

PLANNING BOARD AGENDA

Members:

Chairman: Stephen Upton (Town) Vice-Chairman: Mark Lane (ETJ)

Doris Wallace(Town) Michael Johnson (Town) Sloan Stevens (Town Alt) Ashley Spain (ETJ) Alisa Bizzell (Town) Debbie Howard (Town)

Stephen Wensman, AICP, ALA, Planning Director Mark Helmer, AICP, CZO, Senior Planner Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, August 5, 2021 Meeting Time: 6:00 p.m. Meeting Place: Council Chambers, Smithfield Town Hall

PLANNING BOARD AGENDA

FOR REGULAR MEETING August 5, 2021 MEETING TIME: 6:00 PM TOWN HALL COUNCIL CHAMBERS

Call to Order.

Identify voting members.

Approval of the agenda.

Approval of the minutes for July 8, 2021.

New Business.

CZ-21-06 Marin Woods Subdivision: The applicant is requesting to rezone one parcel of land totaling 31.56 acres from the R-8 (Residential) and R-20A (Residential-Agricultural) zoning district to the R-8 CZ (Residential-Conditional Zoning) district for the construction of a 143-lot residential subdivision. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

<u>S-21-03 Marin Woods Subdivision</u>: The applicant is requesting preliminary subdivision approval of a 31.56 acre tract of land for the creation of 143 residential lots to be located within an R-8 CZ (Residential-Conditional Zoning) district. The property considered for preliminary subdivision approval is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

RZ-21-02 Kimberly Gower Johnson: The applicant is requesting to rezoning five parcels of land totaling 69.26 acres from the B-3(Highway Entrance Business) and R-20A (Residential-Agricultural) zoning district to the LI (Light-Industrial) zoning district. The properties considered for rezoning are located on the east and west side of US Hwy 70 Business West approximately 670 feet south of its intersection with Barbour Road. The properties are furth identified as Johnston County Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A.

Old Business.

Adjournment.

DRAFT Town of Smithfield Planning Board Minutes Thursday, July 8th, 2021 Town Hall Council Chambers 6:00 PM

> Members Absent: Ashley Spain Michael Johnson

Members Present: Chairman Stephen Upton Vice Chairman Mark Lane Debbie Howard Doris Wallace Sloan Stevens Alisa Bizzell

<u>Staff Present:</u> Mark Helmer, Senior Planner Director Julie Edmonds, Administrative Assistant <u>Staff Absent:</u> Stephen Wensman, Planning

CALL TO ORDER

Chairman Stephen Upton suggested that the board vote to amend the agenda and hear CZ-21-04 third and move CZ-21-03 to the last item of the night. CZ-21-05 that's on the original agenda has been omitted.

AMENDED AGENDA

Mark Lane made a motion to approve the agenda as amended, seconded by Michael Johnson. Unanimously approved.

APPROVAL OF MINUTES from May 6, 2021

Debbie Howard made a motion, seconded by Sloan Stevens to approve the minutes as written. Unanimously approved

NEW BUSINESS:

RZ-21-01 Rhonda Miller: Rhonda Miller is requesting the rezoning of two properties consisting of Tract 2 (3.58 acres) and Tract 3 (6.579 acres) from B-3 to R-20A. The properties are located near the southwest corner of Hill Road and US 70 East Business. Tract 2 starts approximately 360 feet south of the intersection and Tract 3 is about 600 feet south of the intersection. The properties are not located within a floodplain. The parcels, Tract 2 and Tract 3, are split zoned between the B-3 and R 20A.

The applicant is planning to construct detached single-family homes on each lot and would like the properties to be zoned R-20A. The applicant also owns Tract 1 with a B-3 zoning and would

like to retain the existing zoning designation. She intends to use the property for an agriculture related retail business. The Comprehensive Growth Management Plan guides these properties for Rural Residential, including Tract 1 (not part of this application). The rezoning is consistent with the comprehensive plan. The tracts will be served with public water and on-site septic. Johnston County has water lines on Hill Road.

Planning Staff recommends the Planning Board approve RZ-21-01 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest. Debbie Howard made a motion to recommend approval of zoning map amendment, RZ-21-01, finding it consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and, in the public, interest, seconded by Doris Wallace. Unanimously approved

<u>S-21-02 Spring Branch Commons</u>: TerraEden Landscape and Design, LLC, is requesting 10-lot detached single-family residential preliminary plat of a 1.21-acre parcel in the R-8 CZ district. The property is located on the 600 block of East Johnston Street between South Seventh and South Sixth Street.

Mr. Helmer The site is currently vacant. Sometime before 2005, a +/- 1300 sq. ft. warehouse sat on the corner of S. Sixth and East Johnson along with 3 silo-type structures. That structure is gone, but about 290 feet of valley curb remain at the corner of S. Sixth and E Johnson Street adjacent to where the warehouse once stood. The curbing on the rest of the block is a B6- 12 type. Overhead electric utilities run along the right-of-way on S. Sixth Street. Streetlights attached to the power poles are located at both street corners. The property was rezoned to R8-CZ on May 4, 2021, with a master plan for a 10-detached single-family residential subdivision. The preliminary plat is consistent with the approved master plan.

Mr. Helmer stated the applicant is proposing a compact urban infill development in a semidistressed part of Smithfield near downtown. The development supports walkability to downtown with a sidewalk along the street frontages and with attractive pedestrian scale architecture – one-story homes with porches and a fence along the public street frontage. Although the individual lots are small, the common open space provides usable amenities: playground, picnic shelter, picnic tables, trash receptacles, and landscaping that will create a mini-neighborhood within the greater downtown and Brooklyn neighborhoods.

To approve a preliminary plat, the Planning Board/Town Council shall make the following finding (staff's opinion in Bold/ Italic):

1. The plan is consistent with the adopted plans and policies of the town; **The plan is consistent** with the adopted plans and policies of the town.

2. The plan complies with all applicable requirements of this ordinance; **The plan complies with** all applicable requirements of this ordinance and the R-8 Conditional Zoning District.

3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed. **There is adequate infrastructure.**

4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses. The plan will not be detrimental to the use or development of adjacent properties or another neighborhood uses.

Staff recommends approval with the following conditions:

1. That the driveway aprons be constructed in accordance with the Town's Standard Specifications and Details.

2. That concrete pads for trash bins be shown on the master plan and construction plans.

3. That the valley curb in the public right-of-way be replaced with B6-12 curb.

4. That the Homeowner's Association be responsible for fences and landscaping.

5. That subdivision construction plans be submitted in accordance with the standards of the Unified Development Ordinance for Town Staff approval.

Doris Wallace made a motion to approve the Spring Branch Commons Preliminary Plat, S-21-02, with 5-conditions based on the finding of fact for preliminary subdivisions, seconded by Mark Lane. Unanimously approved.

CZ-21-04 ALA Charter School: Johnston CD, LLC (Jim Way) is requesting a conditional rezoning of 48.783 acres from Light Industrial to Office/Institutional Conditional Zone to construct American Leadership Academy Johnston (ALA Johnston), a K-12 charter school. The property is located about 2500 lineal feet north of the Swift Creek and US 70 Business west intersection and north of the Whitley Heights Subdivision. The site is currently used for agriculture. The site gently slopes from US 70 Business West to the east to the Poplar Branch. The floodway and flood zones of the Poplar Branch extend about 145' from the eastern property line. The industrial property to the north is buffered from the site by existing trees. There is an existing tree line between the farm field and the Whitley Heights subdivision.

Conditional Zoning is a rezoning with a master plan. The conditional zoning process allows a give and take approach to zoning regulations. In this case, the ALA Johnston Charter School is not requesting any deviations from the underlying Office/Institutional zoning district regulations. With the approval of the rezoning and master plan, the school is the only approved land use for the site. The property falls within the WS-IV-PA (Protected Area Watershed Overlay District) which imposes some additional stormwater regulations on the property. The development as a charter school will have less impervious than most residential or other non-residential uses and the watershed regulations will not have any significant impact on the proposal. The sketch plan diagram shows a looped driveway with two access driveways onto US 70 Business West. The plans show two school buildings, an elementary school and a high school. Each school is shown to have its own play area/greenspace area and drop off areas. The schools share a common parking lot located south of the schools, a looped drive around the site and a shared bus dropoff/service area. The plans show a large stadium area and stormwater management areas to the east of the schools.

The plans are still in a preliminary sketch plan phase and subject to change, however, the basic elements are all shown. The proposed development will have two driveway accesses onto US 70 Business West. An NCDOT driveway permit will be required for both driveways. A 5' wide public sidewalk will be required along the US 70 Business West right-of-way. The current plan is to serve the site with town water and sewer utilities with a master meters on a county line.

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

Consistency with the Comprehensive Growth Management Plan – schools are allowed in residential areas and the comprehensive plan guides the site for low density residential.

Consistency with the Unified Development Code – the property will be developed in conformance with the UDO conditional zoning provisions.

Compatibility with Surrounding Land Uses - The property considered for rezoning will be compatible with the surrounding land uses.

Planning Staff recommends the Planning Board recommend approval of CZ-21-04 with 1 condition:

The site plans/construction plans be submitted for review in accordance with the Town's Unified Development Ordinance; and with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

Mark Lane asked if in future this parcel of land is annexed into the Town of Smithfield city limits, would it affect our ETJ boundaries?

Mark Helmer said they are two different things but the applicant is in our ETJ so it's the Town's planning jurisdiction so we have plan approval authority on this piece of property here.

Mark Lane asked if satellite annexation had anything to do with the ETJ?

Mark Helmer said no it doesn't. But if Town Council chose to annex this property they could do so.

David Powlen of Little Diversified Architectural Consulting came forward. He showed the Planning Board an imagine of what the school is projected to look like. He said one building would be

grades K-6 and the second building would be grades 7-12. The projected student enrollment will be 1,925. Initial enrollment should be 1,425, by year 2 it should be 1,625 then by year 3 meeting the 1,925. They hope to be under construction by the end of this year. The school is expected to be open in the Fall of 2022.

Sloan Stevens asked what the American Leadership Academy was?

Dawn Carol of 902 E. Joyner Street Clayton, NC came forward on behalf of the American Leadership Academy. She is chairman of the board for Leadership Schools of Johnston County.

Dawn Carol stated as far as this board goes this is their first school opening. They are working with Charter Management Organization called Charter One. They have 12 charter schools similar to this one in Arizona. They are working with some charter schools here in North Carolina.

Mark Lane asked if the proposed charter school was a for profit school?

Dawn Carol said no it is not.

Doris Wallace asked how much tuition would be.

Dawn Carol said there is not any tuition.

Debbie Howard asked if bus transportation would be provided?

Dawn Carol said yes, within a 30-mile radius.

Mark Lane asked if lunch would be provided?

Dawn Carol said they intended to provide a cafeteria service that students could purchase meals from.

Mark Helmer asked how the admissions process worked?

Dawn Carol said it's done by using a lottery. It's an open application process that will likely start in the late Fall of this year. They have been through the full process with the State Board of Education and awarded the NC Access Grant which will give them quite a bit of funding to get started. They have received permission to open in the Fall of 2022 as long as they meet all of the requirements.

Sloan Stevens asked other than through grants, how is this project funded?

Dawn Carol said they lease the building from the development company and eventually will buy it back through a bond process. They also receive normal school state funding per student.

Doris Wallace made a motion to recommend approval of zoning map amendment, CZ-21-04, with 1 condition finding the rezoning to be consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be and other adopted plans, and that the amendment is reasonable and in the public interest, seconded by Sloan Stevens. Unanimously approved.

CZ-21-03 Floyd's Landing: CE Group Inc. is requesting a conditional rezoning request of 5 properties, 199.8-acres, from R-20A and B-3 to R-8 CZ with a master plan for a subdivision consisting of 118 detached single-family homes, 220 Townhomes and 360 apartment units (698 total number of dwelling units).

Mr. Helmer stated the property is located just north of the Smithfield Corporate Limits on the south side of US Highway 70 Bus W. The site is currently zoned R-20A except for a 500' strip along US Hwy 70 Bus W that is zoned B-3. The strip of B-3 was incorporated into the Town's zoning when the ETJ was created. All the major corridors have remnant strips of commercial along them. With the rezoning, the applicant is excluding a portion of the B-3 from rezoning to create a small commercial development. The applicant will petition for voluntarily annexation of the development into the Town of Smithfield prior to final plat approval. The applicant is proposing a master plan with a mix of detached single-family residential, townhomes and apartments.

Comprehensive Land Use Plan and Density. The Town's land use plan guides the site for low density (north) and medium density residential (south) and conservation (west) where there is floodplain. The overall development will have an average density of 3.5 units per acre.

• The property identified as Tract 4 is guided for low density residential (corresponds with R-10 zoning) and allows a density of up to 4.36 units per acre (97.79 acres x 4.35 = 425 single family units). The developer is proposing 118 detached single family and 155 townhomes (273 total units) About 44% of Tract 4 is within the floodplain and undevelopable. The proposed development is consistent with the low-density guidance of the comprehensive plan.

• The remainder of the development site is guided for medium density residential with a maximum allowed density of 9.68 units per acre, or 4500 sq. ft. per unit. About 50% of the remaining medium density area is within the floodplain and undevelopable.

Mr. Helmer stated the proposed land uses and densities match the Town's comprehensive plan and are consistent with R-8 zoning. The developer has excluded portions of the affected tracts of land from the rezoning and has chosen to retain the B-3 zoning that exists for future commercial uses along the main entrance to the development. Although the B-3 zoning is inconsistent with the Town's land use plan, the requested rezoning is consistent with the Town's land use plan.

The proposed development will access the highway in 3 locations where there are existing breaks in the median. The Amazon is under development across US Hwy 70 Bus West and will also access the highway at the two southernmost median breaks. A Traffic Impact Analysis (TIA) is being prepared for this development and one has been prepared for the Amazon development. It is likely that the middle access will be a right-in/right-out. Other highway improvements are likely including right-turn deceleration lanes at each entrance to the development. The TIA will be available before the preliminary plat. All the roads within the development will be public with 60' right-of-way. The roads by the townhomes and detached single family homes are proposed as 27' wide back-to-back of curb. The entry roads and behind the commercial area are proposed as 35' back-to-back of curb. The Town's Standard Street Detail calls out a 34' wide road back-to-back of curb within a 60' right-of-way. The parking lot for the apartments and the overflow parking for the townhomes will be private.

Detached Single-family Lot Size and Dimensions

• Proposed minimum lot size is 4,829 sq. ft. for the detached single-family (R-10) Low density residential requires 10,000 sq. ft. R-8 is 8,000 sq. ft.).

- Average lot size will be 5,150 sq. ft.
- The typical lot will be 42' wide x 115' deep (R-10 min lot width is 75/ R-8 min lot width is 60')
- Homes will be 3 bedroom and will range in size from 1,600-2,100 sq. ft. townhomes.
- The developer is proposing 4–6-unit 1400-1600 sq. ft. townhomes.

• The typical townhouse lot will be 20' wide x 100' deep. As a comparison, the approved East River Triplexes had a minimum lot width of 25' and end lots were wider.

Apartments

- The property lines for the apartments are not yet defined.
- The apartments will be 1-3 bedrooms ranging from 800 sq. ft. to 1,500 sq. ft. in size:
- o 1BD/1BA 800sf-1,000sf
- o 2BD/2BA 1,050sf-1,250sf
- o 3BD/2BA 1,300sf-1,500sf

Garages

- 1-car garage will have a 9' wide garage door and will be 11'-6" wide x 19' deep.
- 2-car garage will have a 16' wide garage door and will be 18'-9" wide x 19'-6"

deep.

Estimated Sales Price/Rental Price

- Single-family Home estimated sales price is the mid \$200,000s.
- Townhouses estimated sales price is between \$180,000-low \$200,000s.
- Apartment rental price will be:
- o 1BD/1BA \$850-\$1,050 per month
- 2BD/2BA \$1,100-\$1,300 per month
- 3BD/2BA -\$1,400-\$1,600 per monthly

Building Heights, the proposed apartments will have a building height of 50 feet (35' max per R-8 standards).

Public Sidewalks. 5' wide public sidewalk will be constructed in the public right-of-way along both sides of all subdivision streets.

Public Trail. An 8' asphalt multi-purpose trail is proposed along the US Hwy 70 Business W. (5' sidewalk is required by UDO).

Parking. Two parking spaces are proposed for each single-family residential unit (Detached and attached) within an enclosed garage and driveway. Additional parking is provided in overflow parking areas. Multi-family parking will comply with the UDO requirements. There will be limited on-street parking within the townhouse developments given the separation between driveways. Within the townhome areas, there are estimated to be approximately 24 on-street parking spots in the larger area and 6 in the smaller because of the narrow street width and driveway locations.

Driveways to Intersections. Residential driveways are prohibited from being within 20' of an intersection corner. It's unclear whether the townhouse development complies with this requirement.

Recreational Amenities. The projects will have several private parks with playground structures and passive lawn areas for informal use.

Landscaping and Bufferyards. Adjacent to US Hwy 70 Business W a 50' buffer with berm and landscaping are proposed. Adjacent to the norther boundary of the site a 50' landscaped buffer is proposed. Adjacent to the southern boundary of the site a 100' landscaped buffer is proposed. Within the public right-of-way, street trees are proposed. The Townhouse and Apartment developments will be required to meet the landscape requirements of the Unified Development Ordinance (UDO).

Dumpster/Trash facilities. No dumpster or trash facilities are shown but will be required with the multi-family developments.

Stormwater Management. The development will comply with the Town's stormwater management ordinance utilizing a combination of water quality ponds, bioretention areas and other approved measures to treat and control stormwater runoff. As much as possible, the stormwater measures will be within the open apace areas and positioned and landscaped to be an amenity for the project.

Signs. A master sign plan will be submitted with the future preliminary plat.

Town Wayfinding Monument Sign. The existing monument sign located at the south end of Tract is within the proposed 100' landscape buffer. There is no plan to move it with the development. With annexation the town's corporate limits will move further north. The developer is willing to allow the sign to be moved by the Town.

HOA. An HOA will provide common ownership and maintenance of the shared open space, stormwater SCMs and amenities.

Conditional Rezoning. The developer is seeking deviations from the UDO as part of the rezoning. The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO requirements:

R-8 C7

Itom

ltem	R-8/UDO	R-8 CZ
SF Min. lot size	10,000 sq. ft. (.23 ac.)	4,829 sq. ft. (.11 ac.)
SF Min. lot width	70 feet	42 feet
SF Min. front setback	30 feet	20 feet
SF Min. Side Setback	10 feet	5 feet
SF Min Rear Setback	25 feet	20 feet
TH Min. front setback	30 feet	20 feet
TH Min. Side Setback	10 feet	0 feet
TH Min Rear Setback	25 feet	10 feet
Max. Bldg. Height	35 feet	50 feet (3 story apartments)
Street		27' wide back-to-back with 5' utility strips and sidewalks on both sides of the street.
Sidewalks	1 side of each street and along US Hwy 70	2 sides of each street and an 8' trail along US Hwy 70
Multi-family storage Spaces	24 SF enclosed storage space per unit.	Storage may be included in garage units and be available for rent. Not shown on Master Plan.

Proposed Improvements Exceeding UDO requirements:

- o 50-foot landscape buffer along north side
- o 50-foot bermed landscape buffer along east side
- o 100-foot landscaped buffer along south side

- o 8' multi-use trail along US Hwy 70 W vs. 5' sidewalk
- Undisturbed open space within floodplain and common owned areas.

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

Consistency with the Comprehensive Growth Management Plan – the comprehensive plan supports flexibility in zoning regulations.

Consistency with the Unified Development Code – *the property will be developed in conformance with the UDO conditional zoning provisions.*

Compatibility with Surrounding Land Uses - *The property considered for rezoning will be compatible with the surrounding land uses.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-03 with the following conditions:

That the future preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, R-8 Zoning District, and UDO regulations with the following deviations:

ltem	R-8 CZ
SF Min. lot size	4,829 sq. ft. (.11 ac.)
SF Min. lot width	42 feet
SF Min. front setback	20 feet
SF Min. Side Setback	5 feet
SF Min Rear Setback	20 feet
TH Min. front setback	20 feet
TH Min. Side Setback	0 feet
TH Min Rear Setback	10 feet
Max. Bldg. Height	50 feet (3 story apartments)
Street	27' wide back-to-back with 5' utility strips and sidewalks on both sides of the street.

Sidewalks		2 sides of each street and an 8' trail along US Hwy 70
Multi-family	storage	Storage may be included in garage units and be available for rent.
Spaces		Not shown on Master Plan.

That the public street at the south end of the subdivision terminate with 96' diameter cul-de-sac bulbs to meet Fire Code.

Mark Ashness with the CE Group came forward. They are the planning and engineering firm for this project. He stated the earliest they would have any homes completed would be in late 2023.

Mark Lane asked when the projected timeframe would be for the project to be completed?

Mark Ashness said likely sometime 4 to 5 years after the first homes have been completed.

Sloan Stevens said he was a little concerned about the 5 feet in between homes.

Mark Lane stated that based on drawing presented that on-street parking will block driveways if permitted and recommended that no parking zones be declared.

Mark Ashness said that is becoming the standard across the board in the new developments. They do however offer a lot of open space. That's what the millennials and younger people today want. The prefer to live on a smaller lot and have parks and open space that they don't have to maintain.

Mark Helmer encouraged the board to feel free to make any recommendations on this project.

Stephen Upton asked recommended to the developer consider decorative street lighting and sign post?

Kirby LaForce of Carolina Land Group, LCC came forward to discuss the lamp post lighting. He said Duke Power offers a decorative lamp post option we can select. He said they were in agreement to work with Duke Power and Staff to meet the requested needs.

Stephen Upton asked if there was a way to provide an additional 10 feet of right-of-way on the street into the development to accommodate median landscape islands to be maintained by the HOA?

Kirby LaForce said a 10-foot decorative median on the entrance ways coming in subject to an approved entrance drive at the appropriate distance off into the commercial, could be worked in.

Stephen Upton stated the planning board is requesting landscaped subdivision signs at each entrance.

Kirby LaForce said that would not be a problem and is intended to submit a signage package with the preliminary plat.

Stephen Upton asked if they could provide landscape plans showing one tree per residential lot to be planted outside of the public right-of-way? All other areas of the development should contain 2 trees per 100 linear feet of street.

Kirby LaForce said on the single-family homes he doesn't see this as being a problem but on the townhomes it's too tight and maybe would need to use small trees.

Mark Helmer said the trees would need to be on private property and not within the public rightof-way.

Kirby LaForce said for single-family homes we'll plant street trees for every lot and for the townhomes there would be mid-size trees/shrubs between the units. All other areas of the development should contain 2 trees per 100 linear feet street.

Stephen Upton suggested an 8-foot-wide walking path adjacent to the Hwy 70 West made concrete.

Kirby LaForce said he had done numerous greenways; over time the concrete becomes bumpy and uneven.

Stephen Upton asked what he suggested be used in place of concrete?

Kirby LaForce said asphalt, it's the best material for a multi-use trail.

Debbie Howard asked if asphalt cracked as easily as concrete?

Kirby LaForce said it's more flexible and it can be resurfaced.

Stephen Upton said that concludes his questions. He would like it to be documented that each of those conditions have been accepted by the applicant.

Jeffery Hamilton of Rogers Lane came forward to speak. He has concerns about the first driveway going into the subdivision.

Kirby LaForce said per Ramey Kemp, that the main driveway will be signalized.

Jeffery Hamilton said he would like to suggest some fencing at the town homes as well as the berm that is proposed.

Mark Lane started there was a need for a 100 foot wide planted berms on both ends of the project.

Kirby LaForce was in agreement with this condition.

Stephen Upton asked if anyone else had questions or concerns and no one did. He mentioned that he wanted any recommendations to be mentioned in the minutes and that the applicant had accepted them.

Debbie Howard made a motion to recommend approval of zoning map amendment, CZ-21-03 with the following recommended conditions from the board:

- 1. Decorative street lighting and decorative street signs be provided by the development throughout the site.
- 2. Provide an additional 10 feet of right-of-way on streets that serve as entrances into the development for the accommodation of landscaped medians to be installed by the developer and maintained be the HOA.
- 3. Provide subdivision signs made from robust material with landscaping equal to the area of the sign at all entrances into the development.
- 4. Provide a complete landscape plan showing one understory tree per residential lot to be planted adjacent to and outside of the public right-of-way.
- 5. Landscape buffers on the north and south ends of the development shall be 100 foot wide with planted berms.
- 6. All land held in common ownership that is adjacent to a public right-of-way shall be planted with a minimum of 2 shade trees per 100 feet linear feet of road frontage. These trees shall be plated adjacent to and outside of the public right-of-way and shall be maintained by the HOA.
- 7. Public right-of-way serving the townhouse portion of the development be declared a no parking zone.

The board finds the rezoning consistent Town of Smithfield Growth Management Plan and other adopted plans and that the amendment is reasonable and in the public interest, seconded by Doris Wallace. Unanimously approved.

OLD BUSINESS:

None

<u>Adjournment</u>

Being no further business, Doris Wallace made a motion seconded by Mark Lane to adjourn the meeting. Unanimously approved

Respectfully Submitted,

Julie Gdmonds

Julie Edmonds Administrative Support Specialist



Request for Planning Board Action

 Agenda
 CZ-21

 Item:
 06

 Date:
 8/5/21

Subject:Conditional Zoning Map AmendmentDepartment:PlanningPresented by:Mark Helmer, Senior PlannerPresentation:Business Item

Issue Statement

StrongRock Engineering PPLC is requesting a conditional rezoning request of 1 property, 31.56-acres, from R-20A and B-3 to R-8 CZ with a master plan for a subdivision consisting of 53 detached single-family homes and 90 Townhomes. (143 total number of dwelling units).

Financial Impact

The subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to review the conditional rezoning of properties from R-20A and R-8 to R-8 CZ and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommends the Planning Board recommend approval of CZ-21-03 with conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest

Approved: □Town Manager □ Town Attorney

Attachments:

- 1. Staff report
- 2. Consistency Statement
- 3. Application
- 4. Master Plan



Agenda CZ-Item: 21-03

REQUEST:

CE Group Inc. is requesting a conditional rezoning request of 1 property, 31.56-acres, from R-20A and R-8 to R-8 CZ with a master plan for a subdivision consisting of 53 detached single-family homes and 90 townhomes. (143 total number of dwelling units).

Staff

Report

PROPERTY LOCATION:

The property is located on the north side of the NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive.

SITE DATA:

Subdivision Name:	Marin Woods
Tax ID#	15077008
Acreage:	31.56 acres
Present Zoning:	R-8 and R-20A
Proposed Zoning:	R-8 CZ
Existing Use:	Agriculture/Residential
Proposed Use:	Detached single-family, attached single-family (townhouses)
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ADJACENT ZONING AND LAND USES: (see attached map)

Zoning	Existing Land Uses
R-20A / R-10	Detached single-family
	residential and wetlands
R-20A / B-3	Detached single-family
	residential / agriculture
R-20A / Heavy Industrial	Agriculture / industrial
R-20A	Single-family / wetlands
	R-20A / R-10 R-20A / B-3 R-20A / Heavy Industrial

EXISTING CONDITIONS/ENVIRONMENTAL:

The property considered for approval is located within the Neuse River Basin and within the floodplain of Swift Creek. The site considered for development is located on the high side of the property which is adjacent to NC Highway 210. As the property slopes away from NC Hwy 210, the elevation drops to below the base flood elevation (BFE) of the 100-year floodplain which is 124.7 feet above sea elevation. All finished grades for each lot will be at a minimum of 2 feet above the BFE. Encroachment into the 100-year floodplain by the stormwater management facility is proposed. The land is currently used for agriculture purposes and is a mix of open agricultural fields, wooded areas and marsh land.

CURRENT ZONING:

The site is currently zoned R-20A and R-8 and currently located within the corporate limits of the Town of Smithfield.

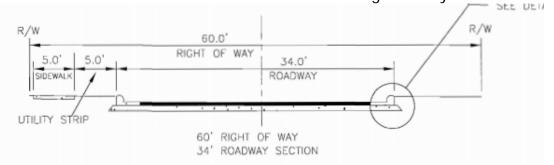
MASTER PLAN/ANALYSIS:

The applicant is proposing a master plan with a mix of detached single-family residential and townhomes.

Comprehensive Land Use Plan and Density. The Town's land use plan guides the site for medium density residential. The overall development will have an average density of 4.53 units per acre. The proposed land uses and densities match the Town's comprehensive plan and are consistent with R-8 zoning.

Highway Access. The proposed development will access the highway in 2 locations where there are existing breaks in the median.

Streets. All the roads within the development will be publicly maintained with 60' rightof-way and a 29' back-to-back of curb driving surface. The Town's Standard Street Detail calls out a 34' wide road back-to-back of curb within a 60' right-of-way.



The curbing is shown as B6-12 type matching the Town's Standard Detail.

Visitors parking for the townhouse section is not proposed by the developer at this time.

Open space. Approximately 8.31 acres or 26% of the site will remain undeveloped open space. This area will be comprised of streams, wetlands, ponds, flood plain and buffers.

Riparian Buffers. A protected stream with a 50' riparian buffer is shown of the plan. The proposed walking trail is shown crossing this buffer at two locations.

Lot Sizes.

LOT ACREAGE:	
TOTAL NUMBER PROPOSED LOTS:	143
PROPOSED DENSITY:	4.53 DU/AC
MINIMUM ALLOWED LOT SIZE:	1,800 SF
MINIMUM PROPOSED LOT SIZE:	2,161 SF (LOT 123)
MAXIMUM PROPOSED LOT SIZE:	16,037 SF (LOT 8)
AVERAGE PROPOSED LOT SIZE:	4,400 SF
MINIMUM ALLOWABLE LOT WIDTH:	20'
MINIMUM PROPOSED LOT WIDTH:	20'
FRONT BUILDING SETBACK:	20'

Garages.

- 1-car garage will have a 9' wide garage door
- 2-car garage will have a 16' wide garage doors

Building Heights. All proposed structures will have a building height of 35 feet or less as permitted by R-8 zoning district standards.

Setbacks.

MINIMUM BUILDING SETBACKS:	
FRONT YARD:	20'
SIDE YARD:	5' (SF); 0' (Townhome)
REAR YARD:	25'
CORNER YARD:	15' (SF); 10' (Townhome)
GARAGE:	20'

Public Sidewalks. 5' wide public sidewalk will be constructed in the public right-of-way along on side of all subdivision streets and along US Hwy 210.

Parking. Two parking spaces are proposed for each single-family residential unit (detached and attached) within an enclosed garage and driveway. Multi-family parking will comply with the UDO requirements. There will be limited on-street parking within the townhouse developments given the separation between driveways. Within the townhome areas, it is recommended that additional off-street parking be provided due to excessively narrow street and townhouse lots.

Driveways to Intersections. Residential driveways are prohibited from being within 20' of an intersection corner. It's unclear whether the townhouse development complies with this requirement.

Recreational Amenities. The project is proposing 1 tot lot and a natural area with a walking trail.

Landscaping and Bufferyard. The project is proposing a 10' landscaped buffer adjacent to US NC Hwy 210. Within the townhouse section, this 10' landcaspe yard will a leave the units with a usable back yard that's is only 15 feet deep.

Dumpster/Trash facilities. No dumpster or trash facilities are shown on the plan. All lots can be served by roll out containers.

Stormwater Management. The development will comply with the Town's stormwater management ordinance.

Signs. Subdivision signs are recommend as part of the approved master plan and not preliminary subdivision approval.

HOA. An HOA will provide common ownership and maintenance of the shared open space, stormwater SCMs and amenities.

Conditional Rezoning. The developer is seeking deviations from the UDO as part of the rezoning. The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO Requirements:

Requested for dimensions			
Item	R-8/UDO	R-8 CZ	
SF Min. lot size	10,000 sq. ft. (.23	2,161 sq. ft.	
	ac.)		
SF Min. lot	70 feet	47 feet	
width			
SF Min. front	30 feet	20 feet	
setback			
SF Min. Side	10 feet	5 feet	
Setback			
SF Min Rear	25 feet	25 feet	
Setback			
TH Min. front	30 feet	20 feet	
setback			
TH Min. Side	10 feet	0 feet	
Setback			
TH Min Rear	25 feet	25 feet	
Setback			
Max. Bldg.	35 feet	35 feet	
Height			

• Requested lot dimensions

Street	34' wide back-to- back with 5' utility strip and sidewalk on one side.	29' wide back-to-back with 5' utility strips and sidewalks on one side.
Sidewalks	1 side of each street	1 side of each street.

Proposed Improvements Exceeding UDO requirements:
 O Undisturbed open space except for walking trail.

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** *the comprehensive plan supports flexibility in zoning regulations.*
- **Consistency with the Unified Development Code** *the property will be developed in conformance with the UDO conditional zoning provisions.*
- **Compatibility with Surrounding Land Uses** *The property considered for rezoning will be compatible with the surrounding land uses.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-03 with the following conditions:

1. That the future preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, R-8 Zoning District, and UDO regulations with the with sated deviations:

RECOMMENDED MOTION:

"move to recommend approval of zoning map amendment, CZ-21-06 with the stated conditions of approval and finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest."



Town of Smithfield Planning Department 350 E. Market St Smithfield, NC 27577 P.O. Box 761, Smithfield, NC 27577 Phone: 919-934-2116 Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. **Rezoning applications must be accompanied by nine (9) sets of the application, nine (9)** sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project:	Acreage of Property:
Parcel ID Number:	Tax ID:
Deed Book:	Deed Page(s):
Address:	
Location:	
Existing Use:	Proposed Use:
Existing Zoning District:	
Is project within a Planned Development:	Yes No
Planned Development District (if applicable):	
Is project within an Overlay District:	es No
Overlay District (if applicable):	

FOR OFFICE USE ONLY

File Number:	Date Received:	Amount Paid:

OWNER INFORMATION:

Name:		
Mailing Address:		
Phone Number:	Fax:	
Email Address:		

APPLICANT INFORMATION:

Applicant:		
Mailing Address:		
Phone Number:	Fax:	
Contact Person:		
Email Address:		

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

A map with metes and bounds description of the property proposed for reclassification.

A list of adjacent property owners.

A statement of justification.

Other applicable documentation:

STATEMENT OF JUSTIFICATION

Please provide detailed information concerning all requests. Attach additional sheets if necessary.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Print Name

Signature of Applicant

Date



Town of Smithfield Planning Department 350 E. Market St Smithfield, NC 27577 P.O. Box 761, Smithfield, NC 27577 Phone: 919-934-2116 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project:_____

Submittal Date:

OWNERS AUTHORIZATION

I hereby give CONSENT to _______(type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Ralph Sterrout	BALDH	StewARt	6-22-21
Signature of Owner	Print Name		Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Signature of Owner/Applicant

Print Name

Date

FOR OFFICE USE ONLY Parcel ID Number: Date Received: File Number:



Original Sent: 06/01/2021 via email

CONDITIONAL REZONING – DEVIATIONS AND PROPOSED ENHANCEMENTS

REQUESTED DEVIATIONS FROM CODE

R-8 Dimensional Requirements:

Standard	Required	Proposed
Minimum Lot Area	8,000 SF	1,800 SF (Town); 6,600 SF (Single Family)
	701	
Minimum Lot Frontage	70'	20' (Town); 55' (Single Family)
Front Yard Setback	30'	20'
Side Yard Setback	10'	5' (Single Family); 0' (Town)
Cul-de-sac Maximum Length	750'	800' (due to wetlands/topography)

ENHANCEMENTS ABOVE AND BEYOND

1) Open Space Required: Maximum requirement of 10,000 SF

Open Space Proposed: 361,870 SF

-Open Space Composition:	Passive/conservation open space:	334,979 SF
	Crusher Run Trail:	14,785 SF
	Playground:	1,360 SF
	Park area:	10,746 SF

2) Decorative Entry Signage (For Illustrative Purposes Only)



3) Decorative Street Signage (For Illustrative Purposes Only)



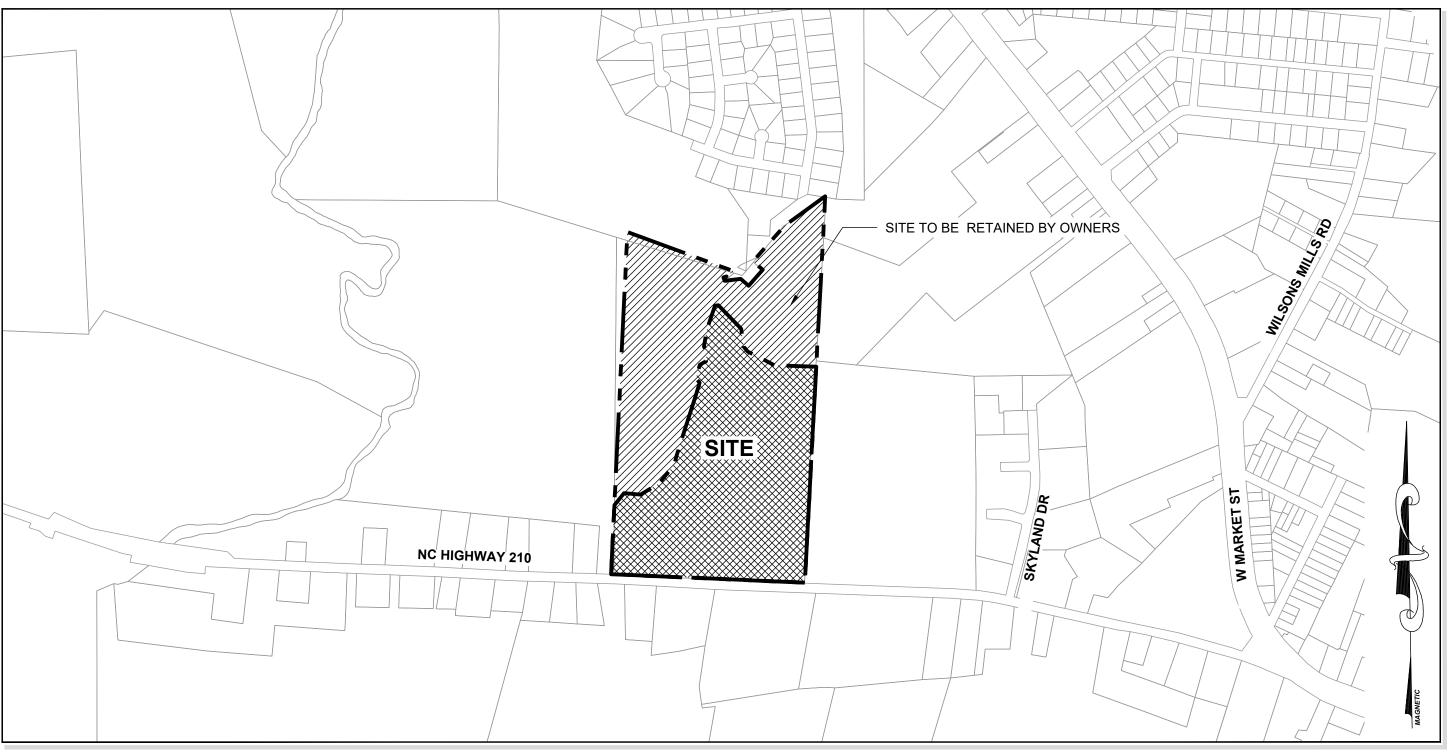
4) Architectural Standards

CONDITIONS OF APPROVAL

- TOWNHOMES SHALL BE TWO-STORY HOMES WITH A MINIMUM WIDTH OF 20' WIDE, WITH A MINIMUM 1250 SQ FT HEATED AREA AND A MINIMUM ONE-CAR GARAGE
- ALL HOMES SHALL HAVE A COMBINATION ON 2 OR MORE OF THE FOLLOWING MATERIALS ON THE FRONT FACADE: BRICK, STONE, LAP SIDING, SHAKES, OR BOARD AND BATTEN
- ALL CORNER UNITS SHALL CONTAIN A WINDOW WITH DECORATIVE TRIM OR DOOR FOR EACH 30 FEET (OR FRACTION OF) OF CONTINUOUS SIDE ELEVATION. ANY SIDING BREAK ON THE SIDE OF THE HOME, SUCH AS FIREPLACE, SIDE PORCH, OR WALL OFFSETS MAY BE USED AS AN ALTERNATIVE TO WINDOWS.
- 4. ALL GARAGES SHALL HAVE WINDOWS OR DECORATIVE HARDWARE
- ALL SINGLE FAMILY DETACHED HOMES SHALL HAVE A GARAGE, WITH A MINIMUM 80% HAVING A TWO-CAR GARAGE.
- IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO ADJACENT HOME MAY USE THE SAME COLOR SIDING, AND FOR SINGLE FAMILY DETACHED HOMES NO FRONT ELEVATION SHALL BE CONSTRUCTED ADJACENT OR ACROSS FROM AN IDENTICAL ELEVATION. FOR CORNER LOTS, THIS SHALL APPLY TO THE LOTS CATTY-CORNERED ACROSS THE INTERSECTION.
- A CONSISTENT COLOR PALETTE SHALL BE USED FOR BOTH THE TOWNHOMES AND SINGLE FAMILY HOMES

MARIN WOODS SUBDIVISION PRELIMINARY MASTER PLAN

SITE INFORMATION:	
LOCATION:	NC HIGHWAY 210
COUNTY:	JOHNSTON
PARENT PIN:	
	01573 / 0254
DB/PG: ZONING:	PROPOSED ZONING: CD-R8
ACREAGE:	PROJECT ACREAGE: 31.56 AC
LAND CLASS:	RESIDENTIAL
MINIMUM BUILDING SETBACKS:	
	20'
SIDE YARD:	5' (SF); 0' (Townhome)
	25'
CORNER YARD:	15' (SF); 10' (Townhome)
GARAGE:	20'
RIGHT OF WAY & OTHER AREAS:	
AREA OF UNDISTURBED	
NATURAL VEGETATION/WETLANDS:	204 736 SE (4 70 AC)
FUTURE RESERVE HWY 210 ROW AREA:	22 57/ SE (0 52 AC)
AREA IN BUFFERS:	21,239 SF (0.49 AC)
	446
TOTAL NUMBER PROPOSED LOTS:	143
PROPOSED DENSITY:	4.53 DU/AC
MINIMUM ALLOWED LOT SIZE:	1,800 SF
MINIMUM PROPOSED LOT SIZE:	2,161 SF (LOT 123)
MAXIMUM PROPOSED LOT SIZE:	16.037 SF (LOT 8)
AVERAGE PROPOSED LOT SIZE:	4 400 SF
	20'
	20
	20
FRONT BUILDING SETBACK:	20'
TYPES OF LOT BREAKDOWN:	
	90 LOTS
SINGLE FAMILY:	
	002010
OPEN SPACE BREAKDOWN:	
	1,371,790 SF (31.56 AC)
PROPERTY BOUNDARY: PROVIDED OPEN SPACE:	
	301.870 SF (8.31 AC)
PROVIDED OPEN SPACE: PROVIDED PASSIVE OPEN SPACE: TRAIL AREA:	334,979 SF (7.70 AC)
TRAIL AREA:	14,785 SF (0.34 AC)
PLAY GROUND AREA:	1,360 SF (0.03 AC)
PARK AREA:	10,746 SF (0.25 AC)
PROVIDED IMPROVED PARK SPACE	26 891 SE (0 62 AC)
TRAIL AREA: PLAY GROUND AREA: PARK AREA: PROVIDED IMPROVED PARK SPACE: PROVIDED RECREATIONAL OPEN SPACE:	26,891 SF (0.62 AC)
IMPERVIOUS AREAS:	
ROADWAYS / PARKING:	149,734 SF (3.44 AC)
SIDEWALKS:	24,929 SF (0.57 AC)
SIDEWALKS:	185,500 SF (4.26 AC)
TOWNHOME LOTS (1,800 SF/LOT):	162,000 SF (3.72 AC)
TOTAL ON-SITE IMPERVIOUS AREA:	522,163 SF (11.81 AC)
TOWNHOME LOTS (1,800 SF/LOT): TOTAL ON-SITE IMPERVIOUS AREA: TOTAL ON-SITE IMPERVIOUS PERCENT:	38.06%
UTILITY DEMANDS:	
SEWAGE USAGE:	51,480 GDP
	3 BED X 120 GPD/BED X 143 UNIT
	51,480 GDP
WATER USAGE:	3 BED X 120 GPD/BED X 143 UNIT
WATER USAGE:	



PERMIT INFOF

(PERMITTING AUTHO TOWN OF SMITHFIEL - EFFECTIVE DATE O

- EFFECTIVE DATE OF JOHNSTON COUNTY -LAND DISTURBANCE

-STORMWATER PERM NCDWR/CITY OF RAL

-WATER EXTENSION

-SEWER EXTENSION NC DEPT. OF TRANS -DRIVEWAY PERMIT: -2 PARTY ENCROACH

-3 PARTY ENCROACH

U.S. ARMY CORPS OF -IMPACT PERMIT:____

NC DIVISION OF WATER QUALITY: -BUFFER IMPACT AUTHORIZATION: NOT REQUIRED



Know what's **below. Call before you dig.**

1ST SUBMITTAL TO TOWN OF SMITHFIELD: 07-08-2021

VICINITY MAP 1" = 600'

OWNER:

ELLIS DEVELOPMENTS NC, LLC C/O STRONG ROCK DEVELOPMENT COMPANY 8362 SIX FORKS RD. SUITE 104RALEIGH, NC 27615 919-770-4174 (P) CONTACT: JOSH LAMBERT josh@strongrockdev.com

SURVEYOR:

TAYLOR LAND CONSULTANTS 5448 APEX PEAKWAY APEX, NC 27502 919-801-1104 (O) 919-337-7998 (M) CONTACT: JEREMY TAYLOR, PLS jeremy@taylorlc.com

ENVIRONMENTAL:

SAGE ECOLOGICAL SERVICES 3707 SWIFT DRIVE RALEIGH, NORTH CAROLINA, 27606 919-559-1537 CONTACT: SEAN CLARK sclark@sageecological.com

CIVIL ENGINEERING:

STRONG ROCK ENGINEERING GROUP, PLLC PO BOX 55992 RALEIGH, NC 27624 COMPANY LICENSE #: P-2166 CONTACT: RHONDA BREWINGTON, PE 910-527-9209 (P) rhonda@strongrockgroup.com

CONDITIONS OF APPROVAL

- AND BATTEN

- HAVING A TWO-CAR GARAGE.
- ACROSS THE INTERSECTION.
- SINGLE FAMILY HOMES

RMATION:	
DRITY, PERMIT IDENTIFIERS, & I	EFFECTIVE DATES)
LD PLANNING AND ZONING:	
OF ZONING APPROVAL:	XX-XX-2020
OF MASTER PLAN APPROVAL:	
ENVIRONMENTAL:	
E PERMIT:	SEC-XXXXXX-XXXX
MIT:	SWF-XXXXXX-XXXX
·······	
LEIGH PUBLIC UTILITIES:	
	W-XXXX
I PERMIT:	S-XXXX
PORTATION:	
<u> </u>	D51-XXX-XXXX (DATE: XX-XX-XXXX)
HMENT AGMT:	E51-XXX-XXXX (DATE: XX-XX-XXXX)
HMENT AGMT:	E51-XXX-XXXX (DATE: XX-XX-XXXX)
F ENGINEERS:	
	NOT REQUIRED

SHEE	ET INDEX
C-0.0	COVER SHEET
C-1.0	CIVIL NOTES
C-2.0	EXISTING CONDITIONS PLAN
C-3.0	OVERALL SITE PLAN
C-3.1	PARTIAL SITE LAYOUT I
C-3.2	PARTIAL SITE LAYOUT II
C-3.3	PARTIAL SITE LAYOUT III
C-4.0	OVERALL GRADING AND DRAINAGE PLAN
C-4.1	GRADING AND DRAINAGE PLAN I
C-4.2	GRADING AND DRAINAGE PLAN II
C-4.3	GRADING AND DRAINAGE PLAN III
C-5.0	OVERALL UTILITY PLAN
C-5.1	PARTIAL UTILITY LAYOUT I
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C-5.3	PARTIAL UTILITY LAYOUT III
C-6.0	PROPOSED STREET A - PLAN & FROFILE
C-6.1	PROPOSED STREET B - PLAN & FROFILE
C-6.2	PROPOSED STREET C - PLAN & FROFILE
C-6.3	PROPOSED STREET C - PLAN & FROFILE
C-6.4	PROPOSED STREET D - PLAN & FROFILE
C-7.0	EROSION CONTROL NOTES
C-7.1	EROSION CONTROL PLAN - OVERALL STAGE
C-7.2	EROSION CONTROL PLAN - STAGE 1
C-7.3	EROSION CONTROL PLAN - STAGE 1
C-7.4	EROSION CONTROL PLAN - STAGE 1
C-7.5	EROSION CONTROL PLAN - OVERALL STAGE 2
C-7.6	EROSION CONTROL PLAN - STAGE 2
C-7.7	EROSION CONTROL PLAN - STAGE 2
C-7.8	EROSION CONTROL PLAN - STAGE 2
C-7.9	EROSION CONTROL PLAN - OVERALL STAGE
C-7.10	EROSION CONTROL PLAN - STAGE 3
C-7.11	EROSION CONTROL PLAN - STAGE 3
C-7.12	EROSION CONTROL PLAN - STAGE 3
C-8.0	ON-SITE SANITARY SEWER PLAN
C-8.1	ON-SITE SANITARY SEWER PROFILE
C-9.0	LIGHTING AND LANDSCAPE PLAN
C-10.0	SIGNAGE PLAN
D-1.0	EROSION CONTROL DETAILS.
D-1.1	EROSION CONTROL DETAILS
D-1.2	EROSION CONTROL DETAILS
D-1.3	EROSION CONTROL DETAILS
D-2.0	SANITARY SEWER DETAILS
D-3.0	STORM DRAINAGE DETAILS
D-3.1	STORM DRAINAGE DETAILS
D-3.2	STORM DRAINAGE DETAILS
D-4.0	WATER DETAILS
E-1.0	RESIDENTIAL PRODUCT

TOWNHOMES SHALL BE TWO-STORY HOMES WITH A MINIMUM WIDTH OF 20' WIDE, WITH A MINIMUM 1250 SQ FT HEATED AREA AND A MINIMUM ONE-CAR GARAGE

ALL HOMES SHALL HAVE A COMBINATION ON 2 OR MORE OF THE FOLLOWING MATERIALS ON THE FRONT FACADE: BRICK, STONE, LAP SIDING, SHAKES, OR BOARD

ALL CORNER UNITS SHALL CONTAIN A WINDOW WITH DECORATIVE TRIM OR DOOR FOR EACH 30 FEET (OR FRACTION OF) OF CONTINUOUS SIDE ELEVATION. ANY SIDING BREAK ON THE SIDE OF THE HOME, SUCH AS FIREPLACE, SIDE PORCH, OR WALL OFFSETS MAY BE USED AS AN ALTERNATIVE TO WINDOWS.

4. ALL GARAGES SHALL HAVE WINDOWS OR DECORATIVE HARDWARE

ALL SINGLE FAMILY DETACHED HOMES SHALL HAVE A GARAGE, WITH A MINIMUM 80%

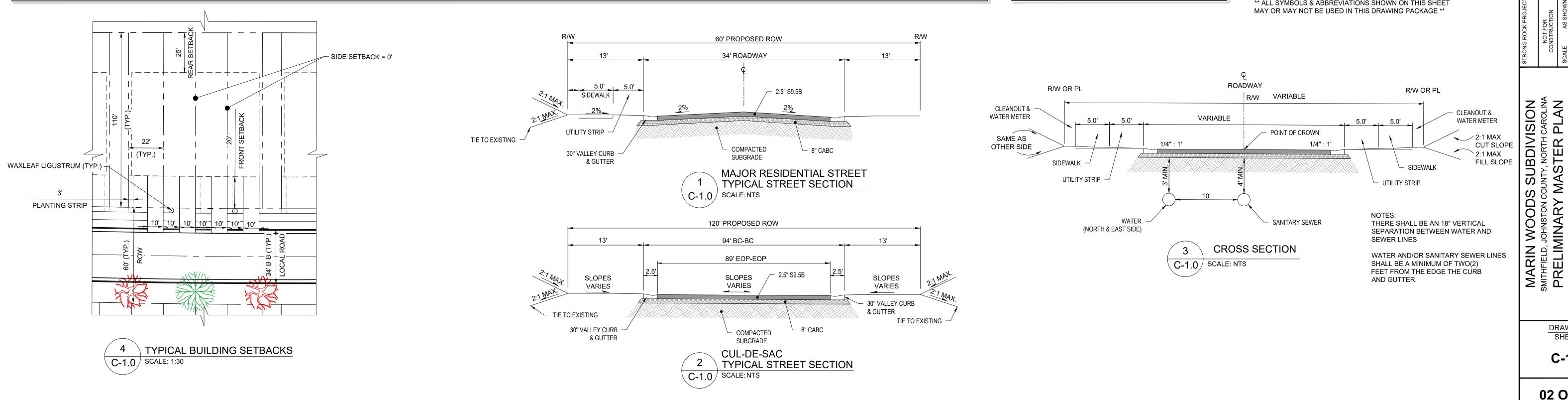
6. IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO ADJACENT HOME MAY USE THE SAME COLOR SIDING, AND FOR SINGLE FAMILY DETACHED HOMES NO FRONT ELEVATION SHALL BE CONSTRUCTED ADJACENT OR ACROSS FROM AN IDENTICAL ELEVATION. FOR CORNER LOTS, THIS SHALL APPLY TO THE LOTS CATTY-CORNERED

A CONSISTENT COLOR PALETTE SHALL BE USED FOR BOTH THE TOWNHOMES AND



GENERAL CONSTRUCTION NOTES:

- 1. SEE GENERAL NOTES ON SHEET C-3.0.
- 2. WITHIN ALL NOTES, THE TERM CONTRACTOR WILL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS OR VENDORS PERFORMING WORK ON THE PROJECT.
- 3. ANY CONTRACTOR SUBMITTING A BID FOR THIS PROJECT SHALL MAKE A SITE VISIT PRIOR TO SUBMITTING BID.
- 4. BOUNDARY DATA PERFORMED BY TAYLOR LAND CONSULTANTS. SEE SURVEY FOR BENCHMARK & TBM INFORMATION. SURVEY IS REFERENCED TO NC GRID NAD 83. REFER TO EXISTING CONDITIONS PLAN.
- 5. ANY RELOCATION OF BENCHMARKS SHALL BE PERFORMED BY A NC LICENSED SURVEYOR.
- 6. ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF SMITHFIELD, JOHNSTON COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- 7. ALL WORK, CONSTRUCTION AND MATERIALS WITHIN NCDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE 2018 NCDOT STANDARDS SPECIFICATIONS FOR ROADS AND STRUCTURES.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES WITH PROPER SIGNAGE, SIGNALS, LIGHTING, AND/OR FLAGMEN. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- 9. COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
- 10. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 72 HOURS PRIOR TO DIGGING @ 1.800.632.4949. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
- 11. THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO PUBLICLY OWNED PROPERTY. THE CONTRACTOR SHALL REPAIR THE DAMAGED PROPERTY TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AGENCY HOLDING JURISDICTION AT NO COST TO THE OWNER.
- 13. ANY DAMAGE DONE TO PRIVATE PROPERTY OWNERS SIGNS, MAILBOX, DRIVEWAY CULVERTS, LANDSCAPING OR OTHER PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER.
- 14. CONTRACTOR IS RESPONSIBLE FOR FENCING AND SECURITY OF HIS LAYDOWN AND STORAGE AREA.
- 15. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT
- 16. CONTRACTOR SHALL KEEP ALL ROADS FREE OF DIRT AND DEBRIS AT ALL TIMES.
- 17. CONTRACTOR SHALL PROTECT EXISTING PAVEMENTS AND UTILITIES FROM HEAVY EARTH MOVING EQUIPMENT. PROVIDE TRAFFIC CONTROL AND ADEQUATE PROTECTION METHODS AT ALL EQUIPMENT CROSSINGS.
- 18. ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD. ALL ROCKS GREATER THAN 3" SHALL BE REMOVED FROM ALL BACKFILL MATERIAL.
- 19. CONCRETE SIDEWALKS THAT ARE TO BE REMOVED SHALL BE CUT BACK TO NEAREST EXPANSION OR CONTROL JOINT AND REPLACED WITH 4-INCH CONCRETE SIDEWALK FINISHED TO MATCH EXISTING SIDEWALKS.
- 20. CONTRACTOR TO COORDINATE WITH TOWN OF SMITHFIELD FOR TEMPORARY WATER NEEDED DURING CONSTRUCTION. IF PERMITTED TO CONNECT TO EXISTING FIRE HYDRANT A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER WILL BE REQUIRED.
- 21. ALL PAVEMENT SAW CUTS SHALL BE NEAT, STRAIGHT AND FULL DEPTH.
- 22. ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 14ON OR APPROVED EQUAL).
- 23. ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING STAGES:
 - A. COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
 - COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
 - C. FINAL INSPECTION WHEN ALL WORK IS COMPLETE.



- 24. PRIOR TO PLACING CABC STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE GEOTECHNICAL ENGINEER TO INSPECT THE PROOF ROLL OF THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO RE-CONSTRUCTION IF SUBGRADE DOES NOT MEET TOWN OF SMITHFIELD AND/OR NCDOT STANDARDS & SPECIFICATIONS.
- 25. ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. THE CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY SERVICE COMPANIES FOR ANY REQUIRED CONDUITS OR POINT OF CONTACT CONDITIONS.
- 26. ALL PUBLIC UTILITIES THAT REQUIRE AN ENGINEERING CERTIFICATION MUST BE INSPECTED BY A PROFESSIONAL ENGINEER ON A PERIODIC BASIS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER WHEN INSTALLING UTILITIES FOR PERIODIC INSPECTIONS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT THE TIME OF PRESSURE TESTING AND WATER LINE DISINFECTION. THE CONTRACTOR SHALL SUPPLY THE PROJECT ENGINEER PRESSURE TEST AND WATER SAMPLING RESULTS.
- 27. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 28. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL, TO AN APPROVED NCDENR LOCATION, OF ANY EXCESS TOPSOIL OR UNCLASSIFIED EXCAVATION HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION. ALTERNATIVELY, A SUITABLE ON-SITE AREA MAY BE USED UPON APPROVAL BY THE OWNER, THE E.O.R AND/OR AHJ.
- 29. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO TOWN OF SMITHFIELD AND/OR TOWN OF SMITHFIELD PUBLIC UTILITIES AND/OR ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
- 30. THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.
- 31. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. NCDOT, TOWN OF SMITHFIELD, & ENGINEER OF RECORD ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
- 32. TESTING BY SITE DEVELOPER: SITE DEVELOPER SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE OWNER) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE OWNER, AND THE APPLICABLE APPROVING AGENCY. --THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. (MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS). -IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. --IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH OF FILL IN EACH COMPACTED FILL LAYER, WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
- 33. COMPACTION: COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T99 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR EMBANKMENTS OR UNPAVED AREAS. MAX LIFT THICKNESS FOR FILL AREAS IS 8 INCHES.
- 34. DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT ENGINEER OF RECORD WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE. BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE GEOTECHNICAL ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A GEOTECHNICAL ENGINEER FOR CONSULTATION AND ADVICE, ETC. - STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC). THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT
- 35. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING PADS.
- 36. THE SITE PREVIOUSLY CONTAINED RESIDENTIAL / FARM STRUCTURES CONTRACTOR RESPONSIBLE FOR REMOVAL OF ANY WELLS FOUNDATIONS AND/OR SEPTIC SYSTEMS PER NCDNR REQUIREMENTS.

37. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF SMITHFIELD PUBLIC WORKS PRIOR TO BEGINNING CONSTRUCTION.

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Ø	DIAMETER OR ROUND	LP	LOW POINT	- 1			
Р	PROPERTY LINE	MAX	MAXIMUM	- 1			
ABC	AGGREGATE BASE ASPH ASPHALT	МН	MANHOLE	- 1			
AVE	AVENUE	MIN	MINIMUM	-			
BLVD	BOULEVARD	N	NORTH, NORTHING	-			
BLDG	BUILDING	NCDENR	NORTH CAROLINA DEPARTMENT OF	1			
BOC	BACK OF CURB		ENVIRONMENT & NATURAL RESOURCES	-			
BW	BOTTOM OF WALL	NCDOT	TRANSPORTATION				
СВ	CATCH BASIN	NTS	NOT TO SCALE	1 F			1
CI	CURB INLET	ОН	OVERHEAD	1 F			
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XX)	EXISTING ELEVATION	RPZ	REDUCED PRESSURE ZONE		(
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EL	ELEVATION	SD	STORM DRAIN				-
EJ	EXPANSION JOINT	SDMH	STORM DRAIN MANHOLE				_
EOP	EDGE OF PAVEMENT	SDE	SIGHT DISTANCE EASEMENT				0
EX	EXISTING	SSMH	SANITARY SEWER MANHOLE				œ
EVAP	EVAPORATIVE	SS	SANITARY SEWER				G
FDC	FIRE DEPARTMENT CONNECTION	STA	STATION				
FES	FLARED END SECTION	STD	STANDARD	_			<i></i>
FFE	FINISHED FLOOR ELEVATION	ST.STL	STAINLESS STEEL	_			G
FG	FINISHED GRADE	SWPPP	STORMWATER POLLUTION PREVENTION PLAN	_			Ζ
FHA	FIRE HYDRANT ASSEMBLY	ТВ	THRUST BLOCKING	4			_
FL	FLOW LINE	тс/тос	TOP OF CURB	4			æ
FT	FOOT OR FEET	TD	TEMPORARY DIVERSION	- 1			ш
G	GAS		TEST HEADER	- 1			
GALV	GALVANIZED	ТОР	TOP OF PIPE	- 1			Ш
GB	GRADE BREAK	TP	TOP OF PAD	- 1			Ζ
GE	GENERAL ELECTRIC	TYP	TYPICAL	- 1			_
GR	GRADE	TW	TOP OF WALL	- 1			G
IDPE	HIGH DENSITY POLYETHYLENE	UG	UNDERGROUND	- 1			
ORIZ	HORIZONTAL	VEG	VEGETATED	-			Z
IOV	HIGH OCCUPANCY VEHICLE	VERT	VERTICAL	-			ш
HP	HIGH POINT	W	WEST	- 1			
AW	IN ACCORDANCE WITH	W/	WITH	-			
I.H.	INTERSTATE HIGHWAY	W/O	WITHOUT	-			
NV	INVERT	YI	YARD INLET				
-EN	LENGTH		OLS & ABBREVIATIONS SHOWN ON THIS SHEET / NOT BE USED IN THIS DRAWING PACKAGE **		STRONG ROCK PROJECT NOT FOR CONSTRUCTION	AS SHOWN	BY RLB

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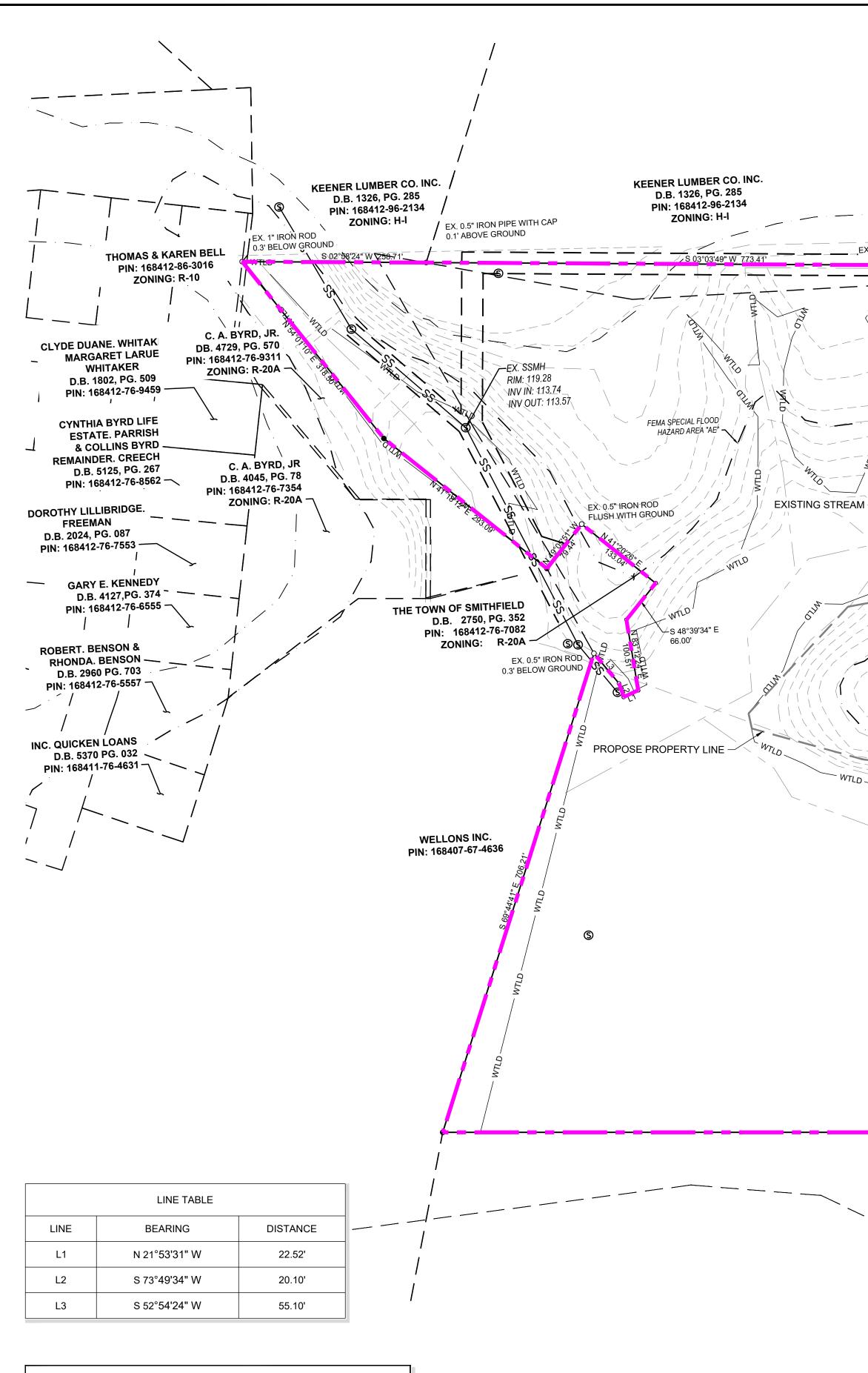
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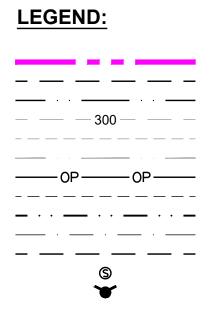
DRAWING

SHEET

C-1.0

02 OF 47





MASTER PLAN BOUNDARY EXISTING ADJOINER PROPERTY LINE EXISTING STREAM 10' CONTOUR 2' CONTOUR EXISTING POND EXISTING OVERHEAD POWER EXISTING EDGE OF PAVEMENT EXISTING ROADWAY EXISTING POWER EASEMENT EXISTING BUFFER EXISTING SANITARY SEWER MANHOLE EXISTING FIRE HYDRANT

GENERAL NOTES:

- . BOUNDARY INFORMATION AND ALL JURISDICTIONAL STREAMS AND WETLANDS DELINEATED AND LOCATED BY SAGE ENVIRONMENTAL.
- 2. FIELD TOPOGRAPHIC INFORMATION WAS PERFORMED BY TAYLOR LAND CONSULTANTS FROM A FIELD SURVEY PERFORMED IN AUGUST 2019.
- 3. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY TAYLOR LAND CONSULTANTS AND WAS NOT GENERATED OR VERIFIED BY THE ENGINEER.
- 4. EXISITNG CONDITIONS SHOWN DOES NOT IMPLY THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES THAT MAY NOT BE PRESENT ON THIS PROJECT AREA. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL UNDERGROUND PRIOR TO ANY CONTRUCTION ACTIVITY ON PROJECT.



WETLANDS

EX. 0.5" IRON PIPE WITH CAN

0.1' ABOVE GROUN



N 02°44'04" E 2140.89'

CECIL HEAVNER, FOUR HEAVNERS LLC. D.B. 4966, PG. 408 PIN: 168411-65-0657 ZONING: R-20A

MARY F. STRICKLAND & MOLLY. P YOUNGBLOOD

D.B. 4698, PG. 972

PIN: 168400-84-6775

FEMA SPECIAL FLOOD HAZARD AREA (0.2% ANNUAL CHANCE

FLOOD HAZARD)

C EX. 36" RCP **ZONING: R-20A**

. . .

INV: 121.22

_____FX 36" RC INV: 120.71

EX. CREEK

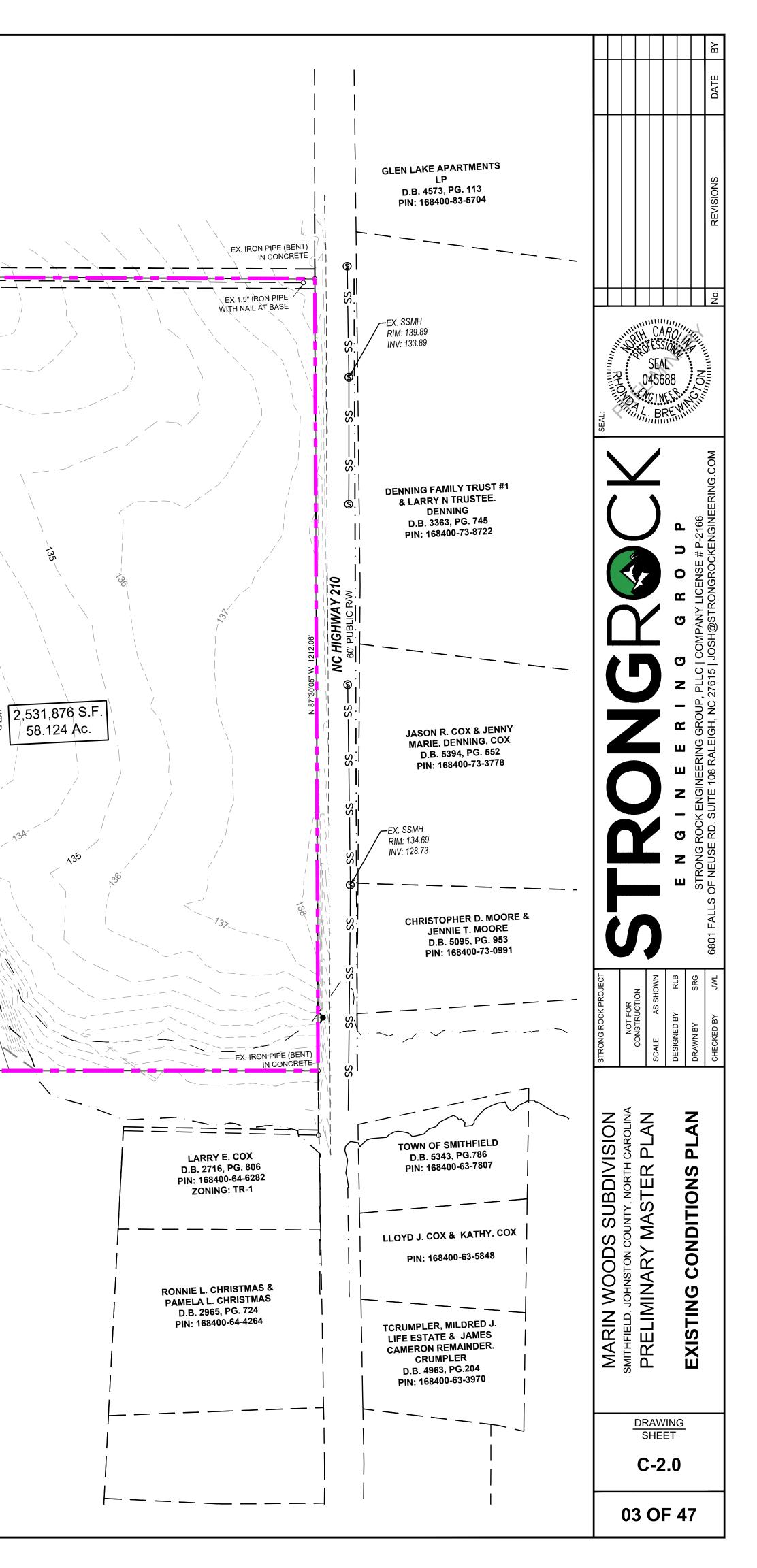
WTLD

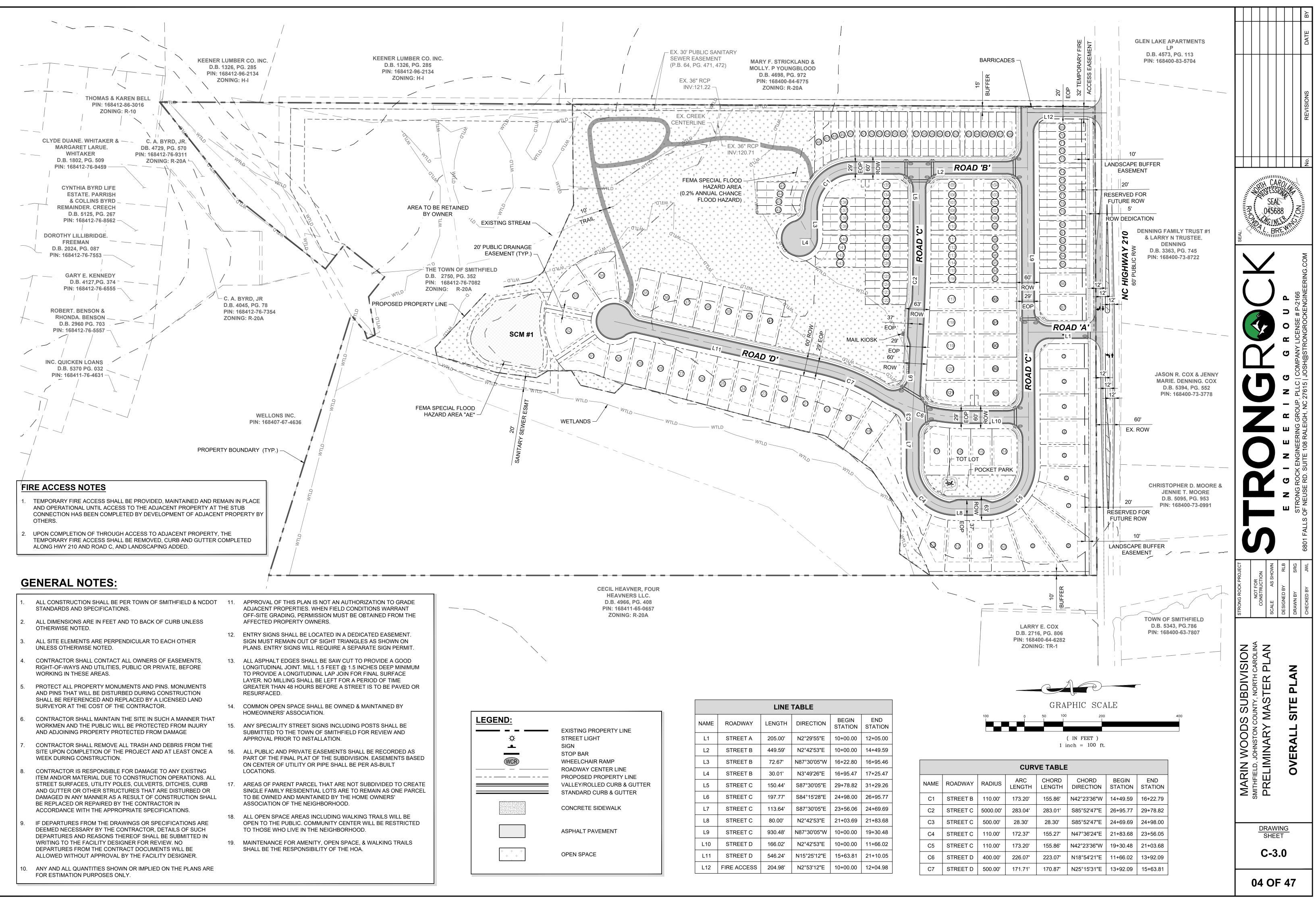
CENTÉRLINE

EX. 30' PUBLIC SANITARY SEWER EASEMENT (P.B. 64, PG, 471, 472)

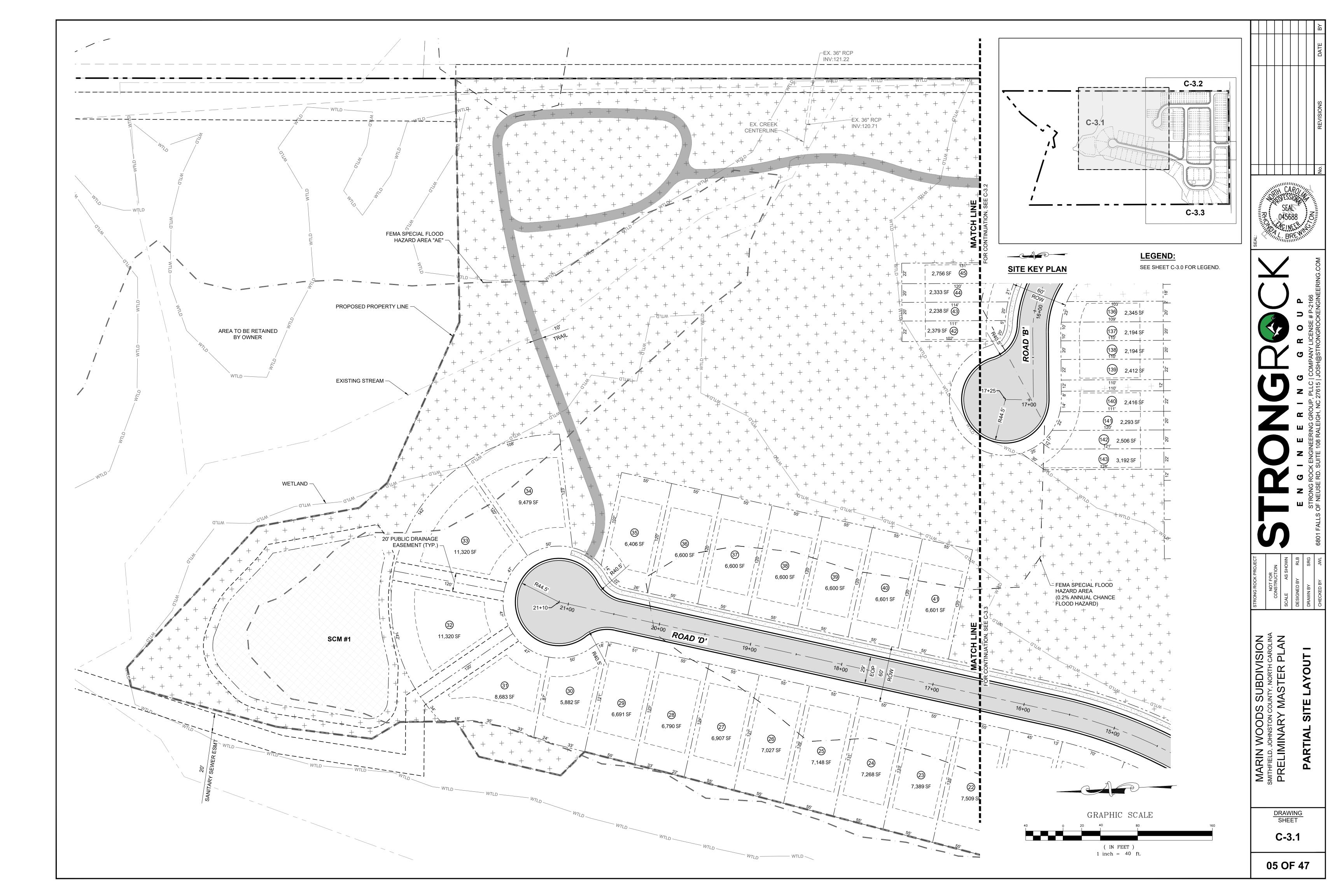
GRAPHIC SCALE

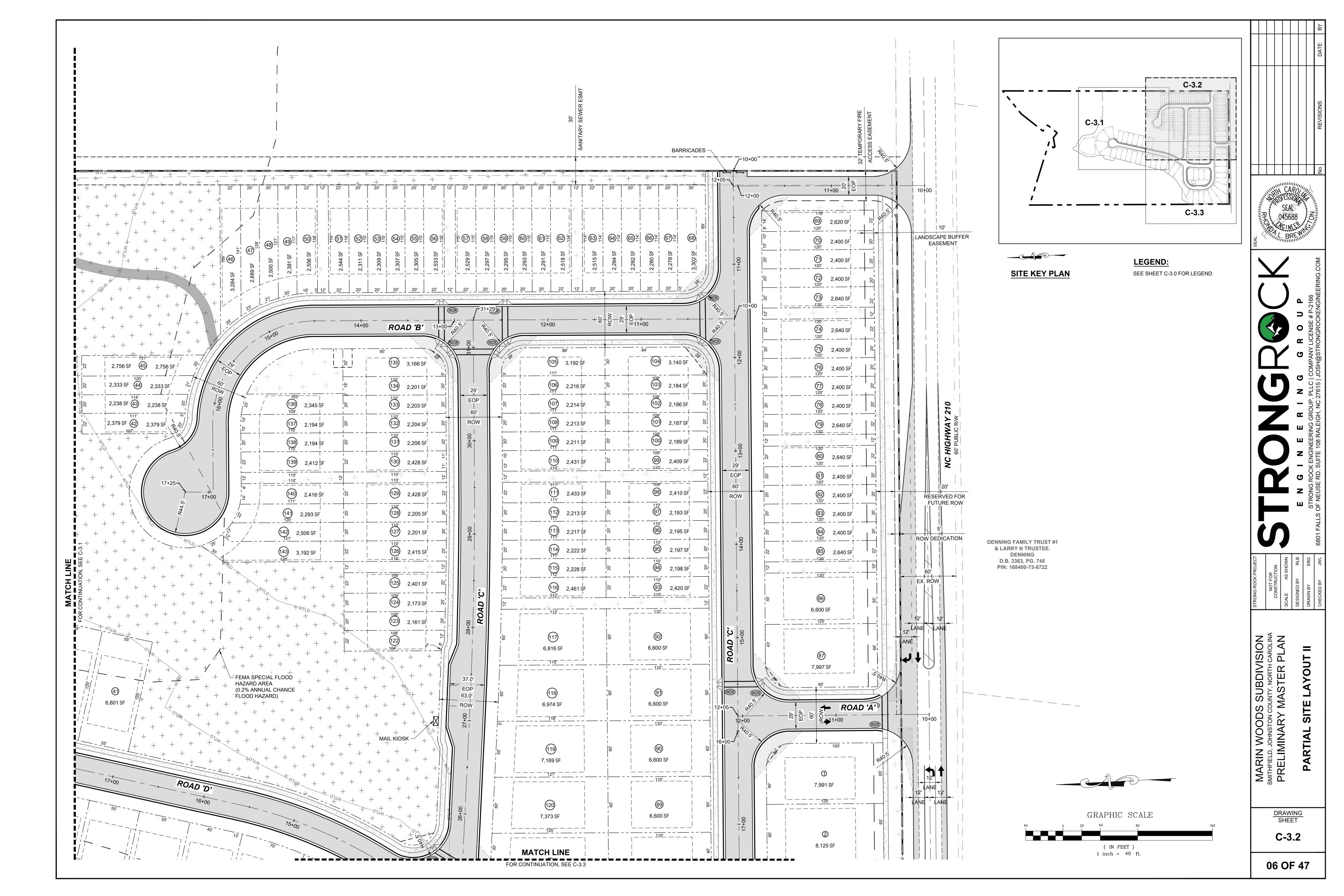
(IN FEET) 1 inch = 100 ft.

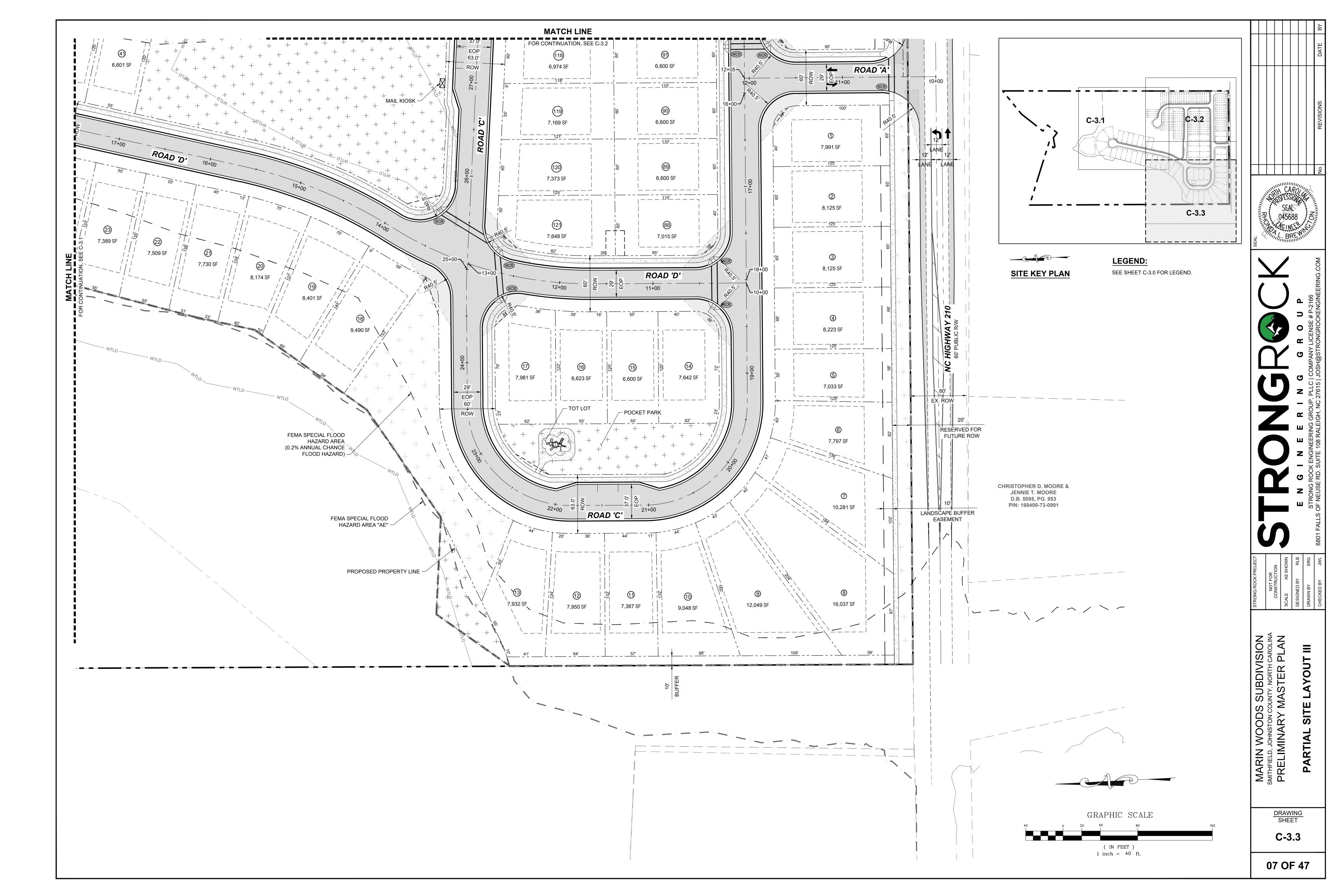


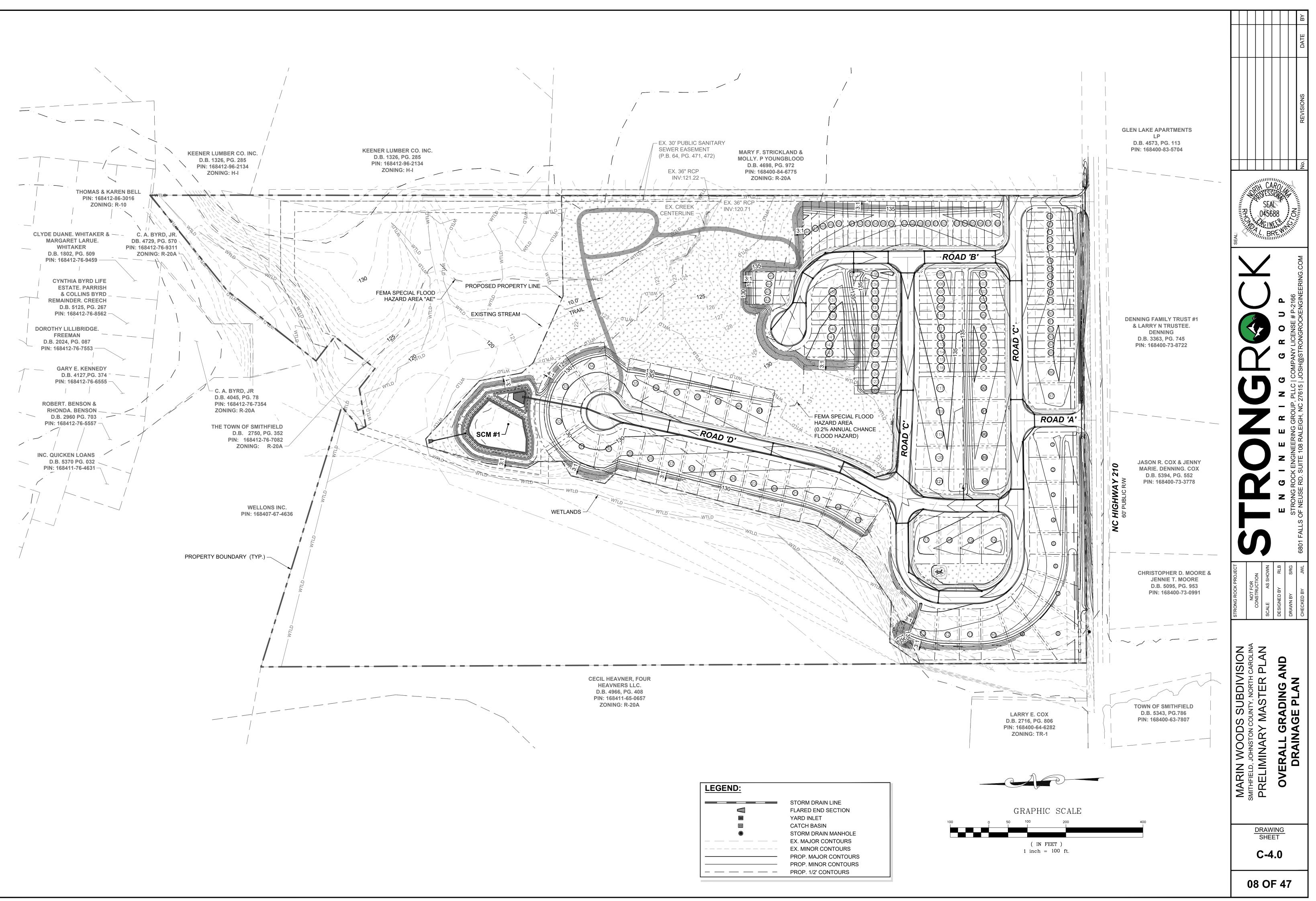


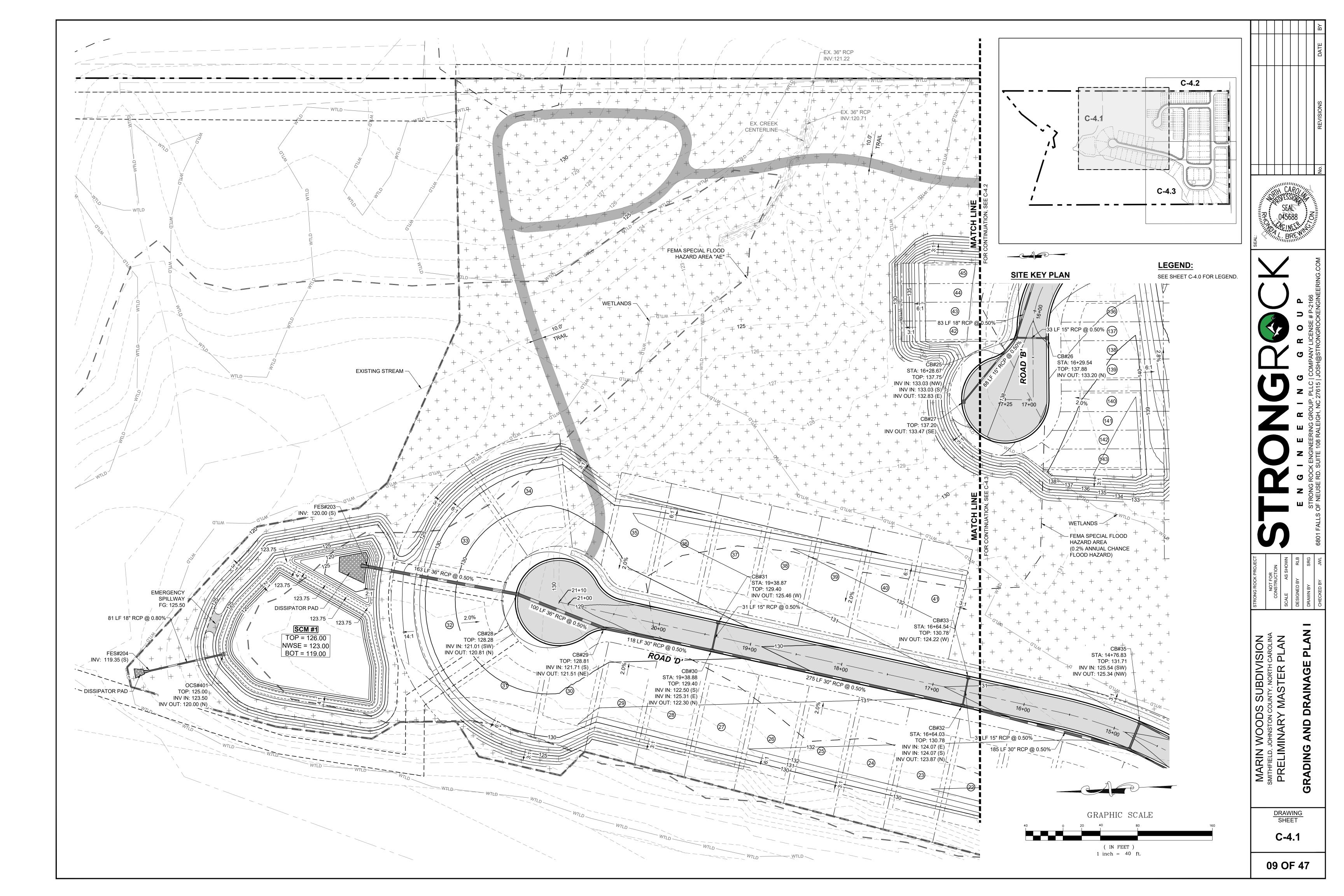
	LINE TABLE						
NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION		
L1	STREET A	205.00'	N2°29'55"E	10+00.00	12+05.00		
L2	STREET B	449.59'	N2°42'53"E	10+00.00	14+49.59		
L3	STREET B	72.67'	N87°30'05"W	16+22.80	16+95.46		
L4	STREET B	30.01'	N3°49'26"E	16+95.47	17+25.47		
L5	STREET C	150.44'	S87°30'05"E	29+78.82	31+29.26		
L6	STREET C	197.77'	S84°15'28"E	24+98.00	26+95.77		
L7	STREET C	113.64'	S87°30'05"E	23+56.06	24+69.69		
L8	STREET C	80.00'	N2°42'53"E	21+03.69	21+83.68		
L9	STREET C	930.48'	N87°30'05"W	10+00.00	19+30.48		
L10	STREET D	166.02'	N2°42'53"E	10+00.00	11+66.02		
L11	STREET D	546.24'	N15°25'12"E	15+63.81	21+10.05		
L12	FIRE ACCESS	204.98'	N2°53'12"E	10+00.00	12+04.98		

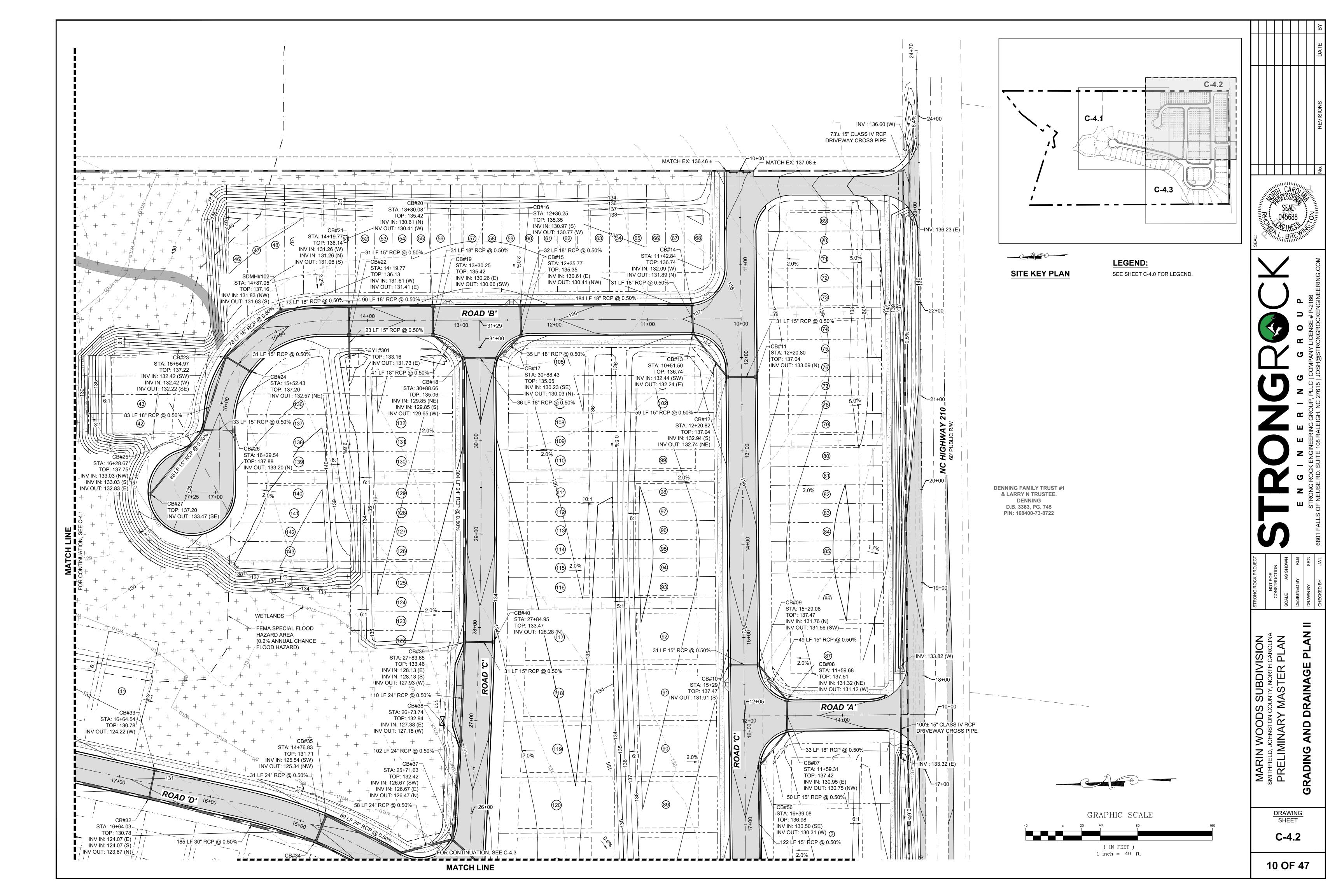


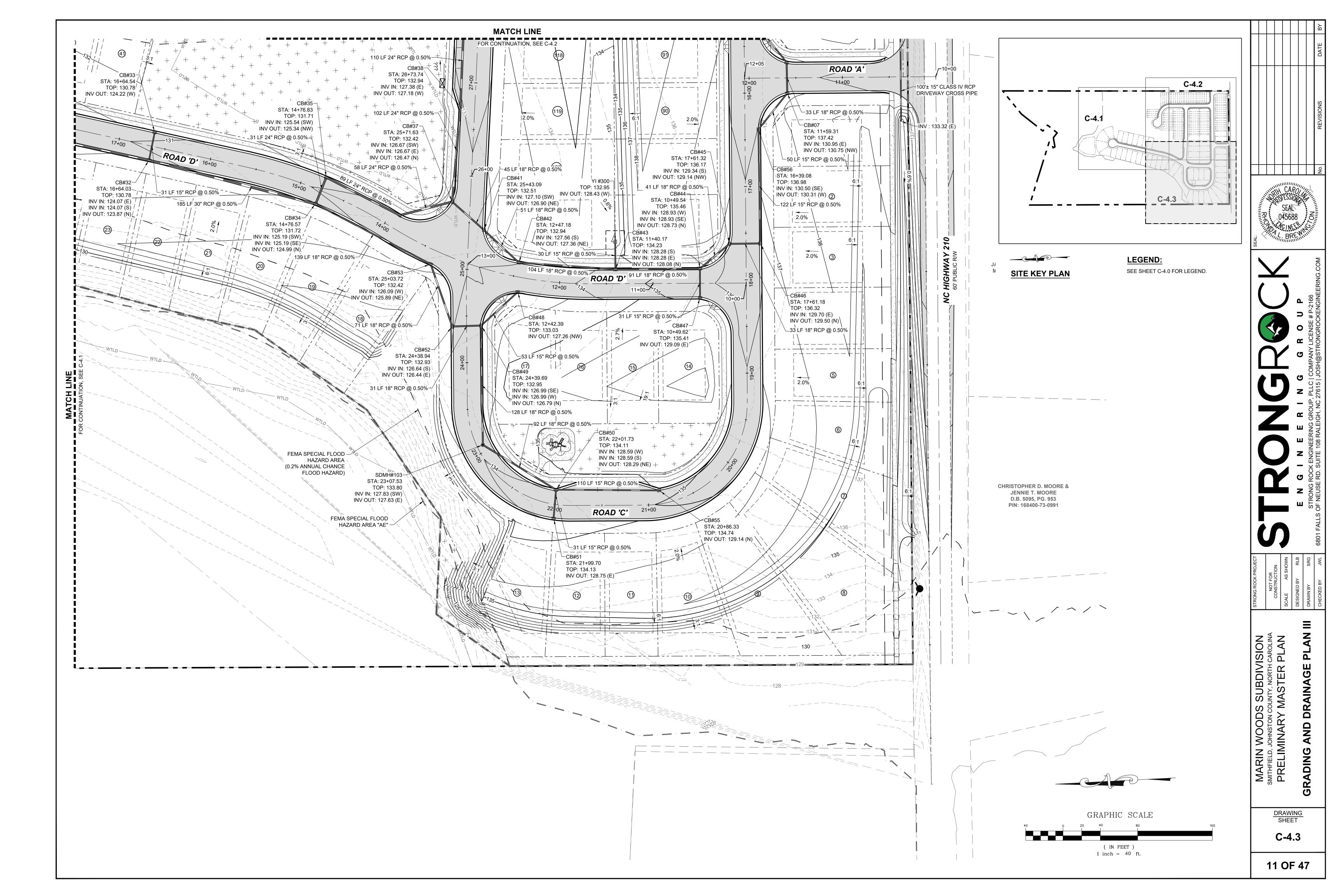


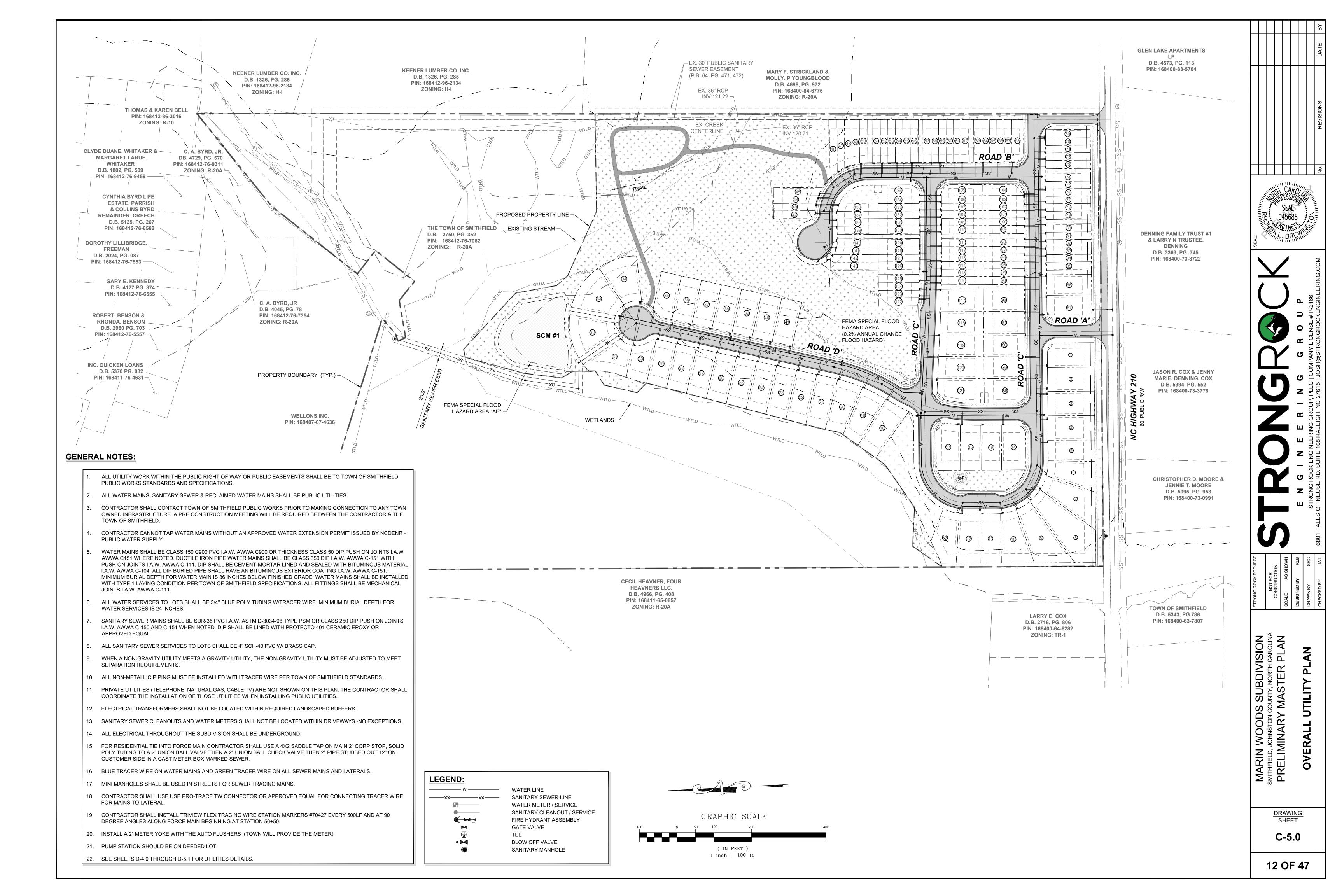


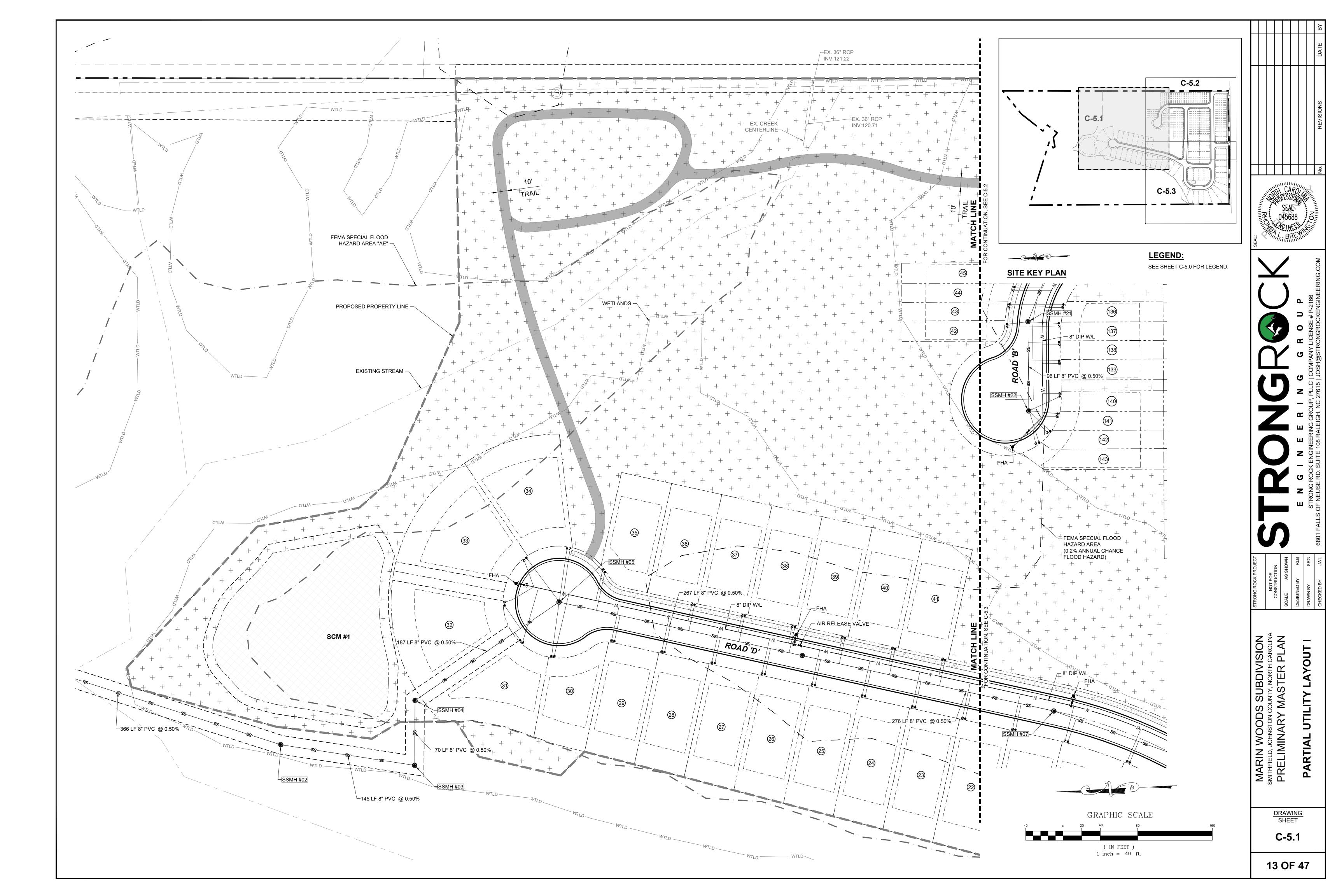


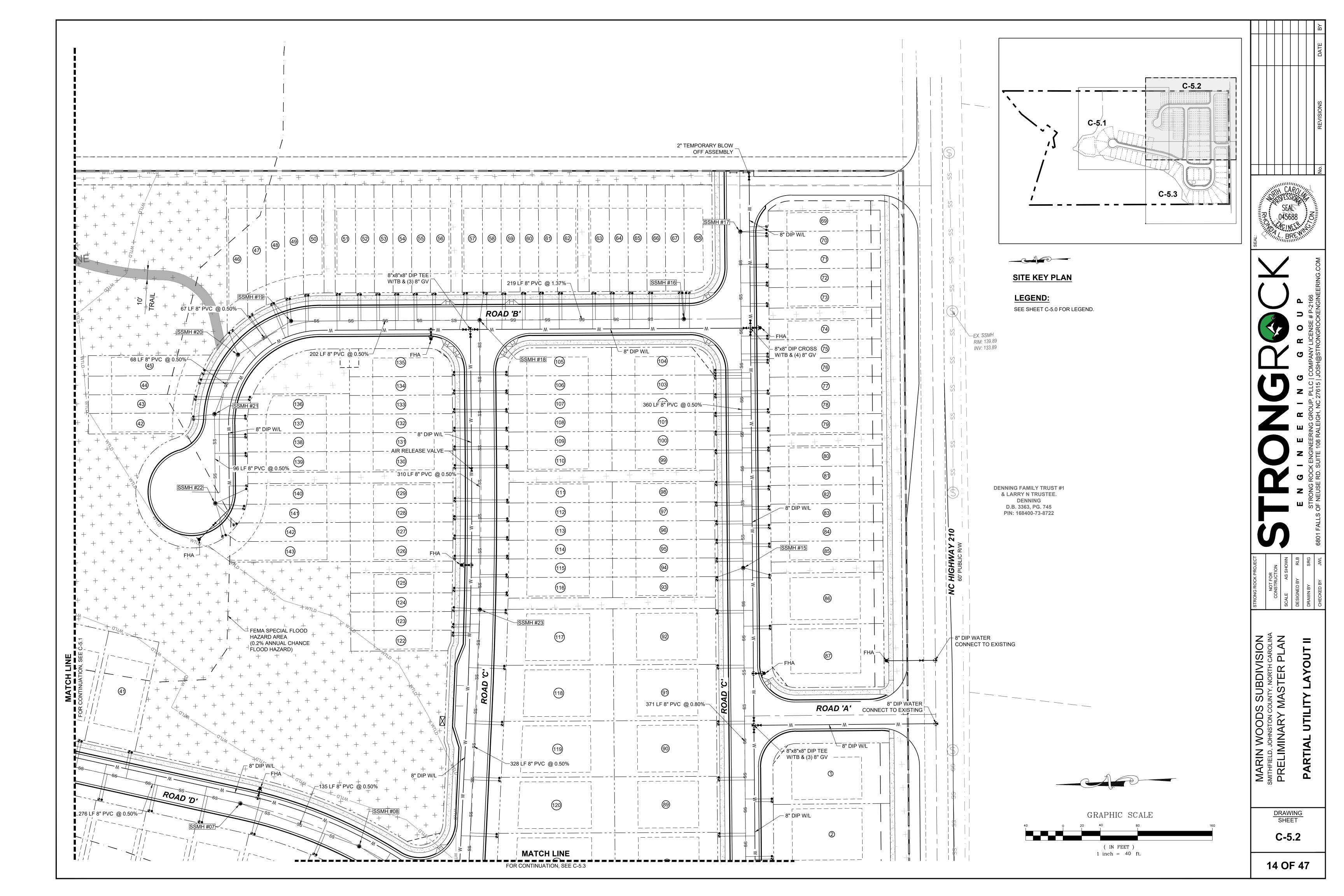


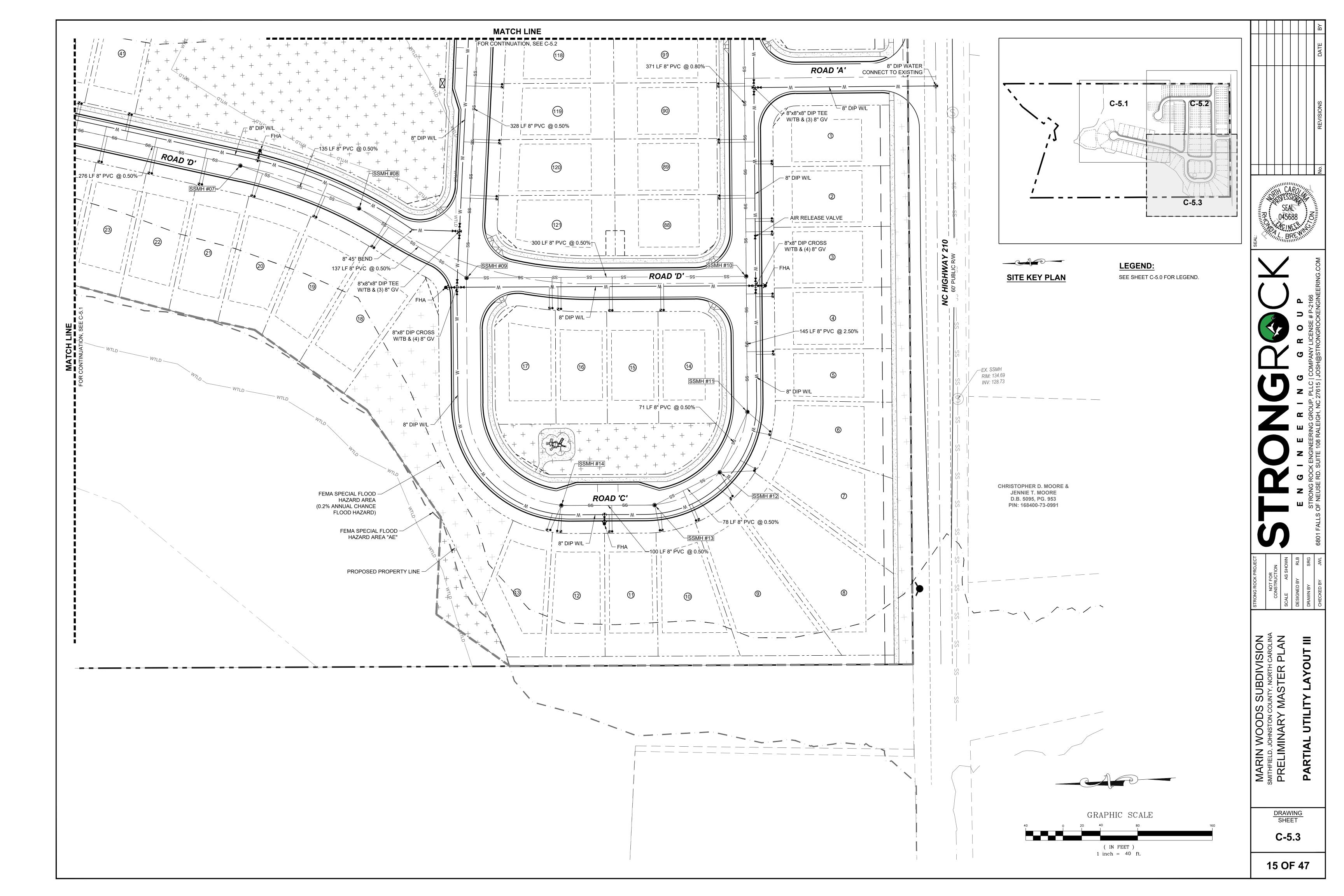


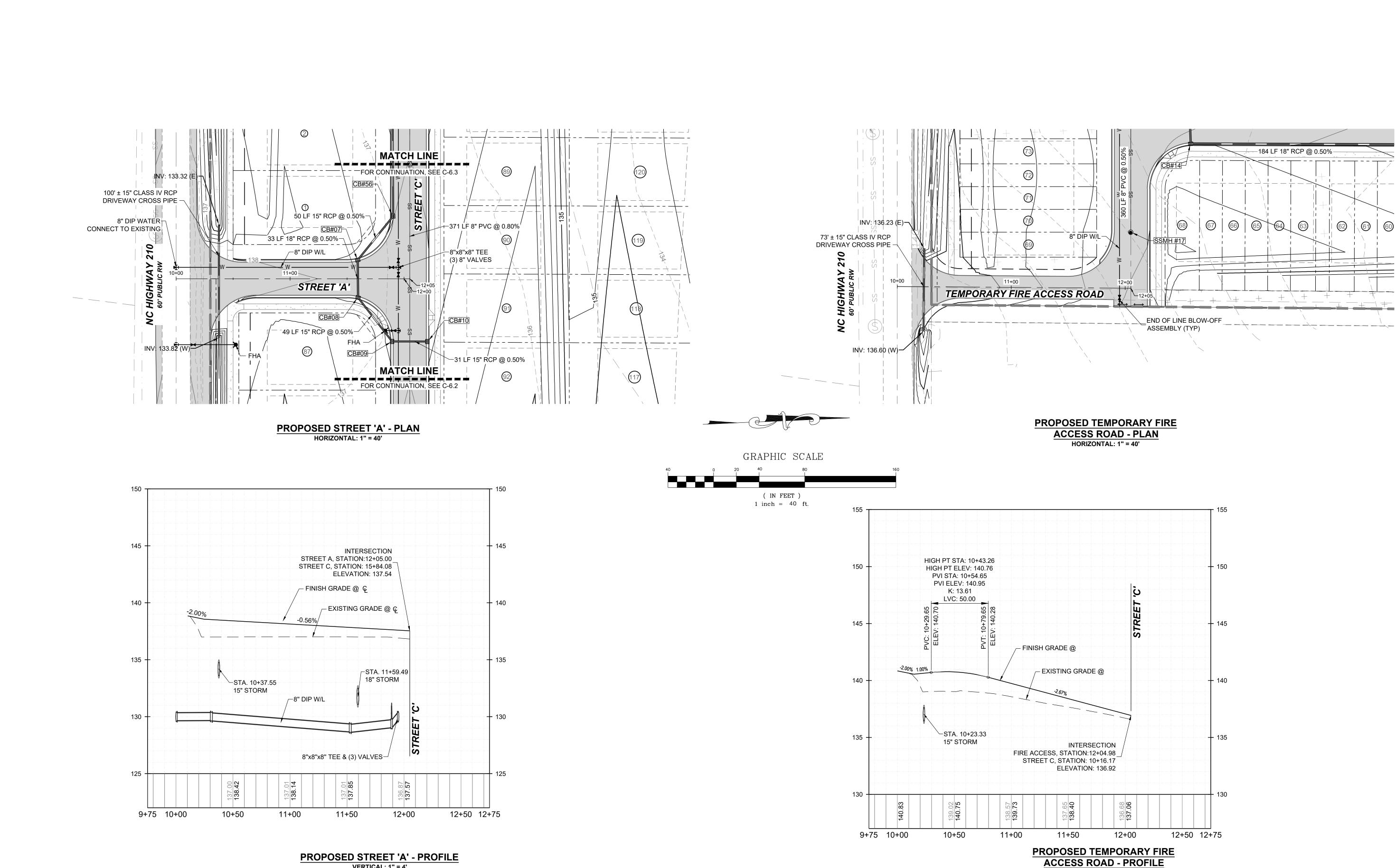










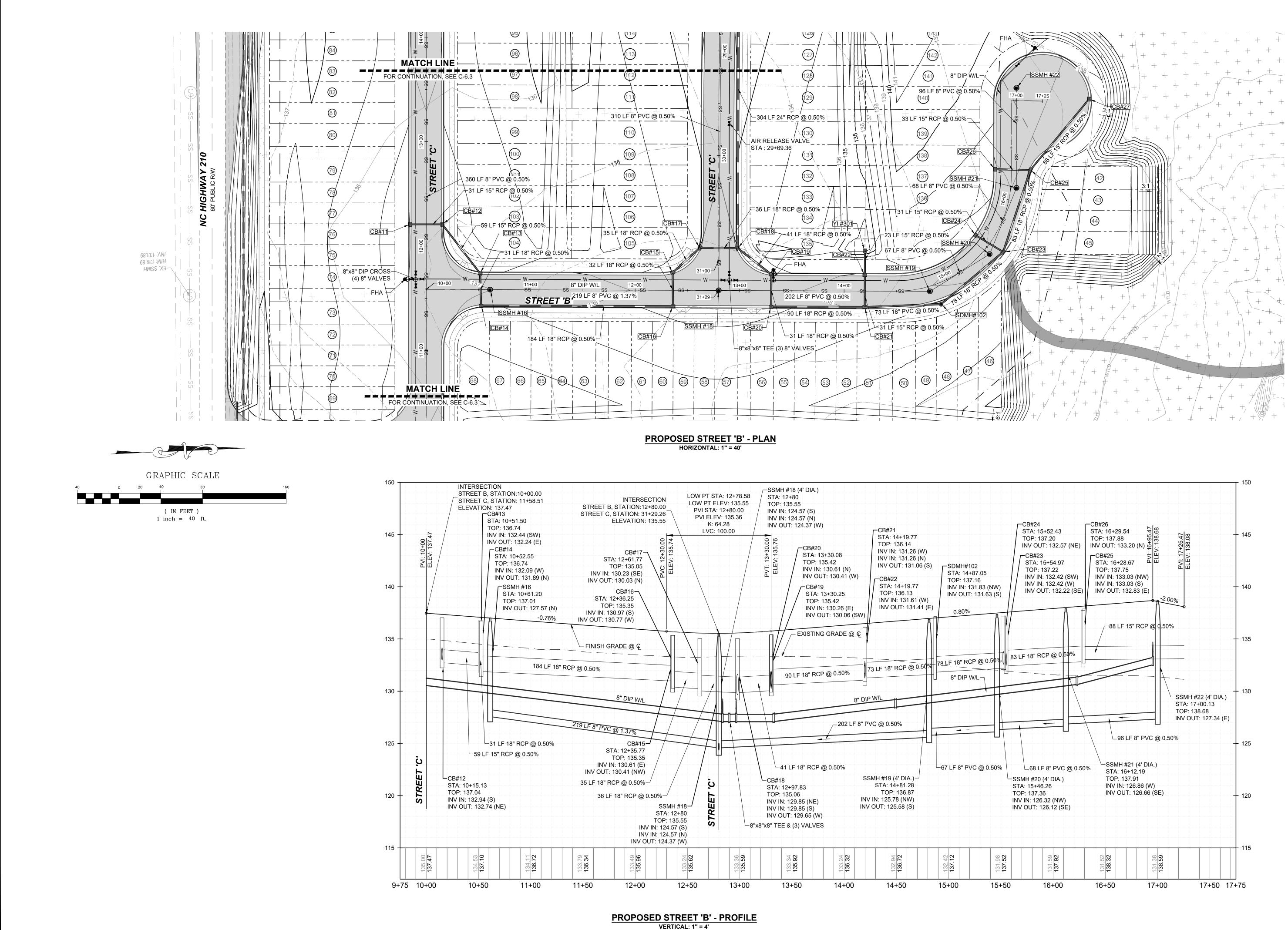


VERTICAL: 1" = 4' HORIZONTAL: 1" = 40'

Marin WOODS SUBDIVISION FROME RECURDING FROME RECURDING									REVISION
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ARIN WOODS SUBDIVISION STRONG ROCK PRO O.9-O SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA STRONG ROCK PRO SMITHFIELD, JOHNSTON COUNTY, STRONG ROCK PRO STRONG ROCK PRO SMITHFIELD, JOHNSTON COUNTY, STRONG ROCK PRO								STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166	6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 JOSH@STRONGROCKENGINEERING.COM
DRAWING SHEET C-6.0	STRONG ROCK PROJECT		NOT FOR	CONSTRUCTION					
SHEET C-6.0			JOHNSTON COUNTY, NORTH CAROLINA	AINARY MASTER DI ANI		CEN CTDEET A - DI AN		& FROFILE	
16 OF 47			SMITHFIELD,						
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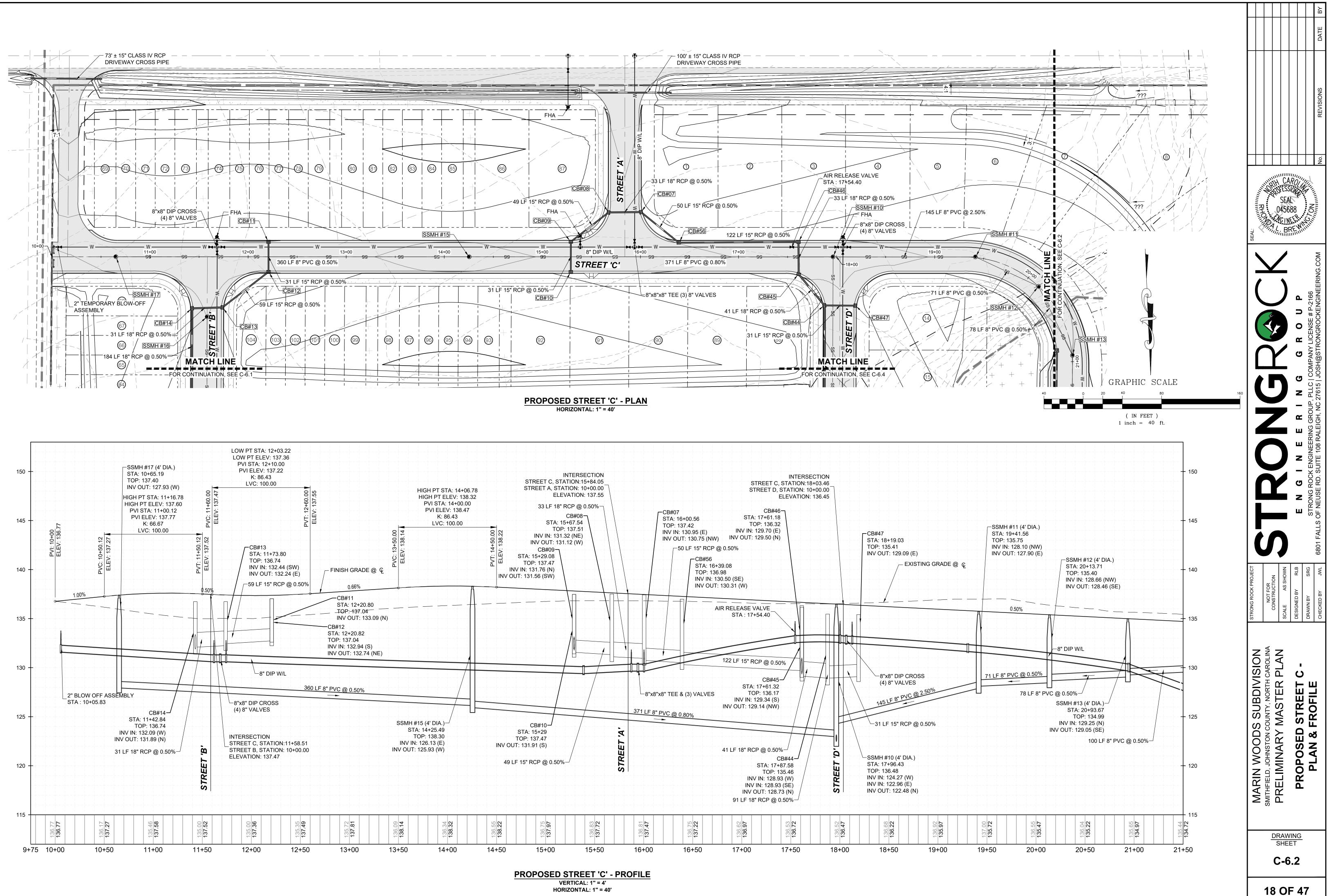
VERTICAL: 1" = 4'

HORIZONTAL: 1" = 40'

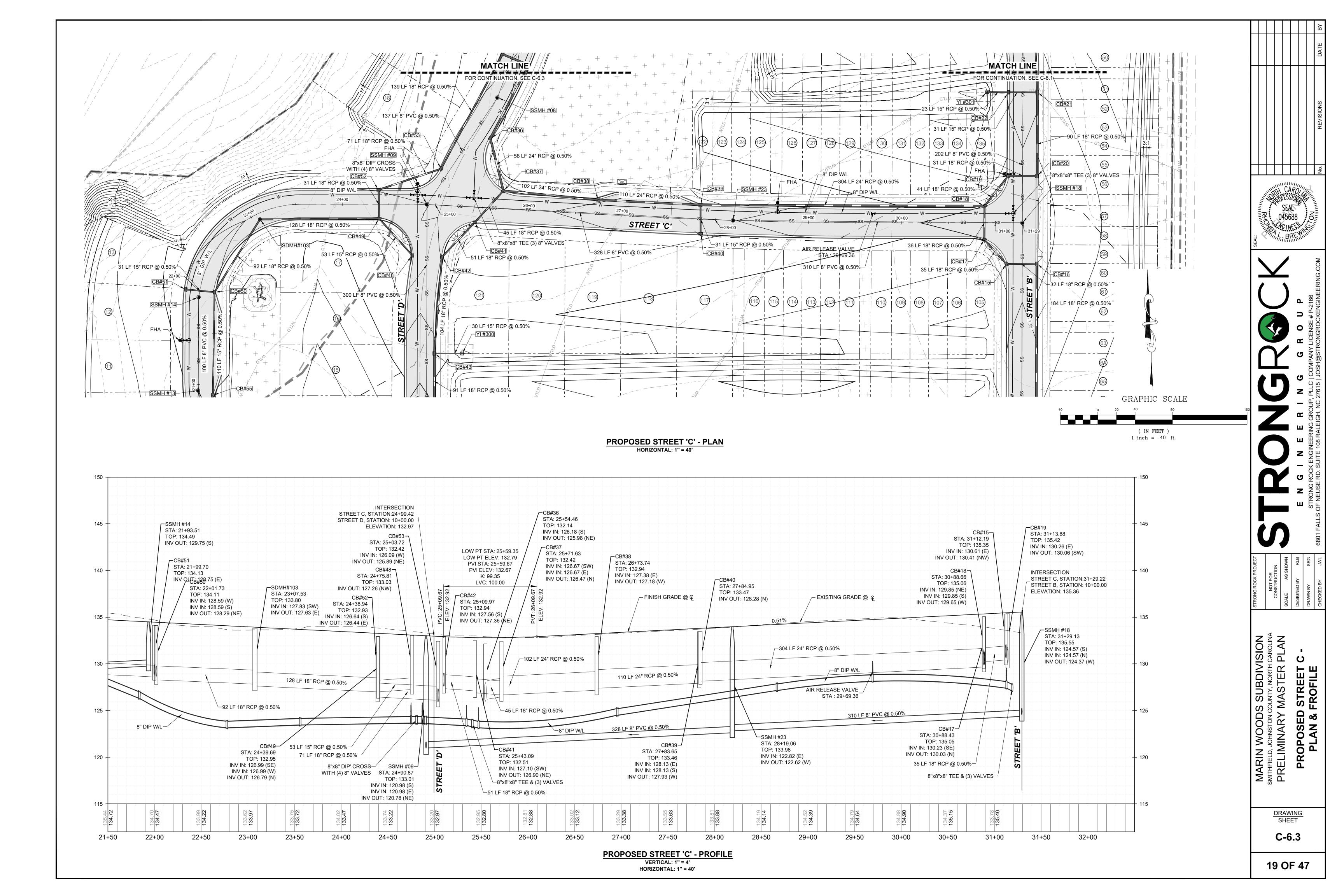


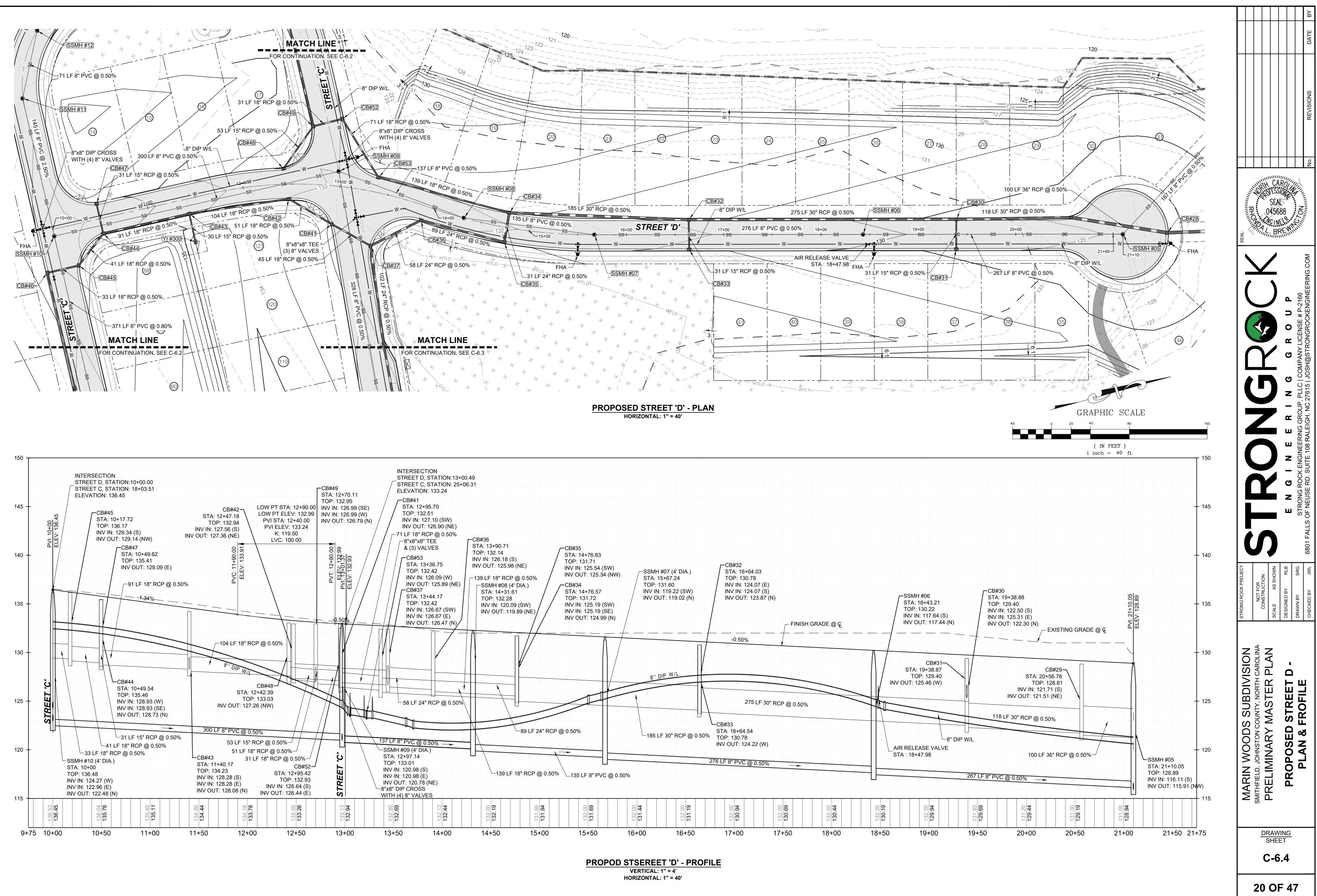
HORIZONTAL: 1" = 40'

STH CARO SEAL 045688 U ш ц С MARIN WOODS SUBDIVISION SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA PRELIMINARY MASTER PLAN PROPOSED STREET B -PLAN & FROFILE DRAWING SHEET C-6.1 17 OF 47



HORIZONTAL: 1" = 40'





OFFSITE SPOIL NOTE:

IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.

STAGE 1 SPECIFIC SEQUENCE:

- INSTALL TREE PROTECTION FENCING ACCORDING TO THE EROSION CONTROL PLAN. CALL JOHNSTON COUNTY EROSION CONTROL FOR INSPECTION AND OBTAIN PERMIT.
- INSTALL CONSTRUCTION ENTRANCE, SILT FENCING, SILT FENCE OUTLETS, DIVERSION DITCHES, AND SKIMMER BASINS AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN. SB-3 SKIMMER DEVICE SHALL BE INSTALLED TO THE DRAWDOWN ORIFICE ON THE RISER STRUCTURE. CONTRACTOR SHALL PLUG ALL OTHER ORIFICES UNTIL CONVERSION TO FINAL SWMF. CLEAR AND GRADE ONLY AREAS NECESSARY TO INSTALL THESE EROSION AND SEDIMENT CONTROL DEVICES. INSTALL SILT FENCE OUTLETS AT LOW POINTS IN THE SILT FENCING AS NEEDED TO PREVENT BLOWOUTS.
- INSTALL DOUBLE ROW OF SILT FENCE TO PROTECT THE ENVIRONMENTAL IMPACT AREAS AT THE CULVERT CROSSING AT STA. 58+25 OF MASTERS PLACE WAY AND SOUTH OF THE SCM '9' LEVEL SPREADER. CONTRACTOR NOT TO REMOVE THIS SILT FENCE AND PERFORM PHASE 2 LAND DISTURBANCE UNTIL THE 401 AND 404 PERMITS HAVE BEEN OBTAINED FROM NCDEQAND ACOE AND SUBMITTED TO JOHNSTON COUNTY.
- STABILIZE ALL DISTURBED AREAS DOWNSTREAM OF SEDIMENT BASINS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION. S. ONCE APPROVED, BEGIN CLEARING AND GRADING REMAINDER OF THE SITE. MAINTAIN EROSION CONTROL DEVICES AS NEEDED. 6. INSTALL DIVERSION DITCHES AS SHOWN ON THE STAGE 1 EROSION CONTROL PLANS. MAINTAIN DIVERSION DITCHES AS SITE IS BROUGHT TO FINAL GRADE IN ORDER TO DIVERT AS MUCH RUNOFF INTO SEDIMENT BASINS AS POSSIBLE.
- STABILIZE GRADED AREAS AS THEY ARE CLEARED. TEMPORARILY SEED AND MULCH DENUDED AREAS PER THE JOHNSTON COUNTY UNIFIED DEVELOPMENT ORDINANCE SEC. 12.10.4(B). ONCE FINAL GRADE HAS BEEN ACHIEVED, PAVE OR PERMANENTLY SEED ALL AREAS AND SLOPES PER NCDENR'S EROSION SEDIMENT CONTROL PLANNING AND DESIGN MANUAL VERSION 6/06, SECTION 6.10 AND 6.11.

MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.

STAGE 2 SPECIFIC SEQUENCE:

- INSTALL ADDITIONAL TREE PROTECTION AND SILT FENCING WHERE DEPICTED ON APPROVED STAGE 2 EROSION CONTROL PLANS.
- MAINTAIN DOUBLE ROW OF SILT FENCE TO PROTECT THE ENVIRONMENTAL IMPACT AREAS AT THE CULVERT CROSSING AT STA. 58+25 OF MASTERS PLACE WAY AND SOUTH OF THE SCM '9' LEVEL SPREADER. CONTRACTOR NOT TO REMOVE THIS SILT FENCE AND PERFORM PHASE 2 LAND DISTURBANCE UNTIL THE 401 AND 404 PERMITS HAVE BEEN OBTAINED FROM NCDEQ AND ACOE AND SUBMITTED TO JOHNSTON COUNTY.
- STABILIZE ALL DISTURBED AREAS DOWNSTREAM OF SEDIMENT BASINS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION.
- 4. ONCE APPROVED, CLEAR AND GRUB REMAINDER OF SITE AND BEGIN EARTHWORK ACTIVITY.
- AS THE SITE IS BROUGHT UP TO GRADE, THE CONTRACTOR SHALL RAISE AND/OR RELOCATE ALL DIVERSION DITCHES TO MAINTAIN A POSITIVE SEDIMENT LADEN FLOW TO ALL SEDIMENT BASINS. SIMILARLY, SEDIMENT BASIN EMBANKMENTS SHALL BE RAISED WITH GRADING ACTIVITIES IF/AND WHEN NECESSARY.
- INSTALL STORM COLLECTION SYSTEM AS SITE IS BROUGHT TO FINAL GRADE BEGINNING WITH MAIN TRUNK LINES THAT CONVEY RUNOFF TO SEDIMENT BASINS 3. 6. 11. AND 12. AS UPSTREAM AREAS ARE STABILIZED AND WITH THE APPROVAL OF THE EROSION CONTROL INSPECTOR, THE CONTRACTOR SHALL FILL IN AND IMMEDIATELY STABILIZE THE REMAINDER OF THE SEDIMENT BASINS.
- INSTALL APPROVED INLET PROTECTION AS INLETS ARE INSTALLED. TEMPORARY EROSION CONTROL MEASURES ARE TO REMAIN UNTIL SUCH MEASURES HAVE BEEN APPROVED FOR REMOVAL BY THE ENVIRONMENTAL ENGINEER. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND FIELD CONDITIONS.
- MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
- 9. STABILIZE GRADED AREAS AS THEY ARE BROUGHT TO FINAL GRADE. TEMPORARILY SEED AND MULCH DENUDED AREAS PER THE JOHNSTON COUNTY UNIFIED DEVELOPMENT ORDINANCE SEC. 12.10.4(8). ONCE FINAL GRADE HAS BEEN ACHIEVED, PAVE OR PERMANENTLY SEED ALL AREAS AND SLOPES PER NCDENR'S EROSION SEDIMENT CONTROL PLANNING AND DESIGN MANUAL VERSION 5/13, CHAPTER 6.ii.6.10 AND 6.ii.6.11. SEE DETAIL SHEETS FOR SEEDING SPECIFICATIONS.

STAGE 3 SPECIFIC SEQUENCE:

- IF 401 AND 404 ENVIRONENTAL PERMITS HAVE NOT YET BEEN OBTAINED. MAINTAIN DOUBLE ROW OF SILT FENCE TO PROTECT THE ENVIRONMENTAL IMPACT AREAS AT THE CULVERT CROSSING AT STA. 58+25 OF MASTERS PLACE WAY AND SOUTH OF THE SCM '9' LEVEL SPREADER. CONTRACTOR NOT TO REMOVE THIS SILT FENCE AND PERFORM PHASE 2 LAND DISTURBANCE UNTIL THE 401 AND 404 PERMITS HAVE BEEN OBTAINED FROM NCDEQ AND ACOE AND SUBMITTED TO JOHNSTON COUNTY.
- INSTALL THE REMAINER OF THE STORM NETWORK AND RETAINING WALLS. INSTALL INLET PROTECTION ON ALL STORM STRUCTURES.
- CONTRACTOR SHALL TAKE SB-3, 6, 11, AND 12 OFFLINE AND BRING LOTS TO FINAL GRADE. IMMEDIATELY STABILIZE DISTURBED AREAS WITH VEGETATION.
- UPON APPROVAL OF PERMANENT STABILIZATION, REMOVE BALANCE OF EROSION CONTROL MEASURES, GRADE AND STABILIZE REMAINDER OF SITE.
- WITH APPROVAL OF EROSION CONTROL INSPECTOR, REMOVE THE REMAINER OF THE EROSION CONTROL DEVICES.

EROSION CONTROL NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST JOHNSTON COUNTY STANDARDS, SPECIFICATIONS AND DETAILS.
- 2. GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE JOHNSTON COUNTY SOIL AND EROSION CONTROL STANDARDS AND SPECIFICATIONS.
- GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES DIVISION OF WATER QUALITY (DWQ) STANDARDS AND SPECIFICATIONS. WHERE DIFFERENT FROM JOHNSTON COUNTY STANDARDS, THE MORE STRINGENT METHOD SHALL BE APPLIED.
- 4. FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE JOHNSTON COUNTY EROSION CONTROL DEPARTMENT OR THE DWQ.
- 5. CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE (STATE LAW 2009-486).
- 6. FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
- 7. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- 8. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- 9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY NCDEQ ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
- 10. CONTRACTOR SHALL INSPECT ALL SEDIMENT /EROSION CONTROL DEVICES AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- 11. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- 12. CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
- 13. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- 14. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 15. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- 16. A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
- 17. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- 18. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING.
- 19. TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
- 20. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 21. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
- 22. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.
- 23. SLOPES GREATER THAN 3:1 AND/OR GREATER THAN 10' IN VERTICAL DIFFERENCE SHALL BE INSTALLED WITH ROLLED EROSION CONTROL PRODUCT IMMEDIATELY UPON INSTALLATION.

GENERAL SEQUENCE:

ENFORCEMENT NOTE 1. FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS. INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES TO \$5000 PER VIOLATION PER DAY, INJUNCTIVE RELIEF, CRIMINAL PENALTIES, AND PERMIT REVOCATION. ADDITIONALLY, OFF-SITE SEDIMENTATION MAY RESULT IN RESTORATION REQUIREMENTS.

S&E MEASURES.

CONSTRUCTION SEQUENCE

- S&E OFFICE.

- THE MATERIAL.
- COMPLETION.
- STARTED.

- STABILIZATION.

LIMITS OF DISTURBANCE = 1,084,055 SF (24,89 AC).

SPECIAL NOTES:

ENFORCEMENT NOTE 2. IF THE JOHNSTON COUNTY S&E STAFF DETERMINES THAT EXCESSIVE SEDIMENT IS LEAVING THE SITE, A REVISED SEDIMENTATION AND EROSION CONTROL PLAN MAY BE REQUIRED, WITH ASSOCIATED REQUIREMENTS FOR ADDITIONAL

1. INSTALL TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED SITE PLAN.

2. INSPECT TREE FENCE AND SUBMIT A "TREE PROTECTION FENCING CERTIFICATION" FORM TO JOHNSTON COUNTY S&E OFFICE, FAX: (919)560-0740.

3. CALL JOHNSTON COUNTY S&E OFFICE FOR INSPECTION OF TREE FENCE INSTALLATION, (919)560-0735.

4. SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE PRIOR TO BEGINNING ANY LAND-DISTURBING ACTIVITIES. THIS CONFERENCE SHOULD BE ATTENDED BY A REPRESENTATIVE OF THE FINANCIALLY RESPONSIBLE PARTY AND/OR THE GENERAL CONTRACTOR, GRADING SUB-CONTRACTOR, EROSION CONTROL SUB-CONTRACTOR AND THE JOHNSTON COUNTY

5. OBTAIN LAND DISTURBING PERMIT AND PLACARD, AND POST THE PLACARD ON SITE.

6. OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX. CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.

7. INSTALL CONSTRUCTION EGRESS/EXITS, SILT FENCING, SEDIMENT TRAPS/BASINS, DIVERSION DITCHES, TEMPORARY PIPES, CLEAR WATER DIVERSIONS, CHECK DAMS, AND OTHER INITIAL EROSION CONTROL MEASURES AS SPECIFIED IN THE PLAN (PHASE 1). REMOVE ONLY TREES AND GROUND COVER NECESSARY TO INSTALL THESE DEVICES.

8. IF A STOCKPILE IS NECESSARY DUE TO EXCAVATION OF THE SEDIMENT TRAP/BASIN. PLACE A DOUBLE ROW OF SILT FENCE 10 FEET APART. TREES AND GROUNDCOVER MAY BE REMOVED ONLY AS NECESSARY FOR THIS STOCKPILE. IF MATERIAL IS GOING TO BE HAULED OFF-SITE, A SEPARATE EROSION CONTROL PERMIT MUST BE OBTAINED FOR THE DESTINATION OF

9. PROVIDE TEMPORARY GROUNDCOVER FOR DIVERSION DITCHES AND SEDIMENT TRAPS/BASINS WITHIN 3 DAYS OF

10. NOTIFY THE JOHNSTON COUNTY S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS

11. BEGIN CLEARING, GRUBBING AND GRADING OF SITE IN ACCORDANCE WITH THE APPROVED S&E CONTROL PLAN.

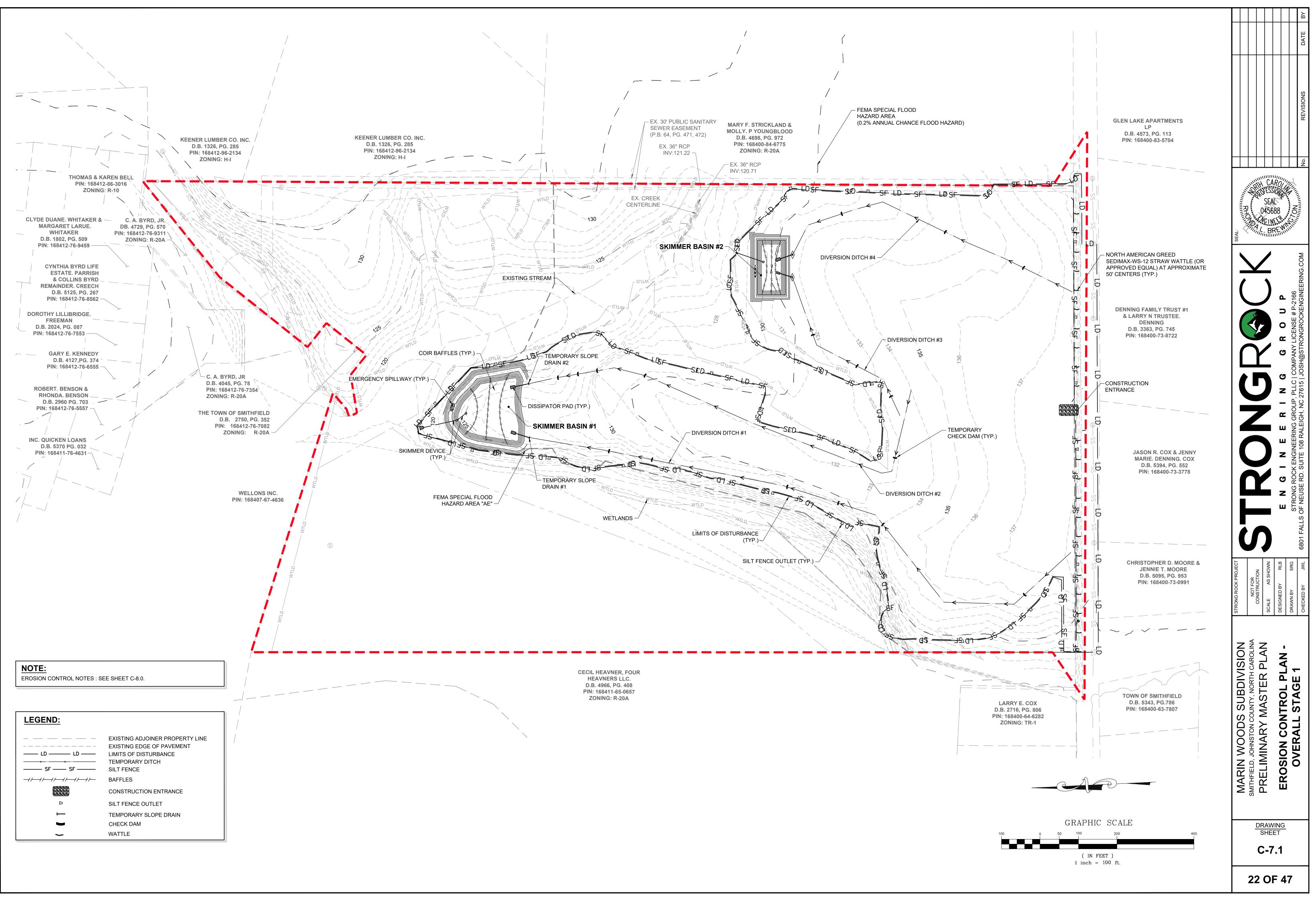
12. FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.

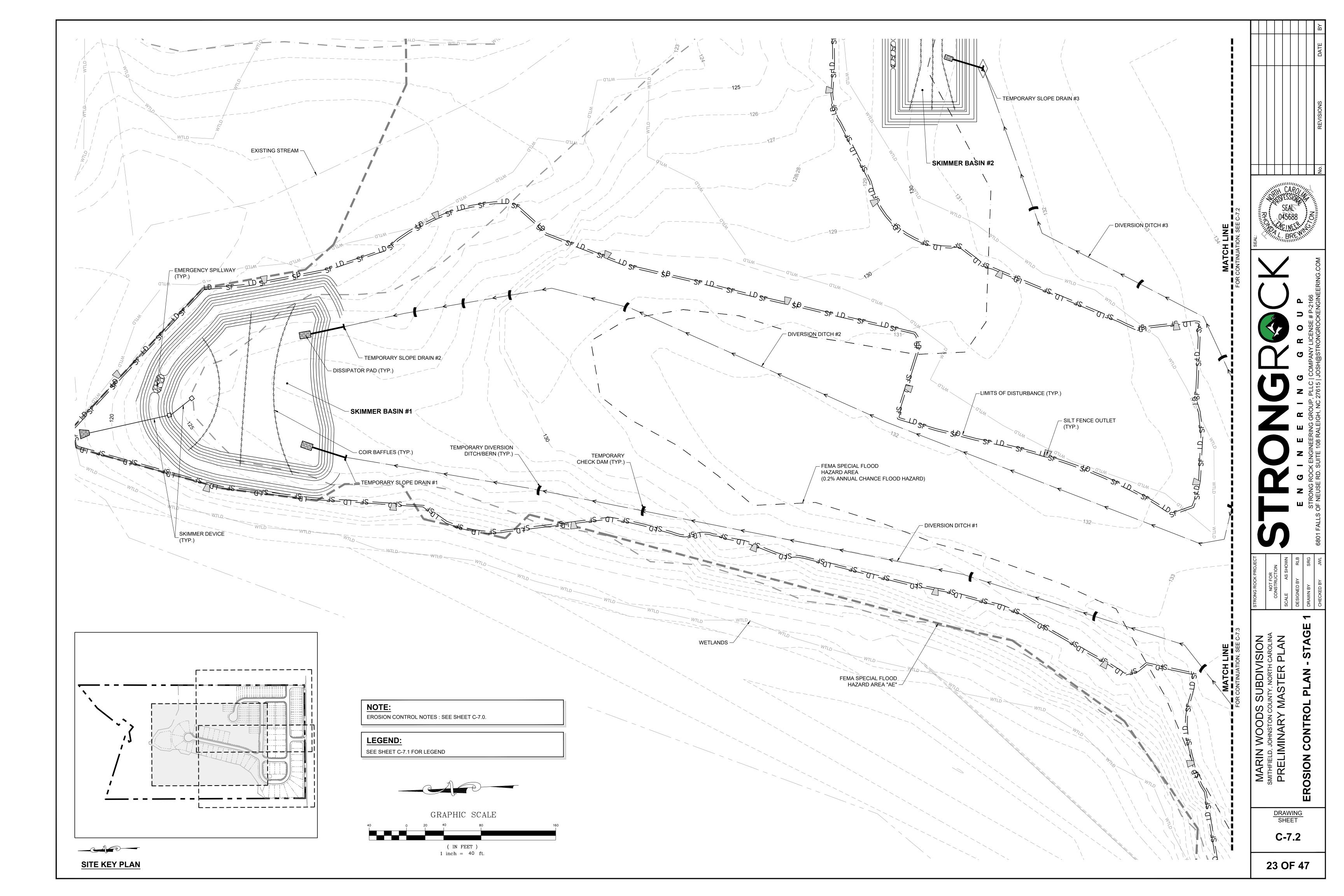
13. REMOVE ALL EROSION CONTROL MEASURES AFTER THE JOHNSTON COUNTY S&E OFFICE APPROVAL OF PERMANENT

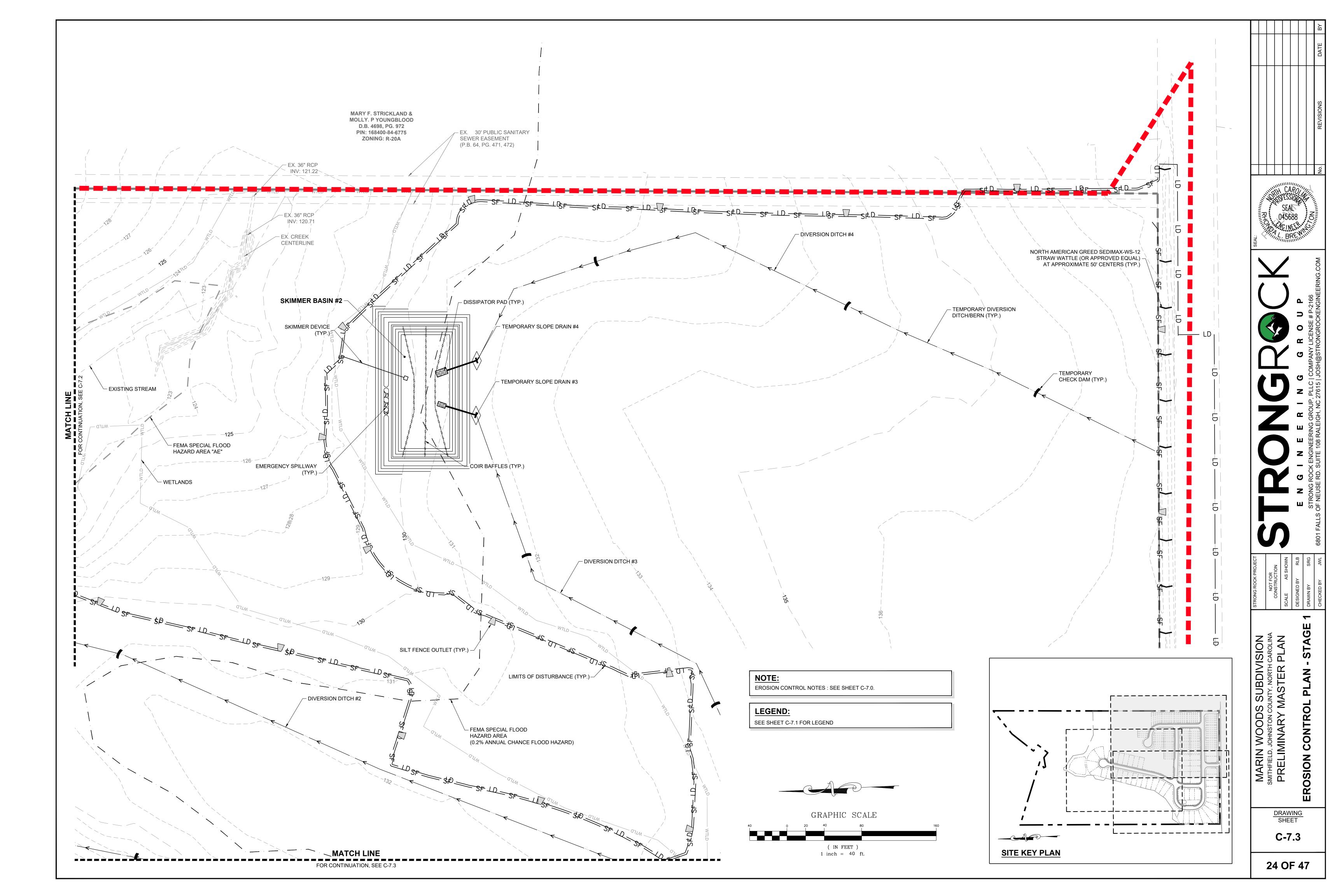
CONTRACTOR SHALL MAINTAIN PERMANENT ACCESS FOR CART PATHS ALLOWING CONTINUOUS AND SAFE OPERATION OF GOLF FACILITY DURING ALL OPERATIONAL HOURS. CONTRACTOR WILL COORDINATE WITH OWNER AND GOLF CLUB ANY TIME CART PATH NEEDS TO BE RELOCATED TEMPORARILY OR WHEN CONVERTING TO ITS FINAL LOCATION.

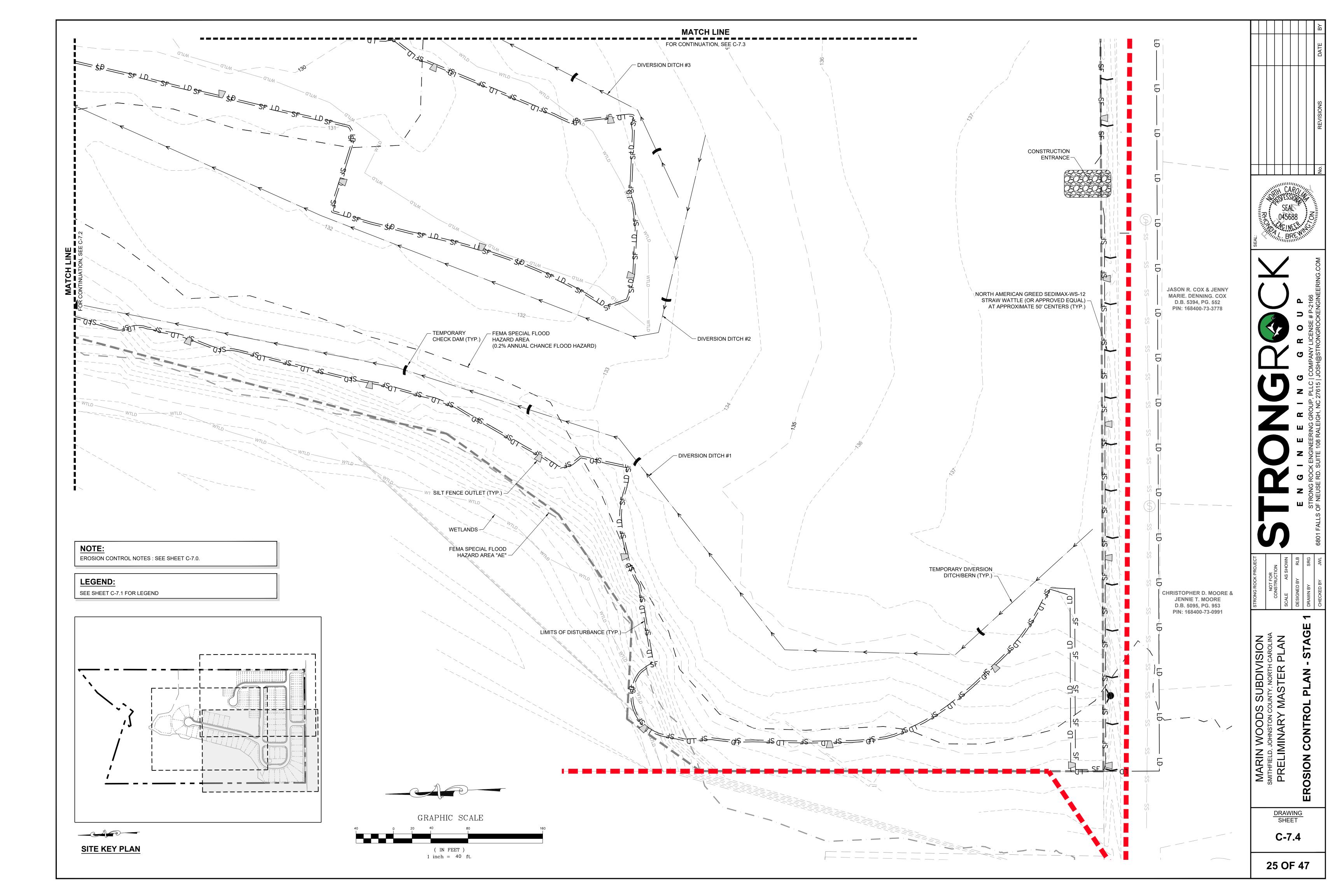
CART PATH MAINTAINED THROUGH CONSTRUCTION ZONE WILL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE CONTINUOUSLY AND ONLY OPENED FOR TRUCK CROSSING WITH EITHER TEMPORARY GOLF CLOSURE OR WITH FULL TIME MAN POSTED AT ALL CONSTRUCTION ZONE CROSSINGS.

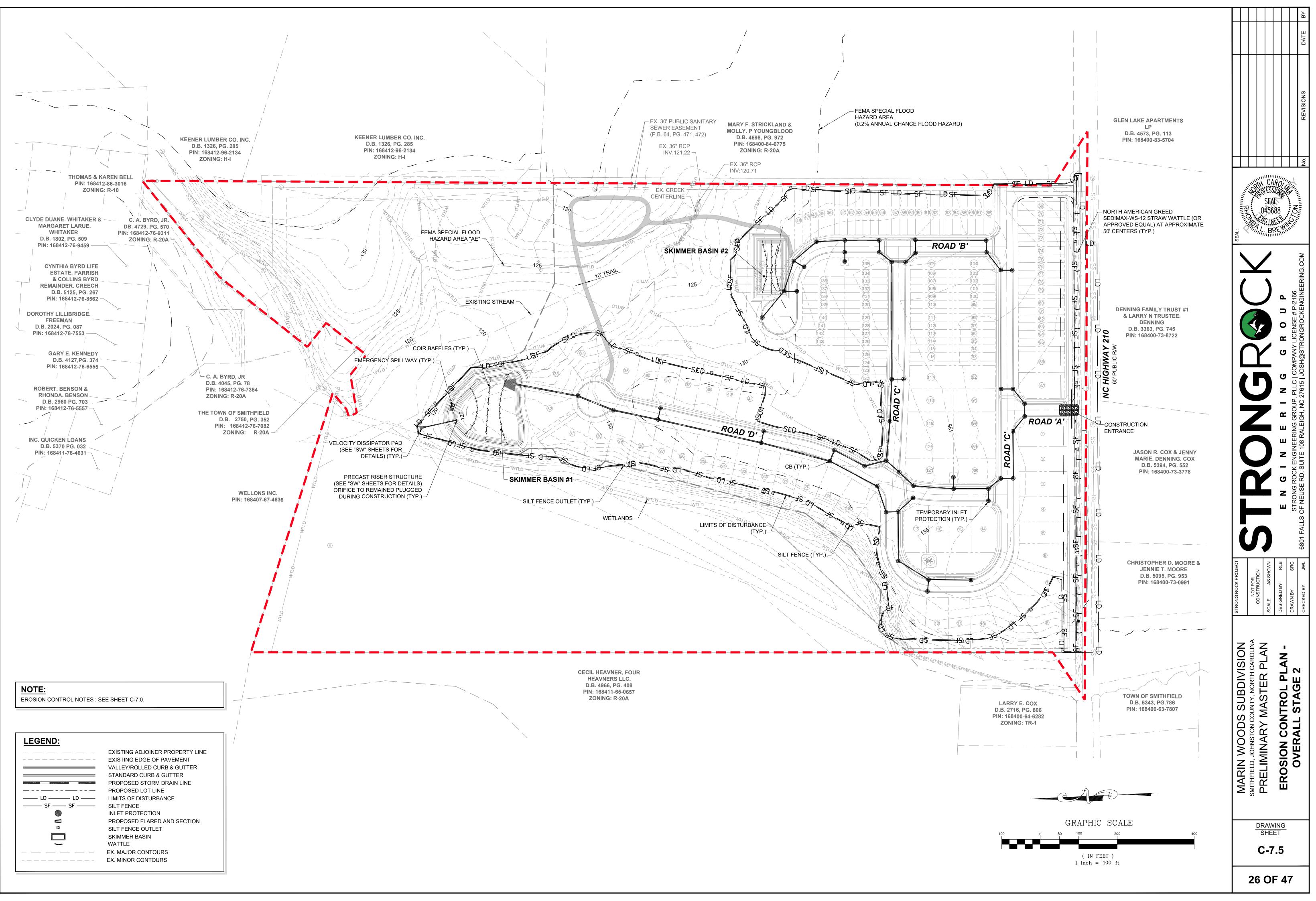
SEAL:	CA SEAS SEA GIN	ROUND 88 E		NULTRIANTION No. REVISIONS DATE BY
			RONG ROCK ENGINEERING GROUP PLICTCOMP.	6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 JOSH@STRONGROCKENGINEERING.COM
STRONG ROCK PROJECT NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY RLB	DRAWN BY SRG	CHECKED BY JWL
MARIN WOODS SUBDIVISION SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA			EROSION CONTROL NOTES	
	RAW SHE	ET	<u>i</u>	
21	OI	F Z	! 7	

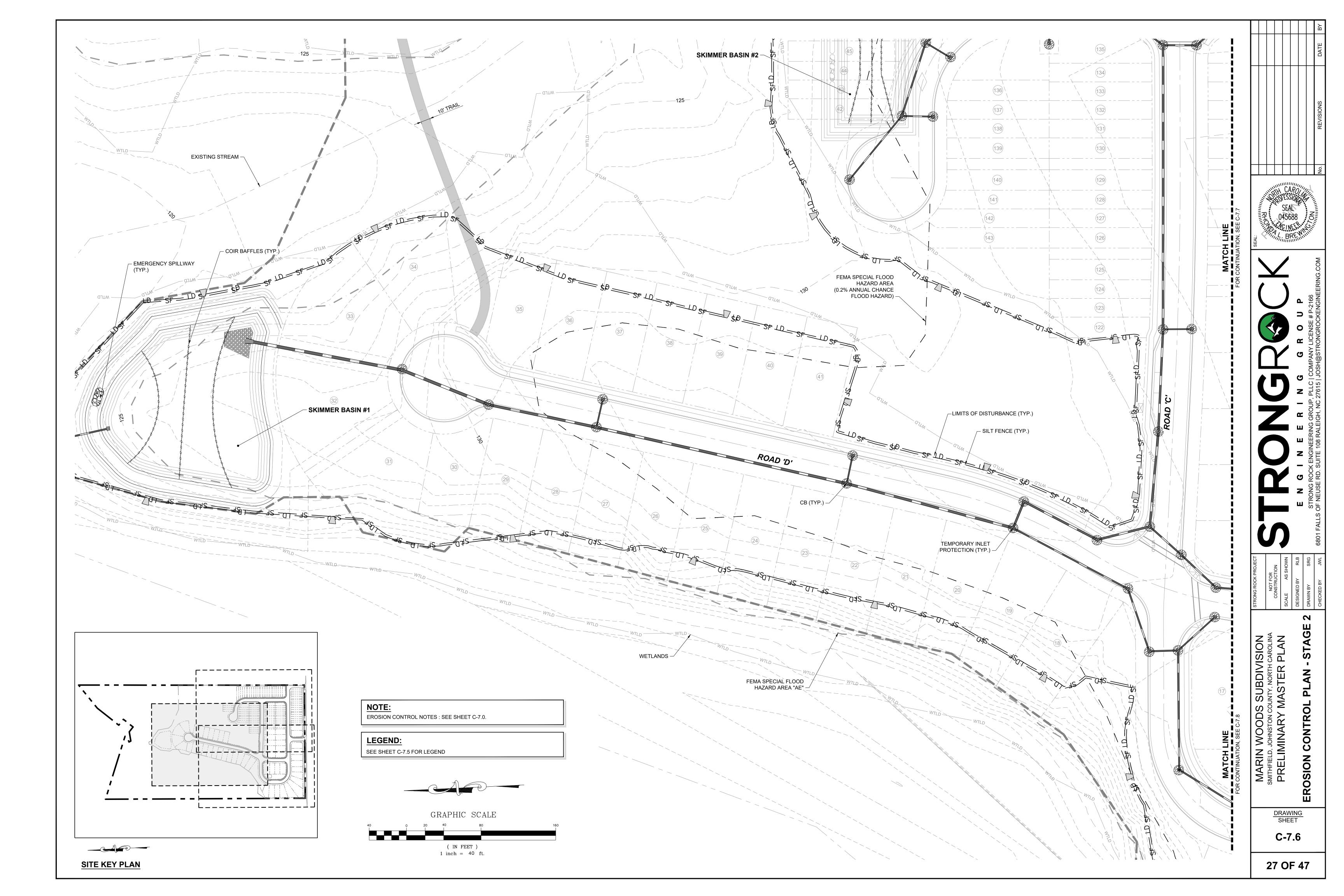


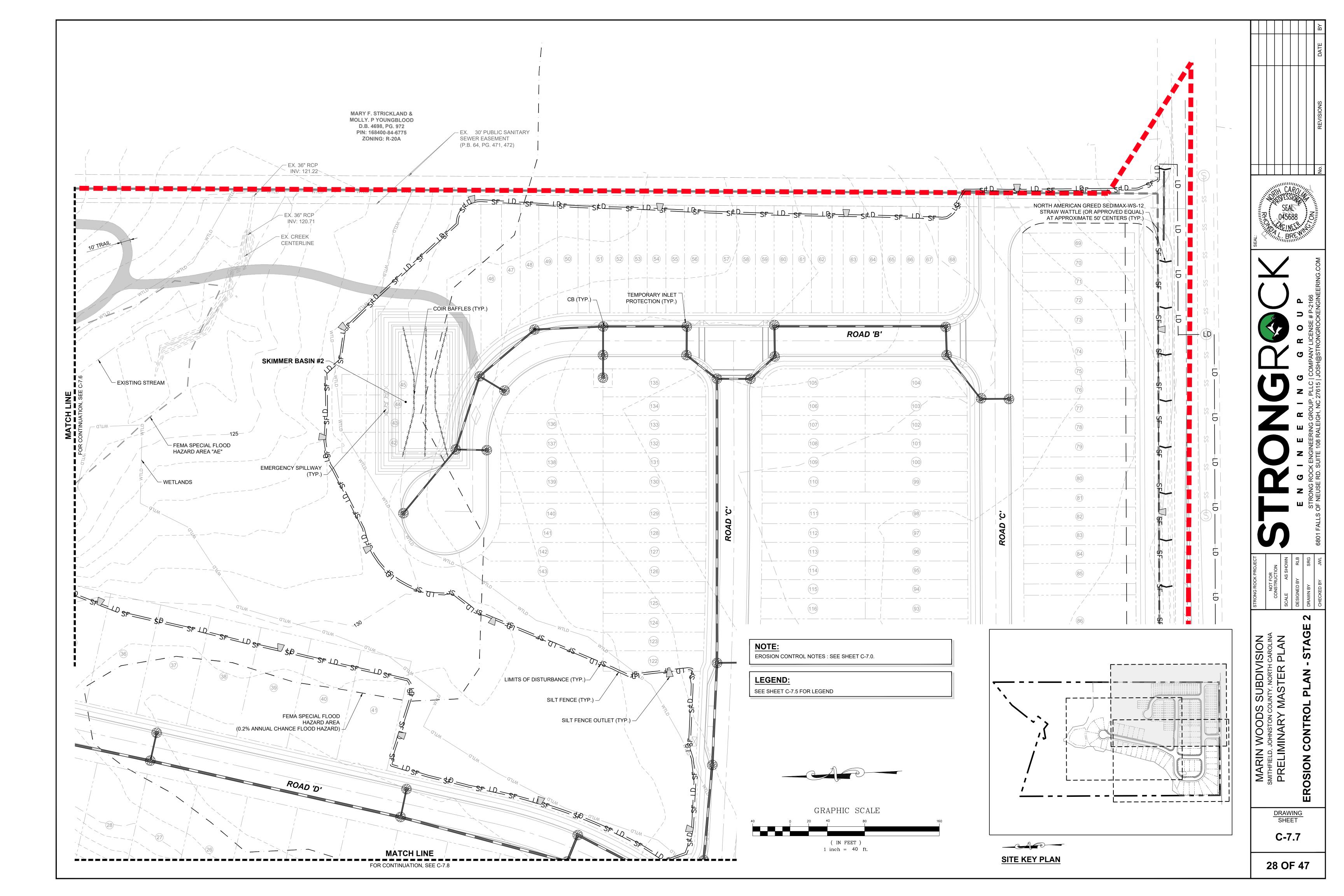


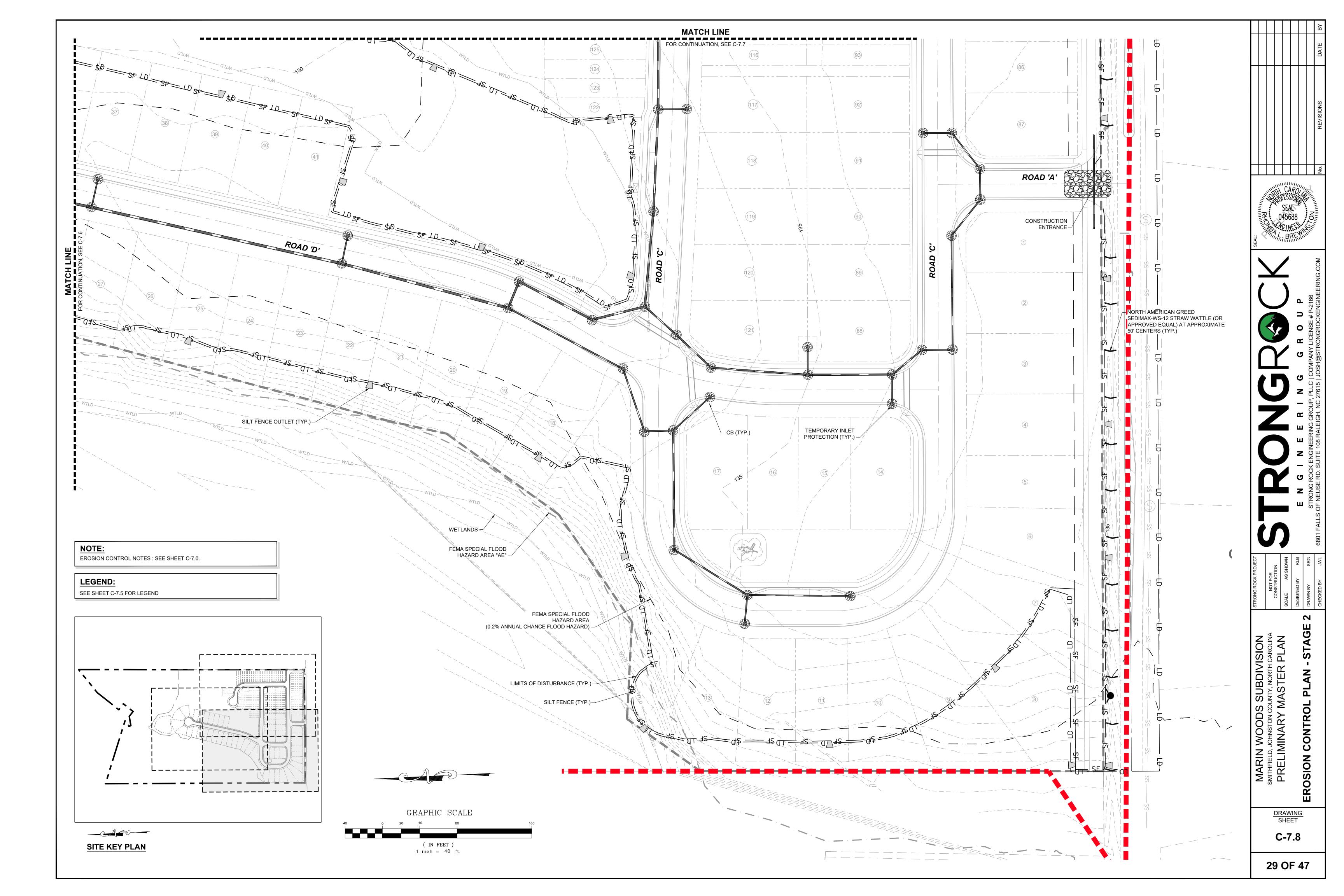


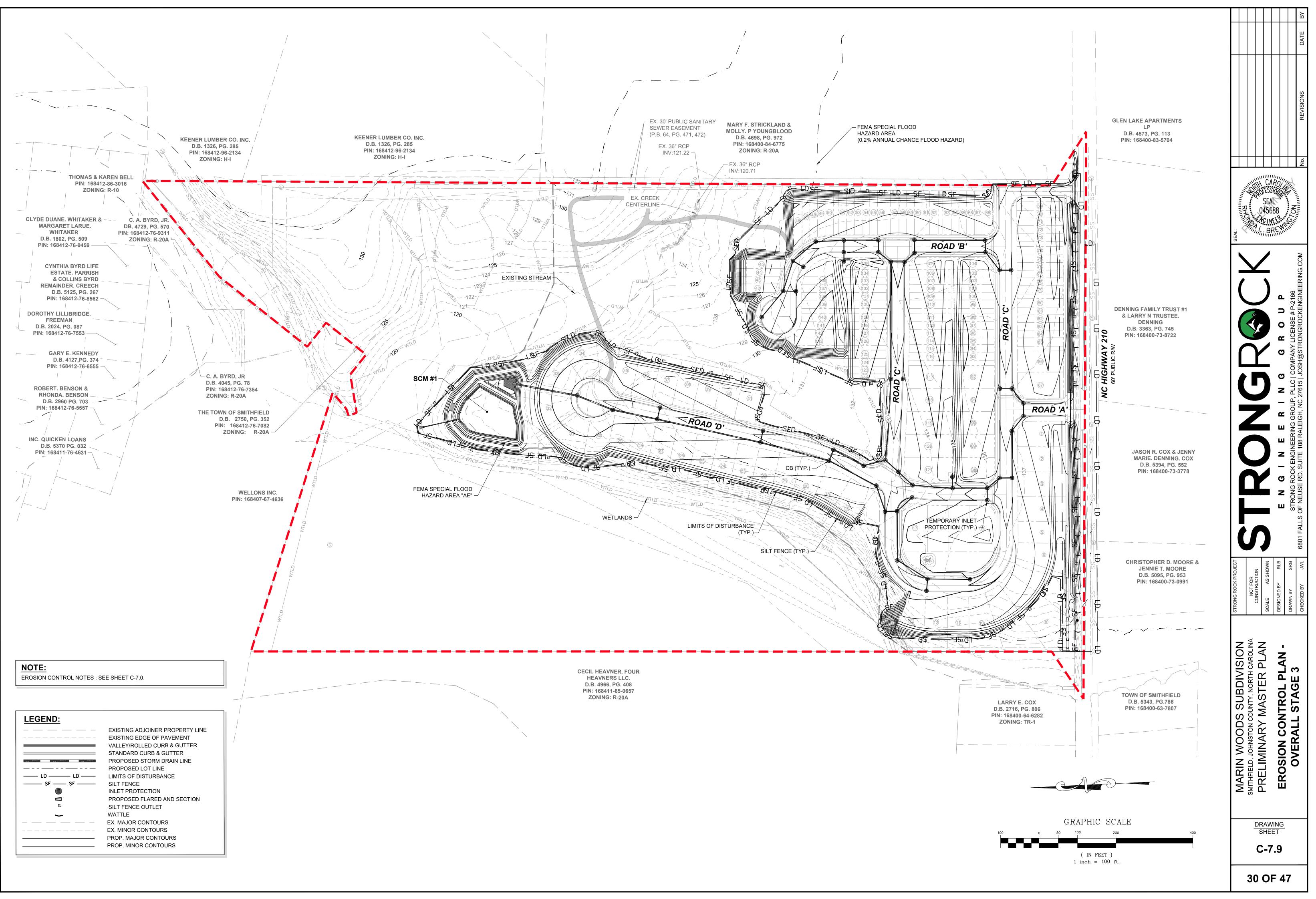


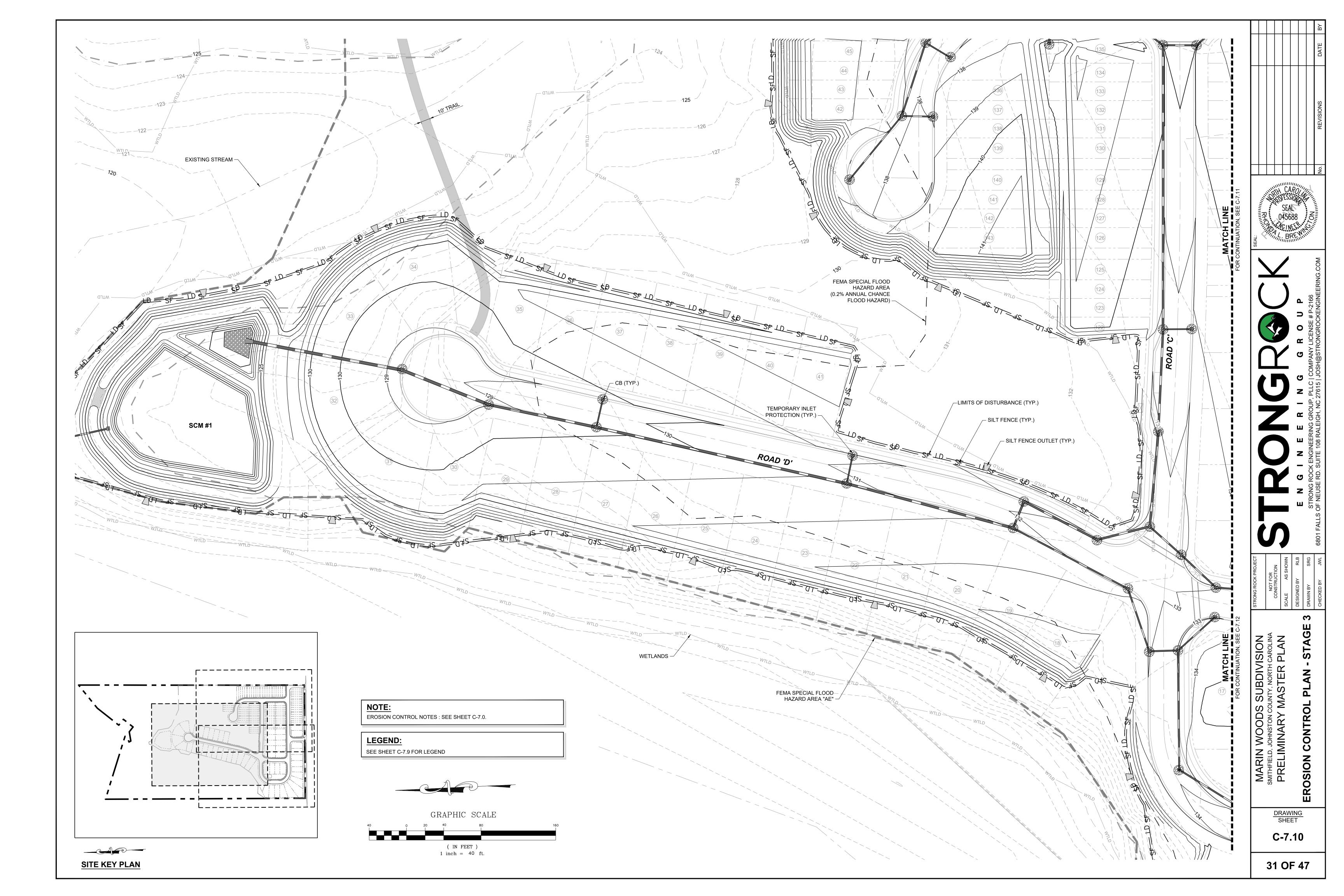


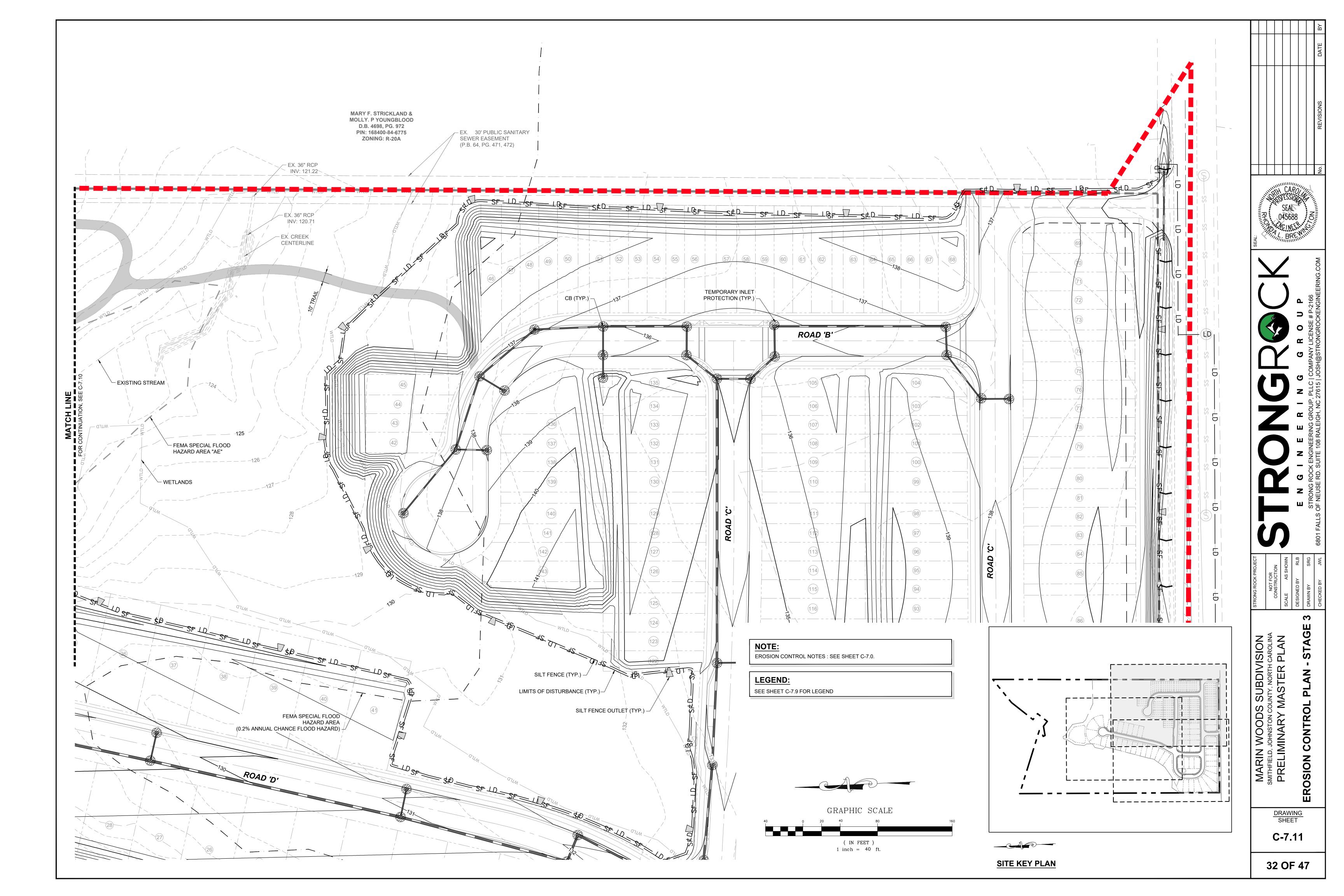


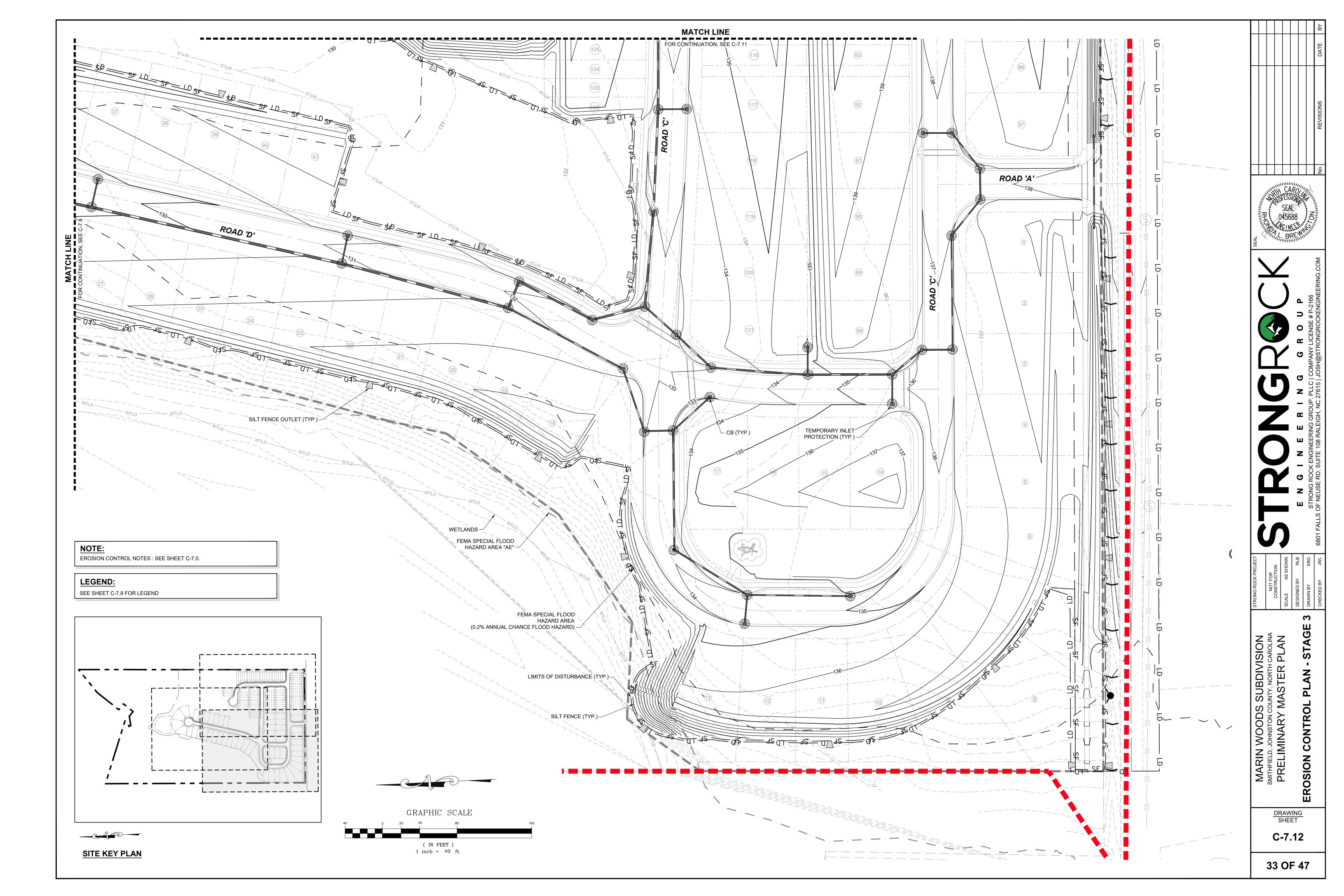


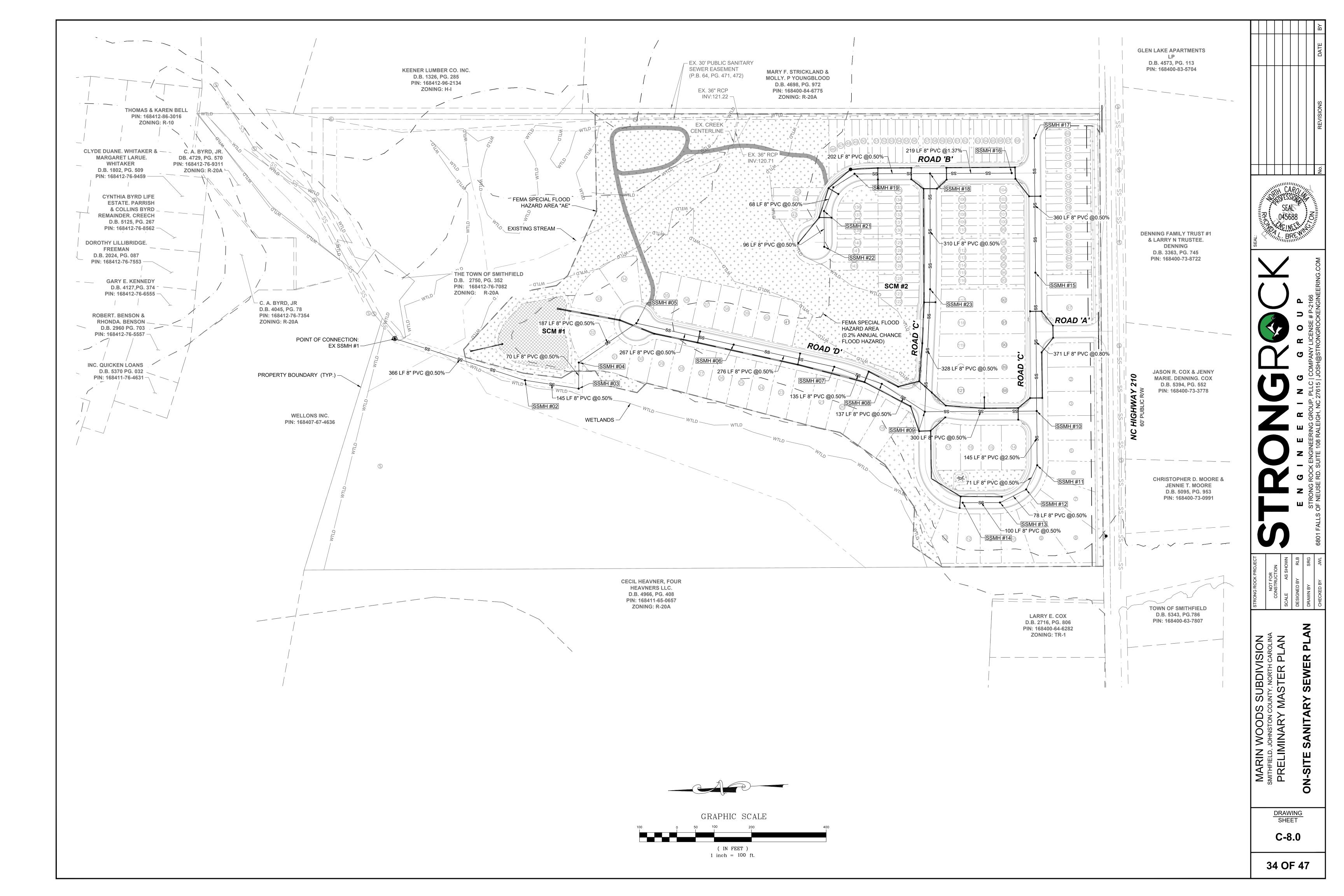


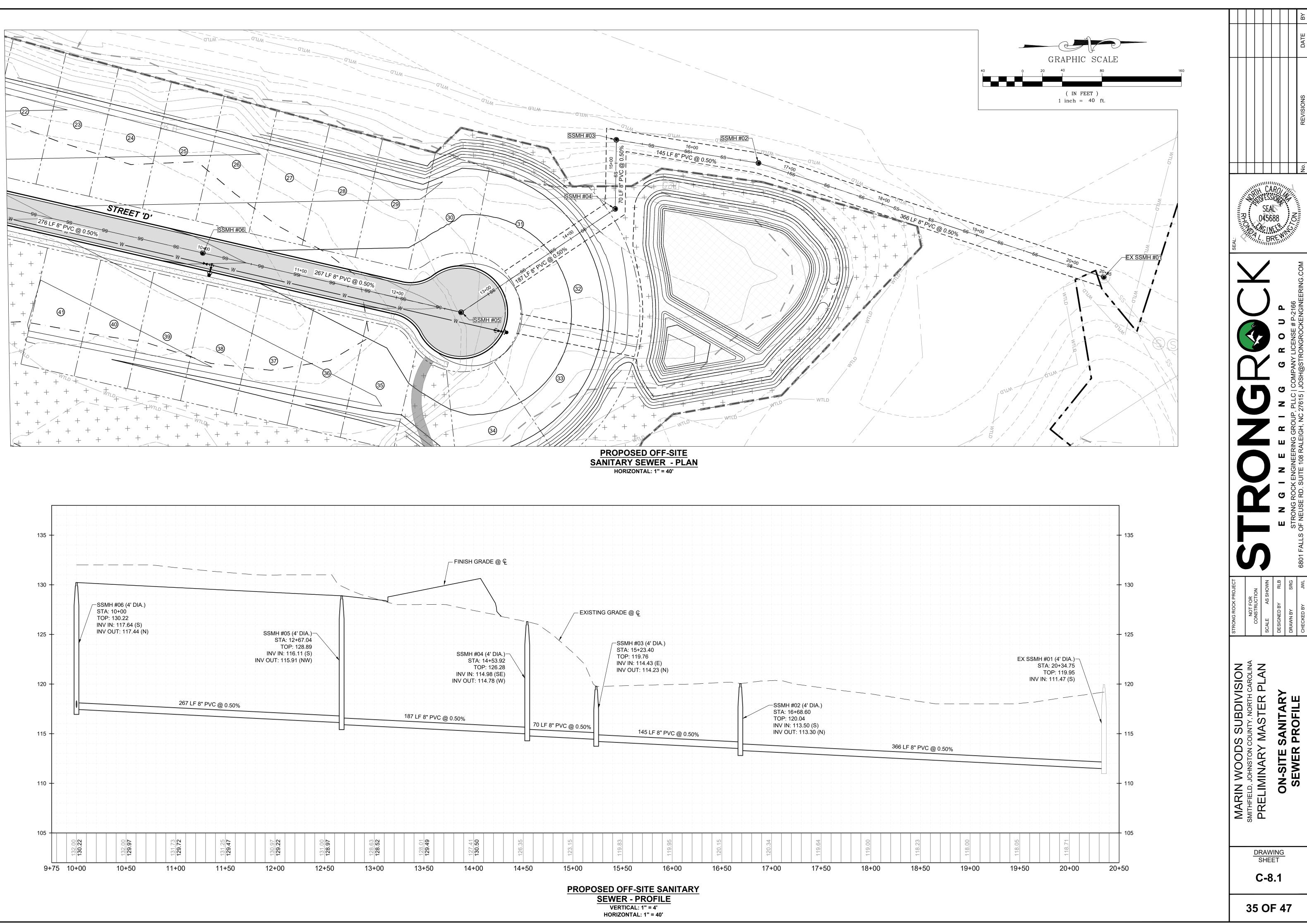


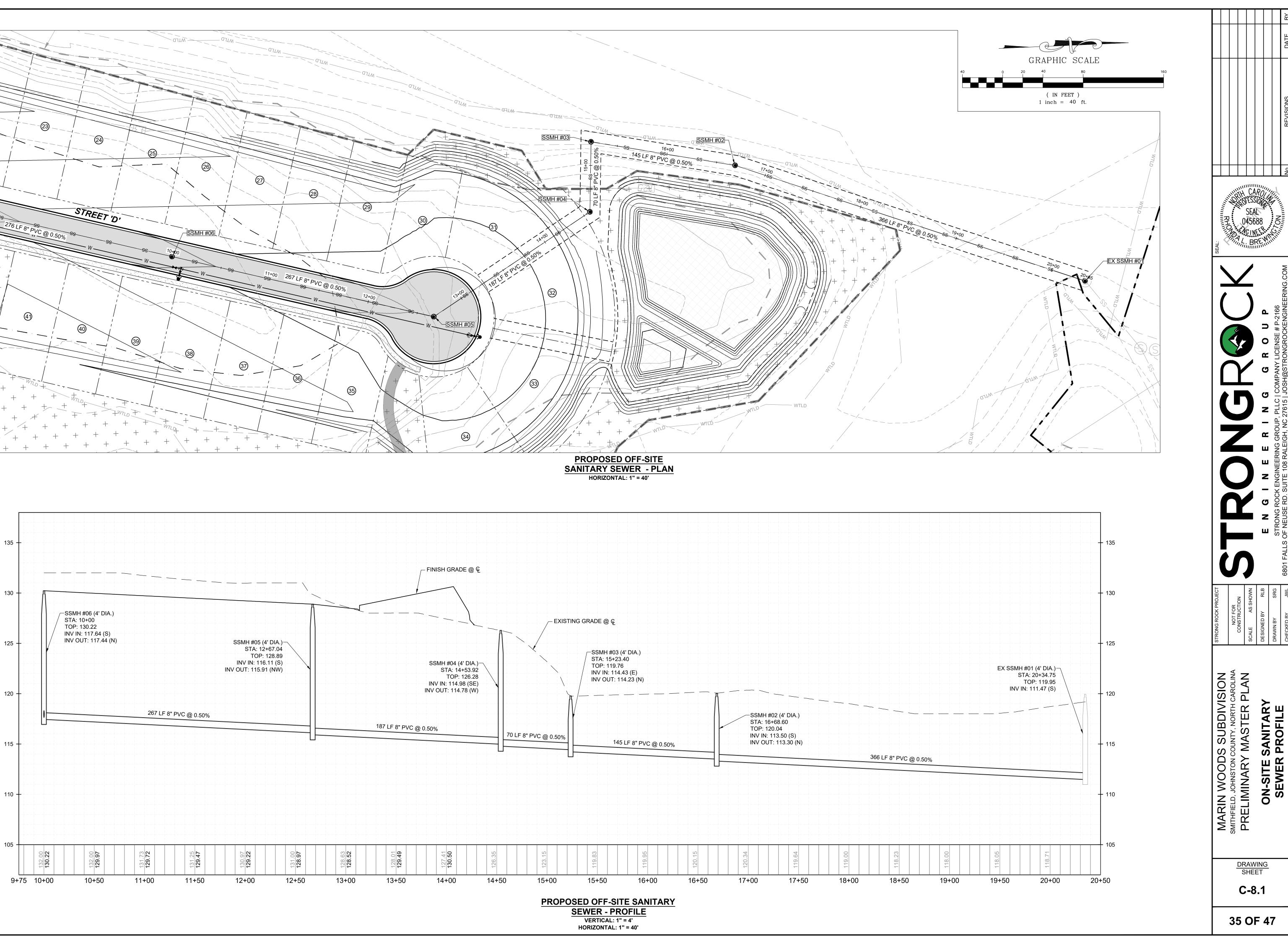


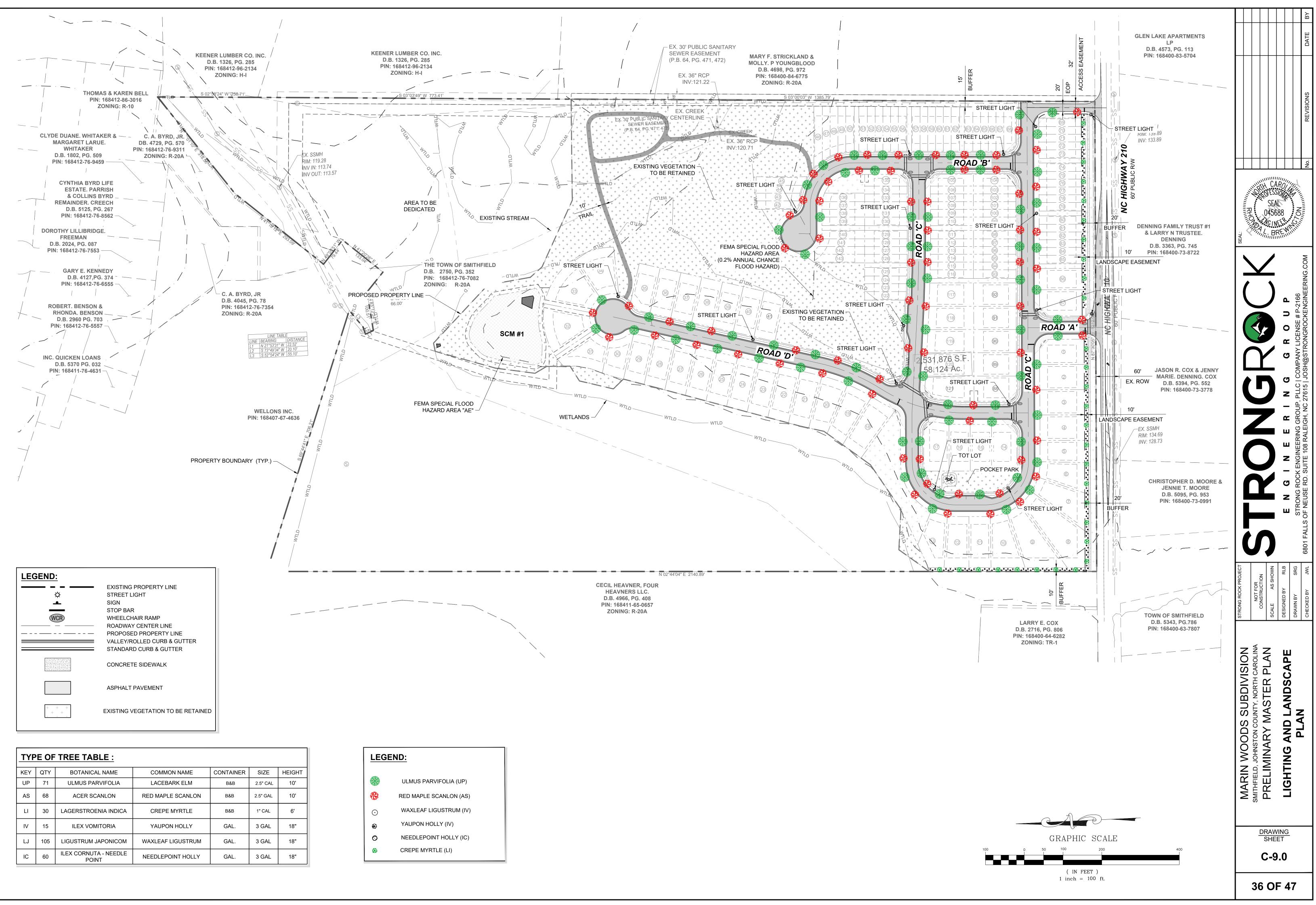






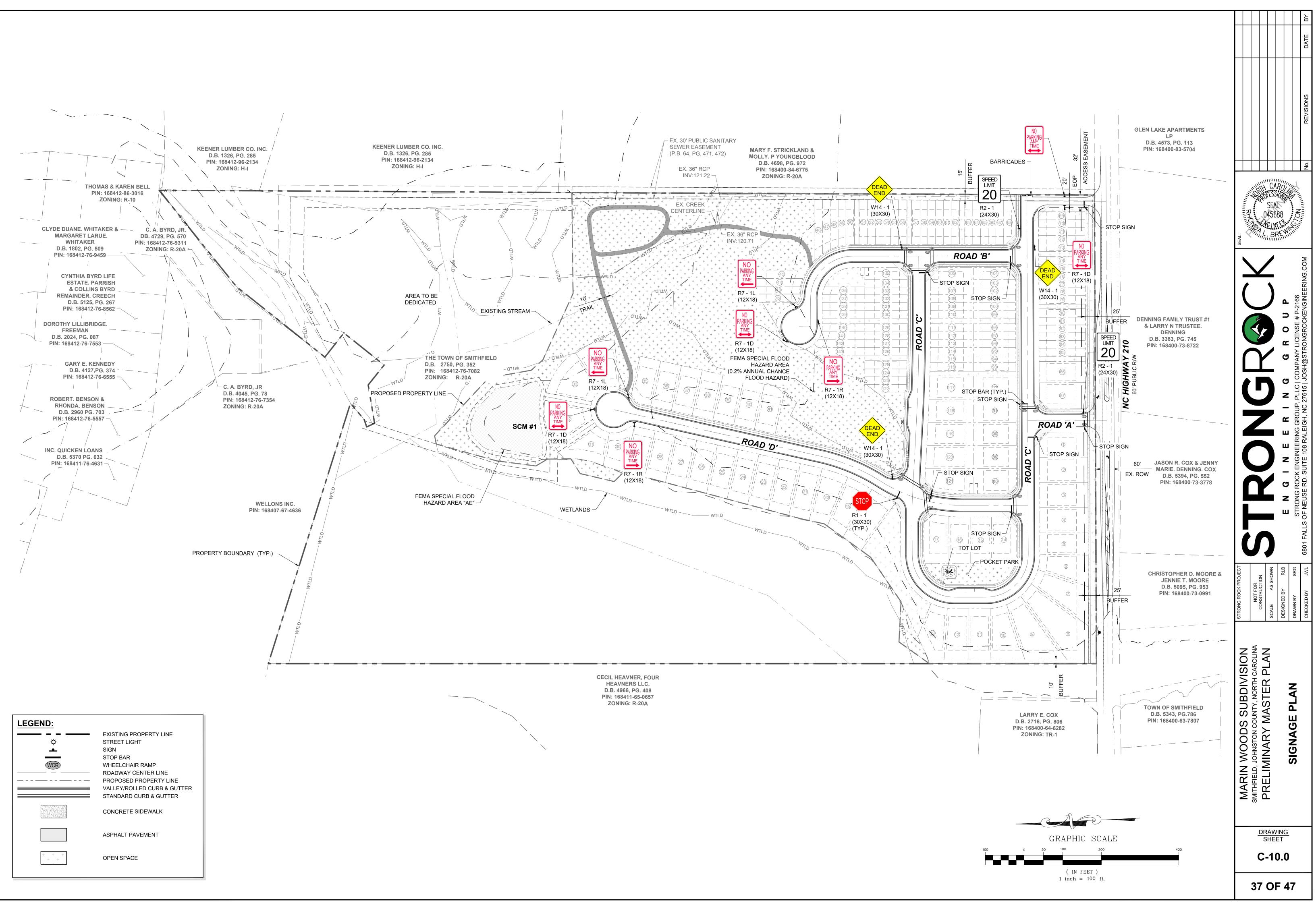




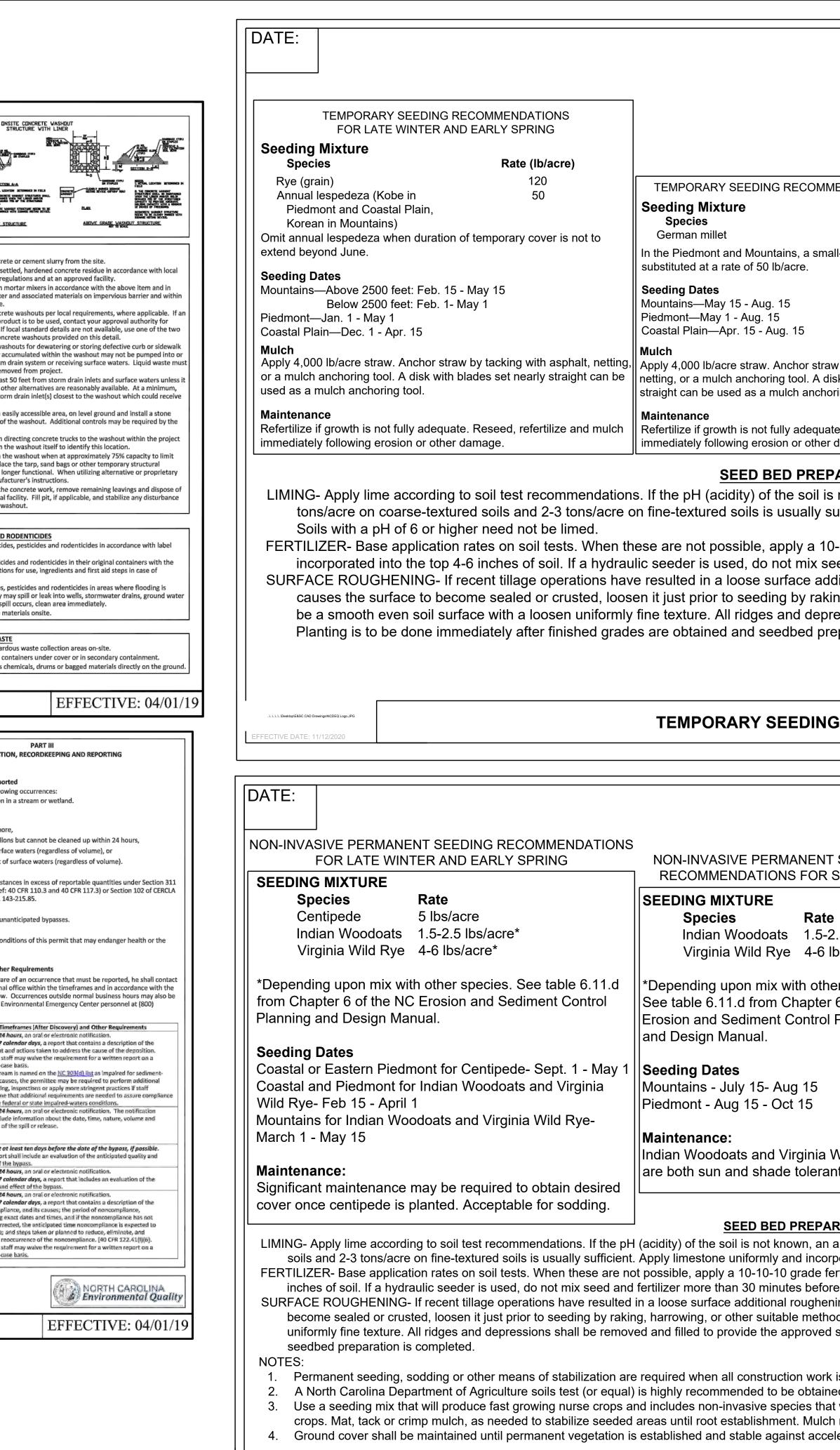


TYP	PE OF	TREE TABLE :				
KEY	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	HEIGHT
UP	71	ULMUS PARVIFOLIA	LACEBARK ELM	B&B	2.5" CAL	10'
AS	68	ACER SCANLON	RED MAPLE SCANLON	B&B	2.5" GAL	10'
LI	30	LAGERSTROENIA INDICA	CREPE MYRTLE	B&B	1" CAL	6'
IV	15	ILEX VOMITORIA	YAUPON HOLLY	GAL.	3 GAL	18"
LJ	105	LIGUSTRUM JAPONICOM	WAXLEAF LIGUSTRUM	GAL.	3 GAL	18"
IC	60	ILEX CORNUTA - NEEDLE POINT	NEEDLEPOINT HOLLY	GAL.	3 GAL	18"

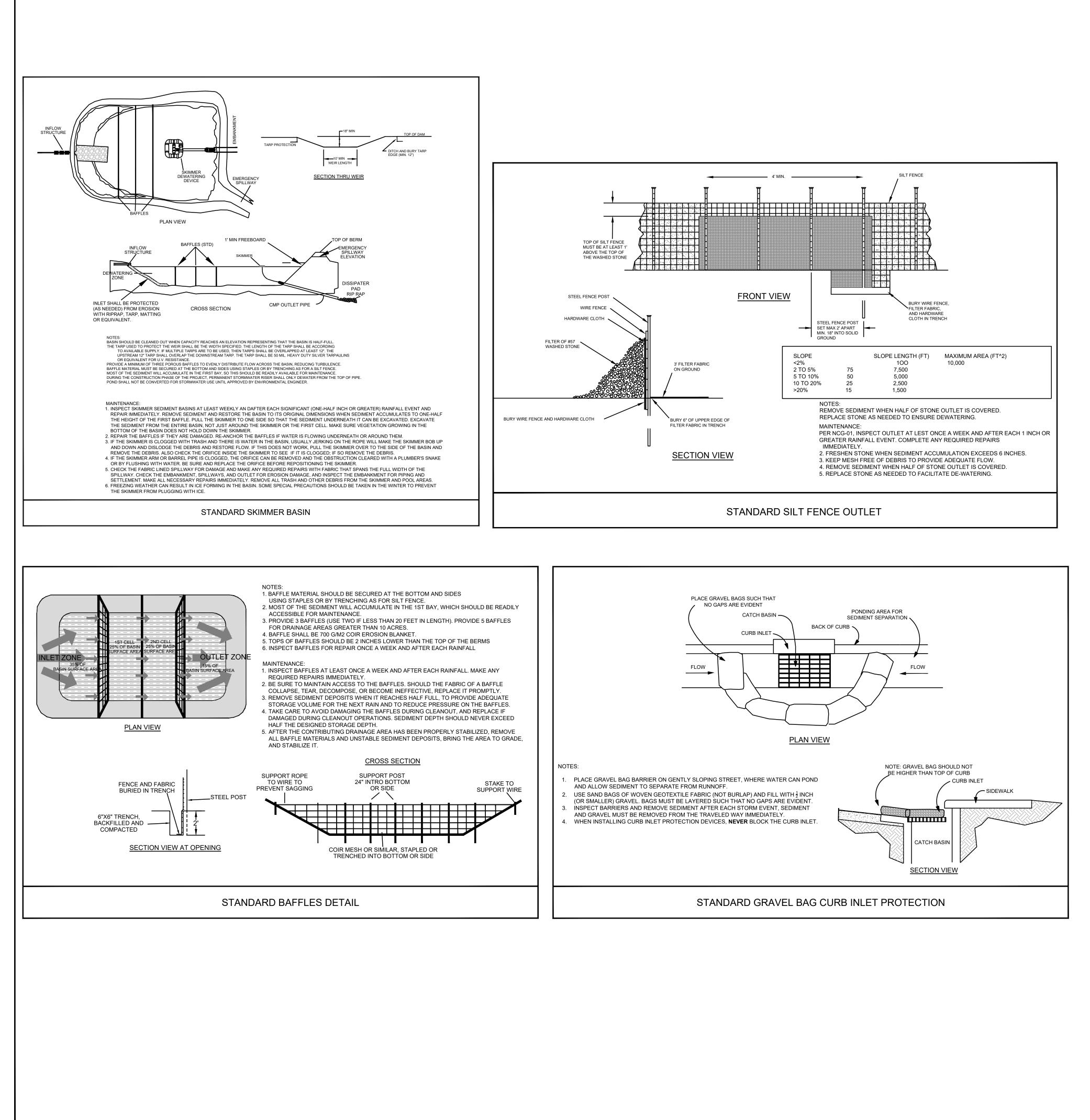
END:
ULMUS
RED MA
WAXLE
YAUPO
NEEDL
CREPE



may not apply depending	ng jurisdiction. All deta on site conditions and ABILIZATION Required Ground Stabi	1] _{5.}	hazardous waste (recycle when Remove leaking vehicles and con has been corrected.	nstruction equipment from service until the problem lants, hydraulic fluids and other petroleum products		NT State A Marca Share, ann State A Marca Share, ann State A Marca Share, ann
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations		, BUILDING MATERIAL AND LAN] L	BELDW GRADE
(a) Perimeter dikes, swales, ditches, and		None	2. 1		litter and debris in approved waste containers. size of waste containers (e.g dumpster, trash nstruction and domestic wastes.		TE WASHOU
(b) High Quality Water	7	None		waters unless no other alternativ	•	2. Dis an	spose of, or r d state solid
(HQW) Zones (c) Slopes steeper than		If slopes are 10' or less in length and are	1	from upland areas and does not	s that do not receive substantial amounts of runoff drain directly to a storm drain, stream or wetland. Id of each workday and before storm events or	ad	lanage washo dition place t t perimeter si
3:1	,	not steeper than 2:1, 14 days are allowed -7 days for slopes greater than 50' in	6. /	provide secondary containment. Anchor all lightweight items in w	Repair or replace damaged waste containers. aste containers during times of high winds.	4. Ins alt	stall tempora ternate meth
(d) Slopes 3:1 to 4:1	14	length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed	8, 1	containers overflow. Dispose waste off-site at an appro	ed to prevent overflow. Clean up immediately if oved disposal facility. lispose of waste in designated waste containers.	5. Do se dis	view and app pes of tempo p not use com ections. Storn scharged to t
(e) Areas with slopes flatter than 4:1	14	 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope 	1. 2.	Locate paint washouts at least 50 waters unless no other alternation		6. Lo ca ins	e pumped out ocate washout an be shown t stall protectio pills or overflo
ground stabilization shall	be converted to perma	ction activities, any areas with temporary anent ground stabilization as soon as ar days after the last land disturbing	4.		olled area. ized and placed appropriately for the needs of site. solvents, detergents and other liquid wastes from	7. Lo en	ocate washout ntrance pad in oproving auth
activity. Temporary grou	nd stabilization shall be	e maintained in a manner to render the permanent ground stabilization is achieved.		construction sites.	overits, accergents and other inquite insists from	8. Ins	stall at least o nits. Post sigr
	ciently so that rain will	not dislodge the soil. Use one of the	1.		round, at least 50 feet away from storm drains, e is no alternative reasonably available. If 50 foot	ov	emove leaving verflow events omponents wh
techniques in the table b Temporary Sta	bilization	Permanent Stabilization		offset is not attainable, provide r on a gravel pad and surround wit	relocation of portable toilet behind silt fence or place th sand bags.	e pro 10. At	oducts, follow t the completi
 Temporary grass seed co other mulches and tackif Hydroseeding 	iers (Permanent grass seed covered with straw or other mulches and tackifiers Seotextile fabrics such as permanent soil	·	foot traffic areas.	portable toilets during periods of high winds or in hig ing and properly dispose of any leaked material.	h în	an approved used by remo
 Rolled erosion control pr without temporary grass 	educts with or seed	einforcement matting Tydroseeding		Utilize a licensed sanitary waste l with properly operating unit.	hauler to remove leaking portable toilets and replace		
 Appropriately applied str Plastic sheeting 	5 • 1	Shrubs or other permanent plantings covered with mulch Jufform and evenly distributed ground cover		IEN STOCKPILE MANAGEMENT		1. Sto	DES, PESTICID ore and apply strictions.
	• 5	sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls		50 feet away from storm drain ir	Is. Locate earthen-material stockpile areas at least nlets, sediment basins, perimeter sediment controls be shown no other alternatives are reasonably	2. Sto lab	ore herbicides bel, which lists
POLVACOVI ADVIDOC (DCC		Rolled erosion control products with grass seed	2.	available. Protect stockpile with silt fence i	installed along toe of slope with a minimum offset of	3. Do	cidental poiso o not store he ossible or whe
	hat are appropriate for	<u>S</u> r the soils being exposed during <i>List of Approved PAMS/Flocculants.</i>	3.	five feet from the toe of stockpil Provide stable stone access poin Stabilize stockpile within the tim		or	surface wate o not stockpile
 Apply flocculants a Apply flocculants a 	t or before the inlets to t the concentrations sp	b Erosion and Sediment Control Measures. Decified in the NC DWR List of Approved		with the approved plan and any as vegetative, physical or chemic	additional requirements. Soll stabilization is defined cal coverage techniques that will restrain accelerated		OUS AND TO
		n the manufacturer's instructions. treated Stormwater before discharging			mporary or permanent control needs.	1. Cre 2. Pla	eate designate ace hazardous
5. Store flocculants in		that are kept under storm-resistant cover		NO NO	ORTH CAROLINA	3. Do	not store haz
	PART III	CG01 GROUND	STAB	ILIZATION	PART III CORDICEEPING AND REPORTING	HANDI	
SELF-IN: ECTION A: SELF-INSPECTI elf-inspections are require elow. When adverse wea ersonnel to be in jeopard	PART III SPECTION, RECORDICED ON ed during normal busin other or site conditions y, the inspection may b	CG01 GROUND	SECTION B 1. E&SC Pla The app approve	SELF-INSPECTION, RE : RECORDKEEPING an Documentation roved E&SC plan as well as any ap d E&SC plan must be kept up-to-	AND MATERIALS	SECTION C: R 1. Occurrence Permittees	SELF-I REPORTING tes that Must s shall report t
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SELF-IN: ECTION A: SELF-INSPECTI elf-inspections are requir- elow. When adverse wea ersonnel to be in jeopard which it is safe to perform reater than 1.0 inch occus erformed upon the comm vere delayed shail be note	PART III SPECTION, RECORDICES ON ed during normal busin ther or site conditions y, the inspection may be the inspection. In addi rs outside of normal busin rs outside of normal busin encement of the next ed in the Inspection Rec	EPING AND REPORTING The sess hours in accordance with the table would cause the safety of the inspection be delayed until the next business day on tion, when a storm event of equal to or siness hours, the self-inspection shall be business day. Any time when inspections cord.	SECTION B 1. E&SC Pla The app approve The folk inspection (a) Each B	SELF-INSPECTION, RE SELF-INSPECTION, RE EXECORDICEEPING an Documentation roved E&SC plan as well as any all d E&SC plan must be kept up-to- owing items pertaining to the E&S on at all times during normal busi Item to Document E&SC measure has been installed	PART III CORDKEEPING AND REPORTING pproved deviation shall be kept on the site. The date throughout the coverage under this permit. SC plan shall be kept on site and available for iness hours. Documentation Requirements Initial and date each E&SC measure on a copy	SECTION C: R 1. Occurrence Permittees (a) Visible (b) Oil spil • They	SELF-I REPORTING tes that Must s shall report t e sediment de ills if: y are 25 gallor
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Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the corrective action. 1 1 1 1 1 1 1 1</td> <td>SECTION C: R 1. Occurrence Permittees (a) Visible (b) Oil spil They They (c) Release of the (Ref: 4 (d) Anticip (e) Noncoi enviroi 2. Reporting After a per the approp other require reported to 858-0368. Occurrence (a) Visible set deposition in stream or with stream or with (c) Anticipath bypasses [40] 122.41(m)(3 (e) Noncons (c) Anticipath bypasses [40] 122.41(m)(3 (e) Noncons (c) Noncons (c) Noncons (c) Anticipath bypasses [40] 122.41(m)(3 (c) Noncons (c) Noncons (c)</td> <td>SELF-I REPORTING res that Must is s shall report to a schiment des ills if: y are 25 gallor y are less than y cause sheen y are within 10 ses of hazardo Clean Water to CFR 302.4) pated bypasse ompliance with omment. 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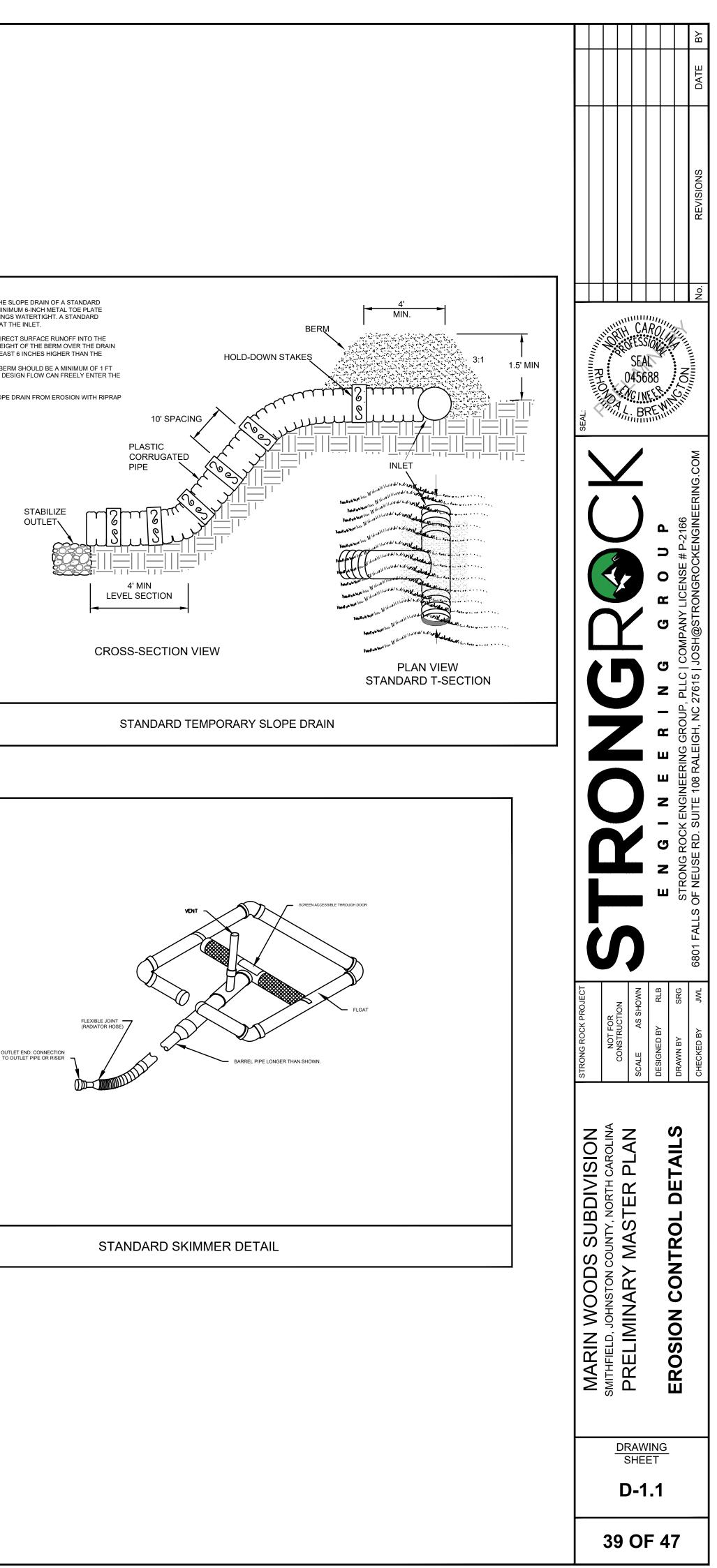


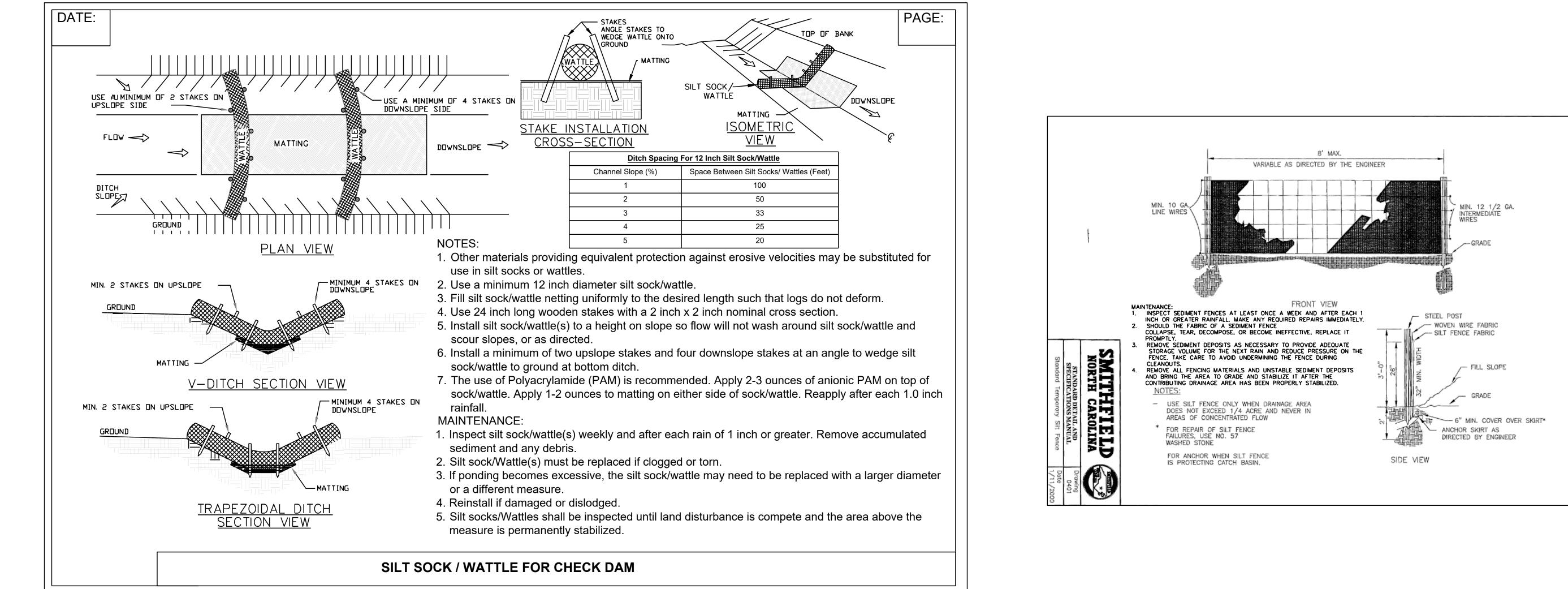
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ARY SEEDING RECOMMENDATIONS FO	OR SUMMER	TEMPORARY SEEDING RECOMMENDATIONS FOR FALL Seeding Mixture	REV
Rate (Ib/ nillet 40	acre)	SpeciesRate (Ib/acre)Rye (grain)120	
ont and Mountains, a small-stemmed Suda t a rate of 50 lb/acre.	angrass may be		
tes		Mountains—Aug. 15 - Dec. 15 Coastal Plain and Piedmont—Aug. 15 - Dec. 31	
May 15 - Aug. 15 /ay 1 - Aug. 15		Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt,	CARO
—Apr. 15 - Aug. 15		netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	SEAL 045688 8
b/acre straw. Anchor straw by tacking with nulch anchoring tool. A disk with blades se		Maintenance Repair and refertilize damaged areas immediately. Topdress with 50	TO THE PRESENCE
be used as a mulch anchoring tool. e		Ib/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and	S S S S S S S S S S S S S S S S S S S
growth is not fully adequate. Reseed, refer following erosion or other damage.	tilize and mulch	Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.	
SEED BED PREPARATION:			
		of ground agricultural limestone at the rate of 1-1 $\frac{1}{2}$ uniformly and incorporate into the top 4-6 inches of soil.	2166 C2166
, , , , , , , , , , , , , , , , , , , ,			CKEN
s used, do not mix seed and fertili	zer more thar		
•	• •	ot be required, except to break up large clods. If rainfall table methods for fine grading. The finished grade shall	
All ridges and depressions shall ned and seedbed preparation is c		and filled to provide the approved surface drainage.	OMPA OSH@:
			UP, PL
ORARY SEEDING RECOMM		NS	B GRO
		NON-INVASIVE PERMANENT SEEDING	DOCK EI
			RONG RO
ASIVE PERMANENT SEEDING	SEEDING N Spec	ies Rate	OF NE
MIXTURE		Fescue15 lbs/acrehgrass2.5-3.5 lbs/acre*	ALLS (
an Woodoats 1.5-2.5 lbs/acre*		n Grass 5-7 lbs/acre* luestem 5-7 lbs/acre*	
ginia Wild Rye 4-6 lbs/acre*	Indiar	n Woodoats 1.5-2.5 lbs/acre* nia Wild Rye 4-6 lbs/acre*	
ng upon mix with other species. 6.11.d from Chapter 6 of the NC			ROCK PROJECT IOT FOR STRUCTION AS SHOWN AS SHOWN BY RLB 3Y SRG D BY JWL
nd Sediment Control Planning	Chapter 6 o	upon mix with other species. See table 6.11.d from f the NC Erosion and Sediment Control Planning and	ONG ROCK PROJE NOT FOR CONSTRUCTION LLE AS SHON ALE AS SHON SIGNED BY R SIGNED BY SI
n Manual.	Design Man	ual.	STRONG N CON- CON- CON- CON- DESIGNE DESIGNE DRAWN F
Dates s - July 15- Aug 15	Seeding Da	ates Hard Fescue- Aug 1 - June 1	
- Aug 15 - Oct 15	Mountains-	Switchgrass, Indian Grass, Big Bluestem- Dec 1 - April 15 and Coastal- Switchgrass, Indian Grass, Big Bluestem-	Z Z Z S
nce: odoats and Virginia Wild Rye	Dec 1 - Apri	11	
un and shade tolerant.		lian Woodoats and Virginia Wild Rye- Sept 1 - Nov 1	DIVISION DIVISION ER PLAN DETAILS
	Maintenand	ce: e is not recommended for slopes > 5%. Prefers shade.	
SEED BED PREPARATION: ne soil is not known, an application of g		ral limestone at the rate of 1 to $1\frac{1}{2}$ tons/acre on coarse-textured	
one uniformly and incorporate into the oply a 10-10-10 grade fertilizer at 700-1	top 4-6 inches o	of soil. Soils with a pH of 6 or higher need not be limed. oth fertilizer and lime should be incorporated into the top 4-6	
e than 30 minutes before application. rface additional roughening may not be	required, exce	pt to break up large clods. If rainfall causes the surface to	
•	•	ed grade shall be a smooth even soil surface with a loosen o be done immediately after finished grades are obtained and	
			MARIN WOODS SMITHFIELD, JOHNSTON C PRELIMINARY EROSION CON
en all construction work is completed a ommended to be obtained for all areas	to be seeded, s	sprigged, sodded or planted.	
oot establishment. Mulch must be applie	ed uniformly ove	nanent groundcover. Soil blankets may be used in lieu of nurse er the soil with a cover density of at least 80%.	DRAWING
and stable against accelerated erosion			SHEET
PERMANENT SEEDING RE		DATIONS	D-1.0
			38 OF 47



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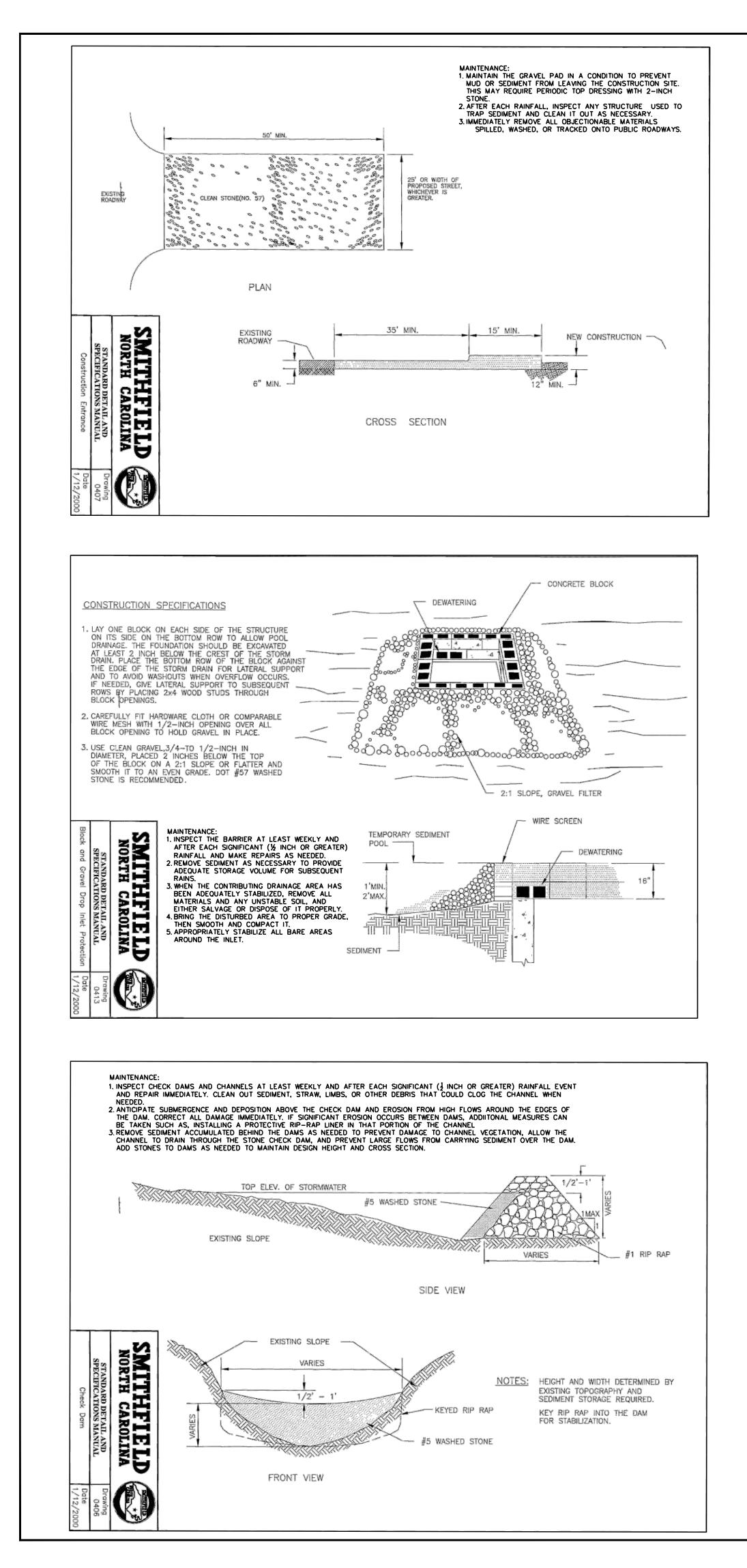
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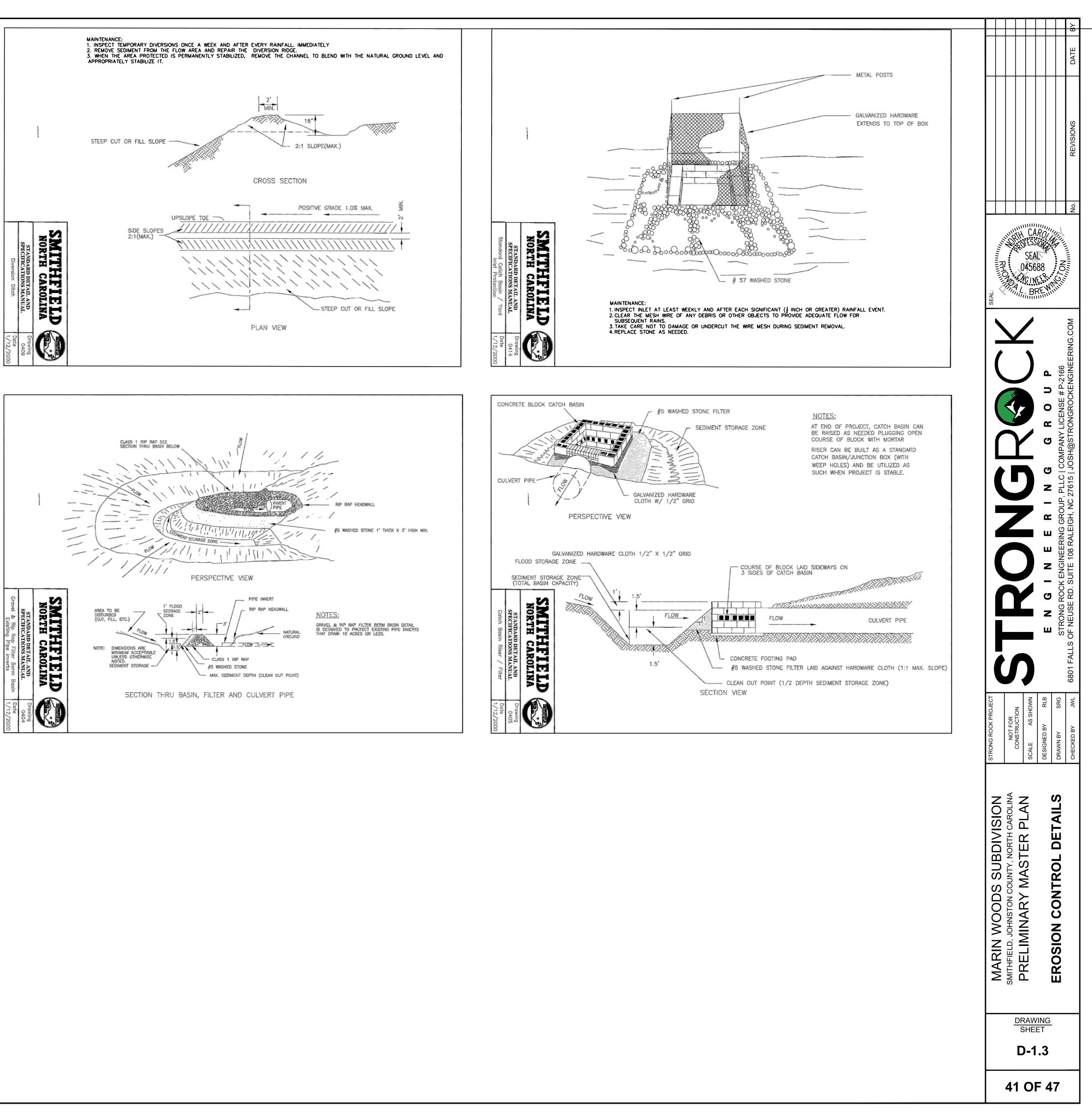


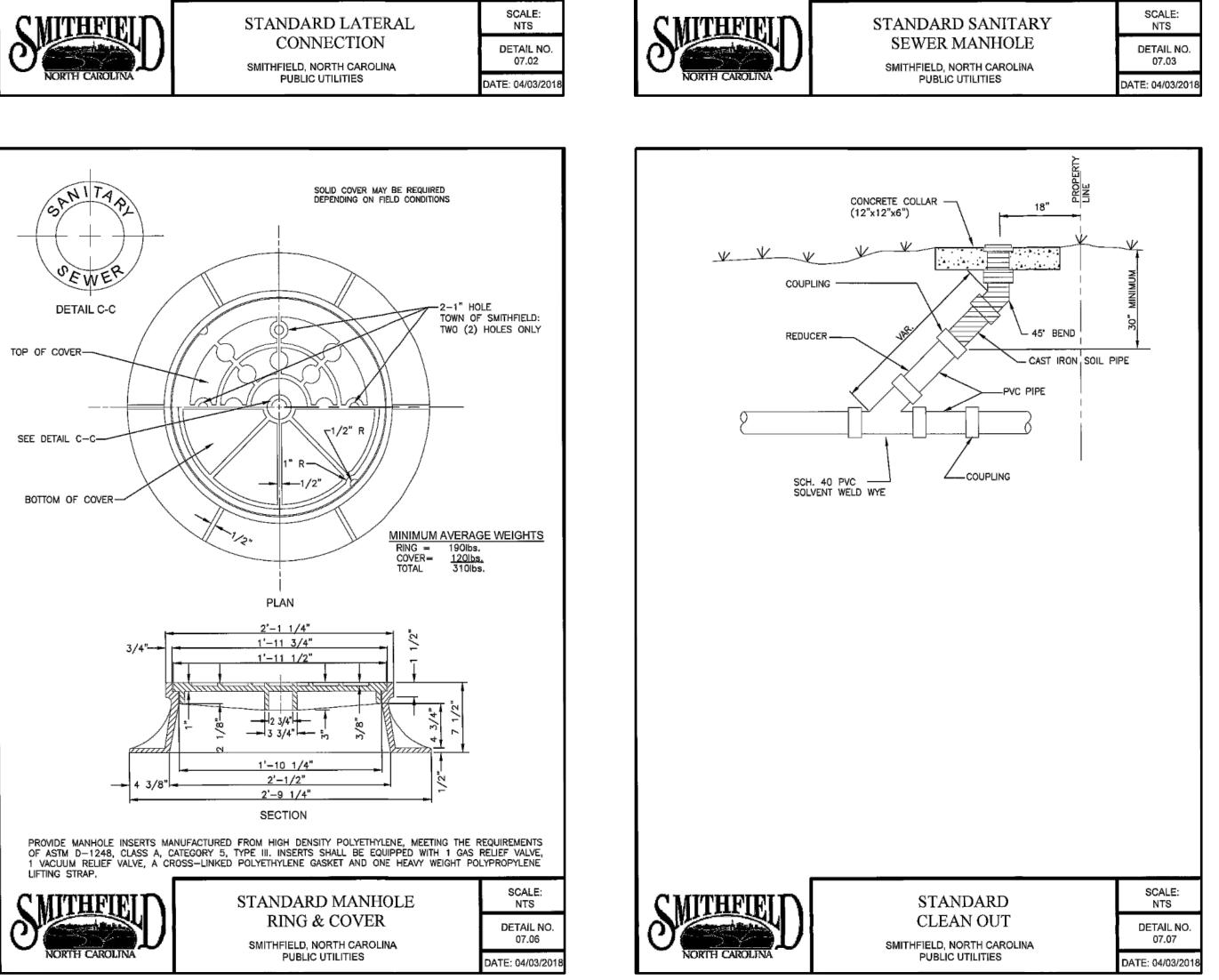


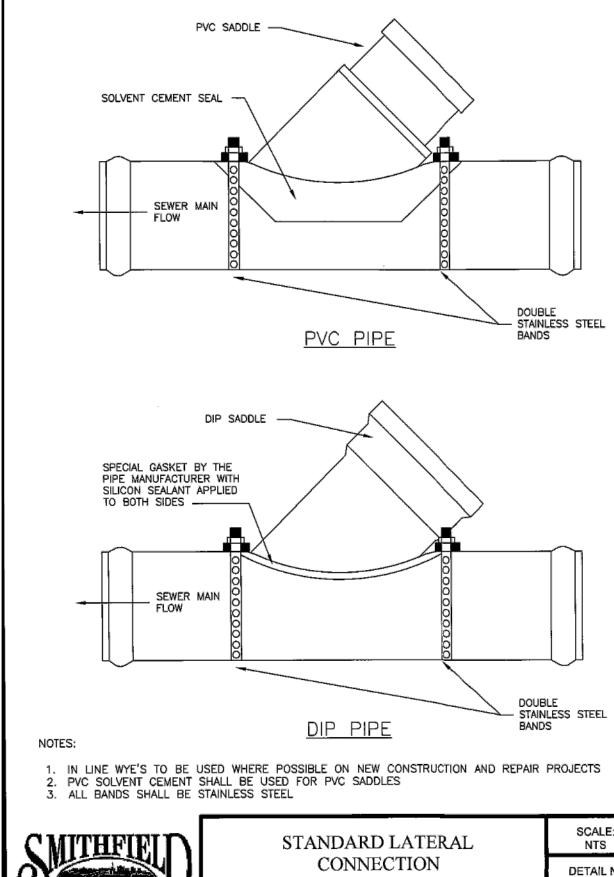
						1 – 1 V	IPORARY SEDI									
	TOP WIDTH (FT)	TOP LENGTH (FT)	DEPTH (FT)	SIDESLOPE RATIO	DRAINAGE AREA (AC)	PEAK FLOW (CFS)	SKIMMER	ORIFICE	REQ. VOLUME (CF)	PROVIDED VOLUME (CF)	REQUIRED SURACE AREA (SF)	PROVIDED SURFACE AREA (SF)	TOP ELEVATION	DEWATERING TIME (DAYS)		
TSB-1	160	160	4	3	8.13	35.22	3	2	14634	87808	15341	25600	126	3.17		
		•	1	1	I	1	· · · · · · · · · · · · · · · · · · ·	SKIMMER B	ASINS					1	1	
	TOP WIDTH (FT)	TOP LENGTH (FT)	DEPTH (FT)	SIDESLOPE RATIO	DRAINAGE AREA (AC)	PEAK FLOW (CFS)	SKIMMER	ORIFICE	REQ. VOLUME (CF)	PROVIDED VOLUME (CF)	REQUIRED SURACE AREA (SF)	PROVIDED SURFACE AREA (SF)	TOP ELEVATION	WEIR LENGTH (FT)	WEIR ELEVATION	DEV RI TI (D/
SB-2	70	140	3	3	7.79	28.12	2.5	2	14015	24054	9135	9800	133	30	132.5	3.
	3. FOR OUTLET	SLOPES BETW	-	' THICK CLASS A STO 'ITH NORTH AMERIC		-		ASS B STONE.								
	3. FOR OUTLET 4. SKIMMER BA	SLOPES BETW	EEN 0-11%, USE 15"	' THICK CLASS A STO 'ITH NORTH AMERIC		OBN OR APPRO	VED EQUAL. TRAPEZO END	IDAL DIVERSIO BOTTOM	N DITCH TOP WIDTH (FT)	DEPTH (FT)	SIDE SLOPE (Z:1)	VELOCITY (FT/S)		LIN	IING	
	3. FOR OUTLET 4. SKIMMER BA DRAINAGE AREA (AC)	SLOPES BETW	EEN 0-11%, USE 15" ALL BE COVERED W FLOW DEPTH (FT)	' THICK CLASS A STO 'ITH NORTH AMERIC SLOPE (FT/FT)	LENGTH (FT)	OBN OR APPRO BEGIN ELEVATION	VED EQUAL. TRAPEZO END ELEVATION	IDAL DIVERSIO BOTTOM WIDTH (FT)	TOP WIDTH (FT)	DEPTH (FT)			FORCE (#/SQ FT)			
DD-1 DD-2	3. FOR OUTLET 4. SKIMMER BA	SLOPES BETW	EEN 0-11%, USE 15" ALL BE COVERED W	' THICK CLASS A STO 'ITH NORTH AMERIC	CAN GREEN C70	OBN OR APPRO	VED EQUAL. TRAPEZO END	IDAL DIVERSIO BOTTOM		DEPTH (FT) 1 1	SIDE SLOPE (Z:1)	VELOCITY (FT/S) 4.26 5.12	FORCE (#/SQ	JUTE	IING E NET GLASS ROVING	
	3. FOR OUTLET 4. SKIMMER BA DRAINAGE AREA (AC) 3.23	SLOPES BETW ASIN WEIRS SHA FLOW (Q) 14.79	EEN 0-11%, USE 15" ALL BE COVERED W FLOW DEPTH (FT)	' THICK CLASS A STO 'ITH NORTH AMERIC SLOPE (FT/FT) 0.008	LENGTH (FT)	OBN OR APPRO BEGIN ELEVATION 138	VED EQUAL. TRAPEZO END ELEVATION 126	IDAL DIVERSIO BOTTOM WIDTH (FT) 2	TOP WIDTH (FT)	DEPTH (FT) 1 1.5		4.26	FORCE (#/SQ FT) 0.4	JUTE SINGLE FIBER	E NET	
DD-2	3. FOR OUTLET 4. SKIMMER BA DRAINAGE AREA (AC) 3.23 4.9	SLOPES BETW ASIN WEIRS SH FLOW (Q) 14.79 2.43	EEN 0-11%, USE 15" ALL BE COVERED W FLOW DEPTH (FT) 0.85 1	'THICK CLASS A STO ITH NORTH AMERIC SLOPE (FT/FT) 0.008 0.007	LENGTH (FT)	OBN OR APPRO BEGIN ELEVATION 138 134	VED EQUAL. TRAPEZO END ELEVATION 126 124	IDAL DIVERSIO BOTTOM WIDTH (FT) 2	TOP WIDTH (FT) 6 8	1		4.26 5.12	FORCE (#/SQ FT) 0.4 0.48	JUTE SINGLE FIBER JUTE	E NET GLASS ROVING	
DD-2 DD-3	3. FOR OUTLET 4. SKIMMER BA DRAINAGE AREA (AC) 3.23 4.9 3.24	SLOPES BETW ASIN WEIRS SH FLOW (Q) 14.79 2.43 14.83	EEN 0-11%, USE 15" ALL BE COVERED W FLOW DEPTH (FT) 0.85 1 0.95	' THICK CLASS A STO ITH NORTH AMERIC SLOPE (FT/FT) 0.008 0.007 0.005	CAN GREEN C70 LENGTH (FT) 1596 1220 486	OBN OR APPRO BEGIN ELEVATION 138 134 133.5	VED EQUAL. TRAPEZO END ELEVATION 126 124 131 131	IDAL DIVERSION BOTTOM WIDTH (FT) 2 2 2 2	TOP WIDTH (FT) 6 8 9	1 1 1.5	2 2 2 2	4.26 5.12 4.4	FORCE (#/SQ FT) 0.4 0.48 0.3	JUTE SINGLE FIBER JUTE	E NET GLASS ROVING E NET	
DD-2 DD-3	3. FOR OUTLET 4. SKIMMER BA DRAINAGE AREA (AC) 3.23 4.9 3.24	SLOPES BETW ASIN WEIRS SH FLOW (Q) 14.79 2.43 14.83 25.55	EEN 0-11%, USE 15" ALL BE COVERED W FLOW DEPTH (FT) 0.85 1 0.95 1.1	' THICK CLASS A STO ITH NORTH AMERIC SLOPE (FT/FT) 0.008 0.007 0.005	CAN GREEN C70 LENGTH (FT) 1596 1220 486 830	OBN OR APPRO BEGIN ELEVATION 138 134 133.5 137.5	VED EQUAL. TRAPEZO END ELEVATION 126 124 131 131 NS	IDAL DIVERSION BOTTOM WIDTH (FT) 2 2 2 2	TOP WIDTH (FT) 6 8 9 8	1 1 1.5	2 2 2 2	4.26 5.12 4.4 5.43	FORCE (#/SQ FT) 0.4 0.48 0.3	JUTE SINGLE FIBER JUTE	E NET GLASS ROVING E NET	
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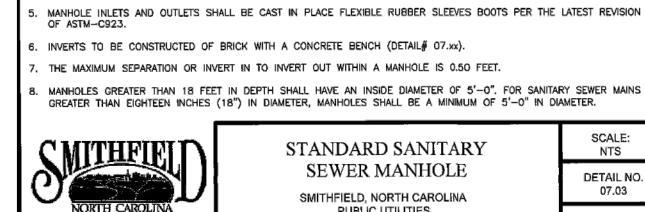








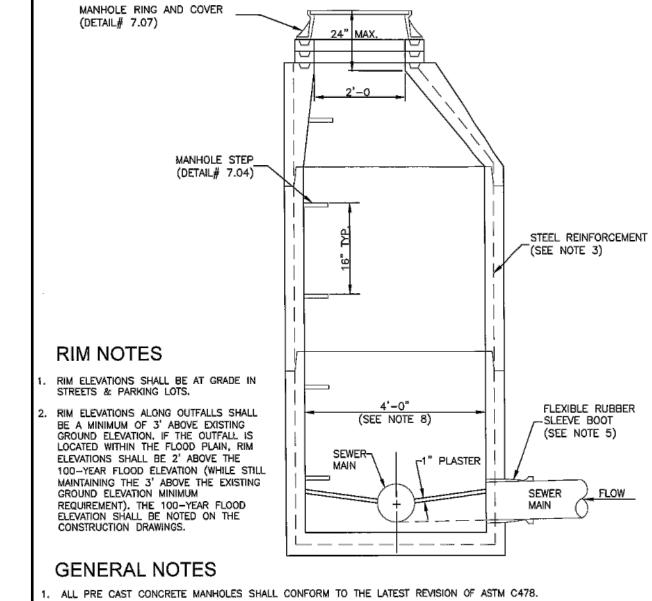


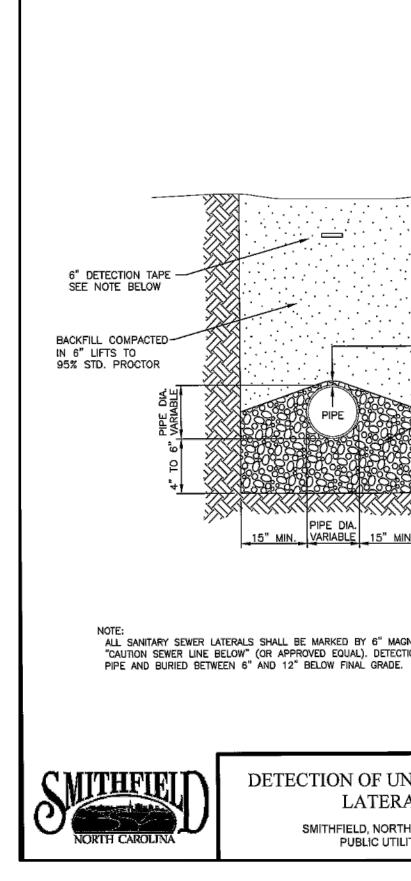


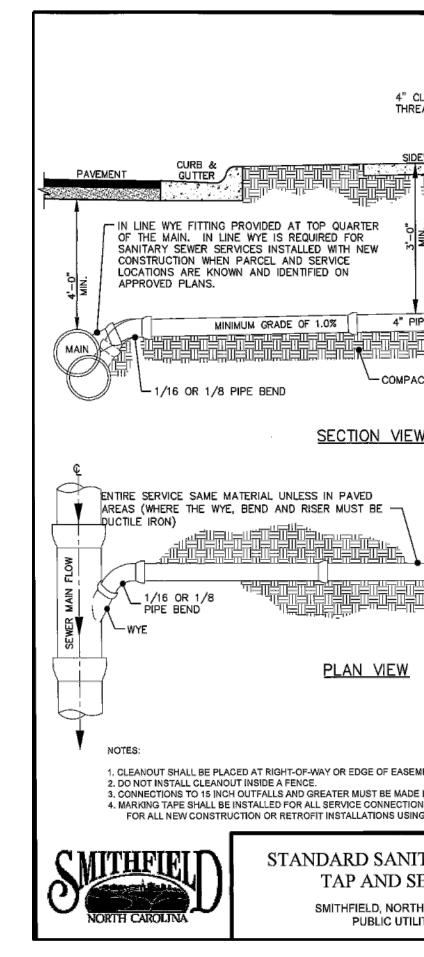
STEEL REINFORCEMENT SHALL BE GRADE 40 BILLET STEEL CONFORMING TO THE LATEST REVISION OF ASTM-A-185 FOR WALL REINFORCEMENT, AND THE LATEST REVISION OF ASTM-A615 FOR THE BASE REINFORCEMENT.

STANDARD JOINTS SHALL BE; SEALED WITH PUTTY TYPE PLASTIC CEMENT PER FED. SPEC. SS-C-153 OR AN O-RING TYPE JOINT CONFORMING TO THE LATEST REVISION OF ASTM-C443.

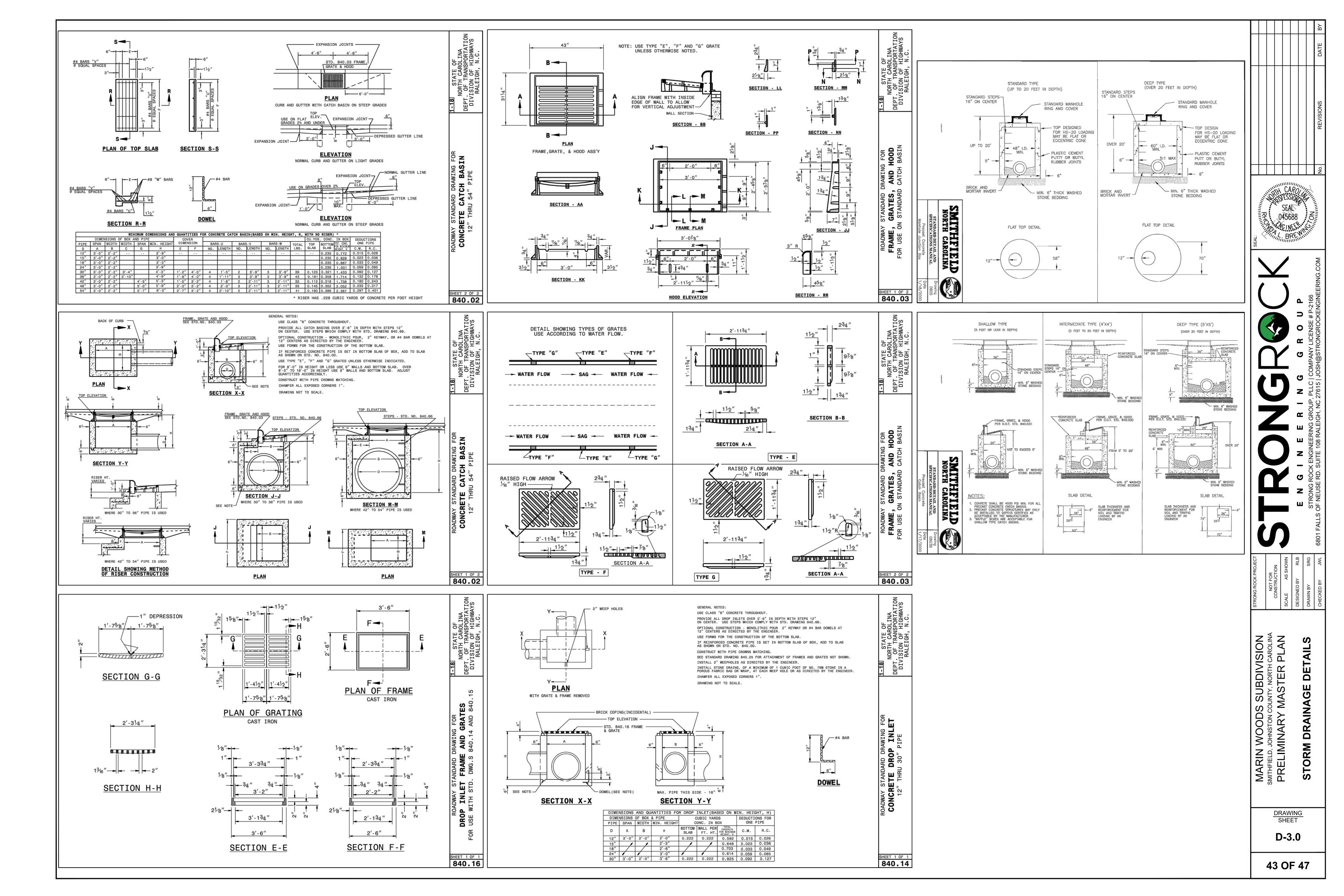
2. CONCRETE SHALL BE 4000 PSI AT 28 DAYS MINIMUM.

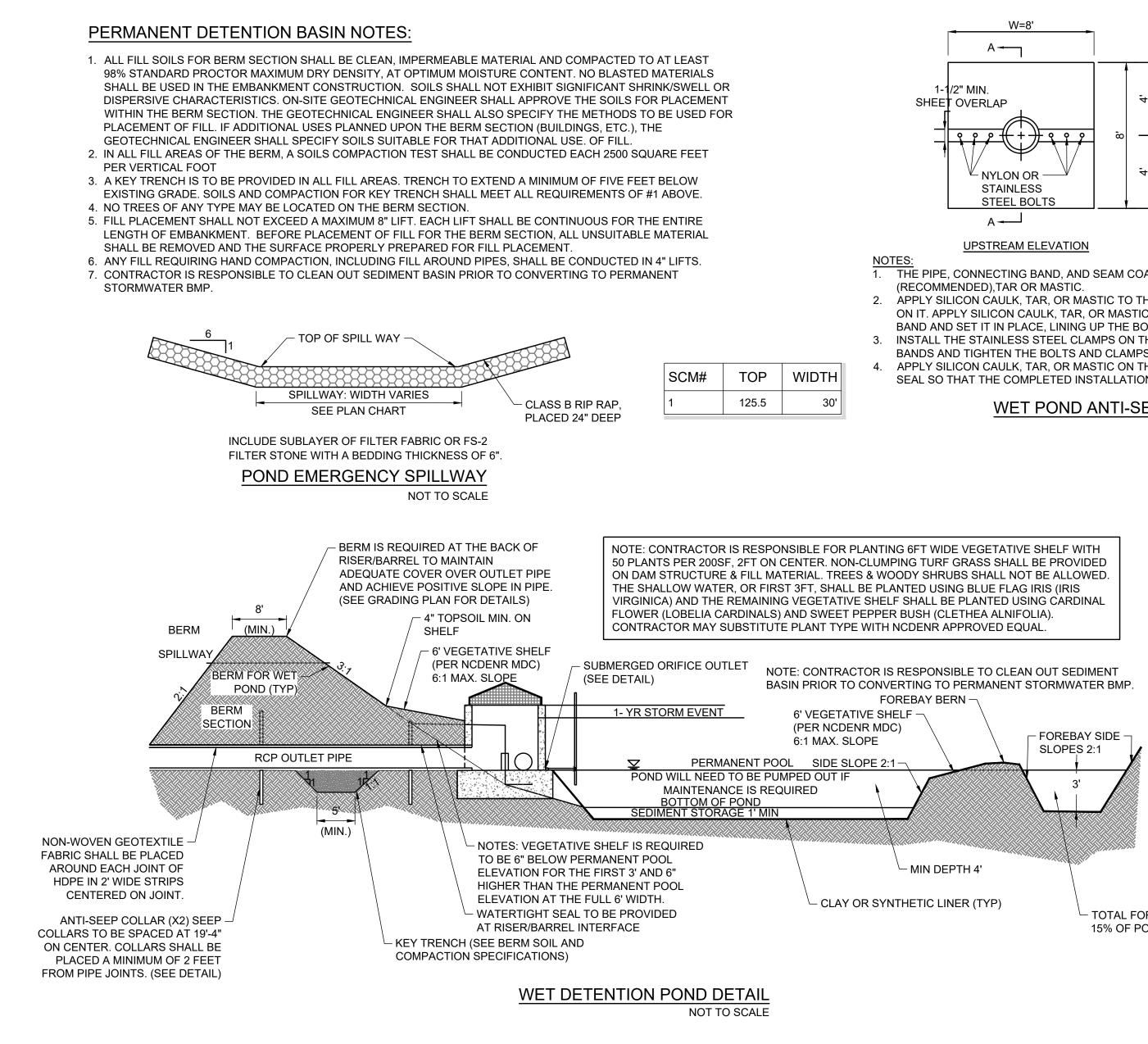






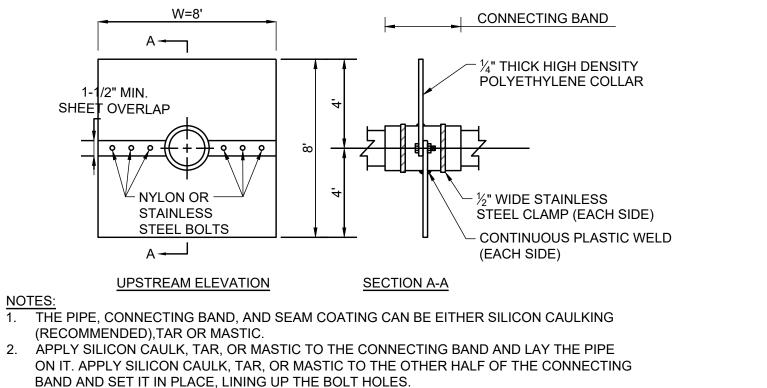
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Sing open trench methods. VITARY SEWER SCALE: NTS SERVICE DETAIL NO. 07.05 RTH CAROLINA TILITIES DATE: 04/03/2018	N E E R I N ENGINEERING GROUP, PLLC UITE 108 RALEIGH, NC 27615
	E N G I N E STRONG ROCK ENGINEE OF NEUSE RD. SUITE 108
	6801 FALLS OF NE
UNDISTURBED MATERIAL 2-3" ABOVE PIPE	STRONG ROCK PROJECT NOT FOR CONSTRUCTION SCALE AS SHOWN SCALE AS SHOWN DESIGNED BY RLB DRAWN BY SRG CHECKED BY JWL
#57 STONE EDGE OF TRENCH	DDS SUBDIVISION ON COUNTY, NORTH CAROLINA RY MASTER PLAN SEWER DETAILS
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UNDERGROUND SCALE: NTS RALS DETAIL NO. 07.58	MAF SMITHEI PRE SAN
TILITIES DATE: 04/03/2018	DRAWING SHEET D-2.0
	42 OF 47





	STORMWATER CONTROL MEASURE DISSIPATOR PADS						
	PIPE DIAMETER (IN)	PIPE SLOPE (%)	DISSIPATOR	DISSIPATOR TOP	DISSIPATOR	DISSIPATOR DEPTH	STONE
	PIPE DIAIVIETER (IIN)	PIPE SLOPE (%)	LENGTH (FT)	WIDTH (FT)	BOTTOM WIDTH	(IN)	STONE
FES-203	36	0.5	29	32	15	18	CLASS B
FES-204	18	0.8	9	5	10	18	CLASS D

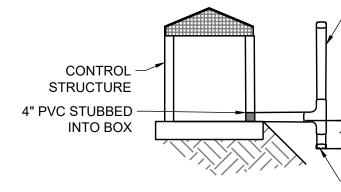
NOTE: DISSIPATOR PAD LENGTH A ND WIDTH ARE MINIMUM SIZE REQUIRED.



- 3. INSTALL THE STAINLESS STEEL CLAMPS ON THE SPLIT HALVES OF THE CONNECTING BANDS AND TIGHTEN THE BOLTS AND CLAMPS.
- APPLY SILICON CAULK, TAR, OR MASTIC ON THE SEAMS AS NEEDED TO INSURE A GOOD SEAL SO THAT THE COMPLETED INSTALLATION IS WATERTIGHT.

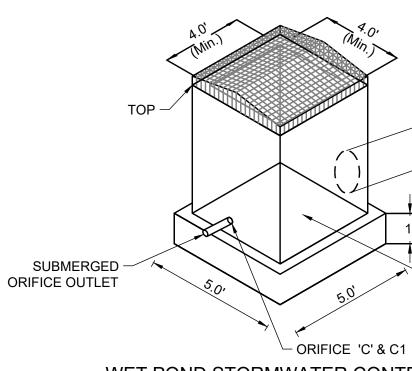
WET POND ANTI-SEEP COLLAR DETAIL

└─ TOTAL FOREBAY TO BE 15% OF POND AREA



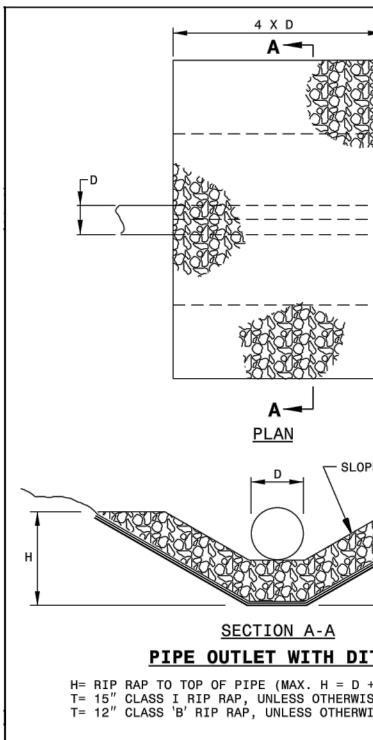
NOTES: 1. THE RISER SHOULD BE PLACED IN OR AT THE FACE OF THE EMBANKMENT.

WET POND SUBMERGED ORIFICE OUTLET DETAIL



WET POND STORMWATER CONTROL BOX

	А	В	С	C1		D	
SCM#	TOP	NWSE	2.5" WQ ORIFICE	WQ ORIFICE SIZE	OUTLET INVERT	OUTLET	OUTLET SLOPE
1	126	123	123	2.5"	121	18" RCP	0.8%



– 4" PVC SCREW-TYPE PLUG

PERMANENT POND ELEVATION

- 4" PVC

NOT TO SCALE

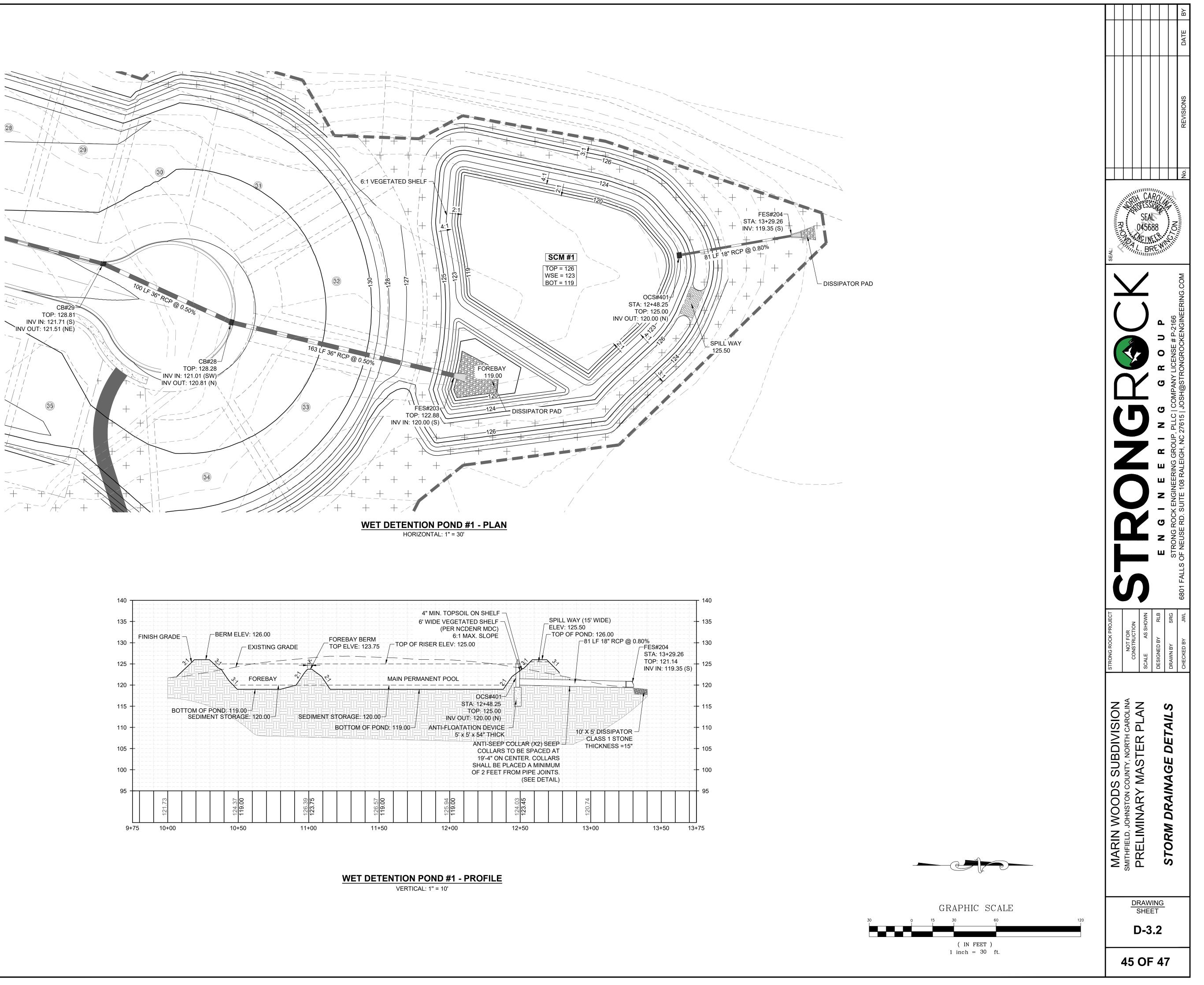
OUTFALL PIPE

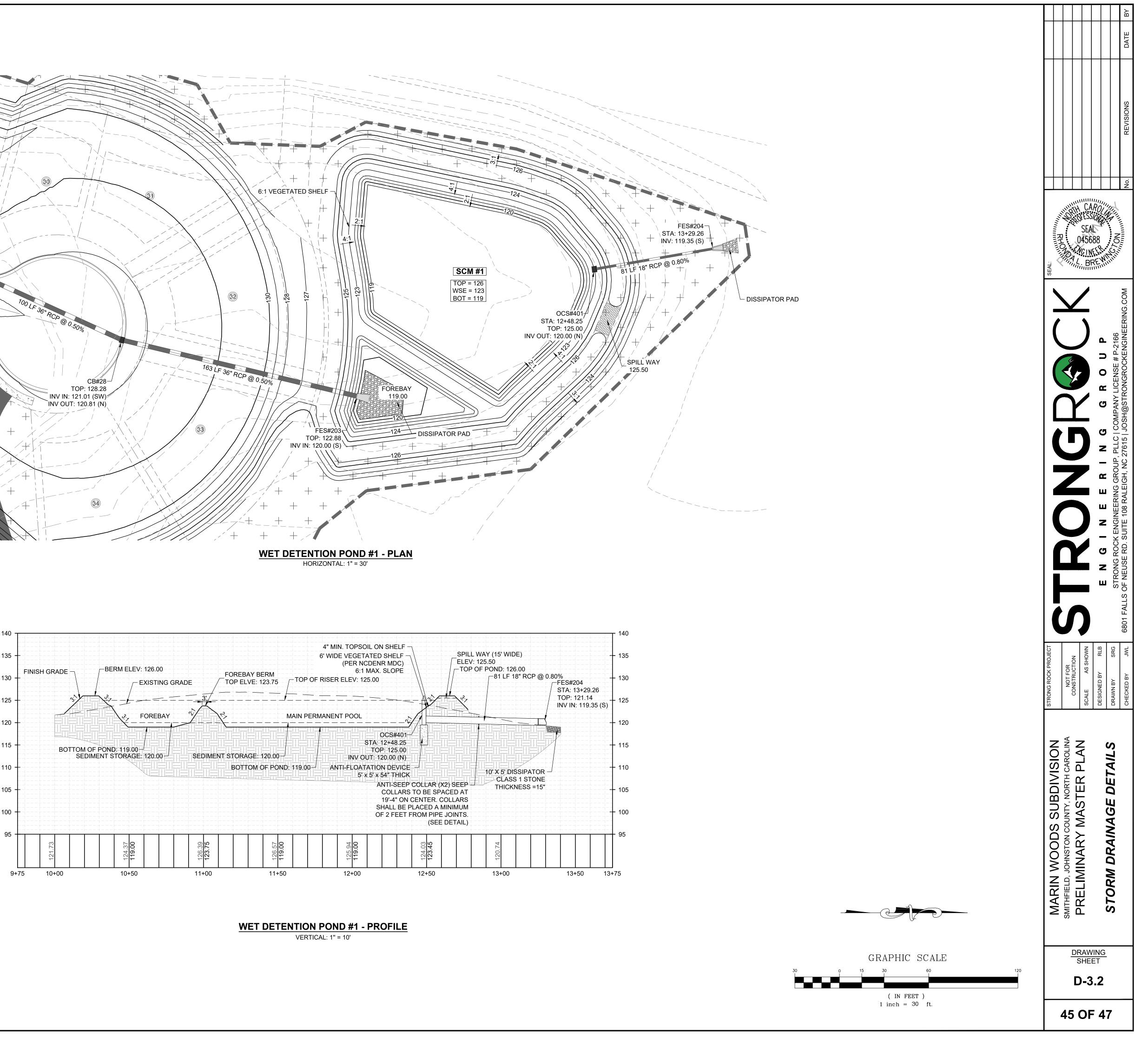
- NCDOT APPROVED PRECAST BOX

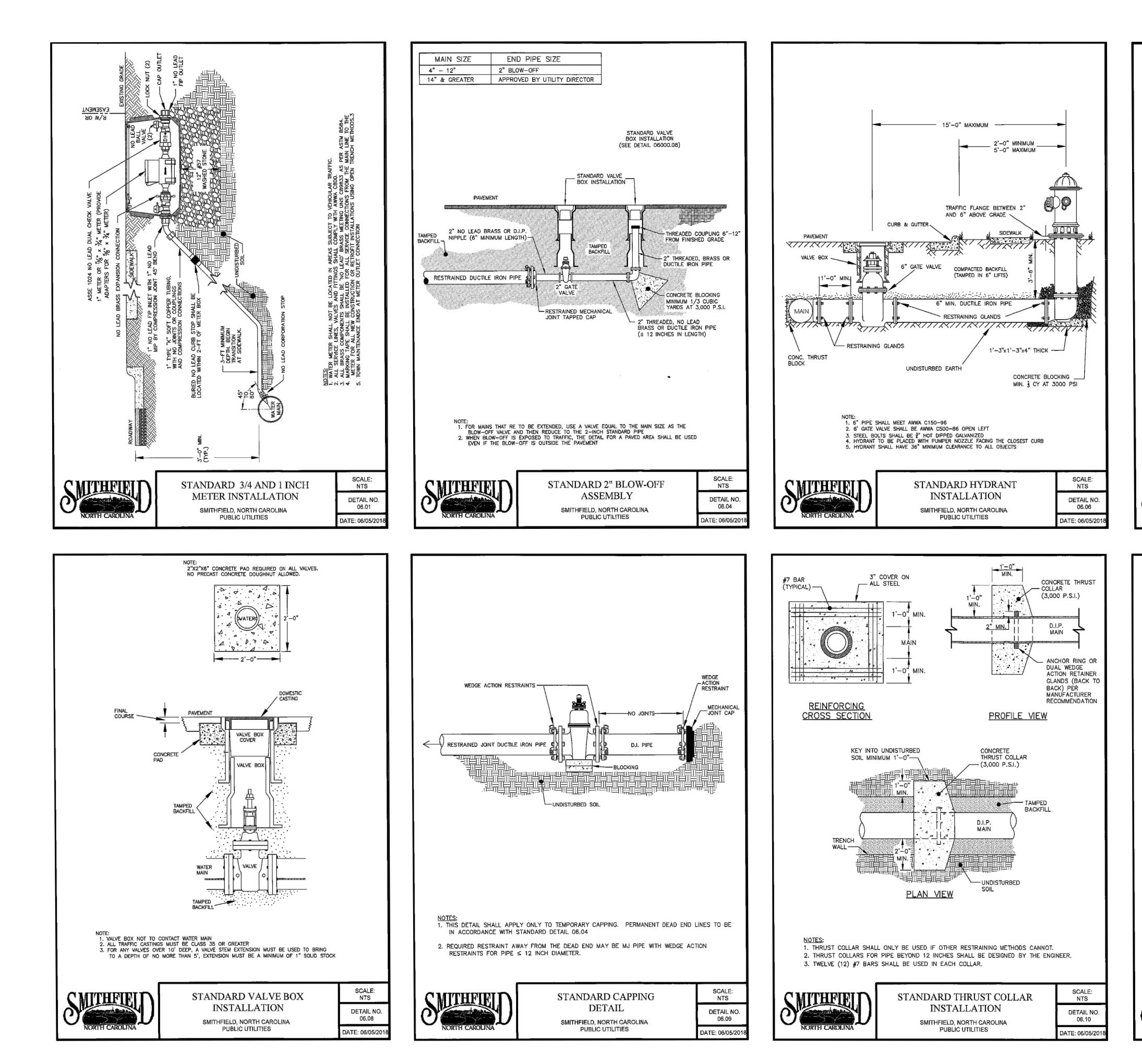
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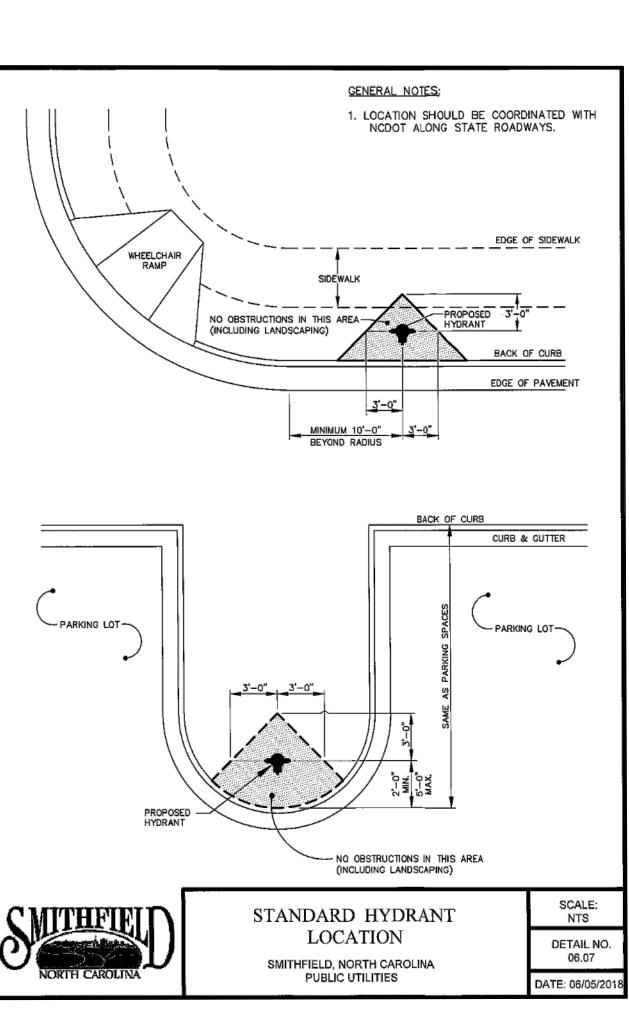
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DRAWING SHEET D-3.1		ノとう	U U N	STRONG ROCK ENGINI	6801 FALLS OF NEUSE RD. SUITE 10
SHEET D-3.1	STRONG ROCK PROJECT		L R C L	SRG	JWL
		SCALE		DRAWN BY SRG	JWL
	MARIN WOODS SUBDIVISION SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA	PRELIMINARY MASTER PLAN SCALE		DRAWN BY SRG	JWL

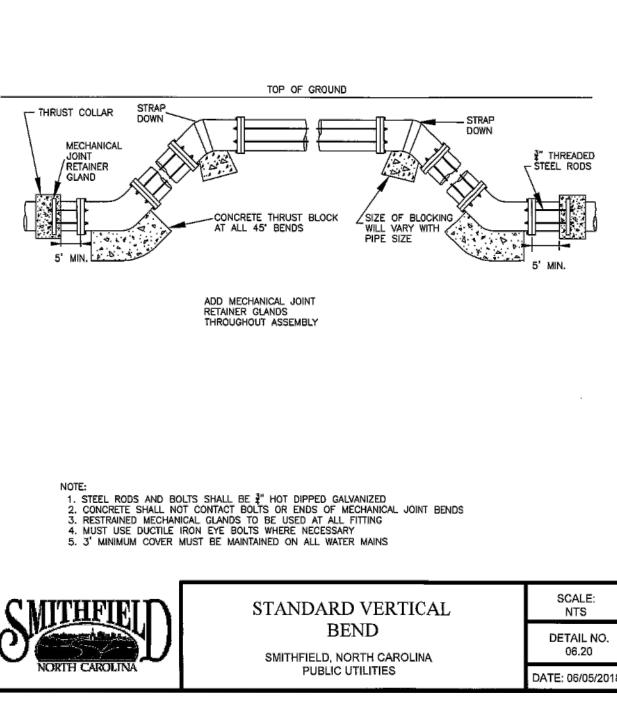








	ROD REQUIREMENTS	
SIZE OF 45 BEND	STATIC THRUST IN POUNDS	NO. OF RODS REQUIRED
6"	4,328	2
8"	7,694	4
12"	17,312	4
16"	30,779	8
24"	69,252	8







FRONT-LOADED SINGLE FAMILY #1



FRONT-LOADED SINGLE FAMILY #4



FRONT-LOADED SINGLE FAMILY #5

FRONT-LOADED SINGLE FAMILY #2



FRONT-LOADED TOWNHOMES



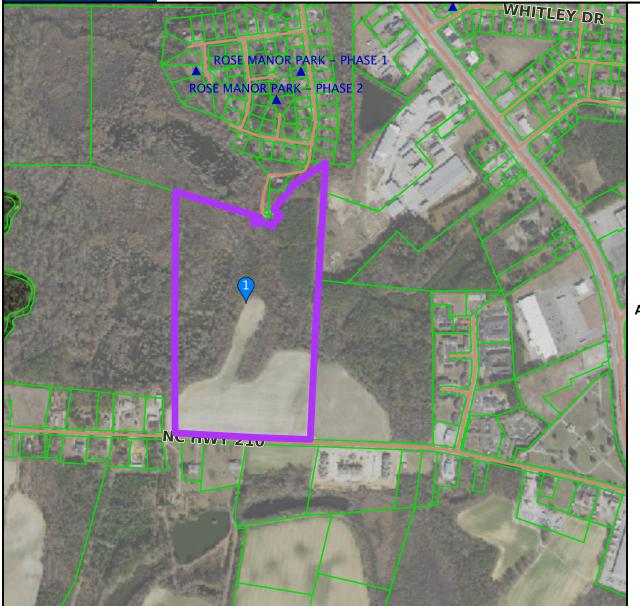
FRONT-LOADED SINGLE FAMILY #3





*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 15077008 Tag: 15077008 **NCPin:** 168400-74-4498 Mapsheet No: 1684 **Owner Name 1:** KEENER LUMBER CO INC **Owner Name 2:** Mail Address 1: 1209 W MARKET ST Mail Address 2: P O BOX 2323 Mail Address 3: SMITHFIELD, NC 27577-2323 Site Address 1: Site Address 2: **Book:** 01573 Page: 0254 Market Value: 241750 Assessed Acreage: 57.840 **Calc. Acreage:** 58.760 **Sales Price: 275000** Sale Date: 1997-01-30



Scale: 1:10060 - 1 in. = 838.33 feet (The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS July 30, 2021

Adjacent Property Owners of CZ-21-06

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15076011C	168400-61-5956	KINKADE, REBECCA BOYETTE	3029 NC HIGHWAY 57	Н	NC	27278-8219
15O99003C	168412-76-9311	BYRD, C A JR	3777 US HIGHWAY 70 BUS W	CLAYTON	NC	27520-0000
15077008B	168412-76-7082	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15077028J	168412-76-7037	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15099003M	168412-76-7079	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15077008	168400-74-4498	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077022A	168412-96-2134	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077007	168411-65-0657	HEAVNER, CECIL B.	PO BOX 2346	SMITHFIELD	NC	27577-2346
15076010	168400-73-3778	COX, JASON R.	559 NC HIGHWAY 210	SMITHFIELD	NC	27577-9152
15076011B	168400-73-0991	MOORE, CHRISTOPHER D.	619 NC HIGHWAY 210	SMITHFIELD	NC	27577-9154
15076012B	168400-83-5704	GLEN LAKE APARTMENTS LP	3924 BROWNING PL	RALEIGH	NC	27609-6509
15077028H	168407-67-4636	WELLONS INC	P O BOX 52328	DURHAM	NC	27717-2328
15076012A	168400-73-8722	DENNING FAMILY TRUST #1	PO BOX 1058	BEACH	NC	28428-3606
15077009	168400-84-6775	STRICKLAND, MARY F.	5864 HULMAN LINKS CT	JACKSONVILLE	FL	32222-1396
15078019C	168500-43-7994	LEE, NELL WOOD	579 LEE FARM LN	SMITHFIELD	NC	27577-9318
15079001	168510-26-7218	AUTH	3146 SWIFT CREEK RD	SMITHFIELD	NC	27577-9803
15079014	168500-41-0730	BATTEN, ELIZABETH G	87 WATER ST	AURORA	NC	27806-9223
15079003A	168510-35-7869	GOWER, STEVEN HOWARD	1707 WINDSOR RD	KINSTON	NC	28504-0000



PLANNING DEPARTMENT Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, <u>CZ-21-06</u>, were notified by First Class Mail on <u>7-16-21</u>.

E. Ahr

Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that <u>Mark E. Helmer</u> personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

, 2021 day of ublic Signati Notary Public Name +2023 My Commission expires on (Seal)



Request for Planning Board Action

Agenda Item: S-21-03 Date: 8/5/21

Subject:Marin Woods Preliminary PlatDepartment:PlanningPresented by:Mark Helmer, Senior PlannerPresentation:Business Item

Issue Statement

StrongRock Engineering PPLC is requesting a preliminary plat approval of a 143 lot lot subdivision on property lovated within a R-8 CZ zoning district.

Financial Impact

The 143 lot subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the preliminary plat and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommend approval of S-21-02 with the stated conditions and based on finding of fact for subdivisions.

Approved: □Town Manager □ Town Attorney

Attachments:

- 1. Staff report
- 2. Consistency Statement
- 3. Application
- 4. Master Plan



Agenda S-21-Item: 03

REQUEST:

CE Group Inc. is requesting a preliminary plat approval of a 143 lot lot subdivision on property lovated within a R-8 CZ zoning district.

Staff

Report

PROPERTY LOCATION:

The property is located on the north side of the NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive.

SITE DATA:

Subdivision Name:	Marin Woods
Tax ID#	15077008
Acreage:	57.84 acres
Present Zoning:	R-8 Cz
Existing Use:	Agriculture/Residential
Proposed Use:	Detached single-family, Attached single-family (townhouses)
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ADJACENT ZONING AND LAND USES: (see attached map)

	Zoning	Existing Land Uses
North	R-20A / R-10	Detached single-family residential and wetlands
South	R-20A / B-3	Detached single-family residential / agriculture
East	R-20A / Heavy Industrial	Agriculture / industrial
West	R-20A	Single-family / wetlands

EXISTING CONDITIONS/ENVIRONMENTAL:

The property considered for approval is located within the Neuse River Basin and within the floodplain of Swift Creek. The site considered for development is located on the high side of the property which is adjacent to NC Highway 210. As the property slopes away from NC Hwy 210, the elevation drops to below the base flood elevation (BFE) of the 100-year floodplain which is 124.7 feet above sea elevation. All finished grades for each lot will be at a minimum of 2 feet above the BFE. Encroachment into the 100-year floodplain by the stormwater management facility is proposed. The land is currently used for agriculture purposes and is a mix of open agricultural fields, wooded areas and marsh land.

MASTER PLAN/ANALYSIS:

The applicant had the property rezoned to R-8 CZ on September 7, 2021, with a master plan for a 53-lot detached single-family residential lots and 90 townhouse lots. The preliminary plat is consistent with the approved master plan. The masterplan and plat consist of the following:

Comprehensive Land Use Plan and Density. The Town's land use plan guides the site for medium density residential. The overall development will have an average density of 4.53 units per acre. The proposed land uses and densities match the Town's comprehensive plan and are consistent with R-8 zoning.

Highway Access. The proposed development will one permanent access point on and one emergency entrance on NC Hwy 210. NCDOT road improvements will include a left turn lane and a deceleration lane within the existing right-of-way.

Streets. All the roads within the development will be publicly maintained with 60' rightof-way and a 29' back-to-back of curb driving surface. The Town's Standard Street Detail calls out a 34' wide road back-to-back of curb within a 60' right-of-way.

The curbing is shown as B6-12 type matching the Town's Standard Detail. Visitors parking for the townhouse section is not proposed by the developer at this time.

Open space. Approximately 8.31 acres or 26% of the site will remain undeveloped open space. This area will be comprised of streams, wetlands, ponds, flood plain and buffers.

Riparian Buffers. A protected stream with a 50' riparian buffer is shown of the plan. The proposed walking trail is shown crossing this buffer at two locations.

Lot Sizes.

LOT ACREAGE:

TOTAL NUMBER PROPOSED LOTS:	143
PROPOSED DENSITY:	4.53 DU/AC
MINIMUM ALLOWED LOT SIZE:	1,800 SF
MINIMUM PROPOSED LOT SIZE:	2,161 SF (LOT 123)
MAXIMUM PROPOSED LOT SIZE:	16,037 SF (LOT 8)
AVERAGE PROPOSED LOT SIZE:	4,400 SF
MINIMUM ALLOWABLE LOT WIDTH:	20'
MINIMUM PROPOSED LOT WIDTH:	20'
FRONT BUILDING SETBACK:	20'

Building Heights. All proposed structures will have a building height of 35 feet or less as permitted by R-8 zoning district standards.

Setbacks.

MINIMUM BUILDING SETBACKS:	
FRONT YARD:	20'
SIDE YARD:	5' (SF); 0' (Townhome)
REAR YARD:	25'
CORNER YARD:	15' (SF); 10' (Townhome)
GARAGE:	20'

Public Sidewalks. 5' wide public sidewalk will be constructed in the public right-of-way along on side of all subdivision streets and along US Hwy 210.

Parking. Two parking spaces are proposed for each single-family residential unit (detached and attached) within an enclosed garage and driveway. Multi-family parking will comply with the UDO requirements. There will be limited on-street parking within the townhouse developments given the separation between driveways. Within the townhome areas, it is recommended that additional off-street parking be provided due to excessively narrow street and townhouse lots.

Driveways to Intersections. Residential driveways are prohibited from being within 20' of an intersection corner. It's unclear whether the townhouse development complies with this requirement.

Recreational Amenities. The project is proposing 1 tot lot and a natural area with a walking trail.

Landscaping and Bufferyard. The project is proposing a 10' landscaped buffer adjacent to US NC Hwy 210. Within the townhouse section, this 10' landscape yard will a leave the units with a usable back yard that's is only 15 feet deep.

Dumpster/Trash facilities. No dumpster or trash facilities are shown on the plan. All lots can be served by roll out containers.

Stormwater Management. The development will comply with the Town's stormwater management ordinance.

HOA. An HOA will provide common ownership and maintenance of the shared open space, stormwater SCMs and amenities.

Utilities. All Lots will be served by public water, sewer and electric.

R-8 CZ STANDARDS:

With the approval of the rezoning master plan, the development shall comply with the standards of the R-8 zoning district except for the following:

Requested lot dimen	310113	
Item	R-8/UDO	R-8 CZ
SF Min. lot size	10,000 sq. ft. (.23	2,161 sq. ft.
	ac.)	
SF Min. lot	70 feet	47 feet
width		
SF Min. front	30 feet	20 feet
setback		
SF Min. Side	10 feet	5 feet
Setback		
SF Min Rear	25 feet	25 feet
Setback		
TH Min. front	30 feet	20 feet
setback		
TH Min. Side	10 feet	0 feet
Setback		
TH Min Rear	25 feet	25 feet
Setback		
Max. Bldg.	35 feet	35 feet
Height		
Street	34' wide back-to-	29' wide back-to-back
	back with 5' utility	with 5' utility strips and
		sidewalks on one side.
Sidewalks	1 side of each street	1 side of each street.

• Requested lot dimensions

To approve a preliminary plat, the Planning Board/Town Council shall make the following finding (*staff's opinion in Bold/Italic*):

- 1. The plan is consistent with the adopted plans and policies of the town; *The plan is consistent with the adopted plans and policies of the town.*
- 2. The plan complies with all applicable requirements of this ordinance; *The plan complies with all applicable requirements of this ordinance and the R-8 Conditional Zoning District.*
- 3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed. *There is adequate infrastructure.*
- 4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses. *The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses*.

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of S-21-03 with the following conditions:

1. That the preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, R-8 Zoning District, and UDO regulations with stated deviations and conditions:

RECOMMENDED MOTION:

"move to recommend approval of zoning map amendment, S-21-03 with the stated conditions of approval and finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest."

Town of Smithfield Preliminary Plat Finding of Fact / Approval Criteria

Application Number: S-21-03 Project Name: Marin Woods Subdivision

Request: The applicant seeks a preliminary plat of Marin Woods subdivision located within the R-8 CZ zoning district. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

In approving an application for a preliminary plat in accordance with the principles, conditions, safeguards, and procedures specified herein, the Town Council may impose reasonable and appropriate conditions and safeguards upon the approval. The petitioner will have a reasonable opportunity to consider and respond to any additional requirements prior to approval or denial by the Town Council. The Town Council shall include in its comments a statement as to the consistency of the application with the Town's currently adopted Comprehensive Plan. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which the below requires.

The Town Council shall issue a preliminary plat if it has evaluated an application through a quasi-judicial process and determined that:

- 1. The plan is consistent with the adopted plans and policies of the town;
- 2. The plan complies with all applicable requirements of this ordinance;
- 3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed; and
- 4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: Based upon satisfactory compliance with the above stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative, I move to approve Preliminary Plat Application # S-21-03 with the following conditions:

1. xxx

Motion to Deny: *Based upon failure to meet all of the above stated findings and for reasons stated therein, I move to deny Preliminary Plat Application # S-21-03 for the following stated reason:*

Record of Decision:

Based on a motion and majority vote of the Town of Smithfield Town Council for the Preliminary Plat Application # S-21-03 is hereby:

_____ approved upon acceptance and conformity with the following conditions:

1. xx

_____ denied for the noted reasons.

Decision made this 7th day of September 2021 while in regular session.

M. Andy Moore, Mayor

ATTEST:

Shannan L. Parrish, Town Clerk



Town of Smithfield

Planning Department 350 E. Market St Smithfield, NC 27577 P.O. Box 761, Smithfield, NC 27577 Phone 919-934-2116 Fax: 919-934-1134

Preliminary Subdivision Application General Information				
Development Name Marin Woods				
Proposed Use				
Property Address(es) 0 Highway 210				
Johnston County Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:				
PIN# 168400-74-4498 TAX ID# 15077008				
Project type? 🔳 Single Family 📕 Townhouse 🗌 Multi-Family 🗌 Non-Residential 📄 Planned Unit Development (PUD)				
OWNER/DEVELOPER INFORMATION				
Company Name Owner/Developer Name				
Address				
Phone Email Fax				
CONSULTANT/CONTACT PERSON FOR PLANS				
Company Name StrongRock Engineering PLLC Contact Name Chris Record				
Address 6801 Falls of Neuse Rd, Raleigh, NC 27615				
Phone 984-200-1932 Email chris@strongrockgroup.com				
DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)				
ZONING INFORMATION				
Zoning District(s) CD-R8				
If more than one district, provide the acreage of each:				
Overlay District?				
Inside City Limits? Yes No				
FOR OFFICE USE ONLY				
File Number: Date Submitted: Date Received: Amount Paid:				

Project Narrative

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;

b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);

c) A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;

d) A narrative explaining the intent of the project and/or your original or revised vision for the finished product;

e) A statement showing the proposed density of the project with the method of calculating said density shown;

f) Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision;

g) A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);

h) A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;

i) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;

j) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;

k) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).

STORMWATER	INFORMATION		
Existing Impervious Surface 0/0 acres/sf	Flood Hazard Area Yes No		
Proposed Impervious Surface 11.8 AC/514,008 SF	Neuse River Buffer Yes No		
Watershed protection Area Yes	Wetlands Yes No		
If in a Flood Hazard Area, provide the FEMA Map Panel # and Base	Flood Elevation		
NUMBER OF LO	TS AND DENSITY		
Total # of Single Family Lots 53	Overall Unit(s)/Acre Densities Per Zoning Districts 4.53		
Total # of Townhouse Lots 90	Acreage in active open space 0.62		
Total # of All Lots 143	Acreage in passive open space 7.70		
SIGNATURE BLOCK (Appli	cable to all developments)		
In filing this plan as the property owner(s), I/we do hereby agree a			
successors and assigns jointly and severally to construct all improv subdivision plan as approved by the Town.			
I hereby designate_Strong Rock Engineeringto	serve as my agent regarding this application, to receive and		
respond to administrative comments, to resubmit plans on my bel			
application.			
I/we have read, acknowledge, and affirm that this project is conforproposed development use.	rming to all application requirements applicable with the		
25 May 2021			
Signature <u>Jachary</u> Anaerson			
Signature	Date		
REVIEW	V FFFS		
Major Subdivision (Submit 7 paper copies & 1 Digital copy			
 Minor Subdivision (Submit 4 paper copies & 1 Digital copy 			
Recombination Plat (Submit 2 paper copies & 1 Digital co			
FOR OFF	ICE USE ONLY		
File Number:Date Submitted:	Date Received:Amount Paid:		



Town of Smithfield Planning Department 350 E. Market St Smithfield, NC 27577 P.O. Box 761, Smithfield, NC 27577 Phone: 919-934-2116 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project:_____

Submittal Date:

OWNERS AUTHORIZATION

I hereby give CONSENT to _______(type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Ralph Sterrout	BALDH	StewARt	6-22-21
Signature of Owner	Print Name		Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Signature of Owner/Applicant

Print Name

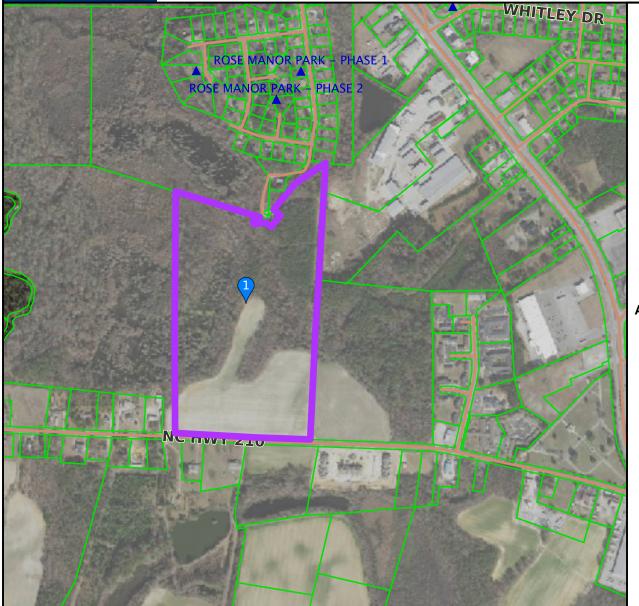
Date

FOR OFFICE USE ONLY Parcel ID Number: Date Received: File Number:



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 15077008 Tag: 15077008 **NCPin:** 168400-74-4498 Mapsheet No: 1684 **Owner Name 1:** KEENER LUMBER CO INC **Owner Name 2:** Mail Address 1: 1209 W MARKET ST Mail Address 2: P O BOX 2323 Mail Address 3: SMITHFIELD, NC 27577-2323 Site Address 1: Site Address 2: **Book:** 01573 Page: 0254 Market Value: 241750 Assessed Acreage: 57.840 **Calc. Acreage:** 58.760 **Sales Price: 275000** Sale Date: 1997-01-30



Scale: 1:10060 - 1 in. = 838.33 feet (The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS July 30, 2021

Adjacent Property Owners of S-21-03

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15076011C	168400-61-5956	KINKADE, REBECCA BOYETTE	3029 NC HIGHWAY 57	Н	NC	27278-8219
15099003C	168412-76-9311	BYRD, C A JR	3777 US HIGHWAY 70 BUS W	CLAYTON	NC	27520-0000
15077008B	168412-76-7082	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15077028J	168412-76-7037	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15099003M	168412-76-7079	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15077008	168400-74-4498	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077022A	168412-96-2134	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077007	168411-65-0657	HEAVNER, CECIL B.	PO BOX 2346	SMITHFIELD	NC	27577-2346
15076010	168400-73-3778	COX, JASON R.	559 NC HIGHWAY 210	SMITHFIELD	NC	27577-9152
15076011B	168400-73-0991	MOORE, CHRISTOPHER D.	619 NC HIGHWAY 210	SMITHFIELD	NC	27577-9154
15076012B	168400-83-5704	GLEN LAKE APARTMENTS LP	3924 BROWNING PL	RALEIGH	NC	27609-6509
15077028H	168407-67-4636	WELLONS INC	P O BOX 52328	DURHAM	NC	27717-2328
15076012A	168400-73-8722	DENNING FAMILY TRUST #1	PO BOX 1058	BEACH	NC	28428-3606
15077009	168400-84-6775	STRICKLAND, MARY F.	5864 HULMAN LINKS CT	JACKSONVILLE	FL	32222-1396
15078019C	168500-43-7994	LEE, NELL WOOD	579 LEE FARM LN	SMITHFIELD	NC	27577-9318
15079001	168510-26-7218	AUTH	3146 SWIFT CREEK RD	SMITHFIELD	NC	27577-9803
15079014	168500-41-0730	BATTEN, ELIZABETH G	87 WATER ST	AURORA	NC	27806-9223
15079003A	168510-35-7869	GOWER, STEVEN HOWARD	1707 WINDSOR RD	KINSTON	NC	28504-0000



PLANNING DEPARTMENT Mark E. Helmer, AICP Senior Planner

Notice of Public Meeting

Notice is hereby given that a public meeting will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, August 5, 2021 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following requests:

<u>CZ-21-06 Marin Woods Subdivision</u>: The applicant is requesting to rezone one parcel of land totaling 31.56 acres from the R-8 (Residential) and R-20A (Residential-Agricultural) zoning district to the R-8 CZ (Residential-Conditional Zoning) district for the construction of a 143-lot residential subdivision. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

<u>S-21-03 Marin Woods Subdivision:</u> The applicant is requesting preliminary subdivision approval of a 31.56 acre tract of land for the creation of 143 residential lots to be located within an R-8 CZ (Residential-Conditional Zoning) district. The property considered for preliminary subdivision approval is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

RZ-21-02 Kimberly Gower Johnson: The applicant is requesting to rezoning five parcels of land totaling 69.26 acres from the B-3(Highway Entrance Business) and R-20A (Residential-Agricultural) zoning district to the LI (Light-Industrial) zoning district. The properties considered for rezoning are located on the east and west side of US Hwy 70 Business West approximately 670 feet south of its intersection with Barbour Road. The properties are furth identified as Johnston County Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Smithfield Planning Department at (919) 934-2116 or online at www.smithfield-nc.com.

Run Legal ad in the Johnstonian News on July 28, 2021.



Request for Planning Board Action

 Agenda
 RZ-21

 Item:
 02

 Date:
 8/5/21

Subject:Zoning Map AmendmentDepartment:PlanningPresented by:Stephen Wensman, Planning DirectorPresentation:Business Item

Issue Statement

Chris Johnson is requesting a zoning map amendment to rezone 5 properties, +/- 64acres of land, from Highway Entranceway Business (B-3) and Residential-Agriculture (R-20A) to Light Industrial (LI).

Financial Impact

None.

Action Needed

The Planning Board is respectfully requested to review the rezoning and to decide whether to recommend approval or denial of the request.

Recommendation

Planning Staff recommends approval of the rezoning RZ-21-02 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the action is reasonable and in the public interest.

Approved: □Town Manager □ Town Attorney

Attachments:

- 1. Staff report
- 2. Consistency Statement
- 3. Application and Statement of Justification





REQUEST:

Chris Johnson is requesting a zoning map amendment to rezone 5 properties, +/- 64-acres of land, from Highway Entranceway Business (B-3) and Residential-Agriculture (R-20A) to Light Industrial (LI).

Staff

Report

PROPERTY LOCATION:

The properties are located south of the Johnston County Airport and north of the future Amazon site on both sides of US Highway 70 Business West .

SITE DATA:

Tax ID# Acreage:	15078019A, 15078019D, 15078019F, 15078020 and 15078020A 27.041, 12.877, 5.059, 17.828 and 1.465 respectively (64.27 acres)
Present Zoning:	The parcels are split zoned B-3 and R-20A except for the 1.465 acre parcel is zoned B-3 only.
Proposed Zoning:	Light Industrial (LI)
Existing Use:	Agriculture/Residential
Proposed Use	Industrial
Fire District:	Wilsons Mills
School Impacts:	None
Parks and Recreation:	None
Water Provider:	Town of Smithfield
Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ENVIRONMENTAL:

The properties are not located within a floodplain. A blue line stream forms the southern boundary of parcel 4.

	Zoning	Existing Land Uses	
North	B-3 & R-20A	Agriculture/Residential	
South	R-20A	Agricultural	
East	B-3, R-20A, and LI	Agriculture	
West	HI	Industrial (Airport)	

ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

ANALYSIS:

All the parcels are split zoned with the area within 500 feet of US Highway 70 Business W zoned B-3 and the remainder zoned R-20A, except for parcel 5 which is fully within the B-3 zoning district.

The rezoning is mostly consistent with the Comprehensive Growth Management Plan which guides parcels 2-5 as industrial, however it gudes parcel 1 as low density residential. Approval of the rezoning of parcel 1 to Light Industrial would simultaneously amend the comprehensive plan.



The industrial zoning in West Smithfield has been part of a long term economic development initiative that created certified industrial sites and the Amazon development site. The rezoning of parcels 2-5 is a further step towards the realization of a larger industrial area (industrial park) as envisioned in the comprehensive plan.

Parcel 1 was not included in that vision and it was guided for low density residential in the comprehensive plan. The properties to the north and south of parcel 1 are guided and zoned for

low density residential. There are 3 existing residential parcels to the north of parcel 1 that would be surrounded by industrial zoning if the map amendment is approved. These properties are buffered from the airport by existing forest and would be buffered from industrial parcel 1 by a man-made pond. The parcels to the south of parcel 1 are currently planned for a residential development.

The Johnston County Regional Airport has a long term vision to develop the south side of the runway with supportive industrial uses. The rezoning of parcel 1 to industrial would support this vision by providing a southern entrance to the airport property.

UTILITIES:

The parcelspar proposed for rezoning are within the Town's ETJ and the Town has first rights to serve them with the Town's water and sewer utilities. Johnston County currently provides water and sewer utilities to the airport and the industrial properties off of Citation Lane. The properties are within Duke's electric service area.

CONSISTENCY STATEMENT (Staff Opinion):

With approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** The Comprehensive Plan guides Parcels 2-5 as Industrial and the rezoning is consistent with the Comprehensive Plan. The Rezoning of Parcel 1 to Light Industrial is not consistent with the Comprehensive Plan and the approval of the rezoning would simultaneously result in an amendment to the Plan.
- **Consistency with the Unified Development Code** *the properties will be developed in conformance with the UDO.*
- **Compatibility with Surrounding Land Uses** *The properties considered for rezoning are or will be compatible with the land uses surrounding the parcels. There are or will be natural and planted buffers between the industrial and low density residential areas.*

RECOMMENDATION:

Planning Staff recommends the Planning Board approve RZ-21-02 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as being amended and other adopted plans, and that the amendment is reasonable and in the public interest.

RECOMMENDED MOTION:

Staff recommends the following motion:

"move to recommend approval of zoning map amendment, RZ-21-02, finding it consistent with the Town of Smithfield Comprehensive Growth Management Plan as being amended and other adopted plans, and that the amendment is reasonable and in the public interest."

THE TOWN OF SMITHFIELD UNIFIED DEVELOPMENT ORDINANCE ZONING MAP AMENDMENT CONSISTENCY STATEMENT BY THE SMITHFIELD PLANNING BOARD RZ-21-02

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE IS ADOPTED,

That the final action regarding zoning map amendment RZ-21-02 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public meeting; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public meeting. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE FAILS,

That the final action regarding zoning map amendment RZ-21-02 is based upon review of, and consistency, the Town of Smithfield Comprehensive Growth Management Plan and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



Town of Smithfield Planning Department 350 E. Market St Smithfield, NC 27577 P.O. Box 761, Smithfield, NC 27577 Phone: 919-934-2116 Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: Gower - J	Johnson Rezoning	Acreage of Pro	perty: Approximately 64+/-
Parcel ID Number: Multipu			tipule (See Attached)
Deed Book: Multipule (See		Deed Page(s):	Multipule (See Attached)
Address: US Hwy 70 Bus	iness West - Smithfi	ield	
Location:			
Existing Use: Residential /	Farm	Proposed Use:	Residential and Farm until determined
Existing Zoning District:	B3 and R-20A		
Requested Zoning District	Light Industrial		
Is project within a Planned l	Development:	Yes	No
Planned Development Distri	ict (if applicable): N/A	4	
Is project within an Overlay	District:	s 🗌 No	
Overlay District (if applicab	le): Commerical E	Business	

FOR OFFICE USE ONLY

File Number:	Date Received:	Amount Paid:

OWNER INFORMATION:

 Name:
 Kimberly Gower Johnson

 Mailing Address:
 516 South 4th Street - Smithfield

 Phone Number:
 919-464-5992
 Fax:

 Email Address:
 jewelbride@aol.com

APPLICANT INFORMATION:

Applicant: Chi	is Johnson		
Mailing Address	516 South 4th Street		
Phone Number:	919-915-6202	Fax:	
Contact Person:	Chris Johnson		
Email Address:	chrisjohnson27577@gmail.com		

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

A map with metes and bounds description of the property proposed for reclassification.

A list of adjacent property owners.

A statement of justification.

Other applicable documentation:

STATEMENT OF JUSTIFICATION

Please provide detailed information concerning all requests. Attach additional sheets if necessary. With the growth of the Johnston Regional Airport, the recent Amazon announcement, and the Airport Industrial Park

the request to change the zoning to Light Industrial fits the adjoining uses and provides Smithfield with the opportunity to grow its tax base and provide job opportunities for its citizens.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Print Name

8

Lale 21 Signature of Applicant



Town of Smithfield Planning Department 350 E. Market St Smithfield, NC 27577 P.O. Box 761, Smithfield, NC 27577 Phone: 919-934-2116 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: _____

Submittal Date: _____

OWNERS AUTHORIZATION

I hereby give CONSENT to Chris Johnson (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Le 28 21 Print Name Signature of Owner

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolinad and will not be returned.

Signatar of Owner/Applicant

6 28 21 Date

FOR OFFICE USE ONLY

File Number:

Date Received:

Parcel ID Number:



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 15078019A Tag: 15078019A NCPin: 168500-34-9527 Mapsheet No: 1685 Owner Name 1: JOHNSON, KIMBERLY GOWER **Owner Name 2:** Mail Address 1: 516 S 4TH ST Mail Address 2: Mail Address 3: SMITHFIELD, NC 27577-4454 Site Address 1: 3063 US HWY 70 Site Address 2: SMITHFIELD, NC 27577-Book: 04222 Page: 0500 Market Value: 454420 Assessed Acreage: 24.780 Calc. Acreage: 27.041 Sales Price: 0 Sale Date: 2012-12-20

Scale: 1:8865 - 1 in. = 738.76 feet (The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS June 25, 2021



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 2

id: 15078019D Tag: 15078019D NCPin: 168500-44-7903 Mapsheet No: 1685 **Owner Name 1:** JOHNSON, KIMBERLY GOWER **Owner Name 2:** Mail Address 1: 516 S 4TH ST Mail Address 2: Mail Address 3: SMITHFIELD, NC 27577-4454 Site Address 1: Site Address 2: Book: 03628 Page: 0932 Market Value: 246100 Assessed Acreage: 12.910 Calc. Acreage: 12.877 Sales Price: 0 Sale Date: 2008-12-01

Result 4

id: 15078020 Tag: 15078020 NCPin: 168500-43-9522 Mapsheet No: 1685 Owner Name 1: JOHNSON, KIMBERLY GOWER **Owner Name 2:** Mail Address 1: 516 S 4TH ST Mail Address 2: Mail Address 3: SMITHFIELD, NC 27577-4454 Site Address 1: Site Address 2: Book: 03628 Page: 0932 Market Value: 403280 Assessed Acreage: 16.850 Calc. Acreage: 17.828 Sales Price: 0 Sale Date: 2008-12-01

Result 3

id: 15078019F Tag: 15078019F NCPin: 168500-44-7360 Mapsheet No: 1685 **Owner Name 1:** JOHNSON, KIMBERLY GOWER **Owner Name 2:** Mail Address 1: 516 S 4TH ST Mail Address 2: Mail Address 3: SMITHFIELD, NC 27577-4454 Site Address 1: Site Address 2: Book: 03628 Page: 0932 Market Value: 192120 Assessed Acreage: 5.030 Calc. Acreage: 5.059 Sales Price: 0 Sale Date: 2008-12-01

Result 5

id: 15078020A Tag: 15078020A NCPin: 168500-43-8117 Mapsheet No: 1685 Owner Name 1: JOHNSON, KIMBERLY G **Owner Name 2:** Mail Address 1: 516 S FOURTH ST Mail Address 2: Mail Address 3: SMITHFIELD, NC 27577-0000 Site Address 1: 2354 US HWY 70 BUS Site Address 2: SMITHFIELD, NC 27577-Book: 02003 Page: 0900 Market Value: 87030 Assessed Acreage: 1.440 Calc. Acreage: 1.465 Sales Price: 0 Sale Date: 2001-01-03



PLANNING DEPARTMENT Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, <u>RZ-21-02</u>, were notified by First Class Mail on <u>7-16-21</u>.

the

Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that <u>Mark E. Helmer</u> personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

, 2021 day of ary Public Signa ary Public Name My Commission expires on January 15,2023

Adjacent Property Owners of RZ-21-02

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15079013A	168510-45-2587	JOHNSTON COUNTY				0000-0000
15078019B	168510-45-2930	PRINCE HOLDINGS LLC	951 CRANBERRY DR	LEWISVILLE	NC	27023-9823
15078019	168510-45-7613	PRINCE HOLDINGS LLC	951 CRANBERRY DR	LEWISVILLE	NC	27023-9823
15078012A	168519-52-2147	ASP SMITHFIELD LLC	102	GREENSBORO	NC	27409-9316
15078011	168500-63-4559	ASP SMITHFIELD LLC	102	GREENSBORO	NC	27409-9316
15079006	168511-46-9039	WOOD, ANN U.	286 LITTLE CREEK CHURCH RD	CLAYTON	NC	27520-6834
15079011	168510-35-7343	GOWER, STEVEN H	516 SOUTH 4th ST	SMITHFIELD	NC	27577
15078020A	168500-43-8117	JOHNSON, KIMBERLY G	516 S FOURTH ST	SMITHFIELD	NC	27577-0000
15079012	168510-35-3135	HARE, GREGORY T	PO BOX 2841	SMITHFIELD	NC	27577-0000
15079012A	168510-35-5531	HARE, GREGORY T	PO BOX 2841	SMITHFIELD	NC	27577-2841
15078019D	168500-44-7903	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15079012B	168510-35-4470	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078019F	168500-44-7360	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078020	168500-43-9522	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078019A	168500-34-9527	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078019C	168500-43-7994	LEE, NELL WOOD	579 LEE FARM LN	SMITHFIELD	NC	27577-9318
15079001	168510-26-7218	JOHNSTON COUNTY AIRPORT AUTH	3146 SWIFT CREEK RD	SMITHFIELD	NC	27577-9803
15079014	168500-41-0730	BATTEN, ELIZABETH G	87 WATER ST	AURORA	NC	27806-9223
15079003A	168510-35-7869	GOWER, STEVEN HOWARD	1707 WINDSOR RD	KINSTON	NC	28504-0000



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Notice of Public Meeting

Notice is hereby given that a public meeting will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, August 5, 2021 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following requests:

<u>CZ-21-06 Marin Woods Subdivision</u>: The applicant is requesting to rezone one parcel of land totaling 31.56 acres from the R-8 (Residential) and R-20A (Residential-Agricultural) zoning district to the R-8 CZ (Residential-Conditional Zoning) district for the construction of a 143-lot residential subdivision. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

<u>S-21-03 Marin Woods Subdivision:</u> The applicant is requesting preliminary subdivision approval of a 31.56 acre tract of land for the creation of 143 residential lots to be located within an R-8 CZ (Residential-Conditional Zoning) district. The property considered for preliminary subdivision approval is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

RZ-21-02 Kimberly Gower Johnson: The applicant is requesting to rezoning five parcels of land totaling 69.26 acres from the B-3(Highway Entrance Business) and R-20A (Residential-Agricultural) zoning district to the LI (Light-Industrial) zoning district. The properties considered for rezoning are located on the east and west side of US Hwy 70 Business West approximately 670 feet south of its intersection with Barbour Road. The properties are furth identified as Johnston County Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Smithfield Planning Department at (919) 934-2116 or online at www.smithfield-nc.com.

Run Legal ad in the Johnstonian News on July 28, 2021.