
Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120

Seeding dates
Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 30

Soil amendments
Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Repair and refer to growth immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.



LOT #3
N/F SCA VENTURES

CAUTION
THE UTILITIES SHOWN HEREON ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

LANDSCAPE SPECIFICATIONS

- 1. SCOPE OF WORK:**
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- 2. MATERIALS**
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOUDS.
C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
1.1. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE FREE WITH A UNIFORM THICKNESS.
1.2. SOD SHALL BE PEGGED TO HOLD SOLID IN PLACE.
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOLID IN PLACE.
D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED DARK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
E. FERTILIZER
1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
F. PLANT MATERIAL
1.1. ALL PLANT'S SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60-1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLOSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
G. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
H. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
I. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISH-FENCE," OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE PERIMETER OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
J. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISSED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12" USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
K. FINISHED GRADING
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1 1/2").
C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
L. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
1.1. 20 POUNDS 'GROW POWER' OR APPROVED EQUAL
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

- 9. PLANTING**
A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHOULD OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
1.1. PLANTS: MARCH 15 TO DECEMBER 15
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPORT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON.

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERIA	QUERCUS VARIETIES
LIQUIDAMBER STYRACFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES

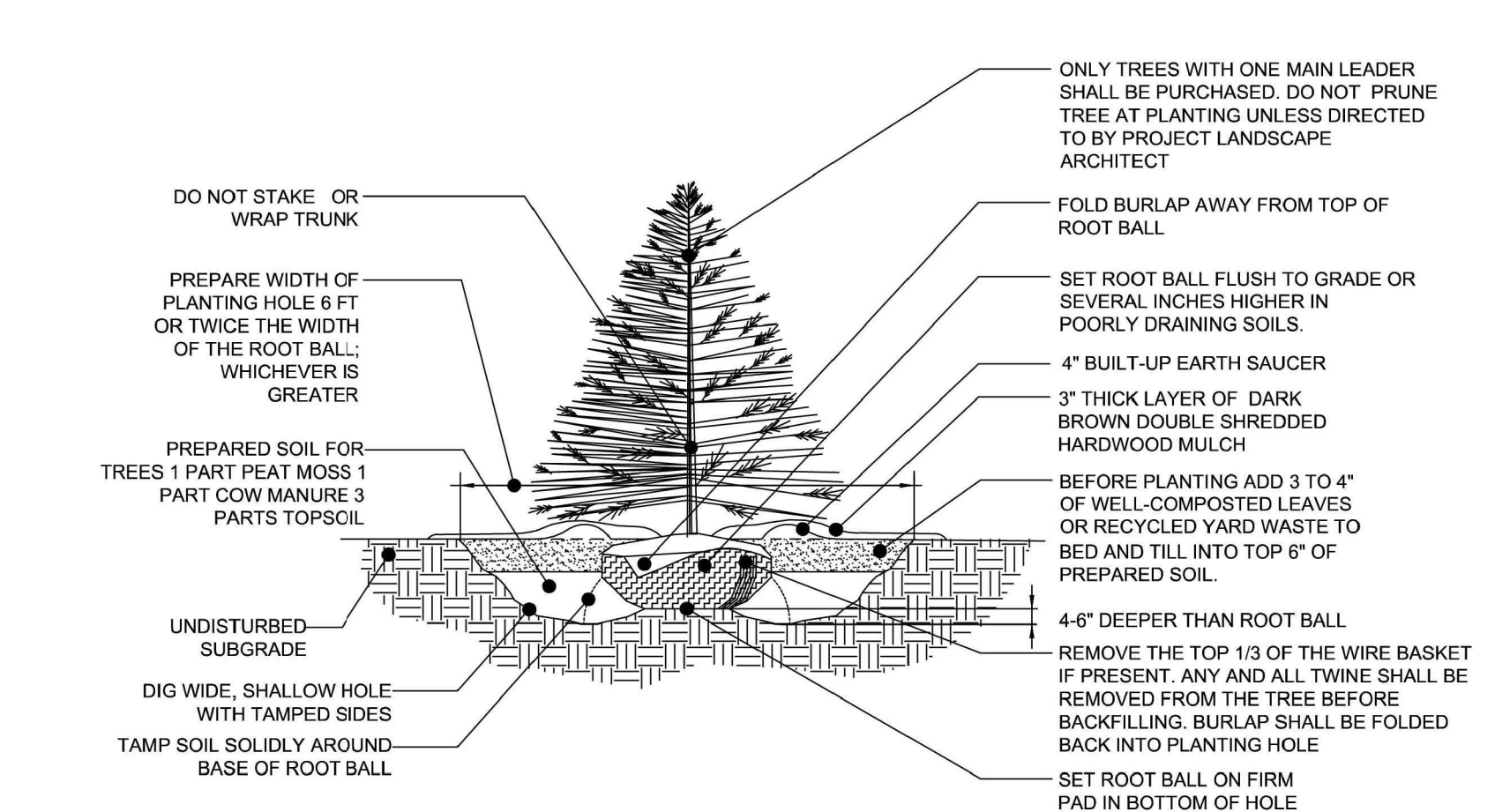
- I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
• 1 PART PEAT MOSS
• 1 PART COMPOSTED COW MANURE BY VOLUME
• 3 PARTS TOPSOIL BY VOLUME
• 21 GRAMS 'AGRIFORM PLANTING TABLETS' (OR APPROVED EQUAL) AS FOLLOWS:
A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

- 10. TRANSPLANTING (WHEN REQUIRED)**
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH SHALL BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

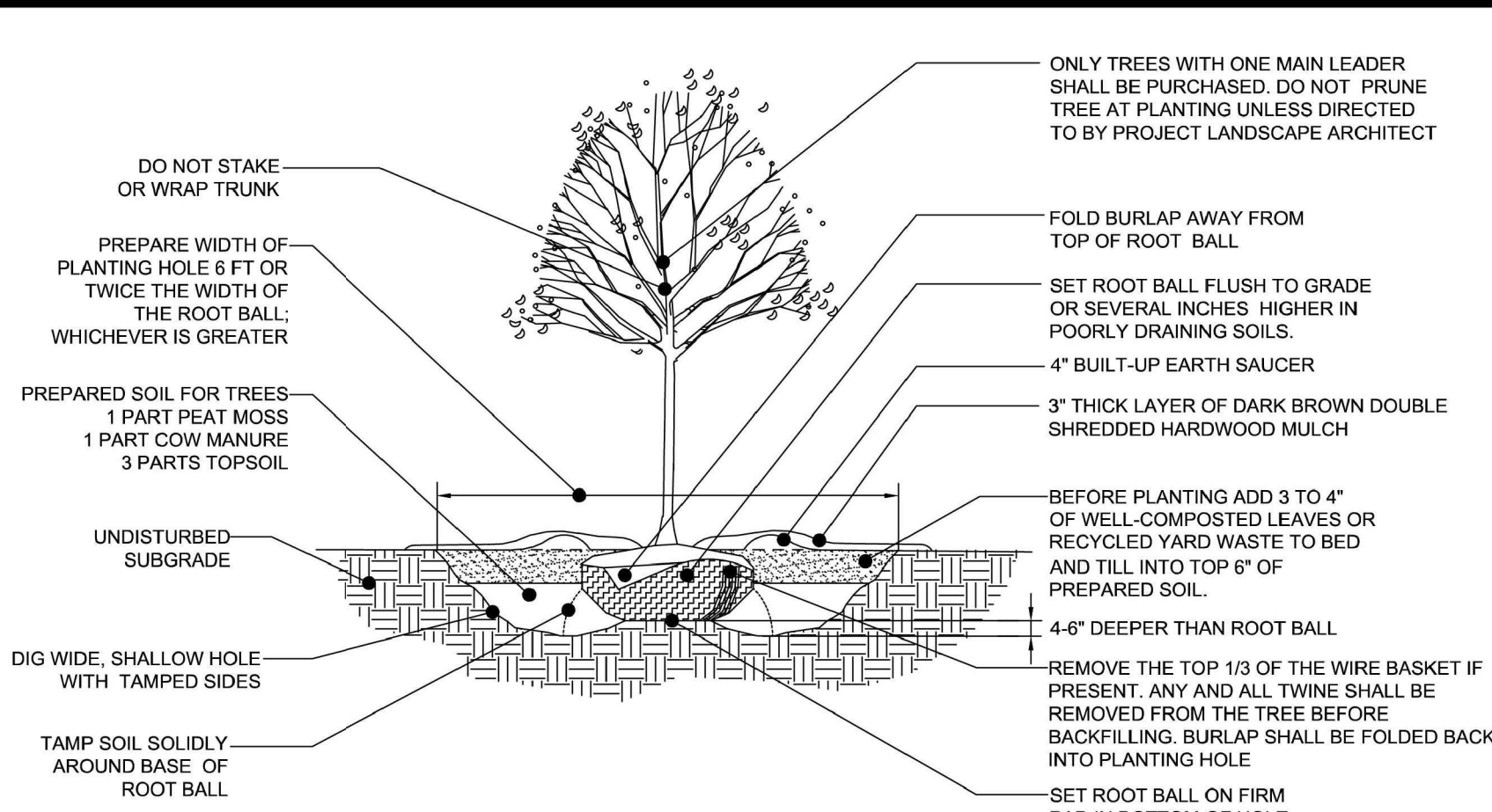
- 11. WATERING**
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

- 12. GUARANTEE**
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

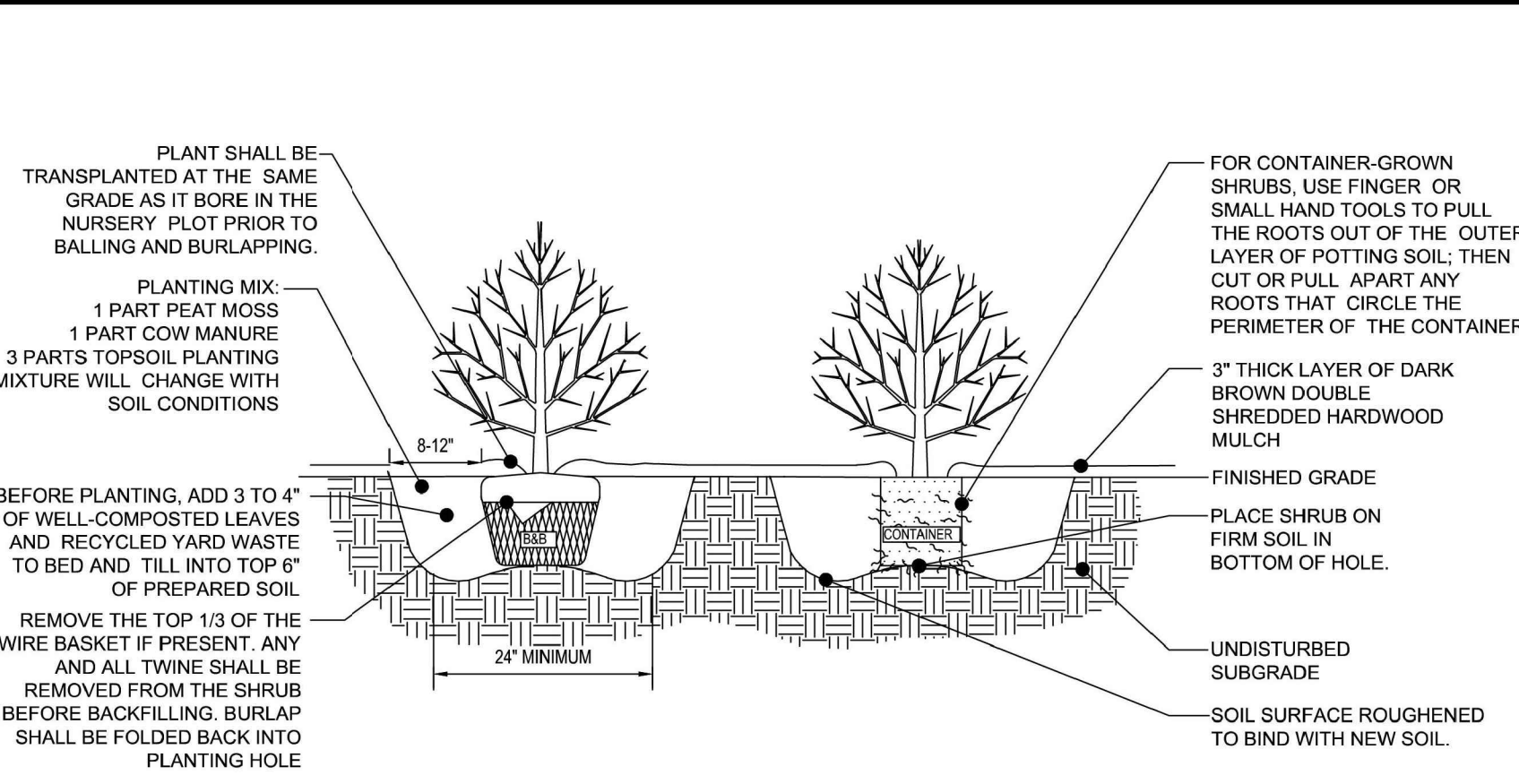
- 13. CLEANUP**
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



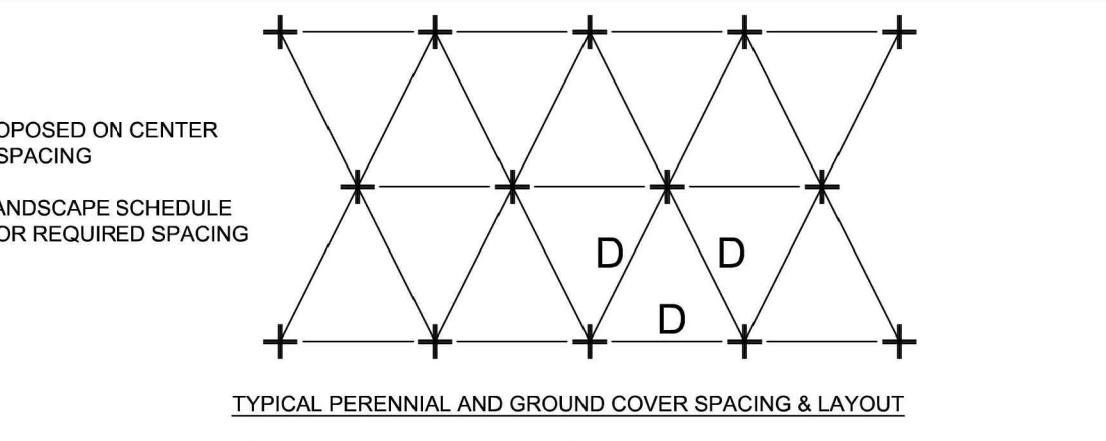
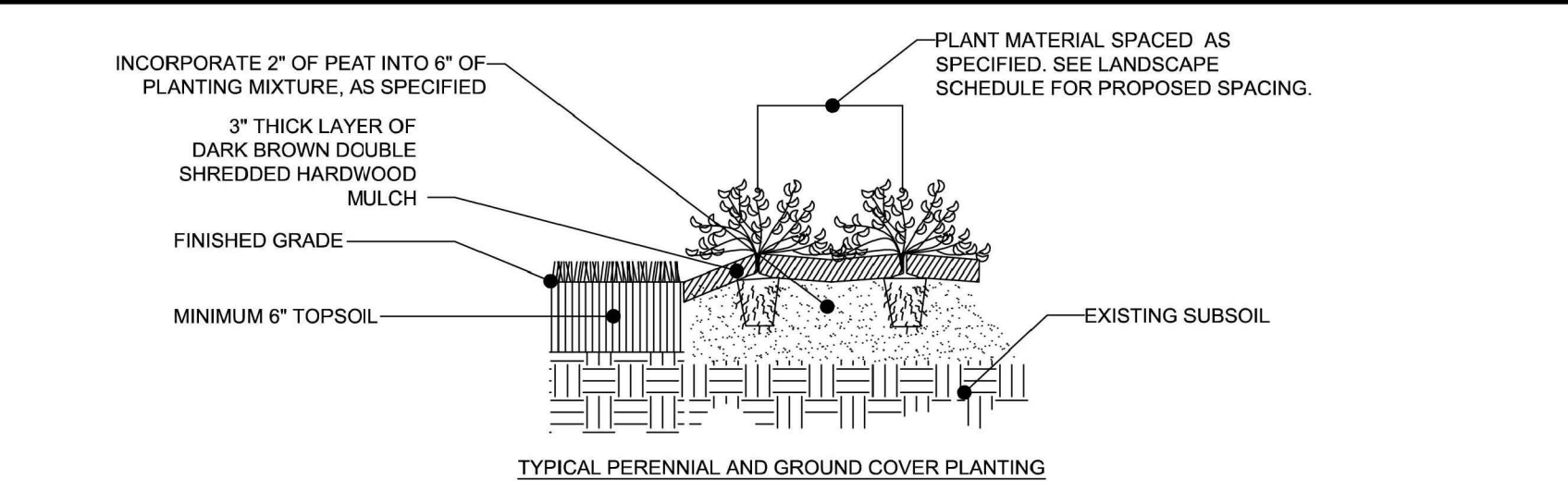
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



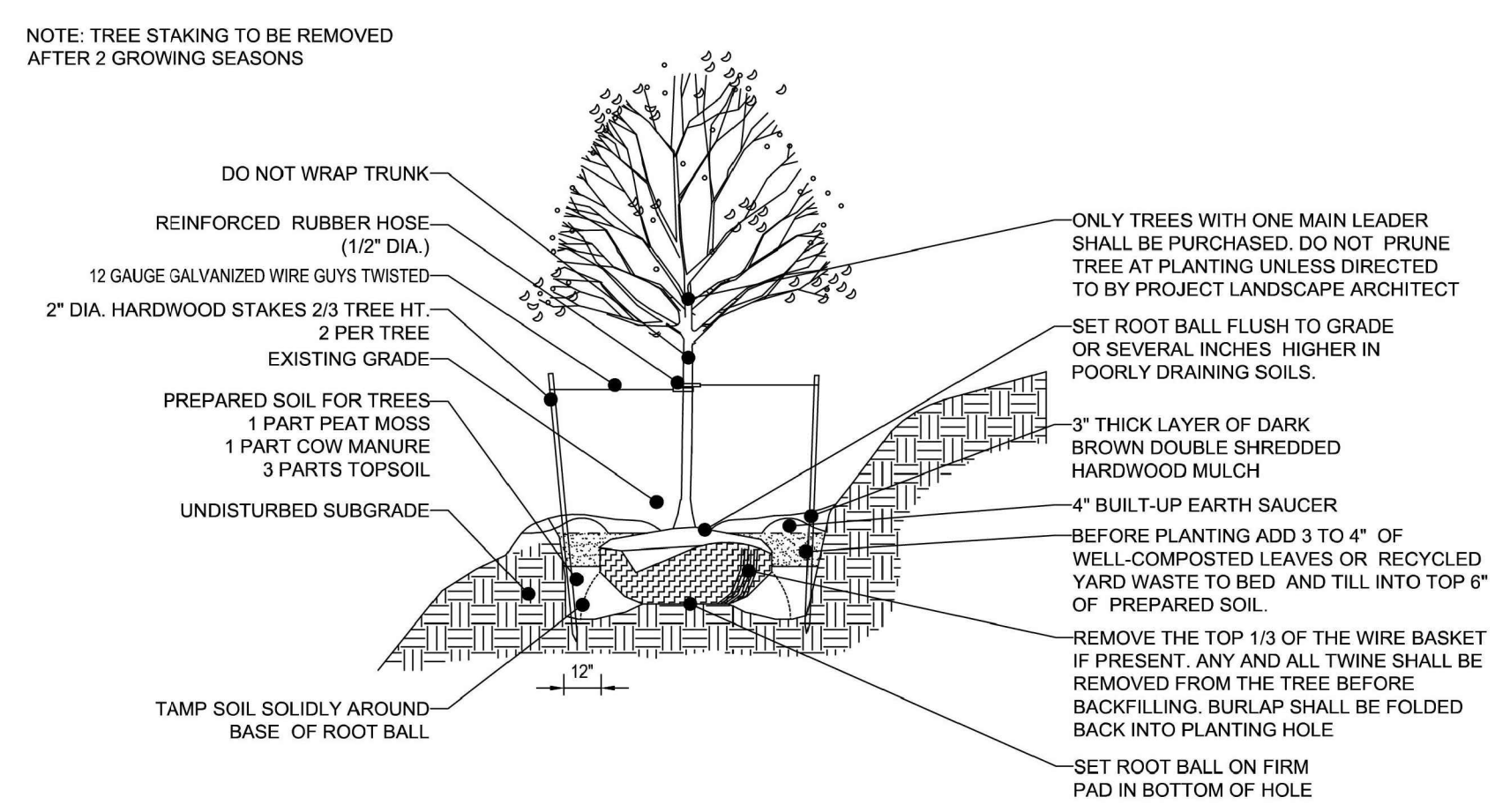
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE



PERENNIAL/GROUND COVER PLANTING DETAIL
NOT TO SCALE



TREE PLANTING ON SLOPE DETAIL
NOT TO SCALE

OWNER MAINTENANCE RESPONSIBILITIES

- UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
 - TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
 - VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
 - FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.
- THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEE THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

BLACK ROCK CONSULTING, LLC
Professional Engineer
No. 24507
William B. Dunlap
Sawnee Dunwoody Park, Suite 115
Atlanta, Georgia 30328
Ph: 770-395-6111 Fax: 770-395-6999

THOMAS CONCRETE OF THE CAROLINAS
3753 NATIONAL DRIVE
SUITE 124
RALEIGH, NORTH CAROLINA, 27612

Project No.	Design By:	Drawn By:	Checked By:	Date:	Scale:
90903	BDJ	BDJ	DB	1/20/17	N/A

LANDSCAPE DETAILS
SMITHFIELD BATCH PLANT
SMITHFIELD, NORTH CAROLINA

Drawing No. **8**
Grading Plan.dwg

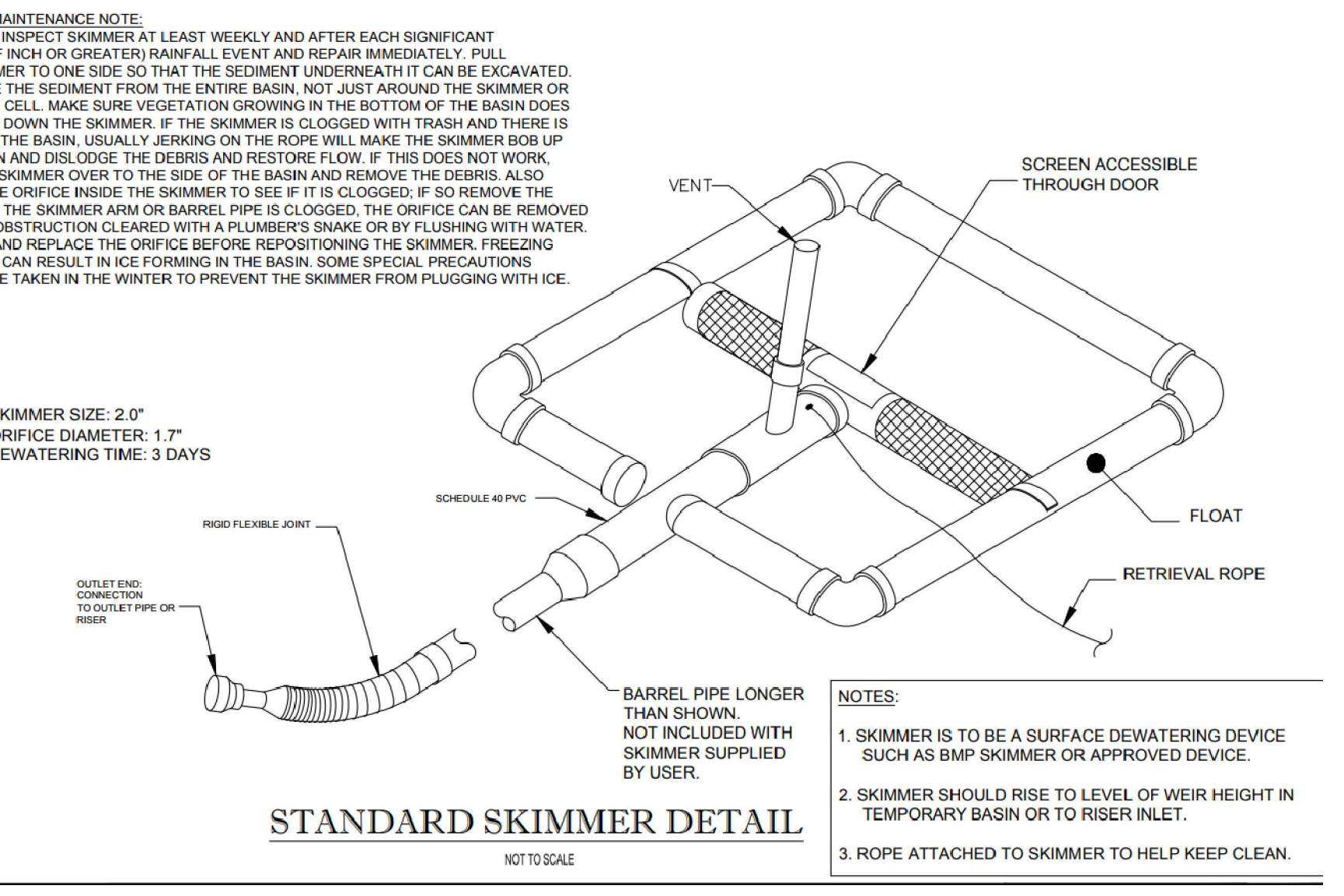
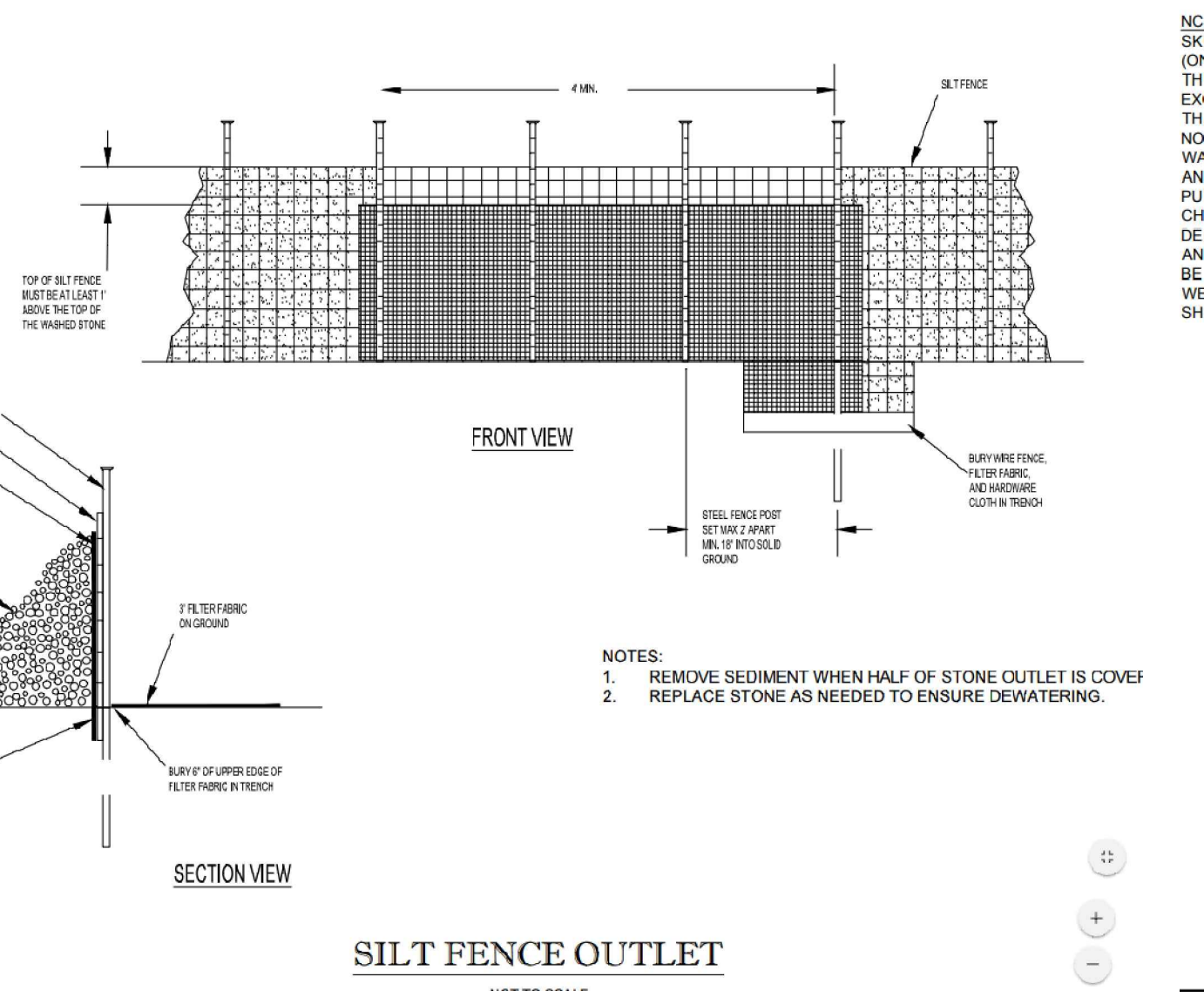
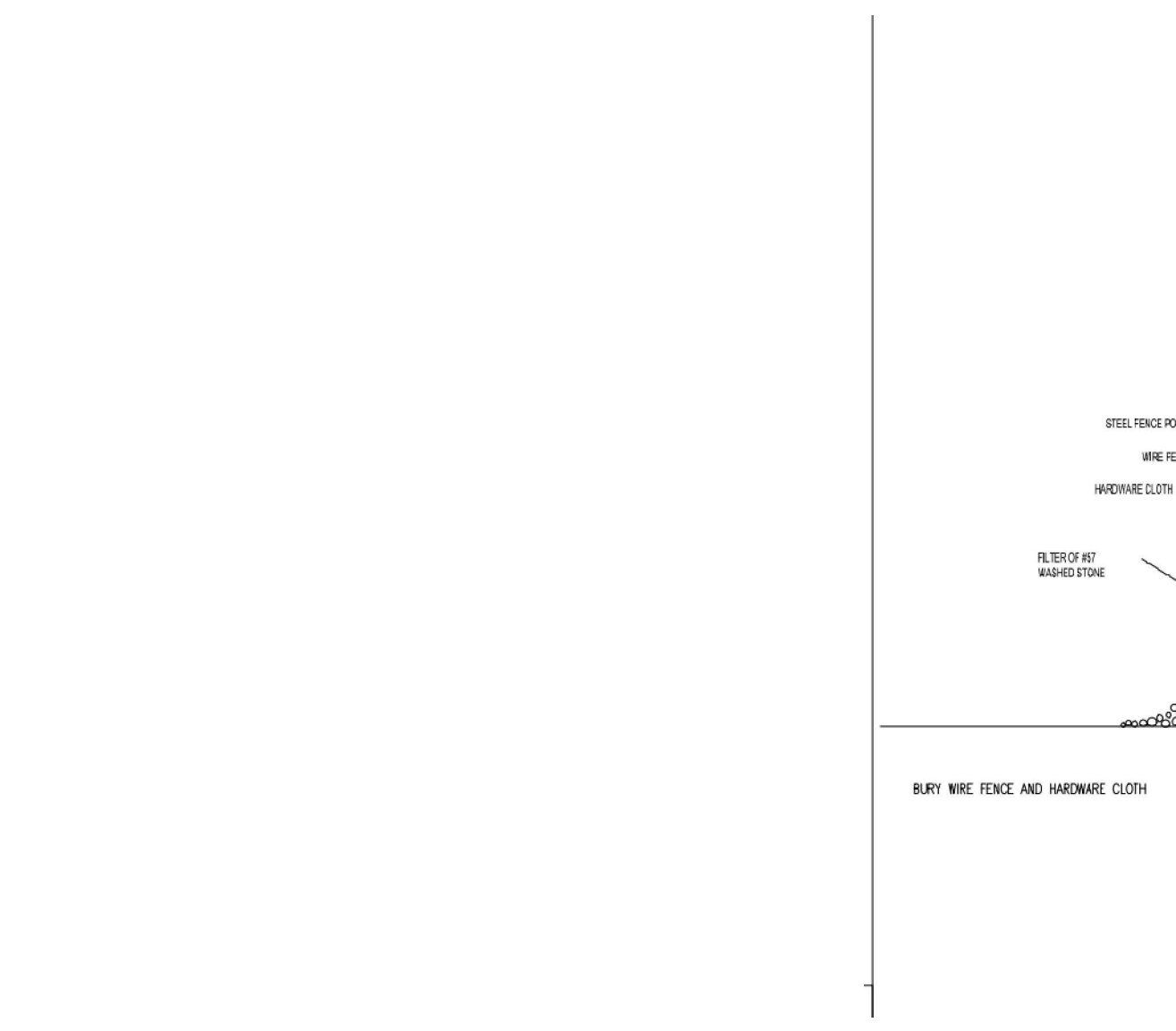
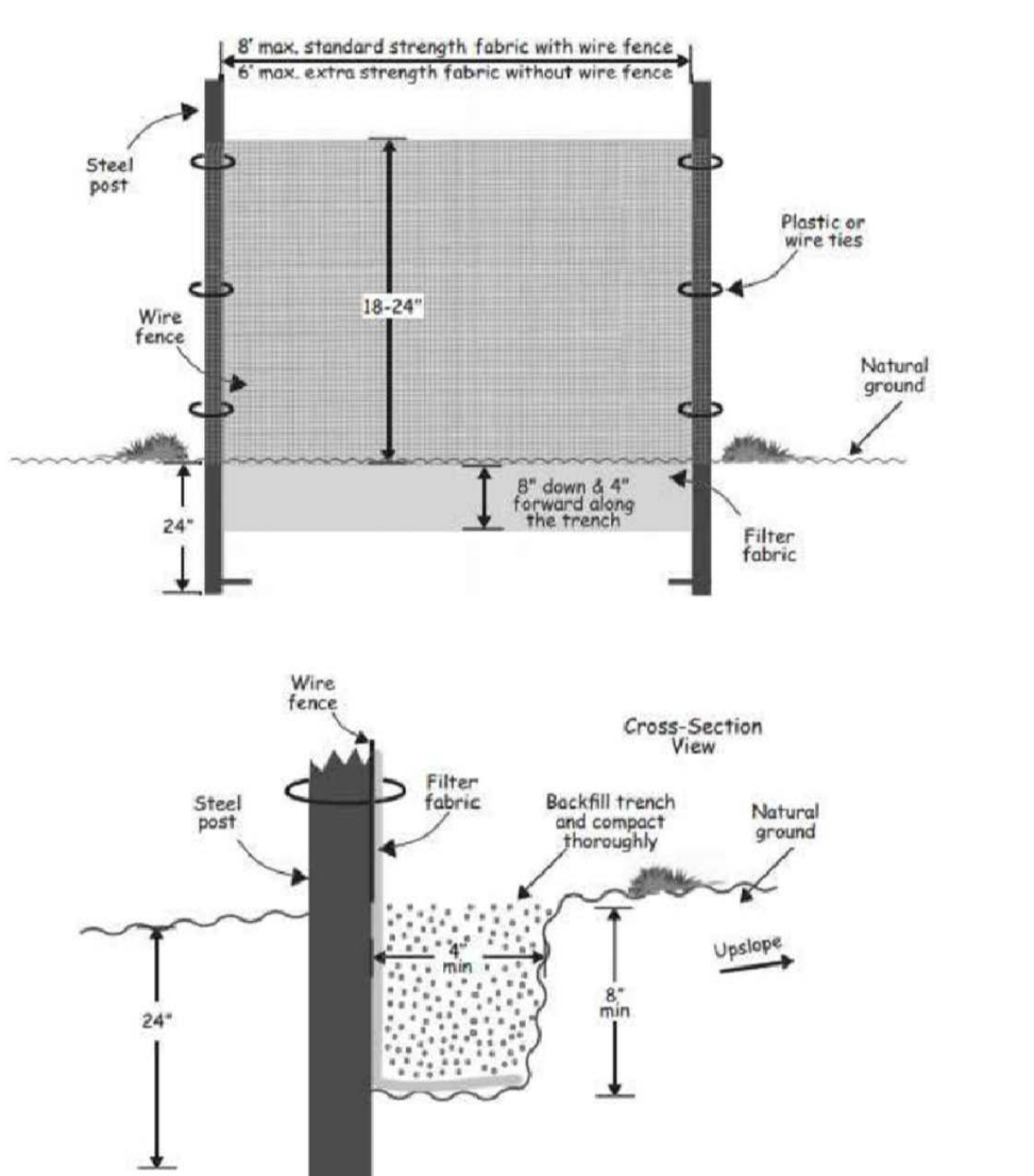
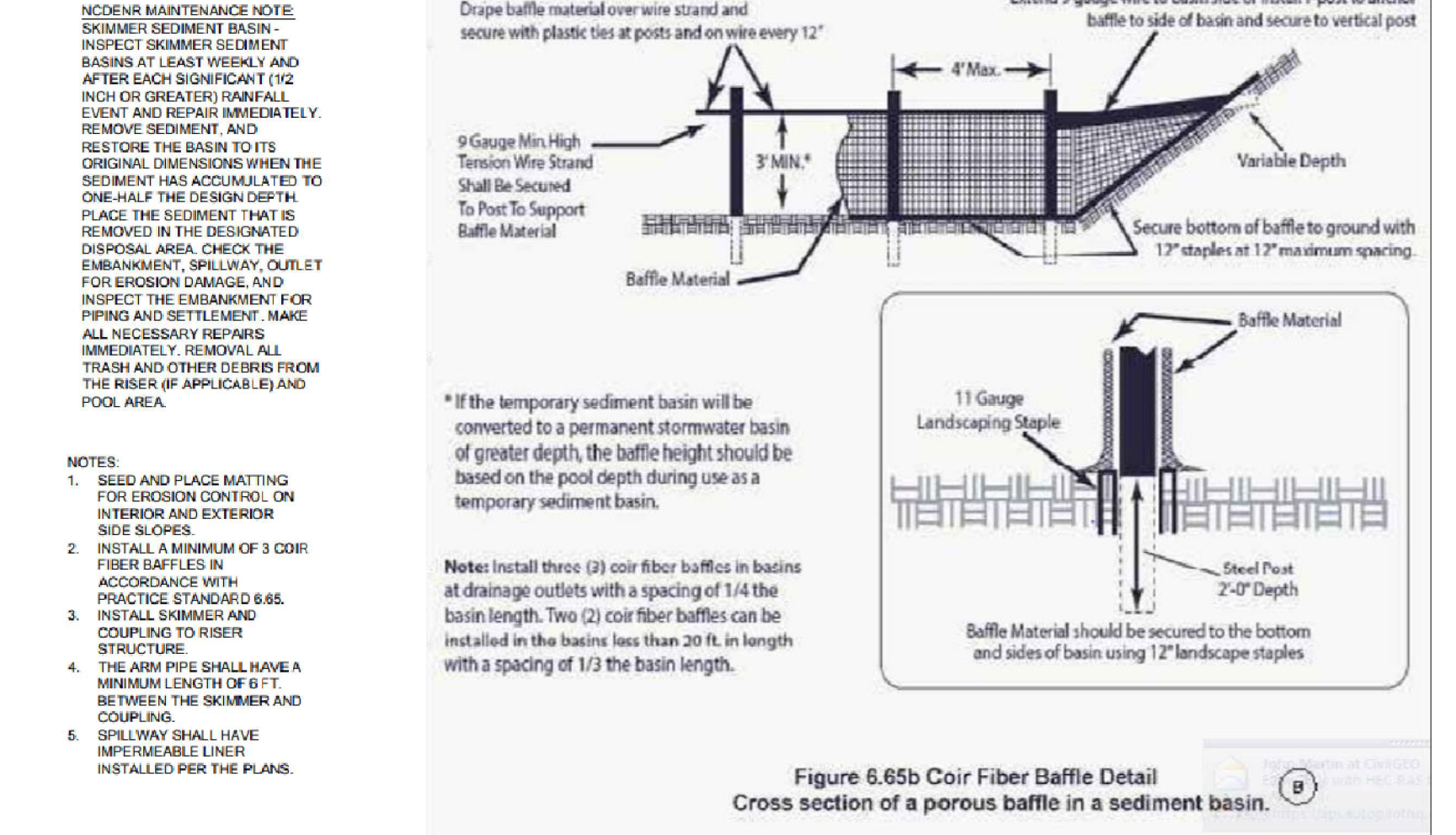
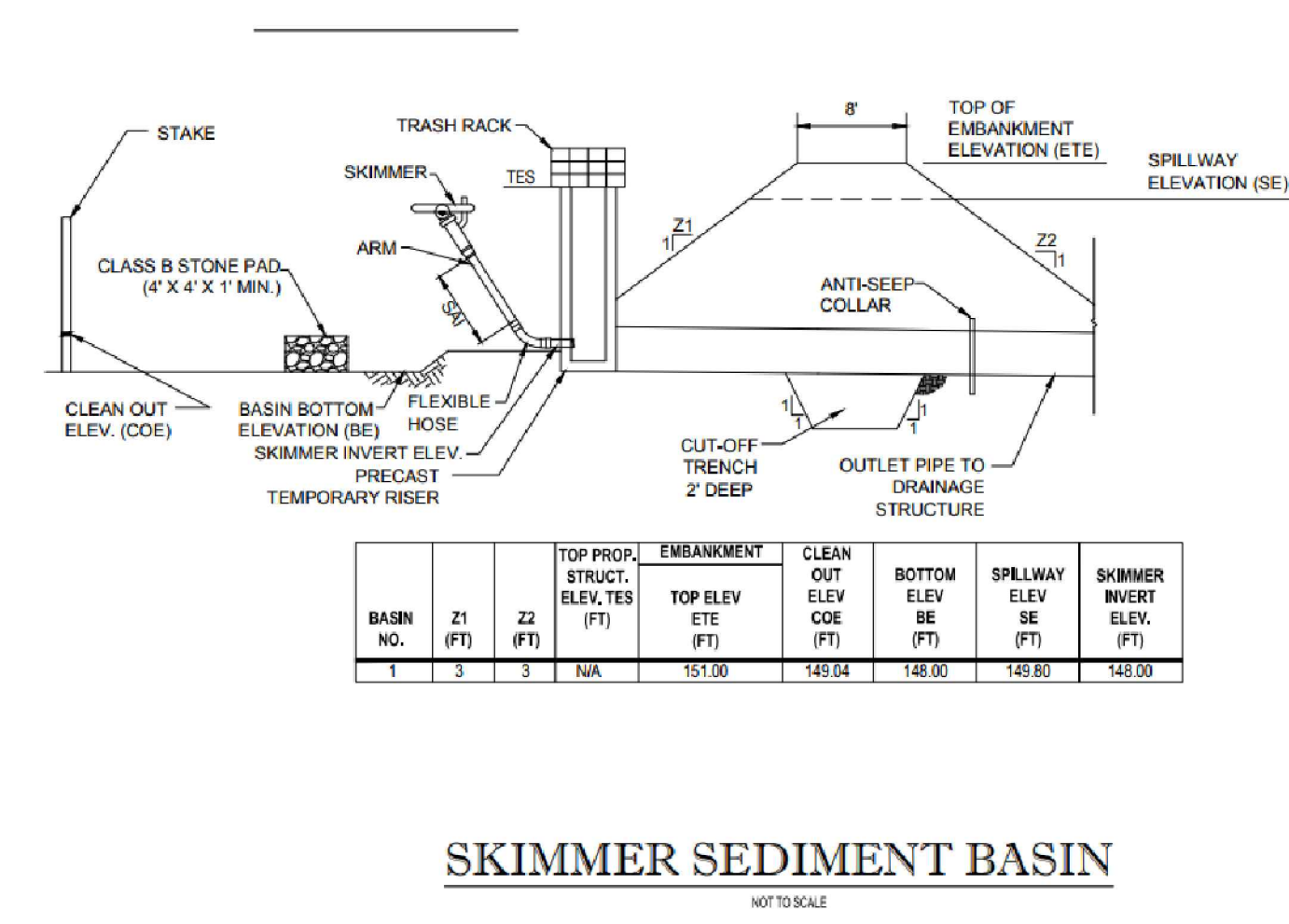
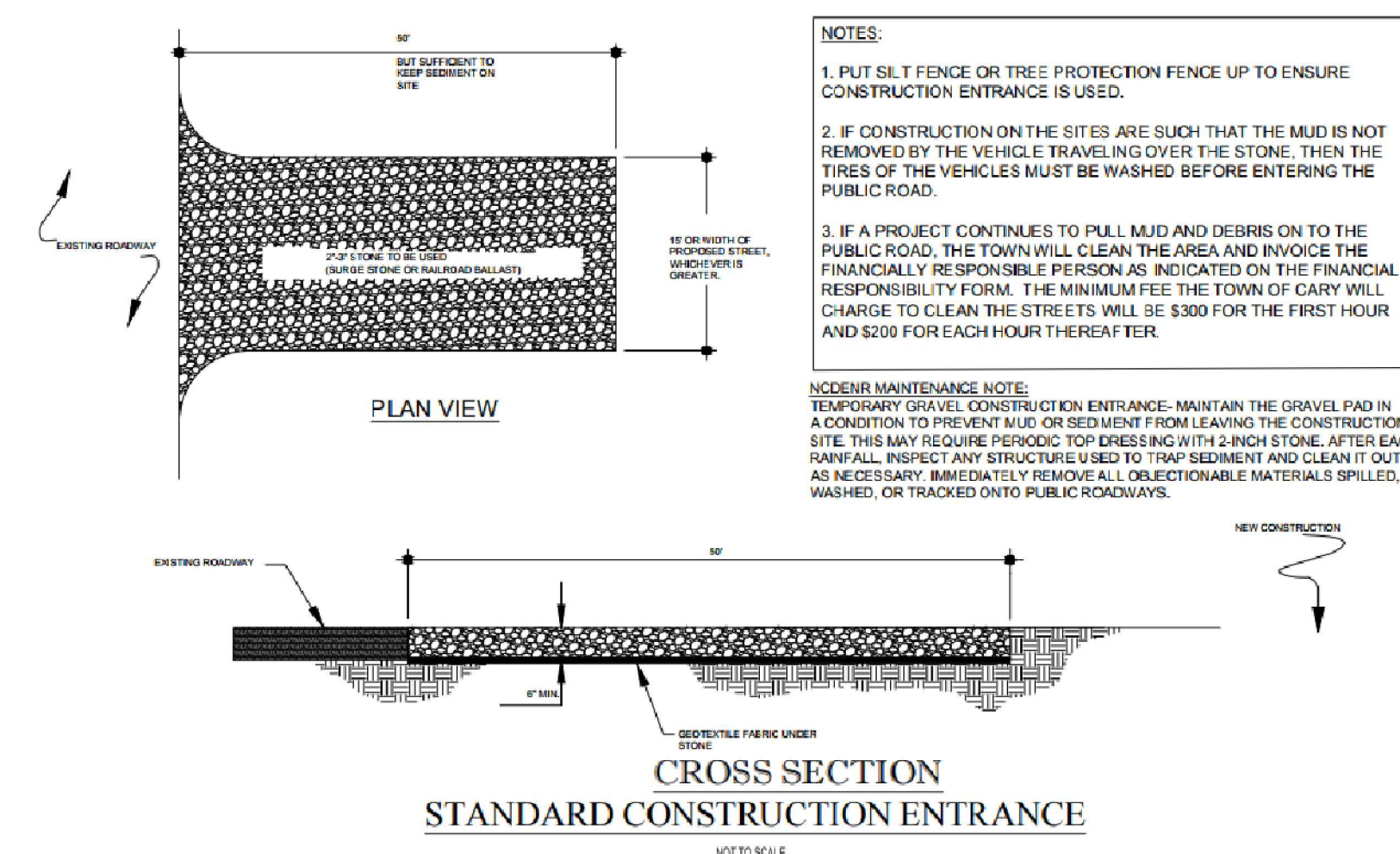


TABLE 1 Temporary Silt Fence Material Property Requirements

Test Method	Units	Supported Silt Fence	Unsupported Silt Fence
Machine Direction	ASTM D 4632	N (lbs)	400 (90)
X-Machine Direction	ASTM D 4491	sec-1	0.05
Apparent Opening Size	ASTM D 4751	mm (US Sieve #)	0.80 (30)
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 500 h of exposure

Silt fence support shall consist of 14 gage steel wire with a mesh spacing of 150 mm (6 in.) or prefabricated polymer mesh of equivalent strength. These default values are based on empirical evidence with a variety of sediments. For environmentally sensitive areas, a review of previous experience and/or site or regionally specific geotextile tests in accordance with Test Method D 5141 should be performed by the agency to confirm suitability of these requirements. As measured in accordance with Test Method D 4632.

TABLE 1 TAKEN FROM ASTM D 8461-99 (2007)

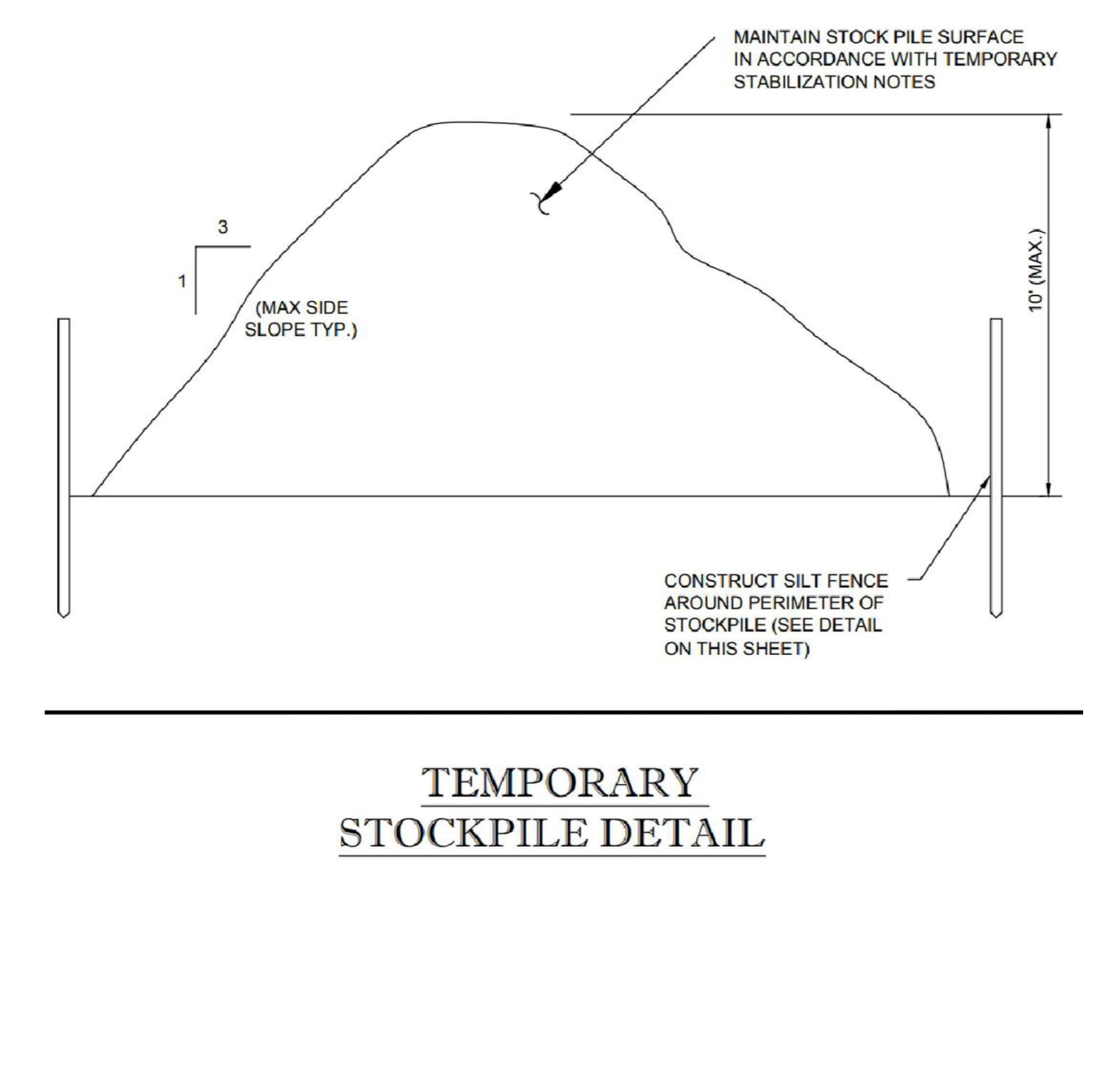
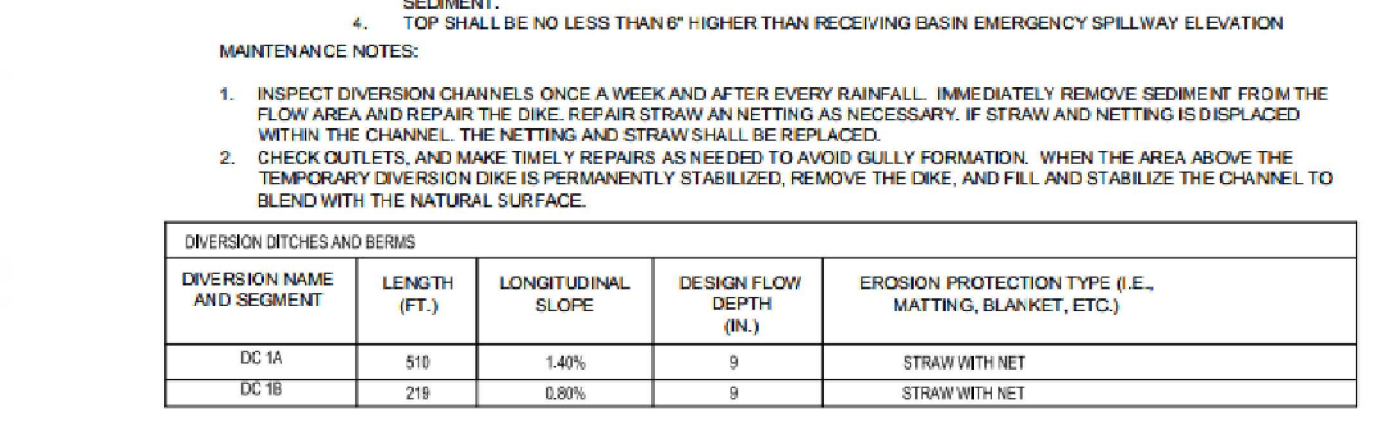
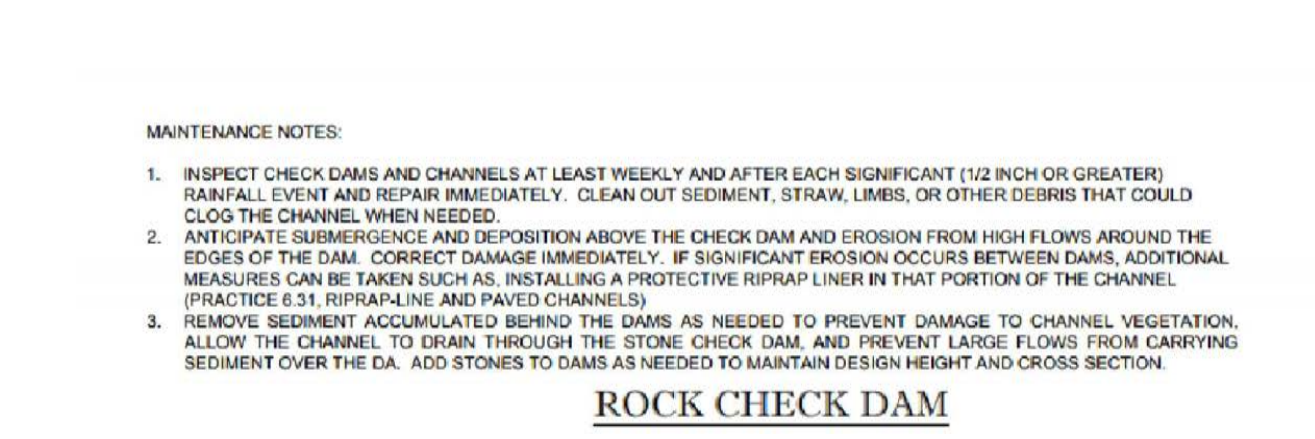
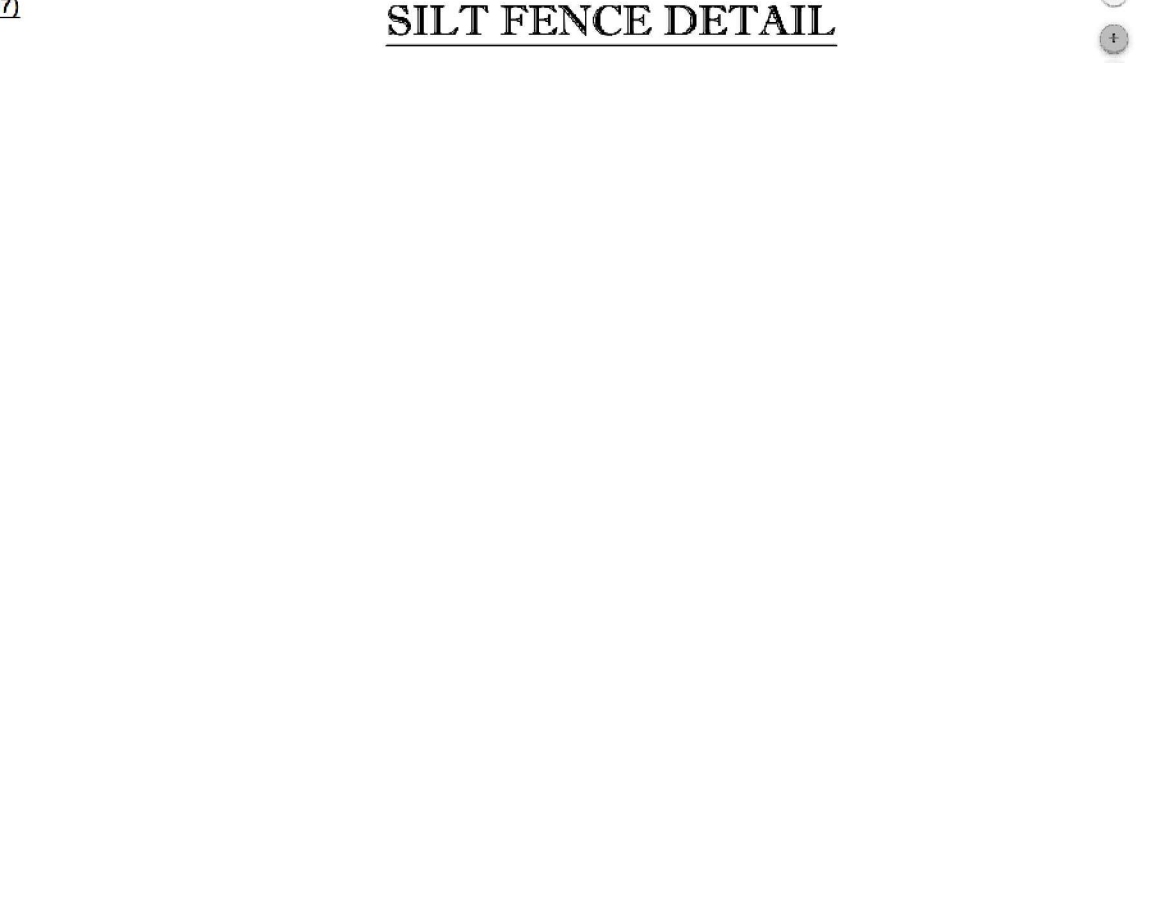
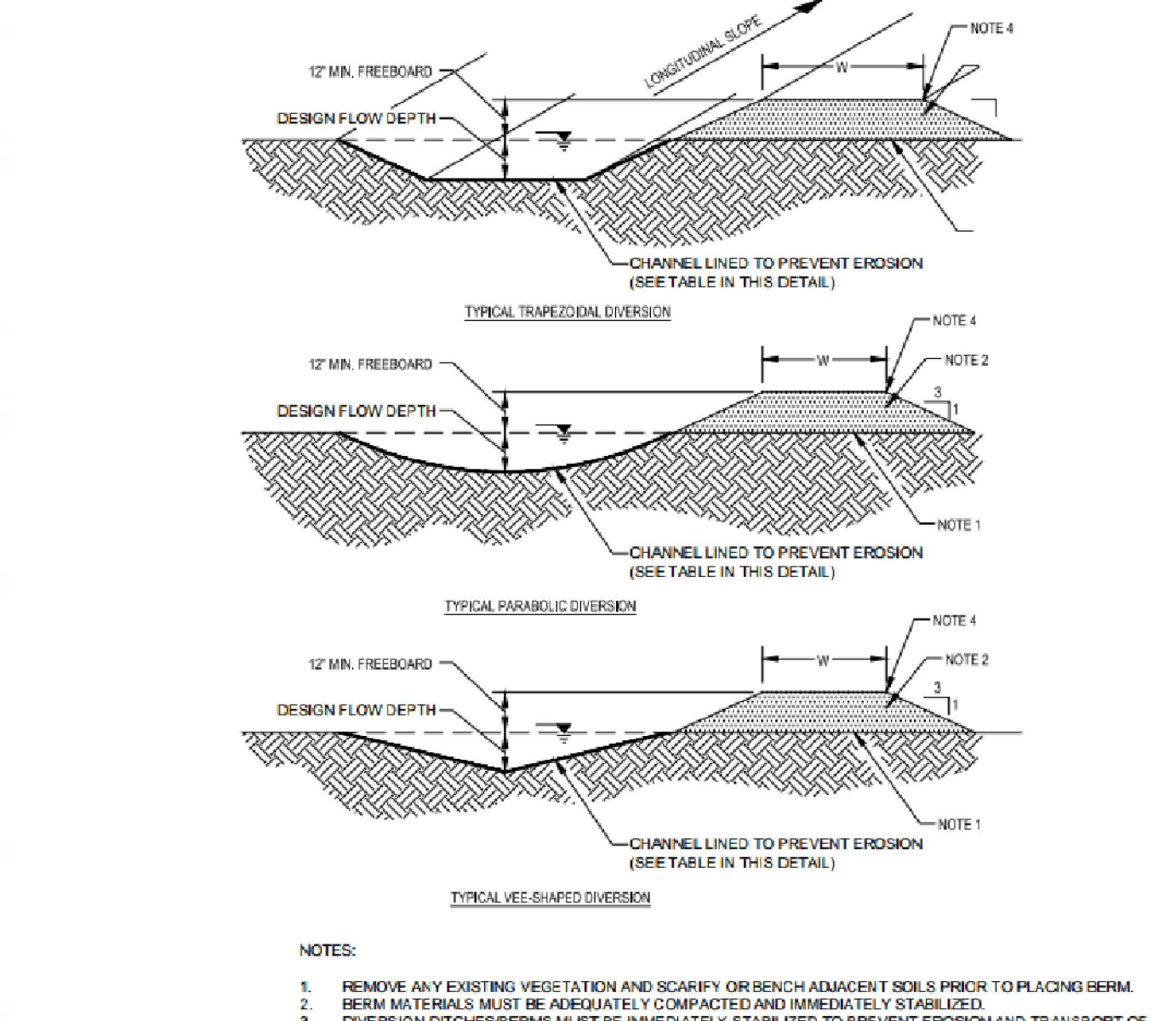
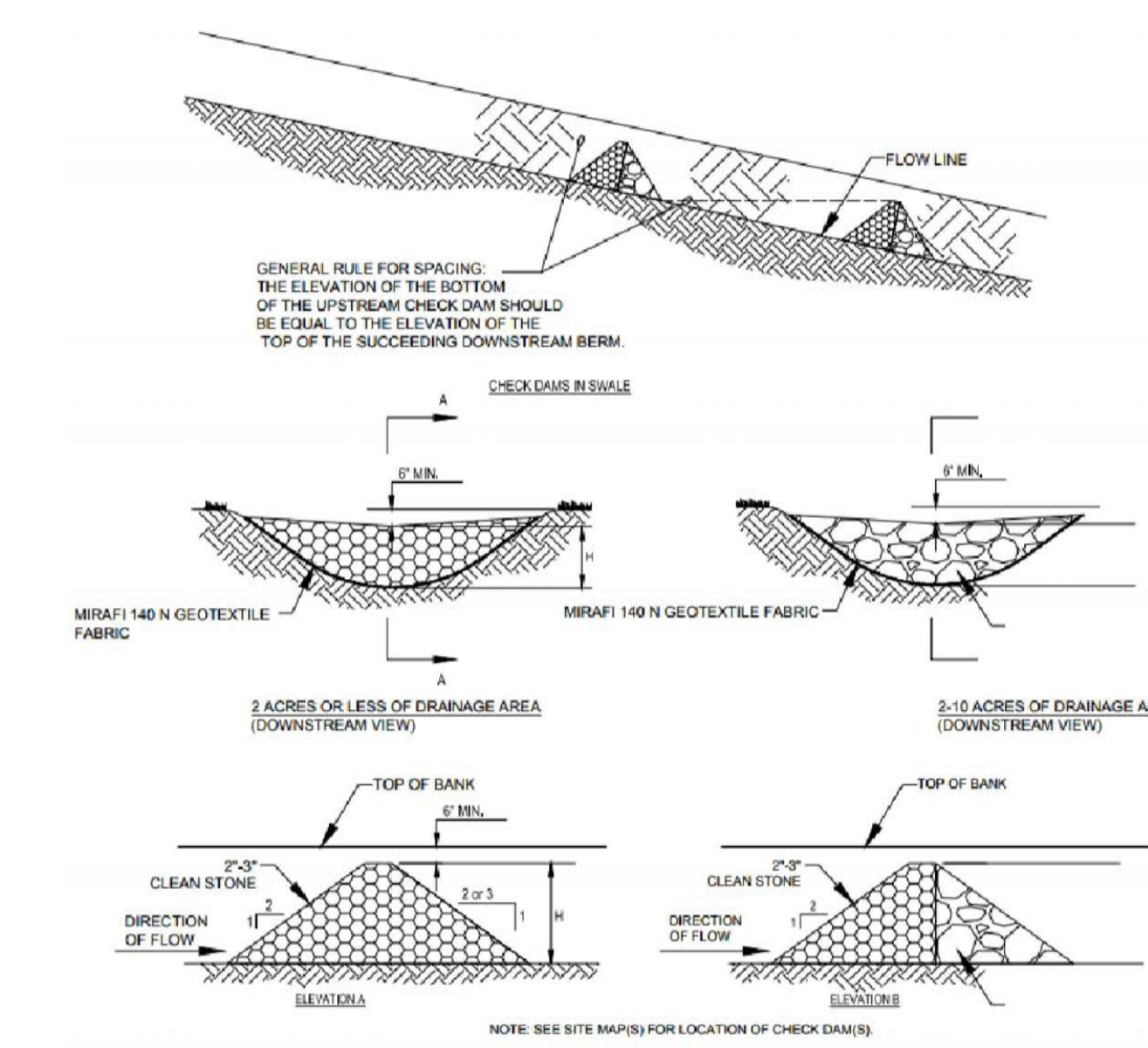


TABLE 1 Temporary Silt Fence Material Property Requirements

Test Method	Units	Supported Silt Fence	Unsupported Silt Fence
Machine Direction	ASTM D 4632	N (lbs)	400 (90)
X-Machine Direction	ASTM D 4491	sec-1	0.05
Apparent Opening Size	ASTM D 4751	mm (US Sieve #)	0.80 (30)
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 500 h of exposure

TABLE 1 Temporary Silt Fence Material Property Requirements

Test Method	Units	Supported Silt Fence	Unsupported Silt Fence
Machine Direction	ASTM D 4632	N (lbs)	400 (90)
X-Machine Direction	ASTM D 4491	sec-1	0.05
Apparent Opening Size	ASTM D 4751	mm (US Sieve #)	0.80 (30)
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 500 h of exposure

TABLE 1 Temporary Silt Fence Material Property Requirements

Test Method	Units	Supported Silt Fence	Unsupported Silt Fence
Machine Direction	ASTM D 4632	N (lbs)	400 (90)
X-Machine Direction	ASTM D 4491	sec-1	0.05
Apparent Opening Size	ASTM D 4751	mm (US Sieve #)	0.80 (30)
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 500 h of exposure

TABLE 1 Temporary Silt Fence Material Property Requirements

Test Method	Units	Supported Silt Fence	Unsupported Silt Fence
Machine Direction	ASTM D 4632	N (lbs)	400 (90)
X-Machine Direction	ASTM D 4491	sec-1	0.05
Apparent Opening Size	ASTM D 4751	mm (US Sieve #)	0.80 (30)
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 500 h of exposure

BLACK ROCK CONSULTING, LLC
Seven, Dumwoody Park, Suite 115
Dunwoody, Georgia 30328
Ph: 770-395-8111 Fax: 770-395-6989

THOMAS CONCRETE OF THE CAROLINAS
3733 NATIONAL DRIVE
RALEIGH, NORTH CAROLINA, 27613

EROSION AND SEDIMENT CONTROL DETAILS
SMITHFIELD CONCRETE PLANT

Project No. 90903
Design By: BDU
Drawn By: BDU
Checked By: DB
Date: 1/20/17
Scale: AS SHOWN

SMITHFIELD, NORTH CAROLINA

Drawing No. **9**
Details.dwg