



PLANNING BOARD AGENDA

Members:

Chairman: Stephen Upton (Town)

Vice-Chairman: Mark Lane (ETJ)

Doris Wallace(Town)

Ashley Spain (ETJ)

Michael Johnson (Town)

Alisa Bizzell (Town)

Sloan Stevens (Town Alt)

Debbie Howard (Town)

Stephen Wensman, AICP, ALA, Planning Director

Mark Helmer, AICP, CZO, Senior Planner

Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, October 7, 2021

Meeting Time: 6:00 p.m.

Meeting Place: Council Chambers, Smithfield Town Hall

PLANNING BOARD AGENDA

FOR REGULAR MEETING

OCTOBER 7, 2021

MEETING TIME: 6:00 PM

TOWN HALL COUNCIL CHAMBERS

Call to Order.

Identify voting members.

Approval of the agenda.

Approval of the minutes for September 2, 2021.

New Business.

CZ-21-05 Smithfield Police Department: The applicant is requesting conditional rezoning of 3 parcels of land totaling 1.54 acres from the R-8 (Residential) zoning district to O&I CZ (Office-Institutional Conditional Zoning) district for the expansion of the existing police department facilities. The properties considered for approval are located on the west side of South Fifth Street approximately 340 feet south of its intersection with East Market Street. The properties are further identified as Johnston County Tax ID# 15025051, 15025052B and 15025048.

CZ-21-08 Britt Street Triplexes: The applicant is requesting to rezone a .7 acre tract of land from the B-3 (Highway Entrance Business) zoning district to the B-3 CZ (Conditional Zoning) district for the construction of a six unit townhouse project. The property considered for approval is located on the east side of the intersection of West Market Street and Britt Street and further identified as Johnston County Tax ID# 15L11006.

S-21-04 Britt Street Triplexes: The applicant is requesting subdivision approval to divide a .7 acre tract of land into 6 lots for the construction of a six unit townhouse project. The property considered for approval is located on the east side of the intersection of West Market Street and Britt Street and further identified as Johnston County Tax ID# 15L11006.

CZ-21-09 Spring Branch Phase 2: The applicant is requesting to rezone 5 tracts of land totaling approximately .68 acres from the R-8 (Residential) zoning district to the R-8 (Conditional Zoning) district. The properties considered for approval are located on the northeast side of the intersection of East Johnston Street and South Sixth Street and further identified as Johnston County Tax ID# 15026056, 15026057, 15026058, 15026058A and 15026058B.

ZA-21-05 Town of Smithfield: The applicant is proposing an amendment to the Town of Smithfield Unified Development Ordinance, Article 10, Performance Standards, Part III, Landscape Requirements. The proposed ordinance amendment will apply minimum landscape requirements to new residential subdivisions.

**Town of Smithfield
Planning Board Minutes
Thursday, September 2nd, 2021
Town Hall
Council Chambers
6:00 PM**

Members Present:

Chairman Stephen Upton
Debbie Howard
Doris Wallace
Sloan Stevens
Alisa Bizzell
Ashley Spain
Michael Johnson

Members Absent:

Vice Chairman Mark Lane

Staff Present:

Mark Helmer, Senior Planner
Julie Edmonds, Administrative Assistant

Staff Absent:

Stephen Wensman, Planning Director

CALL TO ORDER

Chairman Stephen Upton suggested that the board vote to amend the agenda and hear RZ-21-02 first and move CZ-21-06 to the second item.

APPROVAL OF MINUTES from August 5, 2021

Michael Johnson made a motion, seconded by Debbie Howard to approve the minutes as written.
Unanimously approved

NEW BUSINESS:

CZ-21-07 Whitley Townes: J & J Flowers Finch Inc. is requesting a conditional rezoning request of 11.61-acres of land from the B-3 (Business) zoning district to B-3 CZ (Highway Entranceway Business-Conditional Zoning) district with a master plan for a planned development consisting of 70 attached single family townhomes. The properties considered for rezoning are located on the northeast side of West Market Street approximately 300 feet southeast of its intersection with Britt Street. The properties are further identified as Johnston County Tax ID# 15084001 and a portion of 15084003A.

Mark Helmer said J & J Flowers Finch Inc. is requesting a conditional rezoning request of 11.61 acres of land from B-3 to B-3 CZ with a master plan for a planned development consisting of 70 attached single-family townhomes. The property is located on the north side of the West Market Street approximately 1,056 feet west of its intersection with Wilson's Mills Road and west of the former Heilig-Meyers store. Water and sewer will be provided by Town of Smithfield and electric service will be provided by Duke Energy.

The applicant is proposing a master plan consisting of 70 attached single-family townhomes fronting on private parking facilities and accessed by a public cul-de-sac. With the approval of the rezoning, the

Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** – the comprehensive plan supports flexibility in zoning regulations and the master plan complies with the medium density guidance.
- **Consistency with the Unified Development Code** – the property will be developed in conformance with the UDO conditional zoning provisions.
- **Compatibility with Surrounding Land Uses** - The property considered for rezoning will be compatible with the surrounding land uses.

Planning Staff recommends approval of CZ-21-07 with the following conditions:

1. That the future preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, B-3 Zoning District, and UDO regulations with the with the following deviations:

Item	B-3 CZ
Street	30' wide back-to-back.
Parking Lot Curbing	Valley curbs are proposed in the parking lots.
Recreational Amenities	26,000 sq. ft. open space with no amenities.

2. That the trash/recycling rollouts be stored within garages or rear yards.
3. That the parking lot entrances be constructed in accordance with the town's standard driveway.
4. That a landscape architect designed landscape and buffer plan be submitted with the preliminary plat in accordance with the sketch plan and staff comments, including
 - a. landscaping should extend up and down the berm to provide a solid screen of rear yards from West Market Street
 - b. Rear yards be screened with fences and landscaping and that there be at least 4 shrubs and one ornamental tree planted in front of each unit.
 - c. A minimum one overstory street tree be planted along every 50' of public right-of-way, within 15' of the edge of the right-of-way.
 - d. That the 25' perimeter buffer planting be comprised of existing vegetation and landscaping/ and or fencing to ensure at least 60% opacity.

5. That an architectural plan be submitted for the townhouses with a mix of siding types such as lap board and batten, shakes and brick and that end units be comprised of windows and other architectural details.
6. That an easement be executed for the shared use of the driveway off of West Market Street.
7. That a master sign plan be submitted with the preliminary plat in accordance with the rezoning master plan.
8. That decorative street lights and signs be incorporated into the development and submitted with the preliminary plat.

Mark Hyde from 109 Britt Street asked what Britt Street would look like once the proposed development is completed?

Mark Helmer said the majority of the trees that butt up to Mr. Hyde's property will need to come down. However, they will be replaced with a 25-foot buffer consisting of new landscaping and fresh new trees.

Jordan Finch of 102 Isle of Hope Circle, Clayton, NC 27527 came forward. He is one of the developers from J & J Flowers Finch, Inc. He stated it was his personal preference to leave the woods as close to 15' of the edge of the right-a-way as possible.

Pam Lampe of 415 N. Second Street asked Mark Helmer to show her how much of a buffer 25' foot would be and also what a 50' buffer on the front would look like.

Mark Helmer stated that buffers are more critical between commercial and residential lots.

Debbie Howard stated that residential to residential lots don't require a buffer.

Mark Helmer said correct, they do not.

Pam Lampe said her recommendation would be for more landscape buffering and she doesn't like the ideas of a driveway being put between a commercial lot into a residential lot. She doesn't think it would be ideal to cut between the two lots.

Doris Wallace made a motion to approve the zoning map amendment, CZ-21-07, with all conditions of approval, finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest; seconded by Debbie Howard. Unanimously approved

ZA-21-05 Town of Smithfield: The Town of Smithfield is experiencing unprecedented residential growth and many new subdivisions. The Town Council has become concerned about the character of proposed developments and wants to ensure there is adequate landscaping with new development. The Council has directed staff to look into updating the Town's Landscape

Ordinance to include landscape standards for residential development. Currently, there are no standards for single family residential development.

Mark Helmer stated that the Town of Smithfield currently didn't have any landscaping requirements. If a commercial property were to move in next door to a residential property the responsibility to provide a buffer would fall onto the commercial property. The current ordinance reads if there are two like zonings and a 10-foot buffer is required; one developer is to plant a 5-foot buffer and the other developer would plant the other 5-foot buffer for a total of 10 feet like non-residential uses.

Mr. Helmer recommended that the board consider the addition of buffer yards around these planned developments or straight subdivisions by code. He suggested requiring landscaping per unit. That was done previously tonight, we required one tree and four shrubs per unit.

Debbie Howard asked if Mr. Helmer meant one tree in the front yard and none in the backyard.

Mr. Helmer said he discourages the board from over regulating the landscaping plan. Owners may have plans for their yards such as adding swimming pools, a pool house or a driveway that wraps around to their back yard. He thinks one tree between the house and the street would be sufficient.

Ashley Spain said any trees that you plant along the sidewalk and the curb will present a problem. He's looking down the road with root problems.

Mark Helmer said the Town has a tree preservation ordinance. It requires all flowering trees to be preserved or replaced.

Stephen Upton suggested the board review the material given to them concerning landscaping. We prepared to provide some feedback to Planning Staff.

Mark Helmer said Planning Staff will develop revised landscape regulations and bring forward to the board for review.

Pam Lampe stated that she was glad the town has directed the Planning Board to look at adding landscape regulations for single-family homes to the UDO. She would like to see the existing regulations for multi-family homes, commercial and industrial tightened. Mrs. Lampe would like to expand the use of landscape buffers, building setbacks and berms. Projects don't need to be put next to the road without appropriate landscaping, berms and barriers. If high density residential projects are placed beside a low-density single-family home, we need to make sure that berms, setbacks, fencing and buffers are sufficient. Smithfield has a blank canvas as far as growth. Mrs. Lampe would like to challenge the members of the Planning Board and Planning Staff to develop and require new landscape ordinances in the UDO that will make new development projects both good economically and aesthetically pleasing. We want Smithfield to have a more unified and vibrant plans to move us forward into the future. Mrs. Lampe also

wanted to point out towns such as Burlington, New Bern and Beaufort would be good references when seeking a new landscaping and buffer requirements.

Sloan Stevens asked how our commercial code stands up to others, landscaping wise?

Mark Helmer said it was more robust in previous versions of our ordinance. It has become watered down over the years, particularly the buffers. We have reduced the number of shrubs on commercial properties by 50% but didn't increase the number of trees required.

Emma Gemmell of 207 Hancock Street pointed out that Glen Lake Apartments off of Hwy 210 did a very nice job when creating their berms and developing their landscaping.

Debbie Howard made a recommendation for the Planning Department to proceed on with updating the landscaping ordinance has been presented, seconded by Ashley Spain. Unanimously approved.

Doris Wallace made a motion to adjourn the meeting, seconded by Alisa Bizzell. Unanimously approved.

OLD BUSINESS

None

Adjournment

Being no further business, Doris Wallace made a motion seconded by Alisa Bizzell to adjourn the meeting. Unanimously approved

Respectfully Submitted,

A handwritten signature in cursive script that reads "Julie Edmonds".

Julie Edmonds
Administrative Support Specialist



Request for Planning Board Action

Agenda Item: CZ-21-05
Date: 10/7/21

Subject: Smithfield Police Department CZ Map Amendment
Department: Planning
Presented by: Mark Helmer, Senior Planner
Presentation: Business Item

Issue Statement

The Town of Smithfield is requesting a rezoning of two properties from R-8 to O&I CZ for the expansion of the Police Department facilities.

Financial Impact

The expansion will be funded by the Town.

Action Needed

The Planning Board is respectfully requested to review the conditional rezoning of from R-8 to O&I CZ and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommends the Planning Board recommend approval of CZ-21-05 with 5 conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application
4. Sketch Plan



Staff Report

Agenda CZ-
Item: 21-05

REQUEST:

The Town of Smithfield is requesting a rezoning of two properties, 15025052B (.26 acres) and 15025051 (.39 acres) from R-8 to O&I CZ for the expansion of the Police Department facilities.

PROPERTY LOCATION:

The properties are located on the north side of South Fifth Street about 344 lineal feet south of the corner of East Market Street and S Fifth Street.

SITE DATA:

Tax ID #and Acreage:	15025052B (.26 acres) and 15025051 (.39 acres)
Present Zoning:	R-8 (Residential)
Proposed Zoning:	O&I CZ
Existing Use:	Vacant
Proposed Use	Police Department Facilities
Fire District:	Town of Smithfield
School Impacts:	None
Parks and Recreation:	None
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Town of Smithfield

ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

	Zoning	Existing Land Uses
North	O&I CZ (Office & Institutional Conditional Zone)	Institutional
South	O&I CZ (Office & Institutional)	Institutional
East	R-8 (Residential)	Detached Single Family
West	O&I CZ (Office & Institutional)	Institutional

REZONING:

The existing Police Station property was zoned to an O/I Conditional Use District (O/I CUD). With 160D legislation, old CUDs are now conditional zoning districts.

Conditional Zoning is a rezoning with a master plan and the land use is limited to the use on the approved master plan. Reasonable conditions may be placed on the rezoning similar to special use permits with the applicant's consent. The conditional zoning process allows a give and take approach to zoning regulations. In this case, the master plan includes an expansion of the adjacent Police Department facilities onto the properties being rezoned

EXISTING CONDITIONS:

The Town of Smithfield Police Station is an 8,135 sq. ft building with two parking lots, a 24-space lot in the rear of the building and a one-way 10-space lot in the front of the building. Vehicular access is from a mid-block alleyway. Vehicles enter the alley to access either lot. The parking lot in the front of the building is designed for one-way traffic with an exit onto S Fifth Street. The rear parking lot is designed for two-way traffic with a second access to/from the Fire Department property that fronts on S. Fourth Street.

Also to the rear of the building is an existing shed that occupies two parking spaces, a mechanical yard, HVAC system and an existing cell tower and fenced area. There is no stormwater management facility on the property and stormwater sheet flows off the site. There are no known wetlands or floodplain on the property.

MASTER PLAN ANALYSIS:

The master plan shows a 3,650 sq. ft. expansion to the existing 8,135 sq. ft. police station onto the two vacant parcels to the south. The plan expands the front yard parking lot to the southside of the building as an extension of the Fire Department parking lot. The master plan includes a stormwater management facility. Additional improvements will include landscaping and lighting.

- **Driveway Access and Parking.** The Master Plan shows no change to the rear parking lot configuration but modifies the front parking lot. The front parking will no longer have alley access; will have two driveways onto S Fifth Street and will wrap the parking around the south end of the building as an extension of the Fire Department parking lot.
- There will be an additional 33 parking stalls for a total of 64 parking spaces. The Unified Development Ordinance (UDO) requires 59 parking spaces ($11,785 \text{ sq. ft.} / 1000 \times 5 = 59$). There are 5 more parking spaces than required.
- **Curbing.** The project will have B6-12 concrete curb around the parking lot and to fill in the missing curb on S Fifth Street at the old driveway location and along the alley.
- **Building Setbacks.** The building exceeds the O/I District setback requirements.

	O/I Setbacks
Front	25 ft
Side	8 ft
Rear	15 ft

- **Landscaping and Buffers.** No landscape plan has been provided, but the plan shows a standard Streetyard and a partially reduced Bufferyard adjacent to the residential property.

	O/I	Proposed O/I-CZ
Streetyard	12.5 ft (1 tree and 20 shrubs per 100 lin. Ft.)	12.5 ft (no landscape plan provided)
Bufferyard adjacent O/I	50% of Type A (5' wide- 1 tree and 6 shrubs per 1,000 sq. ft.)	5' (no landscape plan provided)
Bufferyard adjacent to residential	Type B (20' wide – 1 tree and 8 shrubs per 1,000 sq. ft.)	20' and 4' (no landscape plan provided)
Interior parking lot and foundation plantings will be as required.		

- **Public sidewalks.** A 5' wide public sidewalk will be repaired as needed along S. Fifth Street.
- **Utilities.** The Police Department facilities are served by Town water, sewer and electricity.
- **Stormwater Management.** A stormwater management facility will be located at the south end of the parking lot with an overflow structure to pipe water under S Fifth Street to the existing ditch on private property. The Town is currently seeking an easement from the private property owner for the drainage.
- **Lighting.** A lighting plan will be provided by the Town of Smithfield Utilities Department meeting Town UDO requirements.

REQUESTED DEVIATIONS FROM UDO REQUIREMENTS:

One of the purposes of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant has not identified any deviations from the O/I regulations. By choosing a conditional rezoning, the use of the site can only be as shown on the plans.

The Town is requesting the certain deviations from the UDO requirements to facilitate the construction of the Police Department expansion:

- 16 ft partial reduction in the Bufferyard adjacent to the parking lot (extension of Fire Station parking).

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** – *the use and master plan are consistent with the Comprehensive Growth Management Plan.*
- **Consistency with the Unified Development Code** – *With conditional zoning approval, the plans will be in conformance with the UDO.*
- **Compatibility with Surrounding Land Uses** - *The property considered for rezoning will be compatible with the surrounding land uses which are primarily O&I and Commercial.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-05 with 6 conditions finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the rezoning is reasonable and in the public interest.”

1. That site plans/construction plans be submitted for review in accordance with the Town's UDO with the following deviation:
 - a. 16 ft reduction in the Bufferyard adjacent to the parking lot (extension of Fire Station parking).
2. That the public sidewalk be replaced as determined by the Public Works Director.
3. That a landscaping plan be provided in accordance with UDO requirements.
4. That a site lighting plan be provided in accordance with UDO requirements.
5. That the 3 properties be combined into a single lot.

RECOMMENDED MOTION:

Staff recommends the following motion:

“move to recommend approval of zoning map amendment, CZ-21-05, with 5-conditions finding the rezoning to be consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.”

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
CZ-21-05**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE IS ADOPTED,

That the Planning Board recommendation regarding text amendment CZ-21-05 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public hearing; and

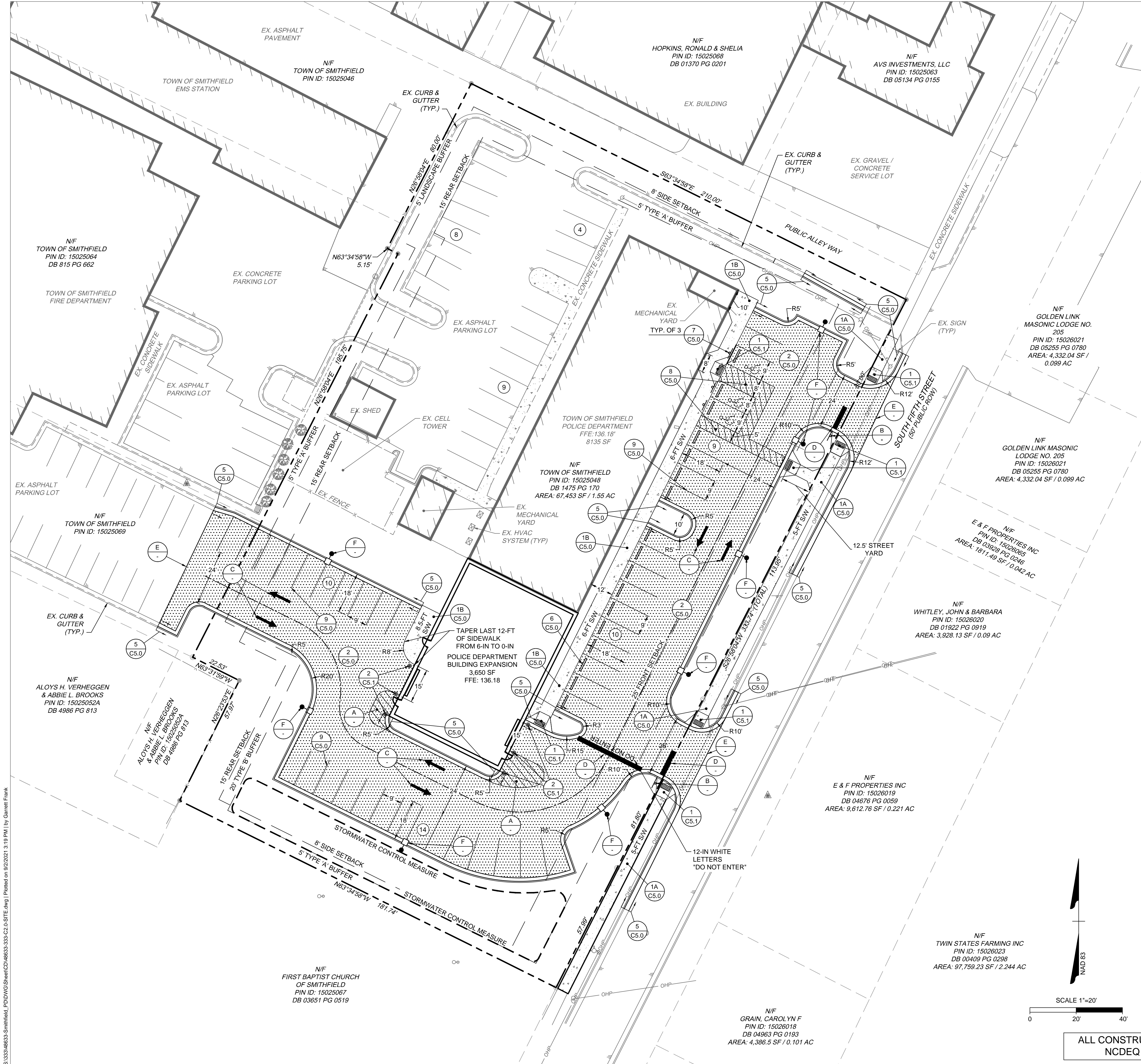
It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public hearing. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE FAILS,

That the final recommendation regarding zoning map amendment CZ-21-05 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.

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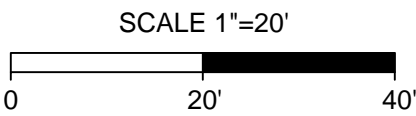


SITE DATA TABLE

PROJECT NAME:	SMITHFIELD POLICE EXPANSION
SITE PLAN NUMBER	(TBD)
PROPERTY OWNER/ DEVELOPER:	TOWN OF SMITHFIELD 350 E MARKET STREET SMITHFIELD, NC 27577
PIN ID:	15025048, 15025051 & 15025052B
DEED REFERENCE:	DB. 01475 PG. 0170, DB.04803 PG0045 & DB. 01256 PG. 0848
DEED ACRES:	1.55 ACRES
PROPERTY ADDRESS:	110 S 5TH STREET SMITHFIELD, NC 27577
TOWNSHIP:	SMITHFIELD
PROPERTY ZONING:	O&I & R-8
CURRENT USE:	POLICE STATION & 2 VACANT LOTS
PROPOSED USE:	POLICE STATION
DISTURBED AREA:	1.26 ACRES (54,771 SF)
RIVER BASIN:	NEUSE RIVER
SURFACE WATER CLASSIFICATION:	B, NSW
BUILDING/STRUCTURE SETBACKS:	
FRONT:	25-FT
SECONDARY STREET:	8-FT
SIDE:	8-FT
REAR:	15-FT
LANDSCAPE BUFFERS:	
ADJACENT RESIDENTIAL (SOUTHWEST):	20-FT TYPE 'B' BUFFER
ADJACENT INSTITUTIONAL:(SOUTH & WEST)	5-FT
STREET YARD:	12.5-FT (HALF 25-FT FRONT YARD)
BUILDING SUMMARY:	
EXISTING BUILDING SQUARE FEET:	8,135.00 SF
EXPANSION SQUARE FEET:	3,650.00 SF (PERMITTED SEPARATELY)
TOTAL CONVENIENCE CENTER SQFT:	11,785.00 SF
PARKING SUMMARY:	
REQUIRED VEHICULAR SPACES:	11,785.00 SF/1000*4=47 SPACES
PROVIDED VEHICULAR SPACES:	64 SPACES PROVIDED
ADA PARKING SUMMARY:	
ADA SPACES REQUIRED:	64 SPACES REQUIRE 3 ADA
ADA SPACES PROVIDED:	3 ADA SPACES (1 VAN)

KEY NOTES

1A C5.0	STANDARD CONCRETE SIDEWALK	
1B C5.0	MONOLITHIC CONCRETE SIDEWALK	
2 C5.0	ASPHALT PAVEMENT	
3 C5.0	TRENCH & ASPHALT PAVEMENT REPAIR	
5 C5.0	24" CURB AND GUTTER	
6 C5.0	WHEEL STOP	
7 C5.0	ADA PARKING SIGNAGE	
8 C5.0	ADA STRIPING	
9 C5.0	PARKING STALL STRIPING	
1 C5.1	ADA HANDICAP RAMP	
2 C5.1	4.5-FT STEEL BOLLARDS w/HDPE SLEEVE	
3 C5.1	CONCRETE STORMWATER FLUME	
A -	2-FT O.C. GORE STRIPING	
B -	R1-1 (MUTCD) STOP SIGN WITH CONCRETE FOOTING (PER NCDOT STANDARDS)	
C -	WHITE ALKYD RESIN PAVEMENT MARKING (2-COATS)	
D -	24-IN WIDE WHITE ALKYD RESIN STOP BAR (2-COATS)	
E -	TIE TO EXISTING PAVEMENT	
F -	SITE LIGHTING (TO BE PROVIDED BY TOWN UTILITIES DEPARTMENT; COORDINATE INSTALL OF LIGHTS WITH PROVIDER)	



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF SMITHFIELD, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

PRELIMINARY PLANS
FOR REVIEW ONLY

DO NOT USE FOR CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE

DATE	09-02-2021
DRAWN BY	G FRANK
DESIGNED BY	G FRANK
CHECKED BY	B HALL
SCALE	AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

SMITHFIELD POLICE EXPANSION
TOWN OF SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.	48633
SHEET NO.	C2.0

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100 Block of South Fifth Street

File Number:
CZ-21-05

Project Name:
Smithfield PD
Expansion

Location:
South Fifth Street

Tax ID#:
15025051,15025052B
15025048

Existing Zoning:
OI (Conditional Zoning)
& R-8 (Residential)

Proposed Zoning:
OI CZ (Office-Institutional
Conditional Zoning)

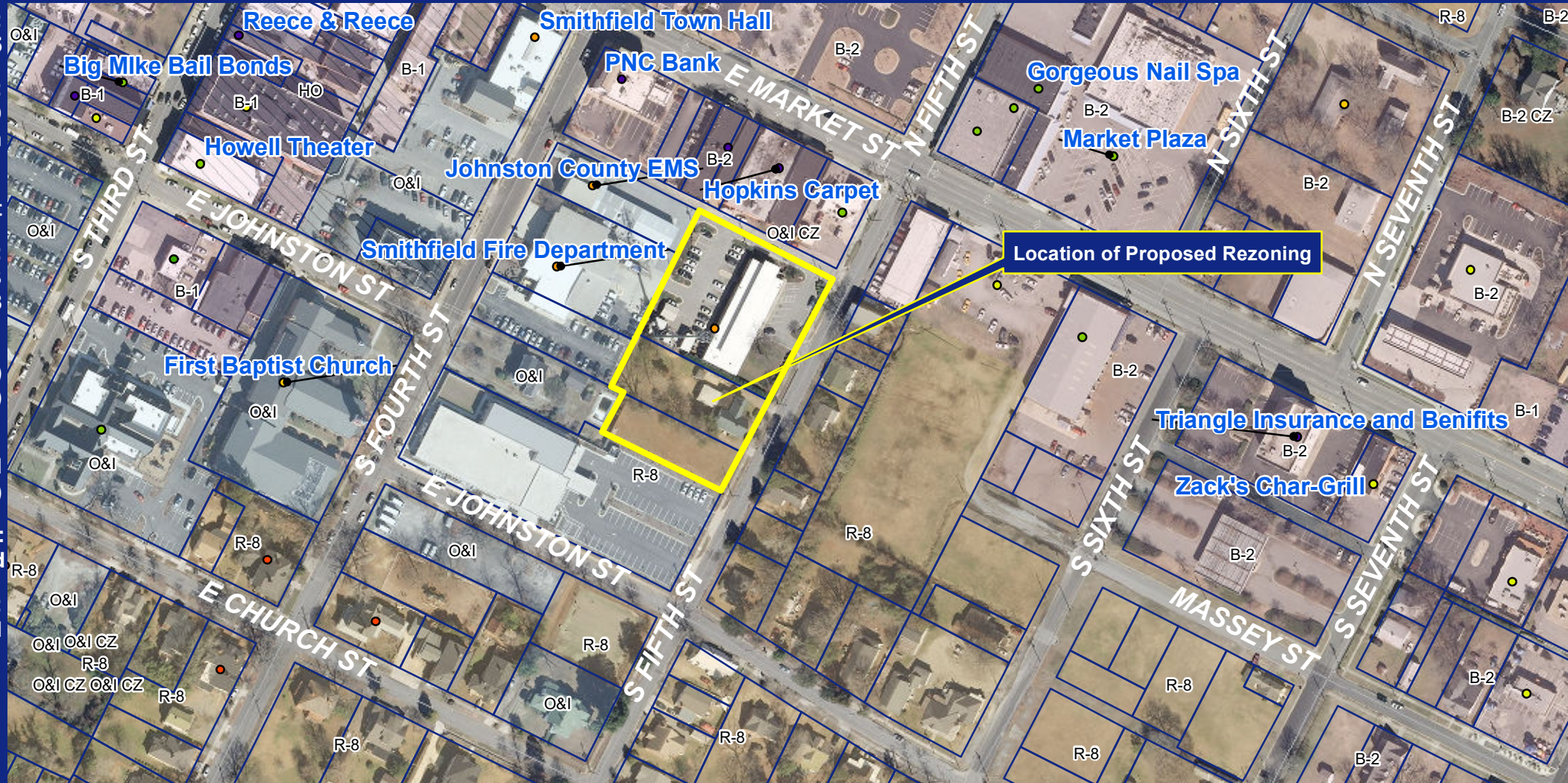
Owner:
Town Of Smithfield

Applicant:
Town of Smithfield



1 in = 200 ft

Map created by the Mark E. Helmer, AICP
Senior Planner, GIS Specialist on 9/30/2021





PLANNING DEPARTMENT

Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, CZ-21-05, were notified by First Class Mail on 9-20-21.

Mark E. Helmer
Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

20th day of September, 2021

Julianne Edmonds
Notary Public Signature

Julianne Edmonds
Notary Public Name

My Commission expires on January 15, 2023



Adjacent Property Owners of
CZ-21-05

TAX ID#	PIN	NAME	ADDRESS	STATE	ZIP CODE	
15026018	169419-50-2634	GRAIN, CAROLYN F	560 HALSTEAD AVE APT 2L	HARRISON	NY	10528-3841
15026021	169419-50-3869	GOLDEN LINK MASONIC LODGE NO. 205	168 GOVERNMENT RD	CLAYTON	NC	27520-7450
15025051	169419-50-1877	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15025046	169418-41-9140	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15025064	169419-51-0035	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15025069	169418-40-9986	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15025048	169419-50-2949	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15025067	169418-40-9795	FIRST BAPTIST CHURCH OF SMITHFIELD	P O BOX 209	SMITHFIELD	NC	27577-0000
15025052B	169419-50-1850	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15025068	169419-51-2009	HOPKINS, RONALD JOE	432 E MARKET ST	SMITHFIELD	NC	27577-0000
15026065	169419-50-3845	E & F PROPERTIES INC	PO BOX 1352	SMITHFIELD	NC	27577-0000
15026019	169419-50-2783	E & F PROPERTIES INC	PO BOX 1352	SMITHFIELD	NC	27577-1352
15026022	169419-50-4908	ALLIED COMMERCIAL PROPERTIES	PO BOX 1761	SMITHFIELD	NC	27577-1761
15025063	169419-51-2094	AVS INVESTMENTS, LLC	440 E MARKET ST	SMITHFIELD	NC	27577-3922
15025044	169419-51-1134	INC.	422 E MARKET ST	SMITHFIELD	NC	27577-3922
15025045	169419-51-1162	INC.	422 E MARKET ST	SMITHFIELD	NC	27577-3922
15026020	169419-50-3821	WHITLEY, JOHN A	317 S 3RD ST	SMITHFIELD	NC	27577-4543
15025052A	169418-40-9859	VERHEGGEN, ALOYS H.	731 COLLEGE AVE SE	GRAND RAPIDS	MI	49503-5307
15025043	169419-51-1105	PNC BANK NA	130 S JEFFERSON ST STE 300	CHICAGO	IL	60661-5763
15026017	169419-50-2600	SMITH, BESSIE ANN BECKWITH	13440 N 44TH ST APT 1175	PHOENIX	AZ	85032-6394



Request for Planning Board Action

**Agenda
Item:** CZ-21-08
Date: 10/07/21

Subject: Conditional Zoning Map Amendment
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Business Item

Issue Statement

TerraEden Landscape and Design, LLC, is requesting a conditional rezoning request of a .69-acre parcel in the B-3 Zoning District to B-3 CZ with a master plan for a 6-lot attached single-family residential (triplex) development.

Financial Impact

The 6-lot subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to review the conditional rezoning of properties from B-3 to B-3 CZ and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommends the Planning Board recommend approval of CZ-21-08 with 3-conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest.

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application



Staff Report

Agenda CZ-
Item: 21-08

REQUEST:

TerraEden Landscape and Design, LLC, is requesting a conditional rezoning request of a .69-acre parcel in the B-3 Zoning District to B-3 CZ with a master plan for a 6-lot attached single-family residential (triplex) development.

PROPERTY LOCATION:

The property is located at the corner of West Market Street and Britt Street.

PROJECT DATA:

Applicant:	TerraEden Landscape and Design, LLC
Owner:	Twin States Farming, Inc.
Tax ID#s	15L11006
Acreage:	0.69-acres
Present Zoning:	B-3
Proposed Zoning:	B-3 CZ
Existing Use:	vacant
Proposed Use	attached single-family residential triplexes
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

	Zoning	Existing Land Uses
North	R-10 (Residential)	Detached single-family residential
South	O/I Office	Office
East	B-3 (Business)	Office
West	B-3 (Business)	Commercial

EXISTING CONDITIONS:

The site is currently vacant. The site is relatively flat and open with a few mature trees. A gravel driveway crosses the site from Britt Street to the adjacent office located to the south. There is no wetland or other environmental features on the site.

Britt Street is a 24ft wide road with ditches on both sides in a 60 ft. right-of-way

LAND USE/ZONING:

The property is guided for commercial in the Town's comprehensive plan. Within the commercial zoning district, multi-family development requires a special use permit. An alternative to obtaining a special use permit is to rezone the property to a conditional zoning district where the land use on the master plan is the use permitted in the district. The applicant is requesting a conditional zoning with a master plan for 2-triplexes.

THE MASTER PLAN ELEMENTS/ANALYSIS:

The applicant is proposing to the land into a 6-lot attached single-family residential triplex subdivision. The units will be a mix of one-story and two-story townhomes. The one-story homes will be 3 bedroom/2 bath and the two-story homes will be 3 bedroom/2 ½ bath. All units will have a single car garage with 3 driveway spaces, covered rear porch. Landscaping and exterior maintenance will be the responsibility of a homeowners association.

- **Min. lot size.** The lots range in size from 3,362 sq. ft. (.08-aces) to 9,556 sq. ft. (.22 acres).
- **Development density.** The UDO allows a maximum density of 4500 sq. ft. gross site area per unit. The development has a density of 5,082 gross site area per unit.
- **Lot dimensions.** The minimum lot dimension is 26' x 128'.
- **Setbacks.**

	Proposed B-3 CZ Setbacks	B-3 Setbacks
Front	30 feet	35 feet
Side from Market	50 feet	50 feet
Side	Zero/10' from adjacent residential	8 feet
Rear	40 feet	25 feet

- **Distance between buildings.** The distance between the buildings is 11 feet. Based on an approximate building height of 30', the required distance between units is 30 feet.
- **Unit sizes.** Each Triplex contains two single-story units and one two-story unit.
 - Single-story end units will have 1,211 heated sq. ft. with a 130 sq. ft. covered rear porch, 20 sq. ft. front porch and 228 sq. ft. garage.
 - Two-story center units will have 1,362 heated sq. ft. with 210 sq. ft. covered rear porch, 68 sq. ft. front porch, and 40 sq. ft. storage and 223 sq. ft. garage.

- **Unit sales prices.** The developer's expected sales prices is between \$220,000-235,000
- **Building materials.** The triplexes will have a combination of vinyl lap, board and batten siding and brick or stone materials. No windows or other details have been articulated for the end units.
- **Driveway access.** Each triplex unit will have direct access to Britt Street by a 18' wide driveway. The driveways are shown to flare out in the public right-of-way to a width of 26' with the center two driveways forming a continuous flared width of 56'.
- **Parking.** Each unit will have a single car garage space and three spaces in a driveway, exceeding the UDO parking requirement of 2 spaces per unit.
- **Public sidewalks.** 5' wide public sidewalk is proposed in the public right-of-way outside of the drainage ditch along Britt Street. The UDO also requires a sidewalk along West Market Street. This should be a condition of approval.
- **Landscaping.** A detailed landscape plan was submitted that shows ample buffer plantings from adjacent properties and from Market Street. The plan also shows one ornamental tree per unit and more than 4 shrubs per unit in the front yard. Every other unit has a canopy tree in the front yard.
- **Trash and recycling rollouts.** Storage of trash and recycling rollouts should be provided for within the rear yard except on pick-up days.
- **HOA.** An HOA will provide common maintenance of the exterior of the building and landscaping.
- **Utilities.** The triplexes will utilize existing sewer and water utilities.
- **Stormwater Management.** The site is exempt from stormwater attenuation.

REQUESTED DEVIATIONS FROM UDO REQUIREMENTS:

The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO Requirements:

Item	Proposed B-3 CZ	B-3
Front Setback	30 feet	35 feet
Side Yard Setback	10 feet	15 feet

Distance between buildings	11 feet	30 feet
----------------------------	---------	---------

The development exceeds UDO Requirements as follows:

- Exceeds required parking with 4 spaces per unit.
- Exceeds

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-08 with 3-conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other applicable adopted plans and that the request is reasonable and in the public interest:

1. That the preliminary plat and construction documents be in accordance with the approved master plan, requirements of the Unified Development Ordinance and the B-3 zoning district with the following deviations:
 - a) Front Setback 30 feet
 - b) Side Setback 10 feet
 - c) Distance between buildings 11 feet
2. That a 5' wide concrete sidewalk be constructed in or alongside the Market Street public right-of-way in an easement.
3. That the HOA be responsible for maintenance of the building exterior and landscaping.

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

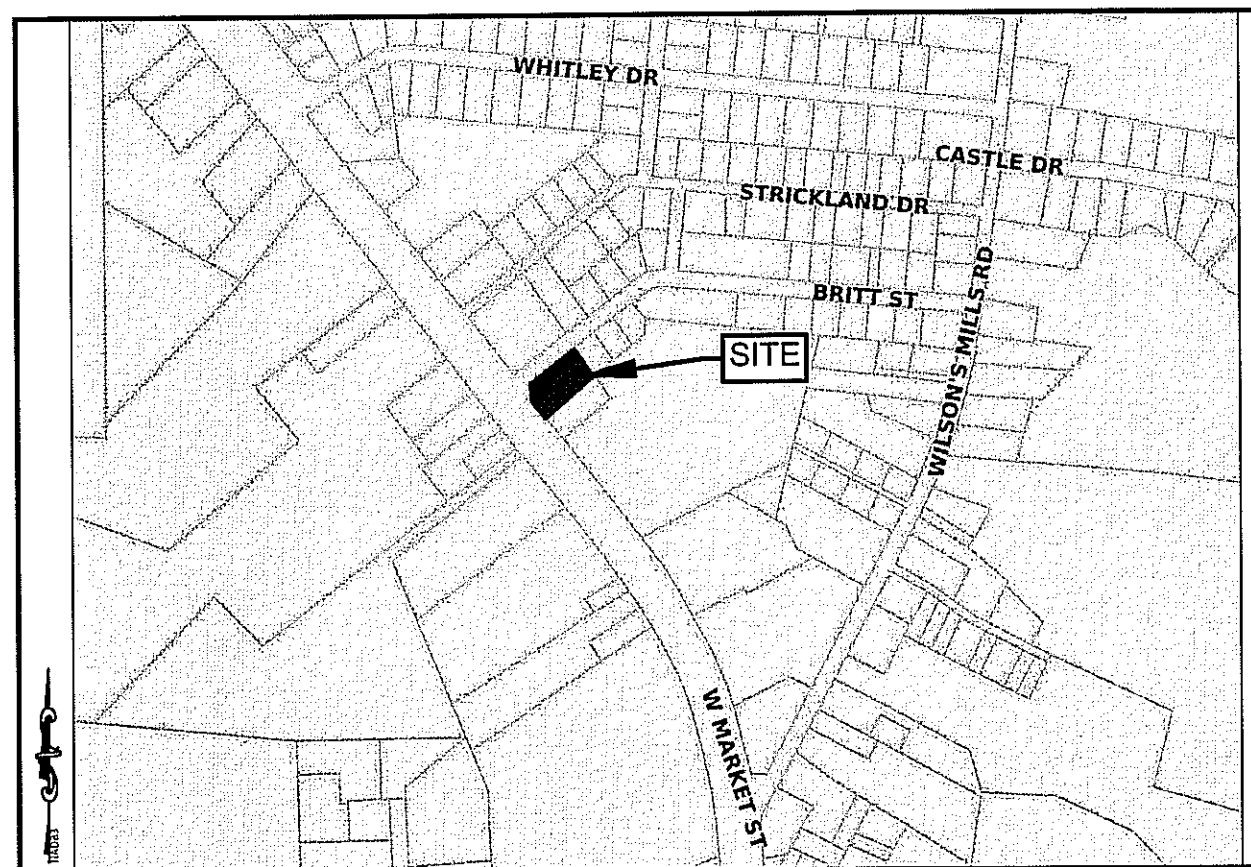
- **Consistency with the Comprehensive Growth Management Plan** – *the comprehensive plan supports flexibility in zoning regulations.*
- **Consistency with the Unified Development Code** – *the property will be developed in conformance with the UDO conditional zoning provisions with the approved deviations.*
- **Compatibility with Surrounding Land Uses** - *The property considered for rezoning will be compatible with the surrounding land uses.*

RECOMMENDED MOTION:

Staff recommends the following motion:

“move to recommend approval of zoning map amendment, CZ-21-08, with 3-conditions finding the plans consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.”





VICINITY MAP
NTS

BRITT STREET TRIPLEXES

TOWN OF SMITHFIELD, NORTH CAROLINA

SEPTEMBER 3, 2021

DRAWING INDEX

<u>SHEET TITLE</u>	<u>SHEET No.</u>
COVER SHEET	S-1
EXISTING CONDITIONS.....	S-2
SITE PLAN.....	S-3
MASTER PLAN.....	S-4
REGULATORY STANDARDS.....	S-5

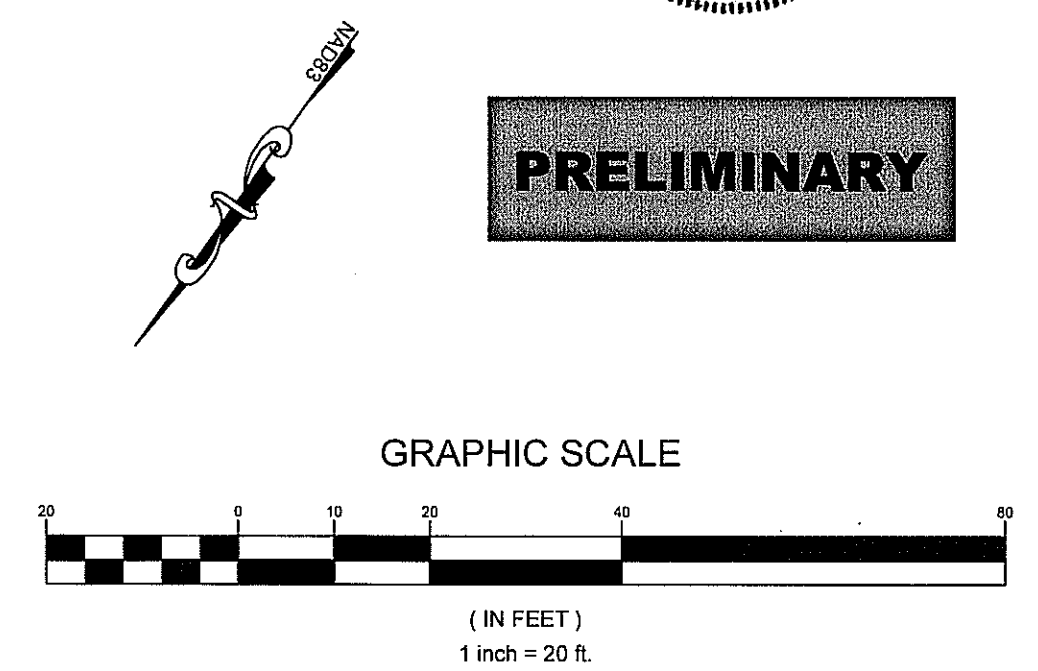
PROPERTY OWNER:

TWIN STATES FARMING INC.
(OLIVIA HOLDING)
PO BOX 1352
SMITHFIELD, NC 27577

DEVELOPER:

SPRING BRANCH DEVELOPMENT, LLC.
116 ALLISON WAY
CLAYTON, NC 27527

CONTACT: TOM JANCUSKA
(919)369-1844



PRELIMINARY

SITE DATA

NCPIN:
169409-06-1658

ADDRESS:
NORTHEAST QUADRANT OF W. MARKET STREET & BRITT STREET

DEED BOOK AND PAGE:
BOOK (unknown) / PAGE (unknown)

PROPERTY OWNER:
TWIN STATES FARMING, INC
P O BOX 1352
SMITHFIELD, NC 27577

DEVELOPER:
SPRING BRANCH DEVELOPMENT, LLC
116 ALLISON WAY
CLAYTON, NC 27527

EXISTING ZONING:
B-3 COMMERCIAL

PROPOSED ZONING:
B-3CZ CONDITIONAL ZONING

EXISTING LAND USE:
VACANT

PROPOSED LAND USE:
MULTI-FAMILY RESIDENTIAL (2-Three unit buildings; total if 6 units)

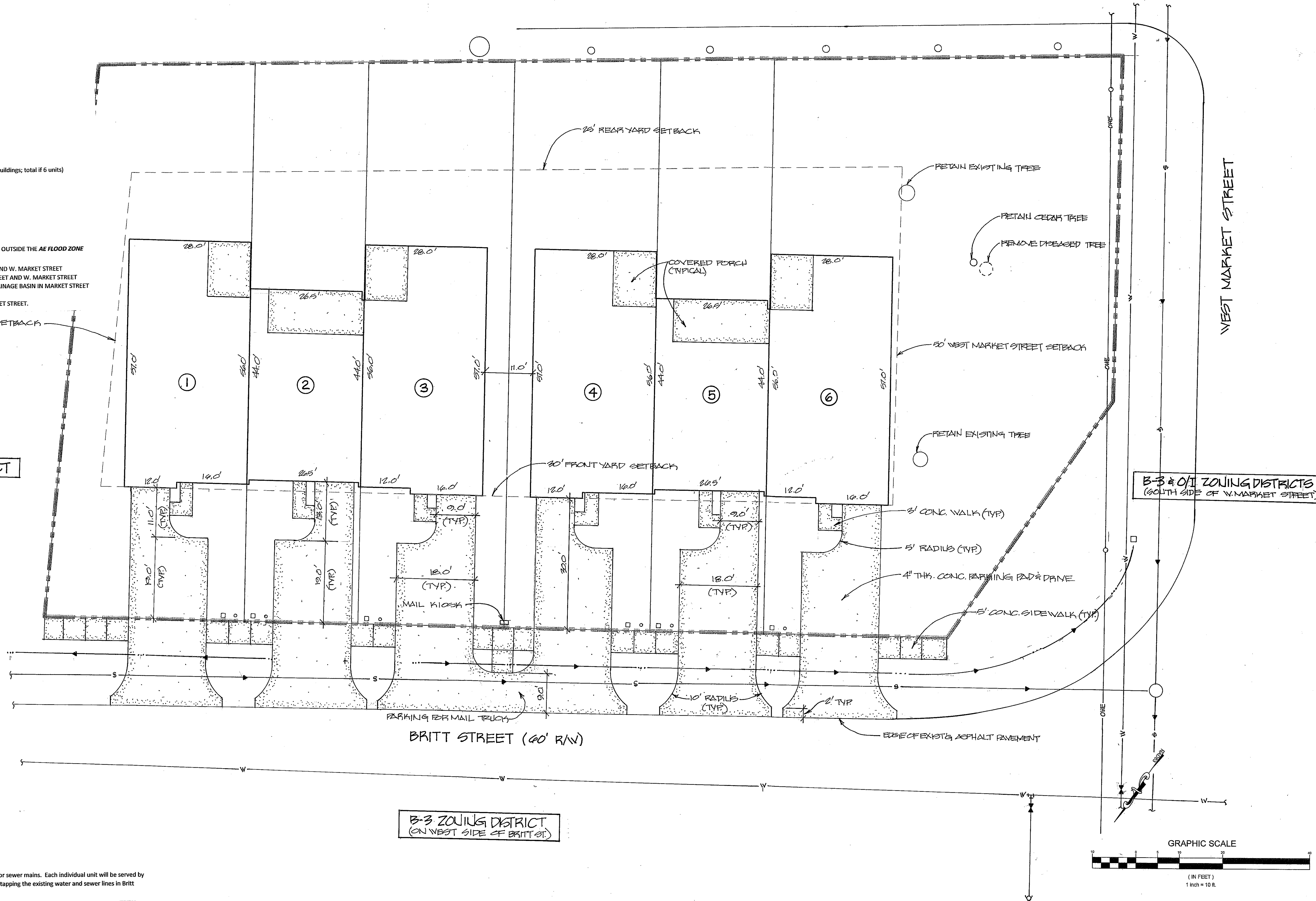
ACREAGE:
0.70 ACRES

PROPOSED IMPERVIOUS:
12,270.88 SF (40.42%)

PROPOSED OPEN SPACE:
18,087.12 SF (59.58%)

FLOOD HAZARD:
THE PROPOSED DEVELOPMENT IS LOCATED OUTSIDE THE AE FLOOD ZONE

UTILITIES:
EXISTING WATER MAINS IN BRITT STREET AND W. MARKET STREET
EXISTING SEWER COLLECTION IN BRITT STREET AND W. MARKET STREET
EXISTING SIDE LINE DITCH AND STORM DRAINAGE BASIN IN MARKET STREET
EXISTING SIDE LINE DITCH IN BRITT STREET
EXISTING ELECTRICAL LINES IN WEST MARKET STREET.

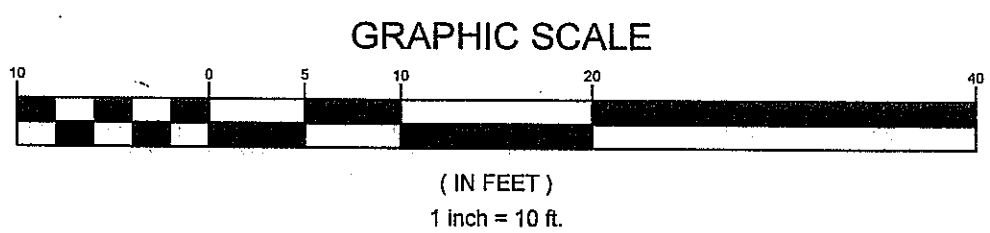


B-10 ZONING DISTRICT

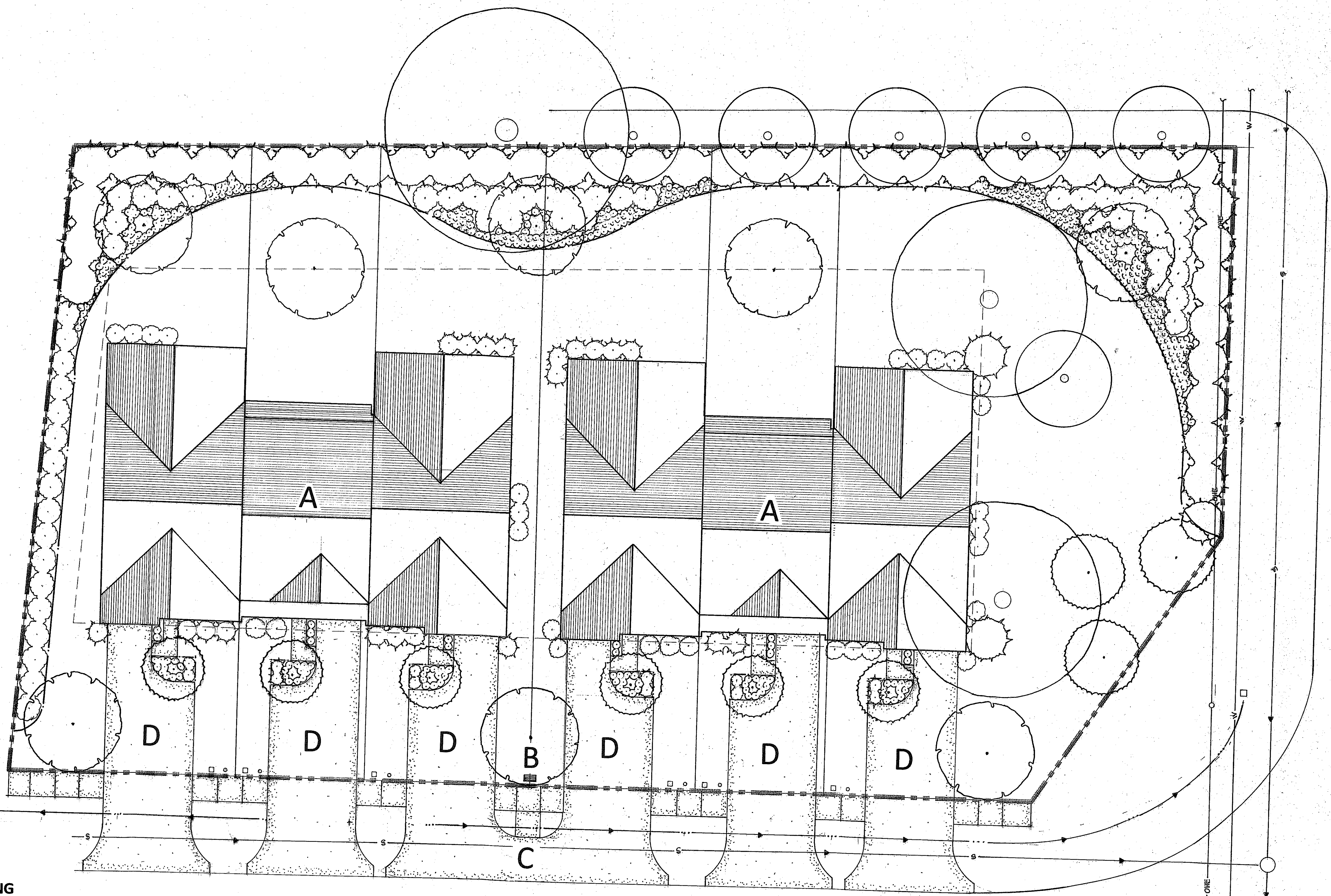
B-3 ZONING DISTRICT

B-3 & O/I ZONING DISTRICTS
(SOUTH SIDE OF W. MARKET STREET)

B-3 ZONING DISTRICT
(ON WEST SIDE OF BRITT ST.)



Note: There are no proposed extensions of water or sewer mains. Each individual unit will be served by the construction of new water and sewer services tapping the existing water and sewer lines in Britt Street.

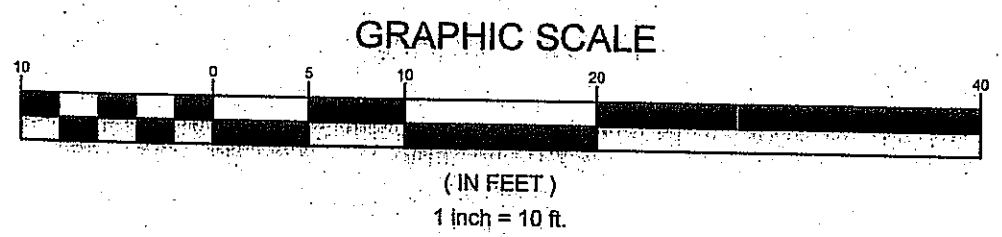


LEGEND

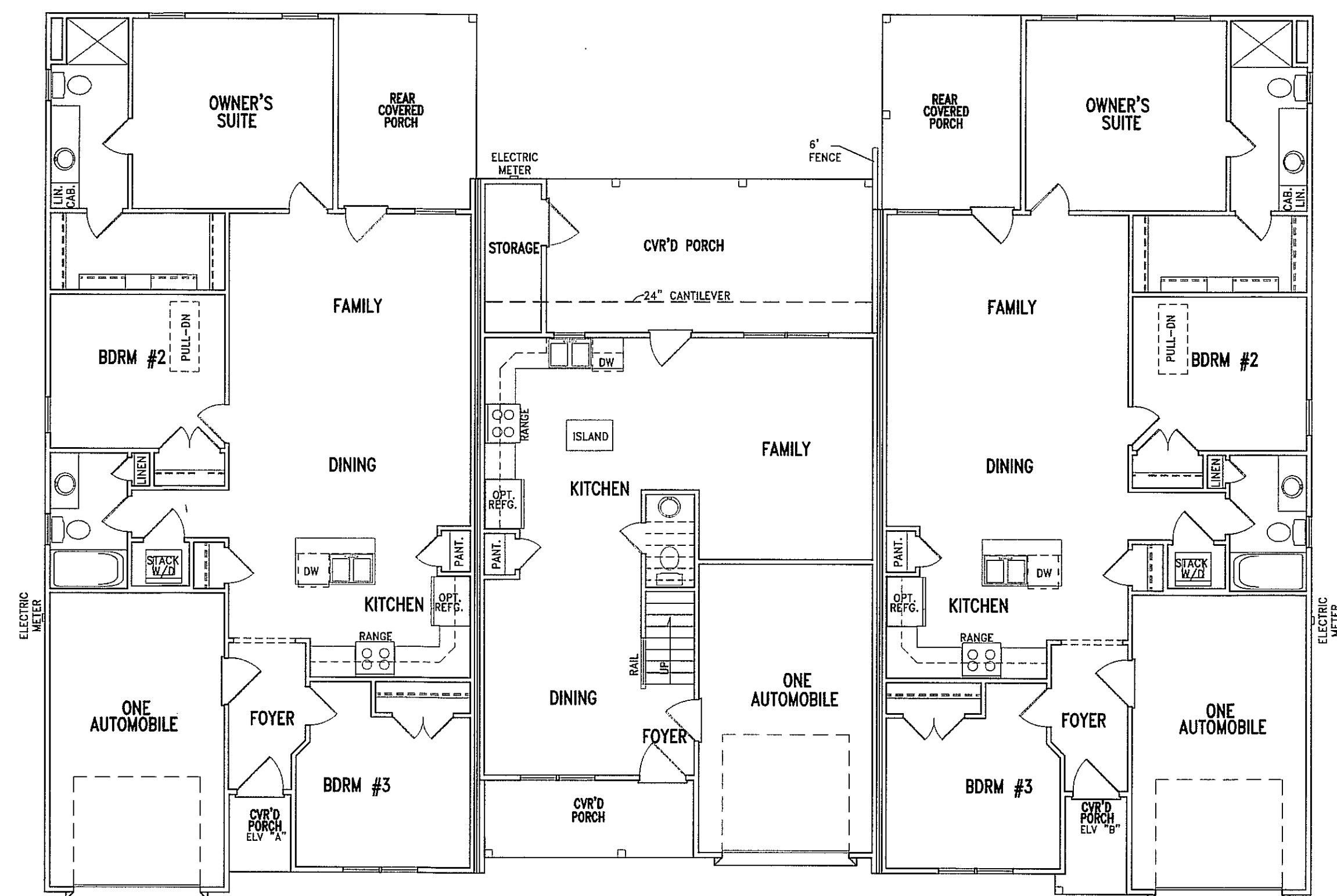
- A** TRIPLEX BUILDING
- B** MAIL KIOSK
- C** PARKING FOR MAIL TRUCK
- D** PAVED PARKING/DRIVE
- CONCRETE WALK
- EXISTING TREE TO REMAIN
- CANOPY TREE
- UNDERSTORY TREE
- SHRUBS/HEDGE

BRITT STREET (60' R/W)

WEST MARKET STREET



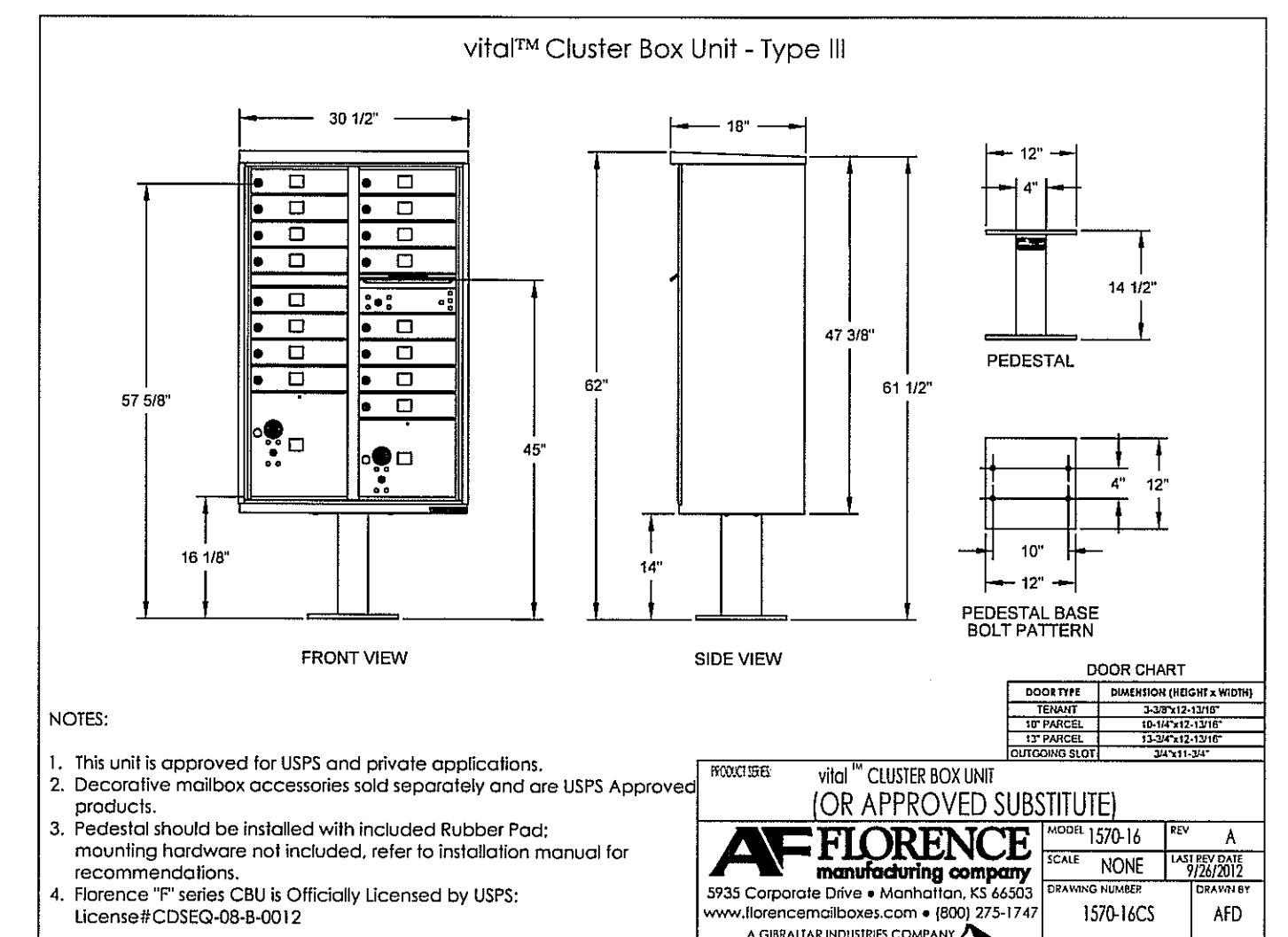
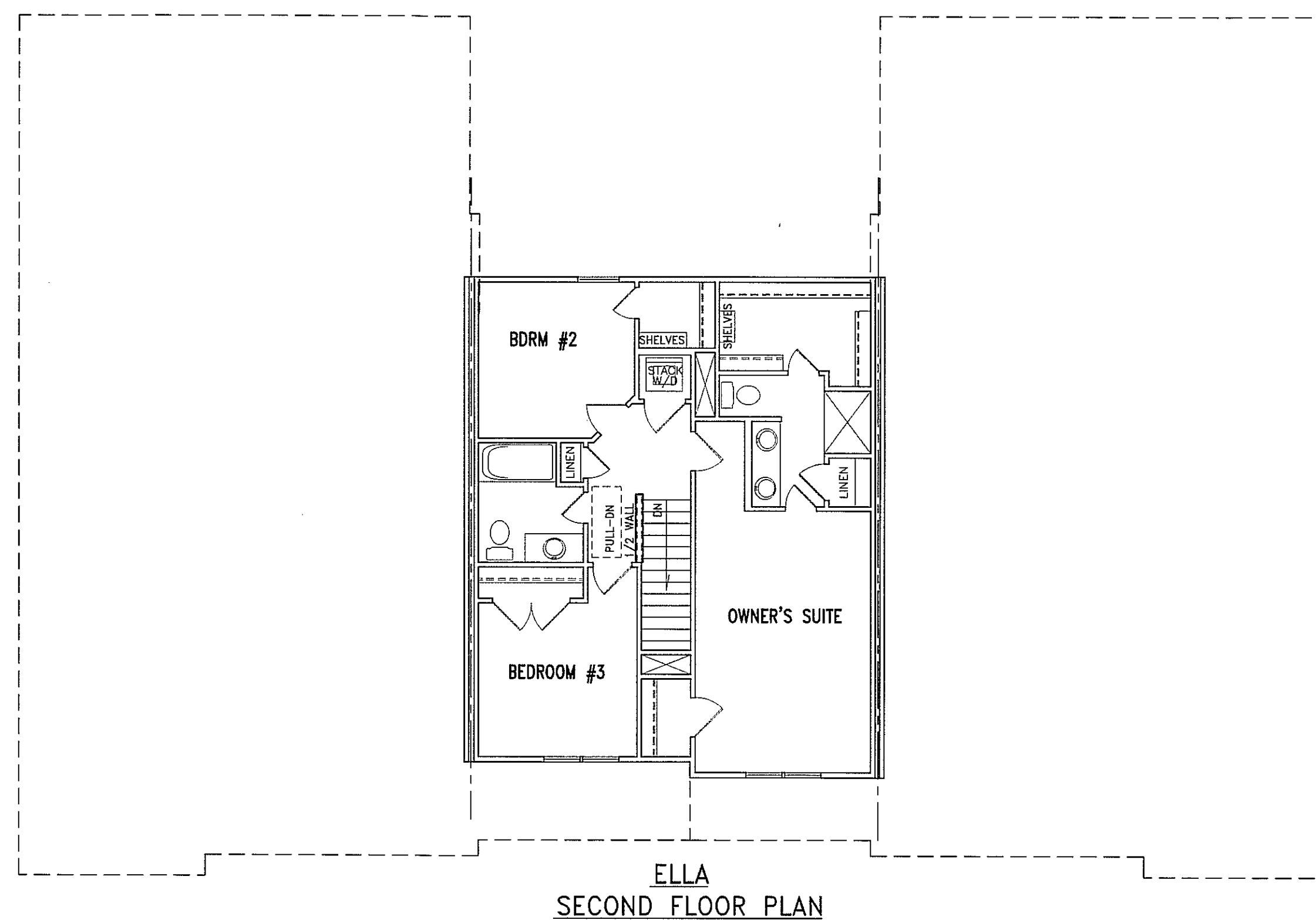
Architectural elevation drawing of a three-unit townhome complex. The drawing shows three units, each with a garage, a front door, and a window. The roof is gabled with a central dormer. Dimensions for height and width are provided. Labels include "HARLOW", "ELLA", and "HARLOW" for the units, and "BOARD & BATTEN SIDING (TYP.)" for the exterior finish.



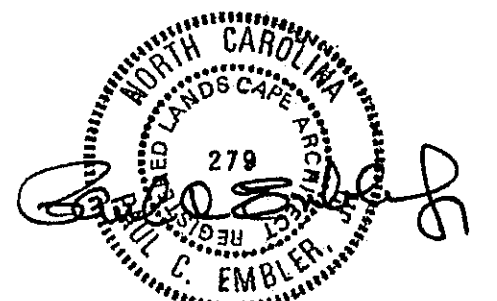
HARLOW
FLOOR PLAN

ELLA
FIRST FLOOR PLAN

HARLOW
FLOOR PLAN



CLUSTER MAILBOX UNIT
NOT TO SCALE



PRELIMINARY



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: Britt Street Triplexes Acreage of Property: 0.70 ac
Parcel ID Number: 169409-06-1658 Tax ID: 15L11006
Deed Book: unknown Deed Page(s): unknown
Address: W. Market Street, Smithfield, NC 27577
Location: Northeast corner of the intersection of Britt Street and W. Market Street

Existing Use: Vacant Proposed Use: Two triplexes (total 6 units)
Existing Zoning District: B-3 Commercial
Requested Zoning District B-3CZ Commercial/Conditional Zoning
Is project within a Planned Development: ☐ Yes ☒ No
Planned Development District (if applicable): _____
Is project within an Overlay District: ☐ Yes ☒ No
Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Amount Paid: _____

OWNER INFORMATION:

Name: Twin States Farming, Inc.

Mailing Address: PO Box 1352 Smithfield, NC 27577

Phone Number: _____ **Fax:** _____

Email Address: _____

APPLICANT INFORMATION:

Applicant: TerraEden Landscape & Design, LLC

Mailing Address: 11 Kentwood Drive Smithfield, NC 27577

Phone Number: 919.219.3410 **Fax:** _____

Fax: _____

Contact Person: Paul C. Embler

Email Address: pembler@embarqmail.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- ☐ A map with metes and bounds description of the property proposed for reclassification.
- ☐ A list of adjacent property owners.
- ☐ A statement of justification.
- ☐ Other applicable documentation: see attached drawings

STATEMENT OF JUSTIFICATION

Please provide detailed information concerning all requests. Attach additional sheets if necessary.
see attachment

See attachment

STATEMENT OF JUSTIFICATION FOR BRITT STREET DUPLEXES:

The Conditional Zoning request is made in order to facilitate the construction of two triplexes on a 0.8084 ac parcel at the intersection of West Market Street and Britt Street. The property presently is zoned B-3 Commercial. Multi-family housing is an allowed use in the B-3 district with the issuance of a Special Use Permit or by Conditional Zoning. After evaluating the two options it was decided to utilize the conditional zoning approach because of its more direct approach in obtaining approval.

The maximum density allowed on the property for multi-family is 7.88 units. This was determined by code, which states that maximum density is determined by dividing the gross square footage of the parcel by 4,500 sf/unit ($35,217.51\text{sf}/4,500\text{ sf per unit} = 7.82\text{ units}$). The request for the two triplexes is six (6) units which is under the cap of 7.88 units.

The request is for two triplexes with a total of 6 units. Each unit will have its own lot. Each lot will have setback distances from property lines and varying lot square footages. Please refer to the follow chart and the attached Site Plan for the dimensional characteristics of each lot.

Each triplex contains two single-story units and one two-story unit for a total of six units. The single-story units are 1211 sf each and contain 3 bedrooms, 2 baths, a one car garage, a covered front porch and a large covered rear porch (10' x 13'). The two-story units are 1362 sf each and have 3 bedrooms, two full baths, on half bath, a one car garage, a covered front porch and an even large covered back porch (10 x 21). All parking will be off street parking with each unit being able to accommodate four (4) cars on a paved surface. The individual units will share in a common landscape which will be maintained by an HOA. The exterior of the triplex's buildings will also be maintained by the HOA. Individual owners will be responsible for maintaining the interior of their respective units.

Access to the triplexes will be from Britt Street which will afford a safe access and egress from Market Street to the property. The existing sideline ditch on Britt Street will be piped and yard inlets installed to facilitate drainage. A 5 ft. concrete side walk will be constructed adjacent to the property line of the triplexes adjacent to Britt Street. The existing sewer and water lines in Britt Street will service the triplexes thus being more environmentally friendly than constructing new infrastructure on an undeveloped site.

By allowing the zoning to accommodate the triplexes the Town will be providing more open space than if the parcel was to be developed in a traditional highway commercial mode. As designed, the triplexes will afford almost 50% open space. If the property were to be developed in a traditional highway commercial mode the open space would be limited to 20 to 25% of the parcel because of the need for commercial access and parking standards.

The following table summarizes the requested district modifications from the present B-3 Commercial to a Condition Zoning(B-3CZ) allowing for two three-unit triplexes for multifamily residential. The changes are also shown graphically on the Sketch Plan and the Conceptual Master Plan.

<u>Item</u>	<u>Traditional B-3 Commercial/MF</u>	<u>Requested Conditional Zoning</u>
1. Use	Highway commercial/multifamily	Multi-Family Residential(triplex)
2. Min. Lot Size	12,000 sf	3,336 sf.
3. Min. Lot Width	125 ft.	26.17 ft.
4. Min. Front Setback	35/50 ft. (Market St)	30 ft.
5. Min. Side Setback	15'(perimeter)	5.5'(internal); 10.0' (perimeter)
6. Min. Rear Setback	25 ft.	25 ft.+
7. Max. Height	40 ft.	30 ft. +/-
8. Access. Bldg. Setback	10 ft.	No accessory building allowed
9. Signs	Art. 10. Part III	Art. 10. Part III
10. Parking Art. 10. Part I	2 spaces/dwelling unit	4 spaces/dwelling unit
11. Corner lot (8.13.3.2)	50% of front setback (17.5 ft.)	50 ft. (required on Market St)
12. Sight triangle	10'x70' w/max. ht. of 30"	10'x70' w/max. ht. of 30"
13. Max. Density(1/4500)	6.75 units	6.0 units



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: Britt Street Rezoning B-3CZ

Submittal Date: September 3, 2021

OWNERS AUTHORIZATION

I hereby give CONSENT to Paul C. Embler, Jr. (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Olivia B Holding
Signature of Owner

Olivia B Holding
Print Name

8/18/21
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Paul C. Embler, Jr.
Signature of Owner/Applicant

PAUL C. EMBLER, JR.
Print Name

Date

FOR OFFICE USE ONLY

File Number:

Date Received:

Parcel ID Number:

200 Block of Britt Street

File Number:
CZ-21-08

Project Name:
Britt Street Triplexes

Location:
Corner of Britt Street &
West Market Street

Tax ID#:
15L11006

Existing Zoning:
B-3 (Highway
Entrance Busienss)

Proposed Zoning:
B-3 CZ (Highway
Entrance Business
Conditional Zoning)

Owner:
Twin States Farming Inc

Applicant:
TerraEden Landscape &
Design LLC



1 in = 200 ft

Map created by the Mark E. Helmer, AICP
Senior Planner, GIS Specialist on 9/30/2021





PLANNING DEPARTMENT
Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, CZ-21-08, were notified by First Class Mail on 9-20-21.

Mark E. Helmer
Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

20th day of September, 2021

Julianne Edmonds
Notary Public Signature

Julianne Edmonds
Notary Public Name

My Commission expires on January 15, 2023
(Seal)



Adjacent Property Owners of
CZ-21-08

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15086043	169409-06-0897	BARNES, MARK TALTON	607 RIVERBURCH COURT	SMITHFIELD	NC	27577-0000
15084001B	168412-96-8872	FOUR HEAVNERS LLC	PO BOX 2346	SMITHFIELD	NC	27577-0000
15077020	168412-96-6463	OF	P O BOX 405	SMITHFIELD	NC	27577-0000
15077018	168412-96-8305	CROCKER, GLENWOOD P	P O BOX 1202	SMITHFIELD	NC	27577-0000
15077019	168412-96-6374	CROCKER, GLENWOOD P	P O BOX 1202	SMITHFIELD	NC	27577-0000
15077021	168412-96-5576	SPARKS, H. DALE	PO BOX 405	SMITHFIELD	NC	27577-0405
15078199J	169409-06-2518	BERKSHIRE ROAD I LLC	P O BOX 1187	SMITHFIELD	NC	27577-1187
15084001	169409-06-6525	TWIN STATES FARMING INC	P O BOX 1352	SMITHFIELD	NC	27577-1352
15L11006	169409-06-1658	INCorp	P O BOX 1352	SMITHFIELD	NC	27577-1352
15084010	169409-06-1790	OWENS, ELMER LEON SR.	207 BRITT ST	SMITHFIELD	NC	27577-3101
15077017	168412-95-1415	OTHERS	8 AFTON LN	SMITHFIELD	NC	27577-3621



Request for Planning Board Action

**Agenda
Item:** S-21-04
Date: 10/07/21

Subject: Preliminary Plat
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Business Item

Issue Statement

TerraEden Landscape and Design, LLC, is requesting preliminary plat approval of a 6-lot attached single-family triplex development on .69-acres in the B-3 CZ.

Financial Impact

The 6-lot subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to review the conditional rezoning of properties from B-3 to B-3 CZ and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommends the Planning Board recommend approval of S-21-04 with 4-conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest.

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application



Staff Report

Agenda S-21-
Item: 04

REQUEST:

TerraEden Landscape and Design, LLC, is requesting a conditional rezoning request of a .69-acre parcel in the B-3 Zoning District to B-3 CZ with a master plan for a 6-lot attached single-family residential (triplex) development.

PROPERTY LOCATION:

The property is located at the corner of West Market Street and Britt Street.

PROJECT DATA:

Applicant:	TerraEden Landscape and Design, LLC
Owner:	Twin States Farming, Inc.
Tax ID#s	15L11006
Acreage:	0.69-acres
Present Zoning:	B-3
Proposed Zoning:	B-3 CZ
Existing Use:	vacant
Proposed Use	attached single-family residential triplexes
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

	Zoning	Existing Land Uses
North	R-10 (Residential)	Detached single-family residential
South	O/I (Office/Institutional)	Office
East	B-3 (Business)	Office
West	B-3 (Business)	Commercial

EXISTING CONDITIONS:

The site is currently vacant. The site is relatively flat and open with a few mature trees. A gravel driveway crosses the site from Britt Street to the adjacent office located to the south. There is no wetland or other environmental features on the site.

Britt Street is a 24ft wide road with ditches on both sides in a 60 ft. right-of-way.

LAND USE/ZONING:

The property is guided for mixed use in the Town's comprehensive plan. Within the commercial zoning district, multi-family development is permitted with a special use permit. An alternative to obtaining a special use permit is to rezone the property to a conditional zoning district where the land use on the master plan is the use permitted in the district. The applicant is requesting a conditional zoning with a master plan for 2-triplexes.

THE MASTER PLAN ELEMENTS/ANALYSIS:

The applicant is proposing to the land into a 6-lot attached single-family residential triplex subdivision. The units will be a mix of one-story and two-story townhomes. The one-story homes will be 3 bedroom/2 bath and the two-story homes will be 3 bedroom/2 ½ bath. All units will have a single car garage with 3 driveway spaces, covered rear porch. Landscaping and exterior maintenance will be the responsibility of a homeowners association.

- **Min. lot size.** The lots range in size from 3,362 sq. ft. (.08-aces) to 9,556 sq. ft. (.22 acres).
- **Development density.** The UDO allows a maximum density of 4500 sq. ft. gross site area per unit. The development has a density of 5,082 gross site area per unit.
- **Lot dimensions.** The minimum lot dimension is 26' x 128'.
- **Setbacks.**

	Proposed B-3 CZ Setbacks	B-3 Setbacks
Front	30 feet	35 feet
Side from Market	50 feet	50 feet
Side	Zero/10' from adjacent residential	15 feet
Rear	40 feet	25 feet

- **Distance between buildings.** The distance between the buildings is 11 feet. Based on an approximate building height of 30', the required distance between units is 30 feet.
- **Unit sizes.**
 - End units will have 1,211 heated sq. ft. with a 113 sq. ft. covered rear porch, 20 sq. ft. front porch and 228 sq. ft. garage.
 - Center units will have 1,362 heated sq. ft. with 212 sq. ft. covered rear porch, 68 sq. ft. front porch, and 40 sq. ft. storage and 223 sq. ft. garage.

- **Unit sales prices.** The developer's expected sales prices is between \$220,000-235,000
- **Building materials.** The triplexes will have a combination of vinyl lap, board and batten and brick or stone siding materials. No windows or other details have been articulated for the end units.
- **Driveway access.** Each triplex unit will have direct access to Britt Street by a 18' wide driveway. The driveways are shown to flare out in the public right-of-way to a width of 26' with the center two driveways forming a continuous flared width of 56'.
- **Parking.** Each unit will have a single car garage space and three spaces in a driveway.
- **Public sidewalks.** 5' wide public sidewalk is proposed in the public right-of-way outside of the drainage ditch along Britt Street. The UDO also requires a sidewalk along West Market Street. This should be a condition of approval.
- **Landscaping.** A detailed landscape plan was submitted that shows ample buffer plantings from adjacent properties and from Market Street. The plan also shows one ornamental tree per unit and more than 4 shrubs per unit in the front yard. Every other unit has a canopy tree in the front yard.
- **Trash and recycling rollouts.** Storage of trash and recycling rollouts should be provided for within the rear yard except on pick-up days.
- **HOA.** An HOA will provide common maintenance of the exterior of the building and landscaping.
- **Utilities.** The triplexes will utilize existing sewer and water utilities.
- **Stormwater Management.** The site is exempt from stormwater attenuation.

REQUESTED DEVIATIONS FROM UDO REQUIREMENTS:

The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO Requirements:

Item	Proposed B-3 CZ	B-3
Front Setback	30 feet	35 feet
Side Yard Setback	10 feet	15 feet

Distance between buildings	11 feet	30 feet
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RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of S-21-04 with 4-conditions based on the finding of fact for preliminary subdivision:

1. That the preliminary plat and construction documents be in accordance with the approved master plan, requirements of the Unified Development Ordinance and the B-3 zoning district with the following deviations:
 - a) Front Setback 30 feet
 - b) Side Setback 10 feet
 - c) Distance between buildings 11 feet
2. That a 5' wide concrete sidewalk be constructed in or alongside the Market Street public right-of-way in an easement.
3. That the HOA be responsible for maintenance of the building exterior and landscaping and submitted to the Town attorney for review prior to final plat.
4. Park dedication fee in lieu be paid in full prior to recording the final plat.

FINDING OF FACT (Staff Opinion):

To approve a preliminary plat, the Planning Board/Town Council shall make the following finding (*staff's opinion in Bold/Italic*):

1. The plan is consistent with the adopted plans and policies of the town; ***The plan is consistent with the adopted plans and policies of the town.***
2. The plan complies with all applicable requirements of this ordinance; ***The plan complies with all applicable requirements of this ordinance and the B-3 Conditional Zoning District.***
3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed. ***There is adequate infrastructure.***
4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses. ***The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses.***

RECOMMENDED MOTION:

Staff recommends the following motion:

"move to recommend approval of zoning map amendment, S-21-04, with 4-conditions based on the finding of fact for preliminary subdivisions."

**Town of Smithfield****Planning Department**

350 E. Market St Smithfield, NC 27577

P.O. Box 761, Smithfield, NC 27577

Phone 919-934-2116

Fax: 919-934-1134

**Preliminary Subdivision Application
General Information**Development Name **Britt Street Triplexes**Proposed Use **Residential Townhomes**Property Address(es) **West Market Street**

Johnston County Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN# **169409-06-1658**..... TAX ID# **15L11006**.....Project type? ☐ Single Family ☒ Townhouse ☒ Multi-Family ☐ Non-Residential ☐ Planned Unit Development (PUD)

Two triplexes with three units each for a total of six. Four single story three bed room units with a one car garage with three additional onsite parking spaces per unit. Two of the townhomes will be two story homes with three bedrooms and a one car garage and three additional on site parking spaces per unit.

OWNER/DEVELOPER INFORMATIONCompany Name **Twin States Farming, Inc.**Owner/Developer Name **Olivia Holding**Address **PO Box 1352 Smithfield, NC 27577**

Phone

Email

Fax

CONSULTANT/CONTACT PERSON FOR PLANSCompany Name **TerraEden Landscape & Design, LLC**Contact Name **Paul C. Embler**Address **11 Kentwood Drive Smithfield, NC 27577**Phone **919.219.3410**Email **pembler@embarqmail.com**Fax **n/a****DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)****ZONING INFORMATION**Zoning District(s) **B-3 (requested to be rezoned to B-3CZ)**

If more than one district, provide the acreage of each:

Overlay District? ☐ Yes ☒ NoInside City Limits? ☒ Yes ☐ No**FOR OFFICE USE ONLY**

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

STORMWATER INFORMATION			
Existing Impervious Surface <u>0.0</u> acres/sf	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Proposed Impervious Surface <u>0.28 ac</u> <u>12,270.88 sf</u> acres/sf	Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Watershed protection Area Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If in a Flood Hazard Area, provide the FEMA Map Panel # and Base Flood Elevation			
NUMBER OF LOTS AND DENSITY			
Total # of Single Family Lots <u>n/a</u>	Overall Unit(s)/Acre Densities Per Zoning Districts		
Total # of Townhouse Lots <u>Six (6)</u>	Acreage in active open space <u>n/a</u>		
Total # of All Lots <u>Six (6)</u>	Acreage in passive open space <u>0.42 ac</u>		
SIGNATURE BLOCK (Applicable to all developments)			
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the Town.</p> <p>I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p> <p>Signature _____ Date _____</p> <p>Signature _____ Date _____</p>			
REVIEW FEES			
<input checked="" type="checkbox"/> Major Subdivision (Submit 7 paper copies & 1 Digital copy on CD) \$500.00 + \$5.00 a lot <u>\$530.00</u>			
<input type="checkbox"/> Minor Subdivision (Submit 4 paper copies & 1 Digital copy on CD) \$100.00 + \$5.00 a lot			
<input type="checkbox"/> Recombination Plat (Submit 2 paper copies & 1 Digital copy on CD) \$50.00			
FOR OFFICE USE ONLY			
<p>File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____</p>			



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: Britt Street Preliminary Plat

Submittal Date: September 3, 2021

OWNERS AUTHORIZATION

I hereby give CONSENT to Paul C. Embler, Jr. (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Olivia B Holding
Signature of Owner

OLIVIA B HOLDING
Print Name

8/18/21
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Paul C. Embler, Jr.
Signature of Owner/Applicant

PAUL C. EMBLER, JR.
Print Name

Date

FOR OFFICE USE ONLY

File Number:

Date Received:

Parcel ID Number:

Project Narrative
Britt Street Townhomes
Preliminary Plat

Listing of Contact Information:

Owner; Twin States Farming, Inc. (Oliva Holding) PO Box 1352 Smithfield NC 27577

Developer; Spring Branch Development, LLC (Tom Jancuska) 116 Allison Way Clayton, NC 27527

Landscape Architect/Planner; TerraEden Landscape & Design LLC (Paul Embler) 11 Kentwood Drive, Smithfield, NC 27577

Site Data:

Address; Corner of West Market Street and Britt Street

Current Zoning; B-3 (requested to be rezoned to B-3 CZ)

Parcel Size; 30,492 sf or 0.70 acres

NCPIN; 169409-06-1658

Boundary; See existing condition map for metes and bounds of property

General Information:

Name; Britt Street Town Homes

Number of lots; Six (6)

Acreage for open space or public use; None

Acreage dedicated for right of way; None

Intent and Vision of Project:

The intent of the Britt Street Duplexes is to provide an affordable housing project that is attractive and blends into the existing neighborhood. The duplexes will offer four three bedroom, two bath units, the remaining two units will have a second story with three bedrooms and two and one half baths. All six units will have one car garages with three additional driveway parking spaces for a total of four parking spaces per unit. Each unit will also have a large covered rear porch, which the owners in the future can either enclose for a sunroom or screened porch. The choice to provide triplex housing on the corner of Britt and West Market afford the opportunity to provide a good transition use from the commercial on Market Street to the single-family residential neighborhood that exists on Britt Street. A well landscape development will not only provide screening for the adjacent properties but will also provide a secure visually appealing yard space for the triplexes. An HOA will be established to assure that the exterior of the buildings and the landscaping is maintained and that no unsightly personal property is accumulated outside of the building in public view.

Density:

The maximum residential density allowed by the Town of Smithfield for multi-family residential is determined by dividing the total square footage of the parcel (30,492 sf) by 4,500 sf per residential unit, this would equal a maximum of 6.776 units for the parcel. Six (6) units are proposed therefore, the development meets the Towns density criteria.

Infrastructure Improvements:

The existing sewer and water in Britt Street will be utilized to serve to triplexes. Since all connections will be limited to service connections, no water and sewer line extensions are anticipated. A side walk will be constructed in the street right of way in front of the units along Britt Street. The existing side line ditch along Britt Street will be piped and yard inlets installed to aid in the removal of storm water from Britt Street and the triplexes. All parking will be off-street parking with one space housed in a garage and three additional spaces located in a double wide drive way in front of each unit.

Issues and Concerns:

As of this submittal there have been no issues or concerns raised by the neighboring property owners.

Potential Conflicts with Adjacent Land Uses:

The parcel provides a good opportunity to shelter the single-family neighborhood on Britt Street from the highway commercial located on Market Street. The proposed plan provides more landscaping than would normally be experience with a commercial development on the property, therefore providing better screening and aesthetic appeal. Multifamily land use has for years been utilized in numerous communities as an effective use buffer between commercial and office and institutional properties and single-family residential neighborhoods. The development of this parcel in particular demonstrates this land use practice of buffering because the scale of the triplexes is not so big as to be over bearing in appearance. Plus, the units will be more in keeping with the look of single-family housing on Britt Street and not so much as multi-family housing developments.

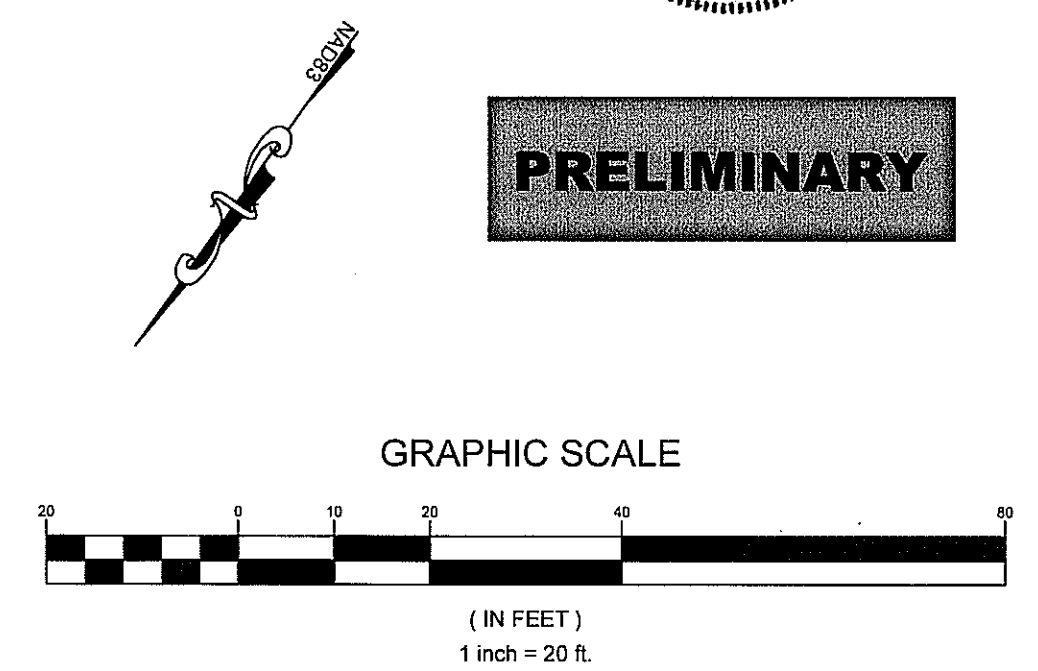
Burden on Services and Infrastructure:

With the proximity of the development to West Market Street access to a major east/west roadway will be excellent. Market Street is significantly below carrying capacity and the trip generation from the development will have hardly any impact on the traffic count. The existing water and sewer lines will be utilized to serve the project. The existing compacity presently is sufficient to serve the development. Impact to the police department should be of little concern due to the proximity to down town and the established existing patrols in the area. The fire department will also have little impact from the development of the triplexes due to the close proximity of the new station which is just one block away. Parks and recreation will be impacted with additional users but this will be off set with recreation fees

associated with the development. Schools will also be impacted but with the existing public schools the Neuse Charter School and the soon to be developed charter school beyond the airport ample opportunities will be available for any children in the families who reside in the triplexes.

Parks and Open Space:

There is no proposed park land or open space associated with the development of the triplexes.



NPIN:
169409-06-1658

ADDRESS:
NORTHEAST QUADRANT OF W. MARKET STREET & BRITT STREET

DEED BOOK AND PAGE:
BOOK (unknown) / PAGE (unknown)

PROPERTY OWNER:
TWIN STATES FARMING, INC
P O BOX 1352
SMITHFIELD, NC 27577

DEVELOPER:
SPRING BRANCH DEVELOPMENT, LLC
116 ALLISON WAY
CLAYTON, NC 27527

EXISTING ZONING:
B-3 COMMERCIAL

PROPOSED ZONING:
B-3CZ CONDITIONAL ZONING

EXISTING LAND USE:
VACANT

PROPOSED LAND USE:
MULTI-FAMILY RESIDENTIAL (2-Three unit buildings; total if 6 units)

ACREAGE:
0.70 ACRES

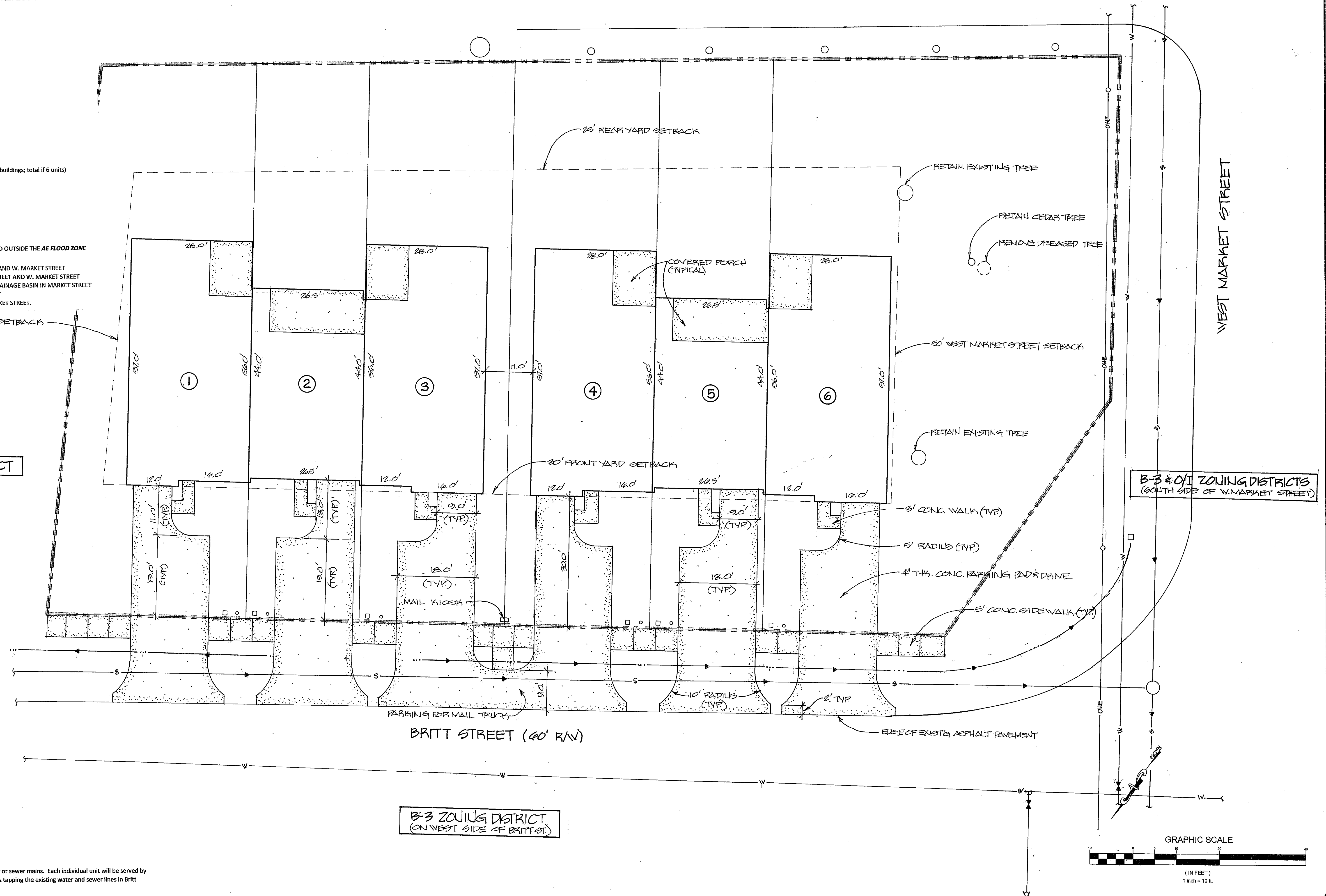
PROPOSED IMPERVIOUS:
12,270.88 SF (40.42%)

PROPOSED OPEN SPACE:
18,087.12 SF (59.58%)

FLOOD HAZARD:
THE PROPOSED DEVELOPMENT IS LOCATED OUTSIDE THE **AE FLOOD**

UTILITIES:
EXISTING WATER MAINS IN BRITT STREET AND W. MARKET STREET
EXISTING SEWER COLLECTOR IN BRITT STREET AND W. MARKET STREET
EXISTING SIDE LINE DITCH AND STORM DRAINAGE BASIN IN MARKET STREET
EXISTING SIDE LINE DITCH IN BRITT STREET
EXISTING ELECTRICAL LINES IN WEST MARKET STREET.

Note: There are no proposed extensions of water or sewer mains. Each individual unit will be served by the construction of new water and sewer services tapping the existing water and sewer lines in Britt Street.



200 Block of Britt Street

File Number:
S-21-04

Project Name:
Britt Street Triplexes

Location:
Corner of Britt Street &
West Market Street

Tax ID#:
15L11006

Existing Zoning:
B-3 (Highway
Entrance Busienss)

Proposed Zoning:
B-3 CZ (Highway
Entrance Business
Conditional Zoning)

Owner:
Twin States Farming Inc

Applicant:
TerraEden Landscape &
Design LLC



1 in = 200 ft

Map created by the Mark E. Helmer, AICP
Senior Planner, GIS Specialist on 9/30/2021

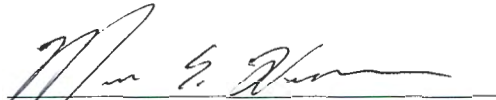




PLANNING DEPARTMENT
Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, S-21-04, were notified by First Class Mail on 9-20-21.


Signature

Johnston County, North Carolina

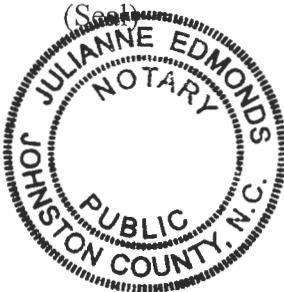
I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

20th day of September, 2021


Notary Public Signature

Julianne Edmonds
Notary Public Name

My Commission expires on January 15, 2023
(Seal)



Adjacent Property Owners of
S-21-04

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15086043	169409-06-0897	BARNES, MARK TALTON	607 RIVERBURCH COURT	SMITHFIELD	NC	27577-0000
15084001B	168412-96-8872	FOUR HEAVNERS LLC	PO BOX 2346	SMITHFIELD	NC	27577-0000
15077020	168412-96-6463	CAROLINA BUILDING SYSTEMS OF	P O BOX 405	SMITHFIELD	NC	27577-0000
15077018	168412-96-8305	CROCKER, GLENWOOD P	P O BOX 1202	SMITHFIELD	NC	27577-0000
15077019	168412-96-6374	CROCKER, GLENWOOD P	P O BOX 1202	SMITHFIELD	NC	27577-0000
15077021	168412-96-5576	SPARKS, H. DALE	PO BOX 405	SMITHFIELD	NC	27577-0405
15078199J	169409-06-2518	BERKSHIRE ROAD I LLC	P O BOX 1187	SMITHFIELD	NC	27577-1187
15084001	169409-06-6525	TWIN STATES FARMING INC	P O BOX 1352	SMITHFIELD	NC	27577-1352
15L11006	169409-06-1658	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15084010	169409-06-1790	OWENS, ELMER LEON SR.	207 BRITT ST	SMITHFIELD	NC	27577-3101
15077017	168412-95-1415	ANDREWS, EVELYN STORY AND OTHERS	8 AFTON LN	SMITHFIELD	NC	27577-3621



Request for Planning Board Action

**Agenda
Item:** CZ-21-09
Date: 10/07/21

Subject: Conditional Zoning Map Amendment
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Business Item

Issue Statement

TerraEden Landscape and Design, LLC, is requesting a conditional rezoning request of a .8084-acre parcel in the R-8 Zoning District to R-8 CZ with a master plan for a 6-lot detached single-family residential development.

Financial Impact

The 6-lot subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to review the conditional rezoning of properties from R-8 to R-8 CZ and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommends the Planning Board recommend approval of CZ-21-09 with 4-conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application



Staff Report

Agenda CZ-
Item: 21-09

REQUEST:

TerraEden Landscape and Design, LLC, is requesting a conditional rezoning to rezone 5 properties (0.8084-acres) in the R-8 Zoning District to R-8 CZ with a master plan for a 6-lot detached single-family residential development.

PROPERTY LOCATION:

The property is located at the northwest corner of East Johnston Street and South Sixth Street.

PROJECT DATA:

Applicant:	TerraEden Landscape and Design, LLC
Owner:	Twin States Farming, Inc.
Tax ID#s	15026056, 15026057, 15026058, 15026058A, and 15026058B
Acreage:	0.8084-acres
Present Zoning:	R-8
Proposed Zoning:	R-8 CZ
Existing Use:	vacant
Proposed Use	detached single-family residential
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Town of Smithfield

ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

	Zoning	Existing Land Uses
North	R-8 (Residential)	Vacant land
South	R-CZ (Residential)	Vacant land pending development
East	R-8 (Residential)	Vacant
West	R-8 (Residential)	Vacant land and detached single-family residential

EXISTING CONDITIONS:

The site is currently vacant and has been since before 2001. Prior to 2001, it was likely the site was used for warehousing. Remnant valley curb remains where there was vehicle access to the site along S. Sixth Street. The curbing along E. Johnson Street is B6-12 type. Overhead

electric utilities run along the right-of-way on both streets. An existing streetlight is attached to the power poles at the intersection of S. Sixth and E. Johnson Street.

The site is bisected by a public alley. A portion of the alley appears to have been closed with the land reverting back to the owners (Lafayette Atkinson) and (AVS Investments LLC). The applicant/owner plans to petition for closure of the remaining alley. The site plan is reliant on that closure; therefore, it is a condition of approval.

ENVIRONMENTAL:

There are no wetlands or other environmentally sensitive features on the property.

MASTER PLAN ELEMENTS/ANALYSIS:

The applicant is proposing to redevelop the land into a 6-lot detached single-family residential subdivision.

- **Driveway access.** All the lots are accessed from the rear of the property by one of two 16 ft. wide private driveways on S. Sixth Street. Lot 1 utilizes the northernmost driveway; whereas, Lots 2-6 utilizes the southernmost driveway.

The driveways will be on common open space providing access to private parking on individual residential lots and to 4 guest/overflow parking spaces on the common open space. The shared driveway is shown with no curb and gutter typical of other residential alleys in town. The shared driveway eliminates the need for individual driveways on each lot and supports the pedestrian character of the development. Driveway within the public right-of-way will need to be constructed in accordance with the Town's standard detail for driveways.

- **Open space/Recreation/Mail Kiosk.** The applicant is proposing 0.39-acres, 49% of the site, as common open space providing driveway access to residential parking, guest/handicap parking, mail kiosk, picnic shelter, picnic tables, play structure, and an area light.
- **Min. lot size.** The 10-lots range from 3,444 sq. ft. (.079-acres) to 5,046.48 sq. ft. (.12 acres in size). The average lot size is 3,770 sq. ft. (.087 acres).
- **Lot dimensions.** The minimum lot dimension is 41' x 84' and the largest lot is 59.97' x 100'.
- **Setbacks.**

	Proposed R-8 CZ Setbacks	R-8 Setbacks
Front	10 feet	30 feet
Side	5.5 (11' between bldgs..)	10 feet

Rear	25 feet	22 feet
-------------	---------	---------

The reduced setbacks are typical of an urban pedestrian-oriented or traditional neighborhood development and supported by pedestrian-scaled elements, porches, and fences. The public boulevard along Massey Street is about 12 feet wide which is about typical of most streets in town. The boulevards along East Johnson and South Sixth Street are much wider at 26 feet and 20 feet, respectively, which will give the impression of a 20-25' setback.

- **Single-family homes.** The developer is proposing 1,290 sq. ft. single-story homes with full-width front porch, three bedrooms, and two bathrooms similar to Spring Branch Commons Phase 1.
- **Public sidewalks.** 5' wide public sidewalk will be constructed in the public right-of-way along both streets.
- **Curb and gutter.** The Town's standard curb and gutter is a B6-12 concrete curb. The existing valley curbs along S. Sixth and Massey Street will need to be replaced with B6-12 curb and gutter.
- **Decorative fencing.** Decorative fencing will be installed along the street frontage on each lot matching Spring Branch Commons Phase 1 to be maintained by the HOA.
- **Landscaping.** The UDO does not require landscaping of residential subdivisions; however, the master plan shows the landscaping of the open space and residential lots.
- **HOA.** An HOA will provide common ownership and maintenance of the shared open space and fence along both streets.
- **Trash roll offs.** Storage pads for trash and recycling rollouts are provided along the rear façade of each home.
- **Stormwater Management.** There is no stormwater management facilities on site because the is exempt from stormwater attenuation.
- **Utilities.** The development will utilize existing utilities, water, and sewer, located in adjacent streets.

REQUESTED DEVIATIONS FROM UDO REQUIREMENTS:

The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO Requirements:

Item	Proposed R-8 CZ	R-8/UDO
Min. lot size	3,444 sq. ft. (.079 ac.)	8,000 sq. ft. (.18 ac.)
Min. lot width	41 feet	70 feet
Min. front setback	30 feet	10 feet
Min. Side Setback	5.5 feet	10 feet
Accessory Bldg. Setback	None allowed	10 feet
Min. corner lot setback	12 feet	15 feet
Driveway width	16 feet	20 feet
Sight triangle (UDO Section 2.21)	23 feet x 23 feet	25 feet x 25 feet

The applicant is providing the following which exceed UDO requirements:

- Decorative fencing in the front yards maintained by the HOA
- Landscaping of the lots and open space.
- Playground amenity with open space.

RECOMMENDATION:

Staff recommends approval with the following conditions:

1. That the rezoning approval be contingent on the closure of the public alley.
2. That the driveway aprons be constructed in accordance with the Town's Standard Specifications and Details.
3. That the valley curb in the public right-of-way be replaced with B6-12 curb.
4. That the HOA be responsible for maintenance of landscaping and fencing and all common amenities and common areas.

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** – *the comprehensive plan supports flexibility in zoning regulations.*
- **Consistency with the Unified Development Code** – *the property will be developed in conformance with the UDO conditional zoning provisions.*

- **Compatibility with Surrounding Land Uses** - *The property considered for rezoning will be compatible with the surrounding land uses.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-09 with 4-conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest

RECOMMENDED MOTION:

Staff recommends the following motion:

“move to recommend approval of zoning map amendment, CZ-21-09, with 4-conditions finding is consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be and other adopted plans, and that the amendment is reasonable and in the public interest.”

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
CZ-21-09**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE IS ADOPTED,

That the Planning Board recommendation regarding text amendment CZ-21-09 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public hearing; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public hearing. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE FAILS,

That the final recommendation regarding zoning map amendment CZ-21-09 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: Spring Branch Commons Ph 2 Acreage of Property: 0.8084 acres
Parcel ID Number: see attached list Tax ID: see attached list
Deed Book: 0062 Deed Page(s): 0010
Address: E Johnston St.; S Sixth St. and E Massey St.
Location: Northeast quadrant of the intersection of E. Johnston Street and S 6th Street

Existing Use: Vacant Proposed Use: Single family residential
Existing Zoning District: R-8
Requested Zoning District: R-8CZ
Is project within a Planned Development: ☐ Yes ☒ No
Planned Development District (if applicable): _____
Is project within an Overlay District: ☐ Yes ☒ No
Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Amount Paid: _____

OWNER INFORMATION:

Name: Twin States Farming, Inc (Olivia Holding)

Mailing Address: PO Box 1352 Smithfield, NC 27577

Phone Number: _____ **Fax:** _____

Email Address: _____

APPLICANT INFORMATION:

Applicant: Terraeden Landscape & Design, LLC

Mailing Address: 11 Kentwood Drive, Smithfield, NC 27577

Phone Number: 919.219.3410 **Fax:** _____

Fax: _____

Contact Person: Paul C. Embler

Email Address: pembler@embarqmail.com

REQUIRED PLANS AND SUPPLEMENTAL INFORMATION

The following items must accompany a rezoning application. This information is required to be present on all plans, except where otherwise noted:

- ☐ A map with metes and bounds description of the property proposed for reclassification.
- ☐ A list of adjacent property owners.
- ☐ A statement of justification.
- ☐ Other applicable documentation: see attached drawings

STATEMENT OF JUSTIFICATION

Please provide detailed information concerning all requests. Attach additional sheets if necessary.
see attachment

[illegible]



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: Ph-2 Spring Branch Rezoning R-8CZ

Submittal Date: September 3, 2021

OWNERS AUTHORIZATION

I hereby give CONSENT to Paul C. Embler, Jr. (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Olivia B Holding
Signature of Owner

Olivia B Holding
Print Name

8/18/21
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Paul C. Embler, Jr.
Signature of Owner/Applicant

PAUL C. EMBLER, JR.
Print Name

Date

FOR OFFICE USE ONLY

File Number:

Date Received:

Parcel ID Number:

STATEMENT OF JUSTIFICATION FOR SPRING BRANCH COMMONS PHASE 2:

The request for the Condition Use Zoning for Spring Branch Commons Phase 2 is made to facilitate the continuing development of an infill project that will re-introduce affordable single-family homes within walking distance of Smithfield's Downtown Core. The project will not place much stress on Town resources since the development will be incorporating existing under-used streets, water, sewer and electrical, thus saving the tax payers money by not having to build additional capacity into the Town's utility systems. The location of Spring Branch Commons Phase 2 is in easy walking distance of both the Town and County governmental offices, businesses, banks, restaurants, medical facilities, churches, the greenway and Town Parks. The proposed development of Spring Branch Commons Phase 2 will comply with the Town's Unified Development Ordinance and construction specifications as they relate to site development roads, utilities, storm water and erosion control.

Spring Branch Commons Phase 2 will provide new housing stock to a neighborhood that has not seen any new home construction in approximately 15 to 20 years. The homes that are proposed will be single story 1,290 sf homes with a full width front porch, three bedrooms and two baths constructed on lots averaging approximately 3,770 sf in size. All the lots front existing public streets, parking will be to the rear of the homes and accessed by a paved private drive. Spring Branch Commons Phase 2 is designed to provide 2.33 vehicular spaces for each home. During holidays and other times of high use additional parking can be found on the adjacent streets.

By incorporating smaller lots with rear loaded parking Spring Branch Commons Phase 2 will provide approximately 49% open space that will allow space for an amenity area and landscaping. The space allotted for the amenity includes a multipurpose play structure, picnic tables, litter containers and a shelter. In order to further utilize the amenity area, the mail kiosk has been incorporated along with one area light. Visual appearance will be optimized by the vehicle parking being located to the rear of the homes and screened from view from the public streets. The entire development will be landscaped for visual appeal so as to provide shade and landscape buffer to the streetscape and adjacent properties.

In order to assure that Spring Branch Commons Phase 2 will be maintained, and homes are kept in good repair, a home owners association (HOA) will be incorporated at the outset of the recording of the Final Plat with a written/recorded set of restrictive covenants. The developer will maintain some control of the HOA until project close-out, at that time the HOA will be turned over to the members.

Spring Branch Commons Phase 2 like Phase 1 Spring Branch Commons is designed to be the seed that can stop urban deterioration by re-establishing affordable homes near the core of Smithfield Downtown by utilizing existing infill lots that offer existing infrastructure and create a walkable neighborhood that is easily accessible to government services, businesses and other community facilities.

The following table summarizes the requested district modifications from the present R-8 Single-Family Residential to a Condition Use Single Family Zoning that will facilitate the development of Spring Branch Commons Phase 2. The changes are also shown graphically on the Site Plan, the Master Plan and the Preliminary Plat.

<u>Item</u>	<u>Traditional R-8 District</u>	<u>Requested Conditional Use Zoning</u>
1. Use	Single Family Residential	Single Family Residential
2. Min. Lot Size	8,000 sf.	3,440 sf.
3. Min. Lot Width	70 ft.	41 ft.
4. Min. Front Setback	30 ft.	10 ft.
5. Min. Side Setback	10 ft.	5.5'
6. Min. Rear Setback	25 ft.	22 ft.
7. Min. Height	35 ft.	35 ft.
8. Access. Bldg. Setback	10 ft.	No accessory building allowed
9. Signs	Art. 10. Part III	Art. 10. Part III
10. Parking Art. 10. Part I	2 spaces/dwelling unit	2.3 spaces/dwelling (9'x19')w/16' drive
11. Corner lot (8.13.3.2)	50% of front setback (15 ft.)	12 ft.
12. Sight triangle	10'x70' w/max. ht. of 30"	10'x70' w/max. ht. of 30"

600 Block of East Johnston Street

File Number:
CZ-21-09

Project Name:
Spring Branch
Commons Phase 2

Location:
600 Block of
E. Johnston St.

Tax ID#:
15026056,15026057,
15026058,15026058B,
15026058A

Existing Zoning:
R-8 (Residential)
Proposed Zoning:
R-8 CZ
(Conditional Zoning)

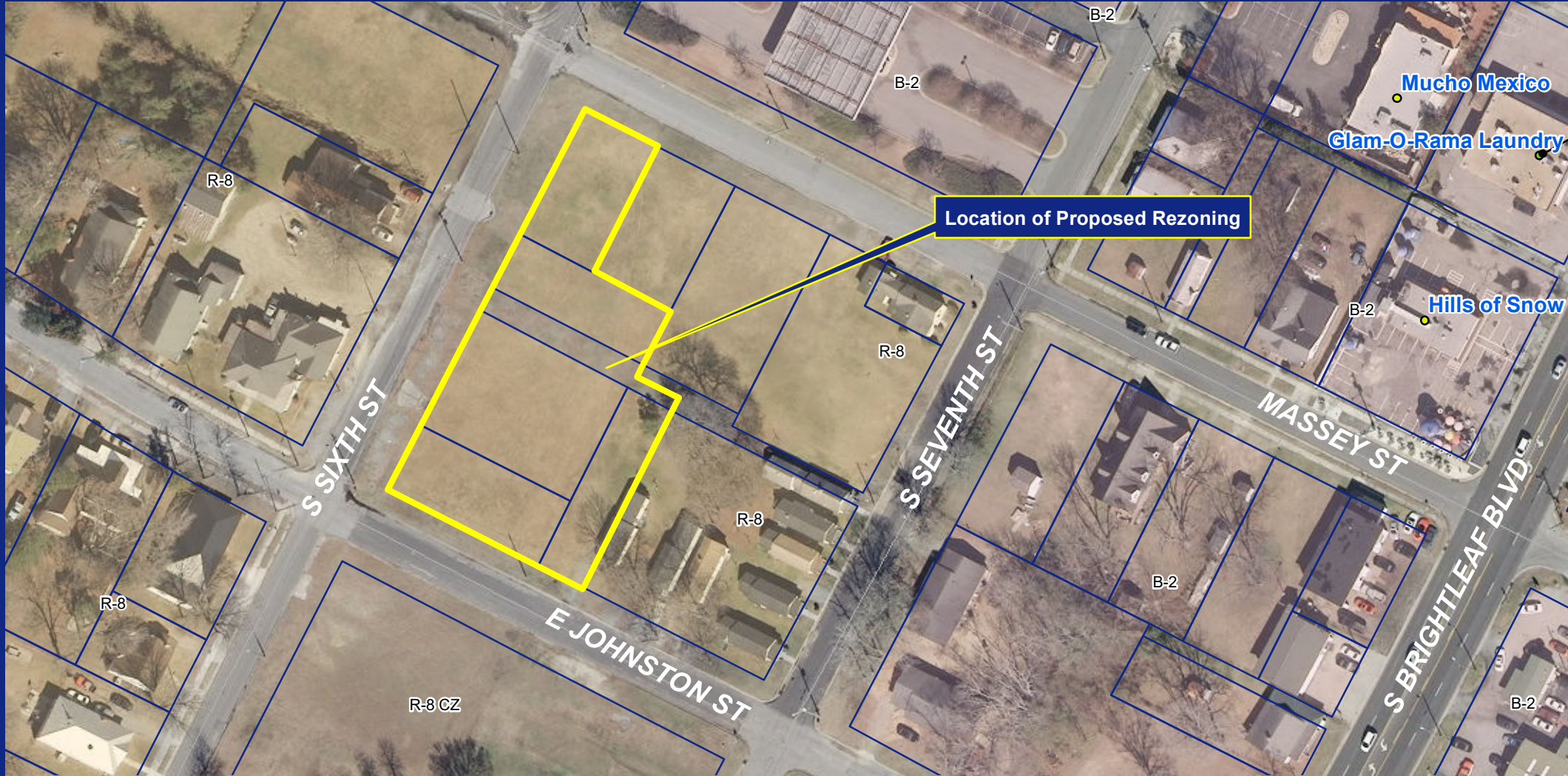
Property Owner:
Twin States Farming

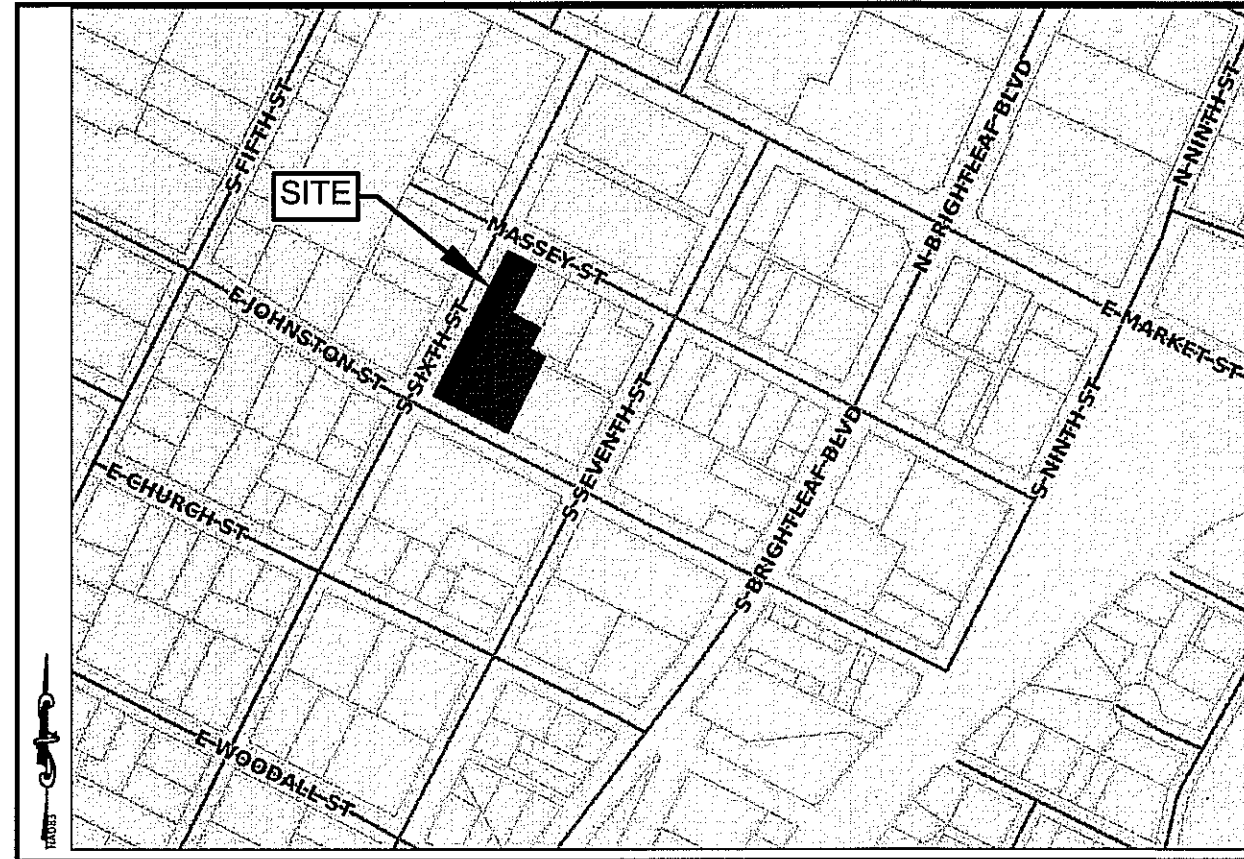
Applicant:
Terra Eden Landscape
& Design, LLC



1 in = 100 ft

Map created by the Mark E. Helmer, AICP
Senior Planner, GIS Specialist on 9/30/2021





SPRING BRANCH COMMONS PHASE 2

TOWN OF SMITHFIELD,
NORTH CAROLINA
SEPTEMBER 3, 2021

DRAWING INDEX

SHEET TITLE	SHEET No.
COVER SHEET	C0.01
SEALED BOUNDARY SURVEY.....	
EXISTING CONDITIONS & DEMOLITION PLAN.....	C1.01
PRELIMINARY PLAT	C2.01
SITE PLAN.....	C2.02
UTILITY PLAN.....	C3.01
EROSION CONTROL PLAN.....	C4.01
GRADING & DRAINAGE PLAN.....	C5.01
LANDSCAPE PLAN.....	L1.01
LANDSCAPE DETAILS.....	L1.02
REGULATORY STANDARDS.....	DT1.00
EROSION CONTROL DETAILS.....	DT1.01
WATER & SANITARY SEWER DETAILS.....	DT1.02
GENERAL DETAILS.....	DT1.03

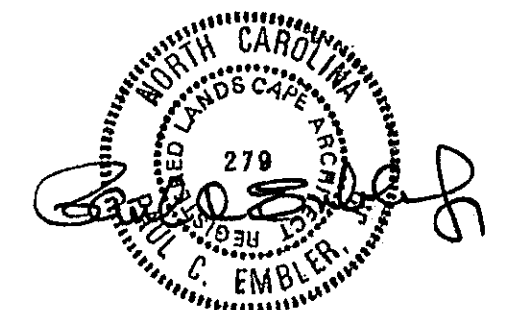
PROPERTY OWNER:

TWIN STATE FARMING, INC.
(OLIVIA HOLDING)
PO BOX 1352
SMITHFIELD, NC 27577

DEVELOPER:

SPRING BRANCH DEVELOPMENT, LLC
116 ALLISON WAY
CLAYTON, NC 27527

CONTACT: TOM JANCUSKA
(919)369-1844

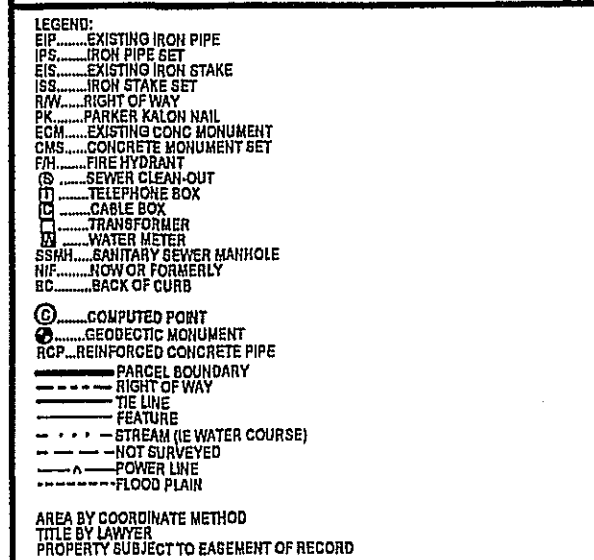


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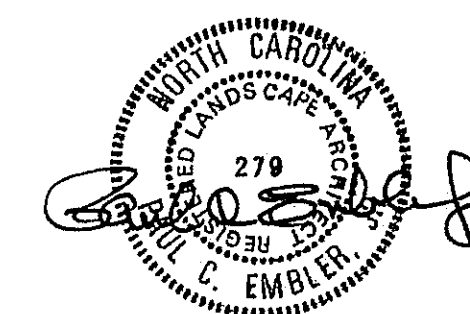
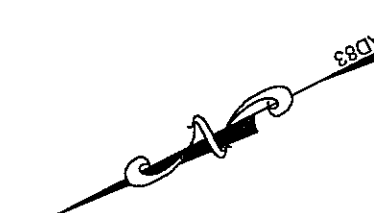
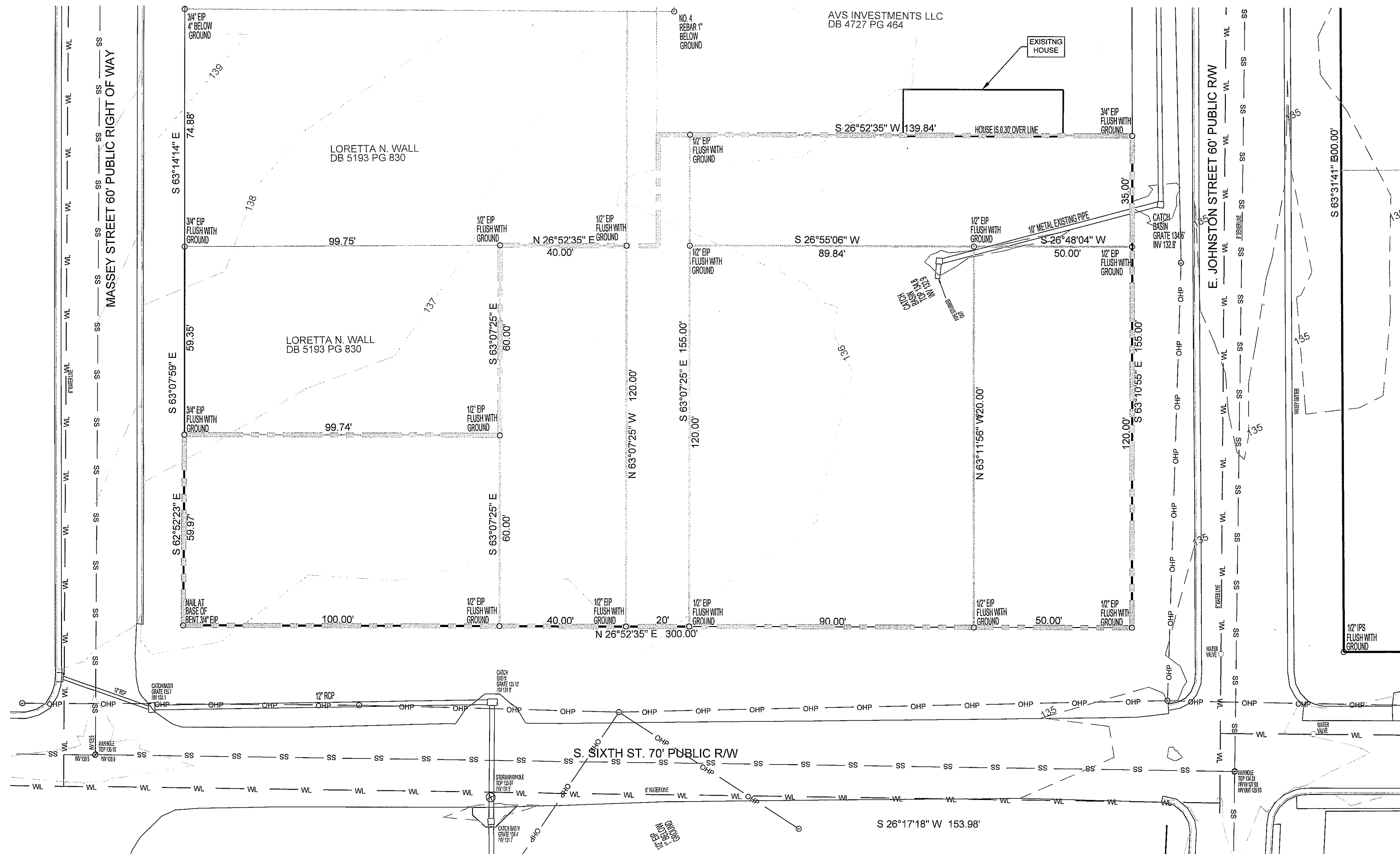
**SPRING BRANCH
COMMONS PHASE 2**
OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

MAJOR SITE PLAN

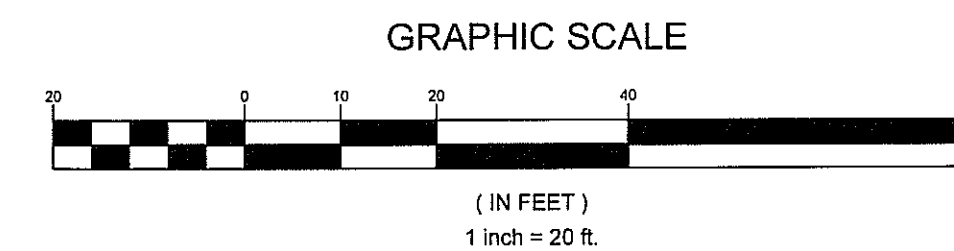
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DRAWN	ADS
CHECKED	PCE
HORIZONTAL SCALE	SEE GRAPHIC SCALE
VERTICAL SCALE	
DATE	09/03/2021
DB NO.	
SHEET	
C0.01	


 PROFESSIONAL LAND SURVEYOR

ALSEY J. GILBERT FLS
442 1/2 EAST MAIN ST.
CLAYTON NC 27620
PHONE 919/553-5104
FAX:919/553-3663



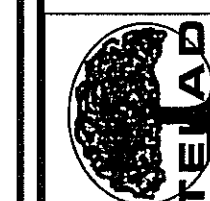
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CONSTRUCTION



EXISTING CONDITIONS
AND DEMOLITION PLAN

SPRING BRANCH
COMMONS PHASE 2

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

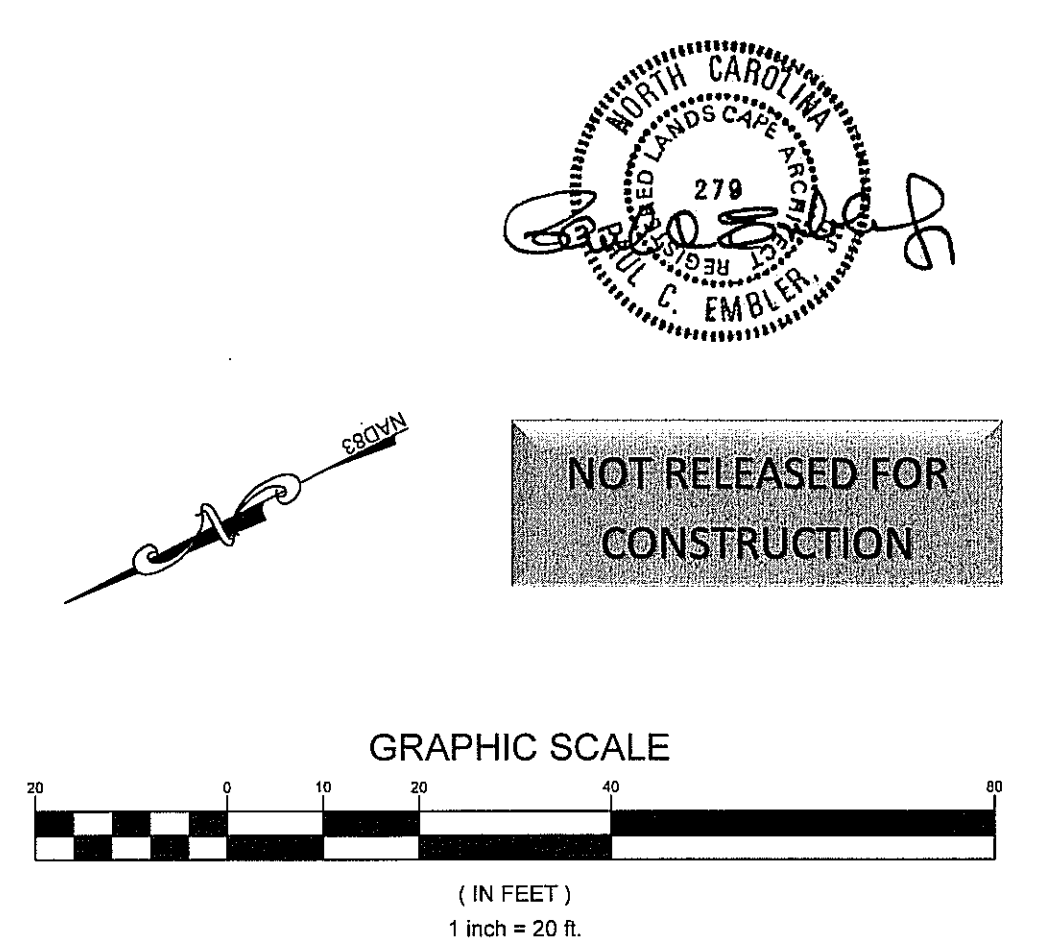
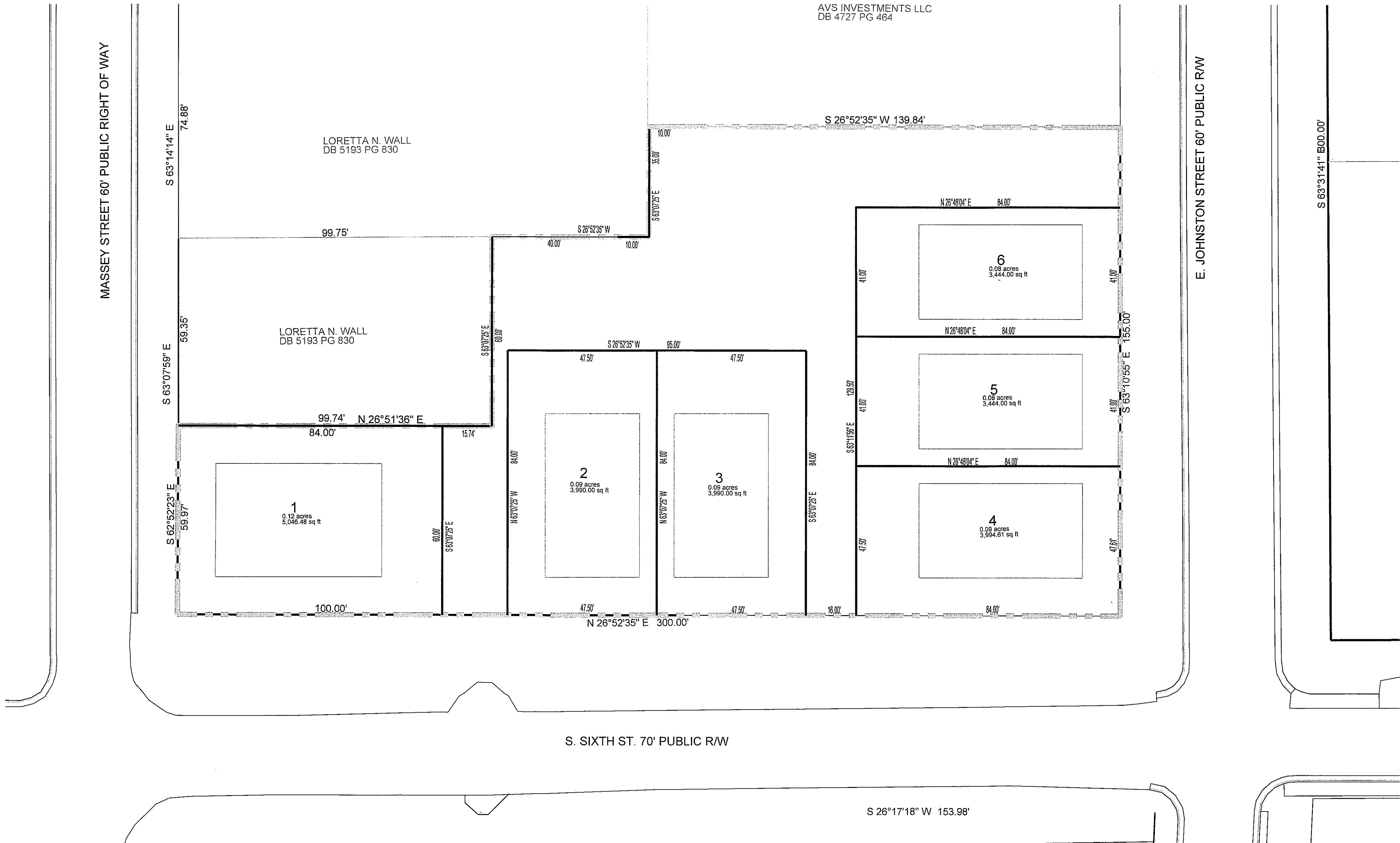


TERRAEDEN
LANDSCAPE & DESIGN, LLC

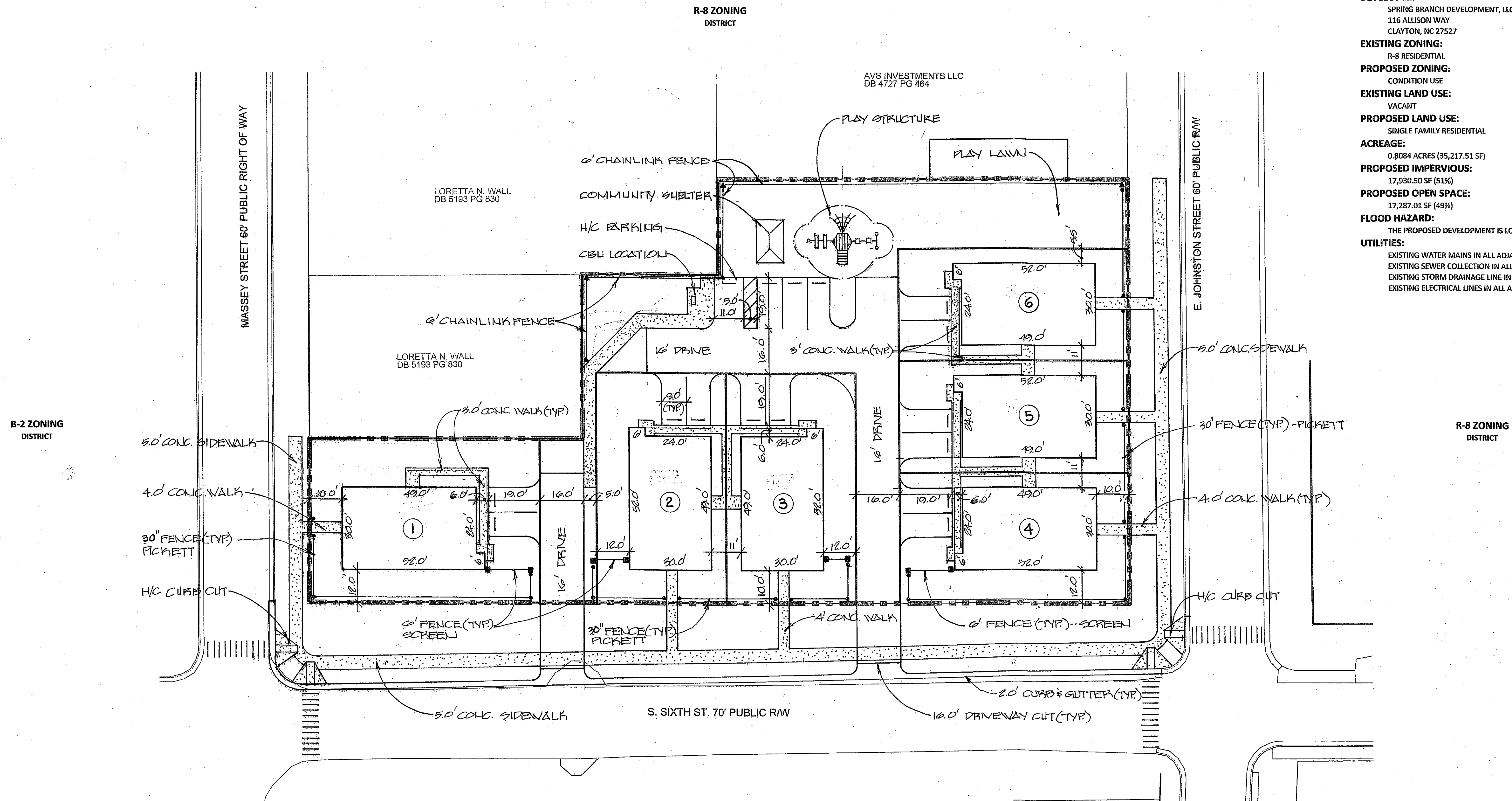
LANDSCAPE ARCHITECTS - PLANNERS

11 KENTWOOD DRIVE
SMITHFIELD, NC 27577
permits@terraeden.com
919-215-3470
LA# - 279

C1.01



NOT RELEASED FOR
CONSTRUCTION



SITE DATA

NCPIN:
169419-50-6476; 169419-50-6379; 169419-50-7319; 169419-50-6383; 169419-50-7363

ADDRESS:
E. JOHNSTON STREET, S. SIXTH STREET AND E. MASSEY STREET

DEED BOOK AND PAGE:
BOOK 0062 / PAGE 0010

PROPERTY OWNER:
TWIN STATES FARMING, INC
P O BOX 1352
SMITHFIELD, NC 27577

DEVELOPER:
SPRING BRANCH DEVELOPMENT, LLC
116 ALLISON WAY
CLAYTON, NC 27527

EXISTING ZONING:
R-8 RESIDENTIAL

PROPOSED ZONING:
CONDITION USE

EXISTING LAND USE:
VACANT

PROPOSED LAND USE:
SINGLE FAMILY RESIDENTIAL

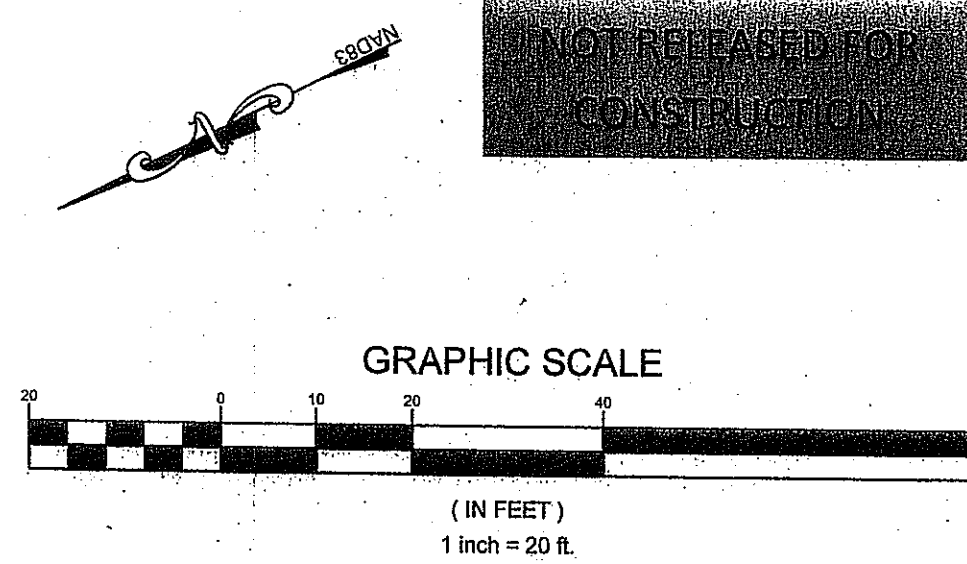
ACREAGE:
0.8084 ACRES (35,217.51 SF)

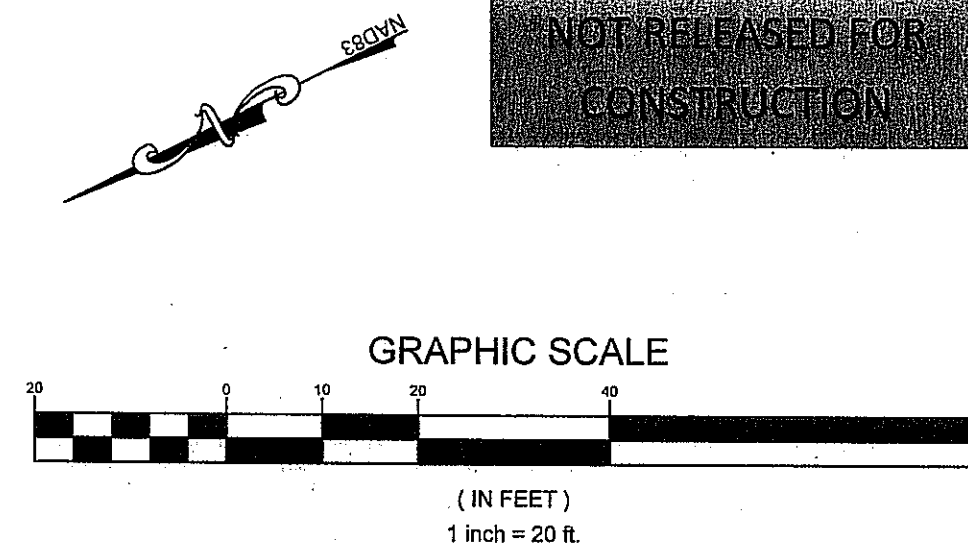
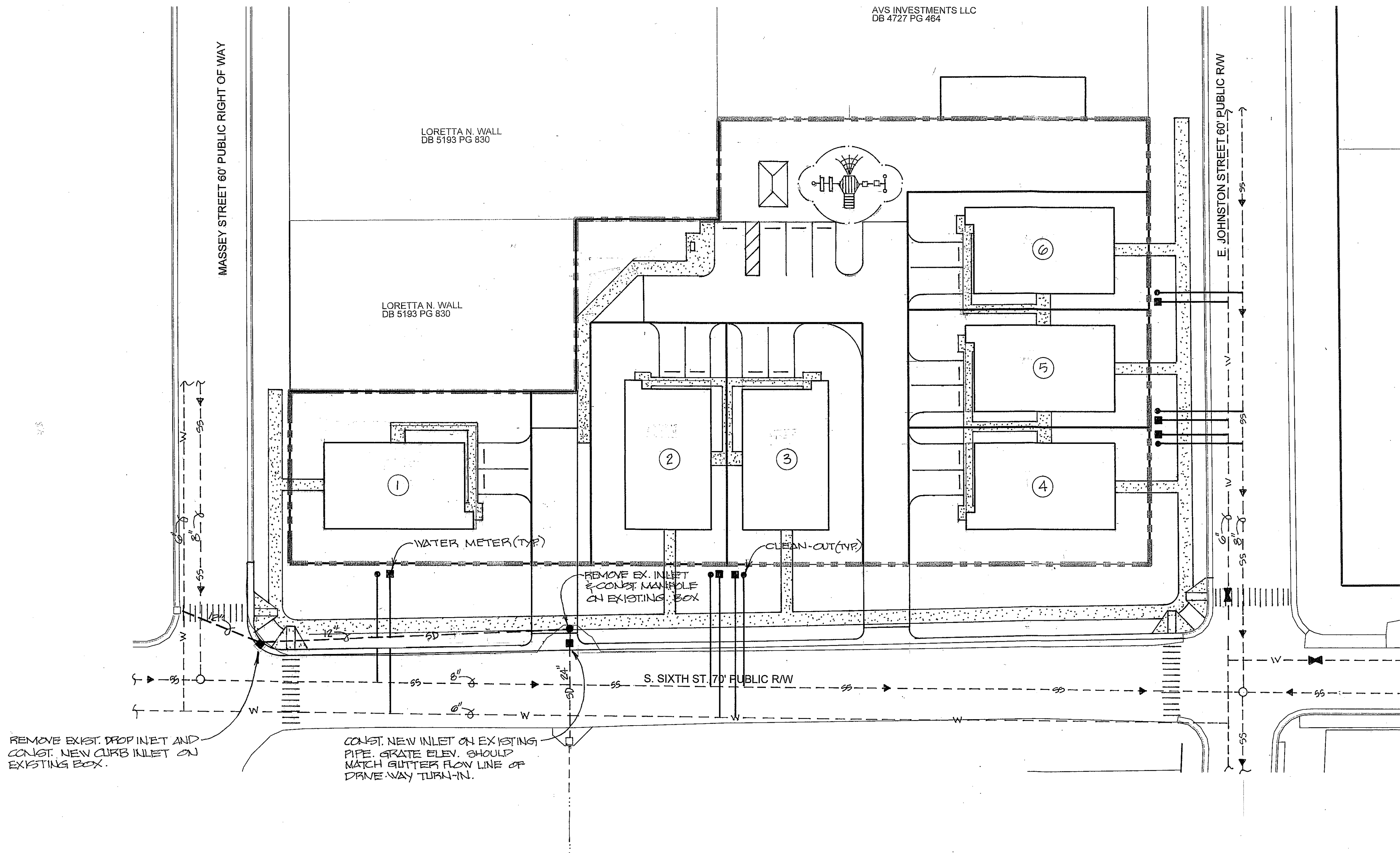
PROPOSED IMPERVIOUS:
17,930.50 SF (51%)

PROPOSED OPEN SPACE:
17,287.01 SF (49%)

FLOOD HAZARD:
THE PROPOSED DEVELOPMENT IS LOCATED OUTSIDE THE AE FLOOD ZONE

UTILITIES:
EXISTING WATER MAINS IN ALL ADJACENT STREETS
EXISTING SEWER COLLECTION IN ALL ADJACENT STREETS
EXISTING STORM DRAINAGE LINE IN S. SIXTH STREET
EXISTING ELECTRICAL LINES IN ALL ADJACENT STREETS





NOT RELEASED FOR
CONSTRUCTION

UTILITY PLAN

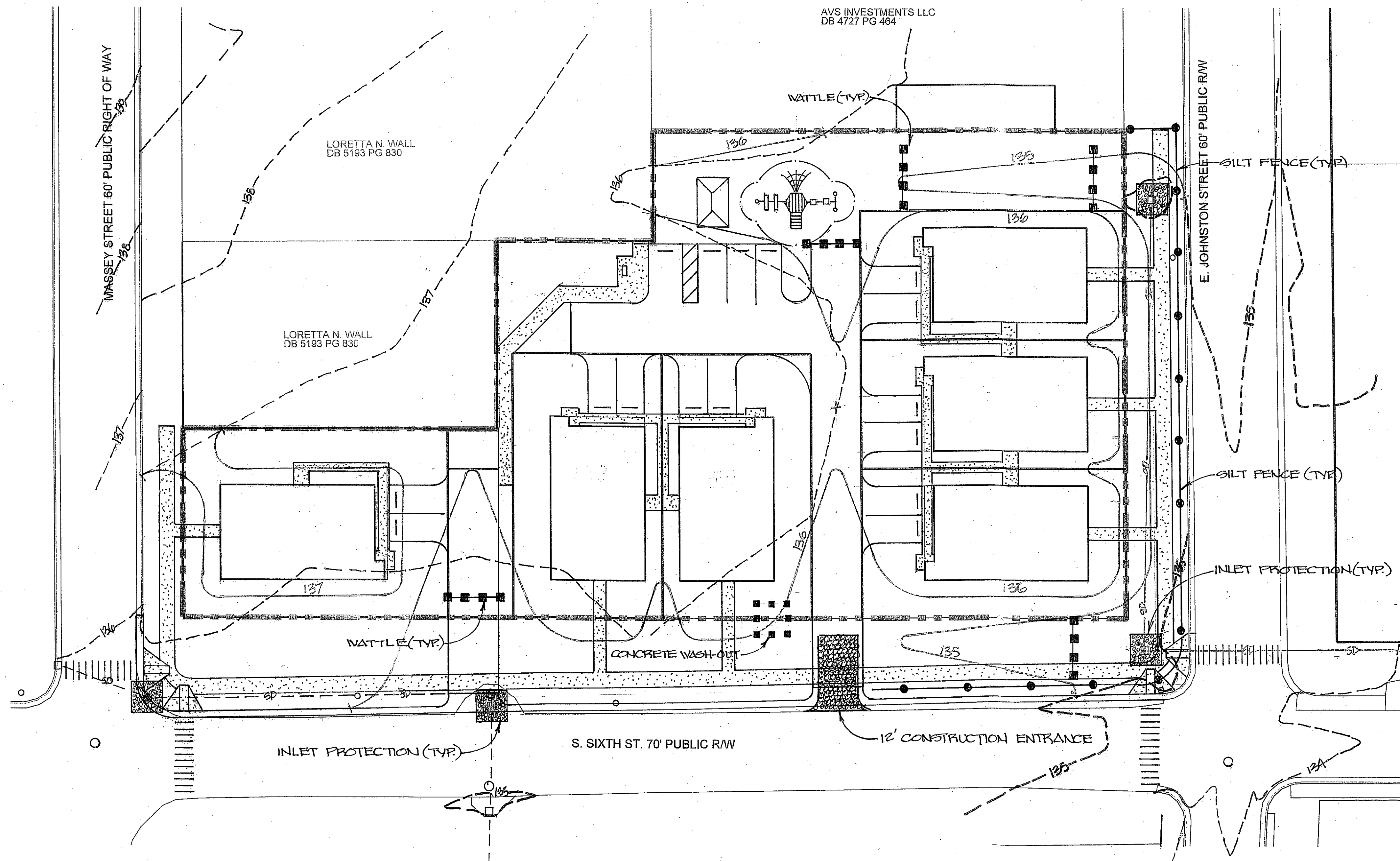
SPRING BRANCH COMMONS PHASE 2

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

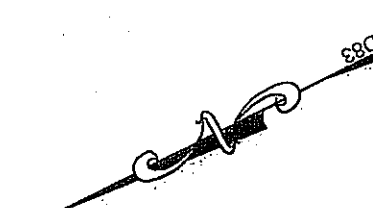


TERRAEDEN
LANDSCAPE & DESIGN, LLC
LANDSCAPE ARCHITECTS - PLANNERS

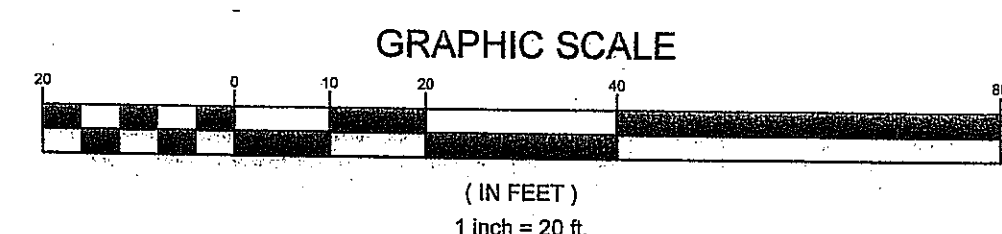
11 KENTWOOD DRIVE
SMITHFIELD, NC 27577
pembler@terraedenllc.com
919-219-3410
LA# - 278



- NOTES:
- 1- THE TOTAL DISTURBED AREA IS LESS THAN ONE ACRE, THEREFORE NO EROSION CONTROL PERMIT IS REQUIRED
 - 2- TOTAL IMPERVIOUS AREA IS LESS THAN 20,000 SF, THEREFORE NO STORM WATER MANAGEMENT FACILITIES ARE REQUIRED.

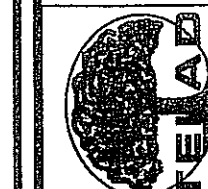


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11 KENTWOOD DRIVE
SMITHFIELD, NC 27577
pembler@terraeden.com
919-219-3410
LAW - 279

TERRAEDEN
LANDSCAPE & DESIGN, LLC
LANDSCAPE ARCHITECTS - PLANNERS

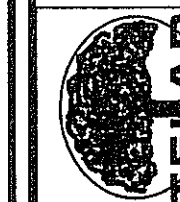
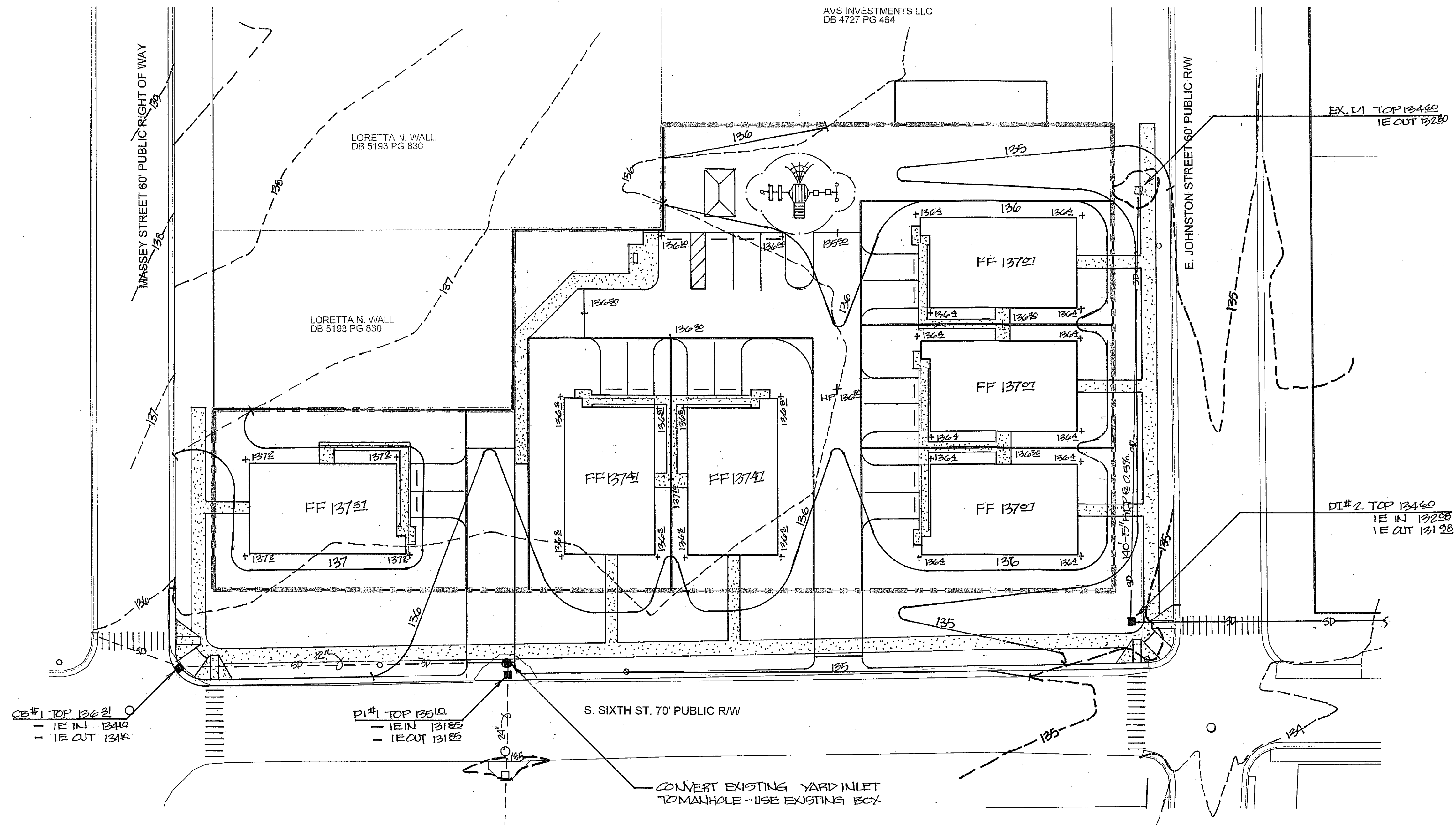


SPRING BRANCH
COMMONS PHASE 2
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

EROSION CONTROL
PLAN

DESIGN PCE
DRAWN ADS
CHECKED PCE
HORIZONTAL SCALE
SEE GRAPHIC SCALE
VERTICAL SCALE
DATE 9/03/2021
JOB NO. N/A
SHEET

C4.01



SPRING BRANCH
COMMONS PHASE 2

GRADING & DRAINAGE
PLAN

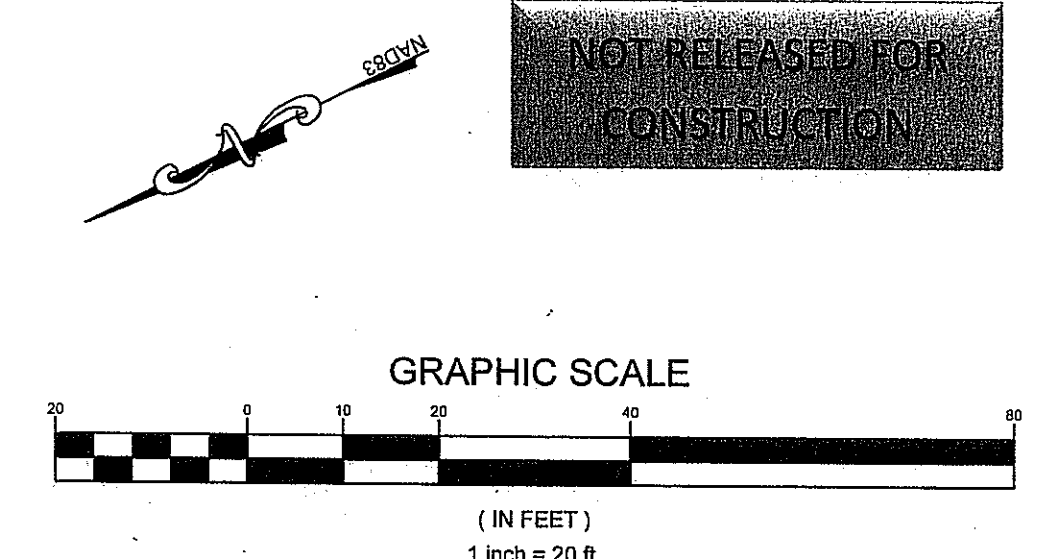
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CHECKED PCE
HORIZONTAL SCALE
SEE GRAPHIC SCALE
VERTICAL SCALE
DATE 3/23/2021
JOB NO. N/A
SHEET

C5.01

TERRAEDEN
LANDSCAPE & DESIGN, LLC
LANDSCAPE ARCHITECTS - PLANNERS

11 KENTWOOD DRIVE
SMITHFIELD, NC 27577
pentler@terraeden.com
919-219-3410
LA# - 279

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	ROOT	COMMENTS
TREES							
Bt	6	Nyssa sylvatica	Black Tupelo	10-12'	4-5'	B&B	
Wo	5	Quercus phellos	Willow Oak	10-12'	-	B&B	
Cm	4	Lagerstroemia indica x fauriei	Natchez Crape Myrtle	6-8'	2-3'	25 gal	
Mp	29	Ilex x latifolia	Miss Patricia Holly	36"	-	7 gal	
Fh	8	Ilex x attenuata	Foster Holly #2	6-8'	-	25 gal	
SHRUBS							
St	32	Ilex crenata 'Soft Touch'	Soft Touch Holly	15-18" ^{***}	-	3 gal	
Py	15	Cephalotaxus harringtonia	Prostrate Japanese yew	15-18"	-	3 gal	
Gc	10	Chryomeria japonica 'Globosa'	Globosa Cryptomeria	15-18"	-	3 gal	
Gm	14	Chamaecyparis pisifera	Gold Mops Cypress	15-18"	-	3 gal	
Lt	10	Laetana camara	Chapala Hill Yellow	15-18"	-	3 gal	
Ch	20	Ilex cornuta 'Carissa'	Carissa Holly	15-18"	-	3 gal	
Pm	21	Muhlenbergia capillaris	Pink Muhly	15-18"	-	3 gal	
GROUNDCOVERS							
VI	78	Liriope muscari 'variegata'	Variegated Lillytuff	-	-	1 gal	Clump div.
DI	78	Heimerocallis minor	Dwarf Yellow Clay Lilly	-	-	1 gal	



LANDSCAPE WORK SPECIFICATIONS

SCOPE OF WORK: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK OF THIS SECTION INCLUDING INSTALLATION OF TREES, SHRUBS, GROUND COVERS, PERENNIALS, SOD, SEEDING, MULCH, AND APPURTENANCES.

JOB CONDITIONS: ATTENTION SHALL BE DIRECTED TO THE LOCATION OF ACTIVE UTILITIES WITHIN THE LIMITS OF WORK. BEFORE COMMENCING ANY WORK REQUIRED BY THE CONTRACT, THE CONTRACTOR SHALL LOCATE ALL UTILITIES, SUBSURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM THE WORK COVERED BY THE CONTRACT.

MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR HIS AGENT. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT ANY STAGE OF THE OPERATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

PLANT MATERIALS: ALL MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IF FIELD GROWN, NATURALLY SHAPED, AND WELL-BRANCHED, FULL FOLIAGED WHEN IN LEAF WITH HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS FURNISHED SHALL BE FREE OF ANY INSECT INFESTATIONS OR THEIR EGGS, AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT LOCALE. ALL PLANTS SHALL BE TRUE TO SPECIES AND VARIETY.

PLANT SIZE: SPECIFIED SIZES INDICATE MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND SIZE ARE INDICATED FOR A SINGLE SPECIES, BOTH REQUIREMENTS MUST BE MET.

PLANT HANDLING & STORAGE: PLANTS AND THEIR ROOT SYSTEMS SHALL BE ADEQUATELY PROTECTED FROM DRYING OUT AT ALL TIMES. PLANT MATERIALS SHALL BE WATERED PRIOR TO TRANSPORT AND KEPT MOIST PRIOR TO PLANTING. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE KEPT IN THE SHADE AND WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY.

BALLED & BURLAPPED PLANTS SHALL BE LIFTED FROM THE BOTTOM ONLY, NOT BY STEMS OR TRUNKS.

CARE SHALL BE TAKEN WHEN REMOVING THE CONTAINER FROM CONTAINER-GROWN PLANTS SO AS NOT TO INJURE THE PLANT'S ROOTS.

SUBSTITUTIONS: IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IS NOT AVAILABLE, A WRITTEN PROPOSAL FOR THE USE OF A SIMILARLY SIZED AND TYPE OF PLANT AND CORRESPONDING COST ADJUSTMENT WILL BE CONSIDERED. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

BACKFILL MATERIAL: NATIVE SOIL SHALL NOT BE USED FOR BACKFILL, BUT IS ACCEPTABLE FOR CONSTRUCTION OF REQUIRED SAUCERS AROUND PLANTS. THE REMAINDER OF UNUSED NATIVE SOIL SHALL BE HAULED AWAY FROM THE SITE. BACKFILL MATERIAL SHALL BE A BLENDED SOIL MATERIAL AND SHALL BE CONSIST OF 40% COMPOST, 35% SAND, AND 25% CLAY. THE COMPOST SHALL A TURKEY COMPOST BEARING THE U.S. COUNCIL SEAL OF ASSURANCE. THE SAND SHALL BE OBTAINED FROM A SAND QUARRY AND FREE OF ALL VIAL WEED SEED. OTHER CONDITIONS OF THE BACKFILL SHALL BE AS FOLLOWS:

MAXIMUM SOLUBLE SALTS: 350 PPM
RELATIVE DENSITY: 25%-50%, LOOSE
RELATIVE PERMEABILITY: 2.5-10 IN./HR.
PLASTIC INDEX: 4-10
PH RANGE: 6.0-6.8

BACKFILL MATERIAL SHALL BE TESTED AND TEST RESULTS SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO USE.

PLANT FERTILIZER: SHALL BE A COMPLETE FERTILIZER, OF WHICH 50% OF THE NITROGEN IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREAFORM. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 10% NITROGEN, 10% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

WATER: SHALL BE FURNISHED BY THE OWNER.

PLANT MATERIAL INSTALLATION: MATERIALS SHALL ONLY BE PLANTED DURING PERIODS OF SUITABLE WEATHER CONDITIONS.

THE OWNER SHALL BE NOTIFIED OF SUBSURFACE CONDITIONS THAT WOULD PROVE DETRIMENTAL TO PLANT SURVIVAL OR GROWTH. ALTERNATE LOCATIONS FOR MATERIAL SHALL BE DETERMINED BY THE CONTRACTOR AND LANDSCAPE ARCHITECT.

ALL TREES AND SHRUBS SHALL BE PLANTED IN INDIVIDUAL HOLES. THE SIDES AND BOTTOM OF HOLES SHALL BE SCARIFIED PRIOR TO PLANTING. BACKFILL WITH THE SOIL MIXTURE SPECIFIED ON THE DRAWINGS. BACKFILLING SHALL BE ACCOMPLISHED IN LIFTS TO ENSURE ELIMINATION OF ALL AIR POCKETS. ALL PLANTS SHALL BE POSITIONED TO PLACE MOST ATTRACTIVE SIDE TO VIEW AND IN A PLUMB POSITION.

INSTALL 6 FT. DIAMETER SAUCERS MADE OF SOIL AROUND LARGE TREES AND 4 FT. DIAMETER SAUCERS AROUND SMALL TREES.

IMMEDIATELY FOLLOWING PLANTING, PLANTS SHALL BE MULCHED. WHERE PLANTS ARE PLANTED IN GROUPS, THE AREA ABOUT THE PLANT AS WELL AS THE AREA BETWEEN PLANTS SHALL BE COVERED WITH MULCH. PLANTS SHALL BE THOROUGHLY WATERED FOLLOWING MULCHING.

STAKE ALL TREES IN ACCORDANCE WITH THE DRAWINGS.

PRUNING SHALL BE LIMITED TO THE REMOVAL OF INJURED BRANCHES AND TWIGS. USE CLEAN AND SHARP PRUNING TOOLS.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN DURING PROGRESS OF INSTALLATION WORK.

PLANTING BEHIND SEGMENTAL RETAINING WALLS: CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE INSTALLATION OF PROPOSED TREES AND SHRUBS BEHIND SEGMENTAL RETAINING WALLS. CONTRACTOR SHALL PROCEED WITH CAUTION WHEN EXCAVATING SO AS NOT TO TEAR OR REMOVE SECTIONS OF THE GEOGRID FABRIC THAT IS TYPICALLY LOCATED 18 TO 24 INCHES BELOW FINISHED GRADE. PENETRATION OF THE GEOGRID IS PERMITTED TO PLANT INDIVIDUAL TREES OR LARGE SHRUBS AS NECESSARY; HOWEVER, EXCAVATION OF THE PLANTING HOLE AND PERFORATION OF THE GEOGRID FABRIC SHALL BE ACCOMPLISHED USING AN AUGER OR BY HAND-CUTTING THE FABRIC FOLLOWING EXCAVATION BY A BACKHOE WITH A SMOOTH-EDGE BUCKET.

MAINTENANCE OF PLANT MATERIALS: PLANT MATERIALS SHALL BE MAINTAINED FOLLOWING PLANTING AND UNTIL FINAL ACCEPTANCE IS GRANTED BY THE OWNER. MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, PRUNING, MULCHING, ADJUSTMENT OF GUYING, RESTORATION OF PLANT POSITION OR SAUCERS, AND SPRAYING IF NECESSARY. FINAL ACCEPTANCE FOR SEGMENTS OF THE CONTRACT WORK MAY BE GRANTED BY THE OWNER.

THE CONTRACTOR SHALL PROTECT PLANTED AREAS WITH STAKES AND FLAGGING TO LIMIT DAMAGE.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN WHEN MAINTENANCE OPERATIONS ARE IN PROGRESS.

ALL INSTALLED MATERIALS SHALL BE IN ACCEPTABLE CONDITION WHEN CONTRACTOR APPLIES FOR PAYMENT.

INSPECTION AND ACCEPTANCE OF WORK: UPON 48 HOURS ADVANCE NOTICE, THE LANDSCAPE ARCHITECT SHALL INSPECT ALL WORK FOR ACCEPTANCE. THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE SHALL TERMINATE AT THE DATE OF ACCEPTANCE OF EACH SEGMENT OF WORK. UPON THE DATE OF ACCEPTANCE, THE GUARANTEE PERIOD SHALL COMMENCE.

GUARANTEE: THE CONTRACTOR SHALL GUARANTEE TO PROVIDE TO THE OWNER THRIVING PLANT MATERIALS TO INCLUDE TREES, SHRUBS, AND GROUND COVERS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE. ADDITIONALLY, THE CONTRACTOR SHALL GUARANTEE TO THE OWNER THRIVING PERENNIALS, ANNUALS, WELL-ESTABLISHED SEEDED AREAS, AND WELL-ROOTED SODDED AREAS FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE. THE GUARANTEES ARE SUBJECT TO THE FOLLOWING CONDITIONS:

THE OWNER IS RESPONSIBLE FOR PROPER WATERING OF PLANT MATERIALS, SEEDED AREAS, AND SODDED AREAS FOLLOWING FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN INSTRUCTIONS SPECIFYING THE RATES AND EXTENT OF WATERING REQUIRED. THE CONTRACTOR SHALL MAKE MONTHLY INSPECTIONS FOR A PERIOD OF (1) YEAR AT NO EXTRA COST TO THE OWNER, TO DETERMINE WHAT CHANGES, IF ANY, SHOULD BE MADE TO THE WATERING PROGRAM. ANY RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER IN WRITING.

DAMAGE CAUSED TO PLANT MATERIALS FROM ACTS OF NATURE, VANDALISM, EROSION, OR MALICIOUS ACTS WILL VOID THE GUARANTEE FOR ANY EFFECTED MATERIALS.

DAMAGE TO PLANT MATERIALS CAUSED BY DISEASE INCLUDING BROWN PATCH IN TURF GRASSES EXCLUDE ANY EFFECTED MATERIALS FROM THE GUARANTEE.

PLANT MATERIAL REPLACEMENT: THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL PLANTS NOT IN THRIVING CONDITION AS DETERMINED BY THE OWNER DURING AND AT THE END OF THE GUARANTEE PERIOD. THE GUARANTEE OF ALL REPLACED PLANTS SHALL EXTEND FOR AN ADDITIONAL 30 CALENDAR DAYS.

TURF MATERIALS: MATERIALS REQUIRED FOR SEEDING AND OR SODDING SHALL CONFORM TO THE FOLLOWING:

FERTILIZER: SHALL BE A TURF-GRADE, HIGH PHOSPHORUS FERTILIZER, IN WHICH 1/2 TO 3/4 OF THE NITROGEN IS SLOWLY AVAILABLE. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 18% NITROGEN, 24% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

LIME: SHALL BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES WITH A MINIMUM OF 30% MAGNESIUM CARBONATES IN A PELLETIZED FORM.

ANTI-EROSION MULCH: SHALL BE CLEAN, SEED-FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY.

GRASS SEED: SHALL BE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY "OFFICIAL SEED ANALYSTS OF NORTH AMERICA" OR PROVIDE TYPE OR AN EQUIVALENT COMPOSED OF SPECIES AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

SOD: SHALL BE FRESHLY CUT, DROUGHT-RESISTANT SOD, FREE OF OBJECTIONABLE BROADLEAF OR GRASSY WEEDS. PROVIDE TYPE AS SPECIFIED BELOW.

PREPARATION OF TURF AREAS: PRIOR TO SEEDING OR SOD INSTALLATION, VERIFY THAT ALL TRENCHING AND OTHER LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED.

ALL DISTURBED AREAS SHALL BE DRESSED TO TYPICAL SECTIONS AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. REMOVE FROM THE SITE ALL TEMPORARY SEEDING OR STABILIZATION MEASURES.

ALL AREAS TO RECEIVE SEED OR SOD SHALL BE PREPARED ACCORDING TO THE FOLLOWING PROCEDURE:

REMOVE ANY UNDESIRABLE VEGETATION OR DEBRIS.

APPLY LIMESTONE ACCORDING TO SOIL TEST RECOMMENDATION OR AT A RATE OF 4000 LBS. PER ACRE.

RIP THE AREA TO A MINIMUM DEPTH OF 4 TO 8 INCHES.

REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER DEBRIS AND PULVERIZE THE TOP 2 INCHES OF LOOSENED SOIL TO PROVIDE A SMOOTH AND UNIFORM SURFACE.

APPLY TURF-GRADE FERTILIZER IN A MANNER THAT ENSURES UNIFORM DISTRIBUTION. FERTILIZER SHALL BE APPLIED AT A RATE THAT PROVIDES 5 LBS. OF PHOSPHORUS PER 1000 S.F. LIGHTLY MIX WITH SOIL AND SMOOTH SURFACE.

SODDING: APPLY DROUGHT-RESISTANT, TURF-TYPE FESCUE SOD (E.G. "REBEL III", "BONANZA", "CONFEDERATE", ETC.) IN THE FOLLOWING MANNER:

SOD SHALL BE PLACED ON A SMOOTH, EVEN SURFACE CONFORMING TO FINISH GRADE REQUIREMENTS. FINISH GRADE SHALL BE 1 INCH BELOW SURFACES OF ADJACENT SIDEWALKS AND CURBING. SOIL SHALL BE WATERED BEFORE SOD IS LAID. ALL SOD SHALL BE CUT BY AN APPROVED MECHANICAL SOD CUTTER. UNDER NO CIRCUMSTANCES SHALL ANY SODDING WORK BE DONE UNLESS WEATHER AND SOIL CONDITIONS ARE SUITABLE.

HANDLING OF SOD SHALL BE DONE IN A MANNER AS TO PREVENT TEARING, BREAKING, DRYING, OR OTHER DAMAGE.

SOD SHALL BE INSTALLED ON-SITE IN NOT MORE THAN 72 HOURS AFTER CUTTING. IF THE SOD IS NOT INSTALLED WITHIN 48 HOURS AFTER CUTTING, IT SHALL BE UNSTACKED OR UNROLLED, PLACED IN SHADE, AND KEPT MOIST UNTIL INSTALLATION.

LAY SOD PARALLEL TO THE DIRECTION OF THE SLOPE AND IN A MANNER WHICH WILL PERMIT JOINTS TO ALTERNATE.

FIT SOD PIECES TOGETHER TIGHTLY SO THAT NO JOINT IS VISIBLE, AND TAMP SOD FIRMLY AND EVENLY BY HAND.

AFTER SODDING IS COMPLETE AND APPROVED BY LANDSCAPE ARCHITECT, SODDED AREAS SHALL BE ROLLED WITH A 200 LB. ROLLER.

WATER SODDED AREAS IMMEDIATELY AFTER FINAL ROLLING WITH A FINE SPRAY TO A DEPTH OF 4 INCHES. KEEP ALL SODDED AREAS CONTINUOUSLY MOIST THEREAFTER UNTIL 30 CALENDAR DAYS FOLLOWING INSTALLATION. USE FINE SPRAY NOZZLES ONLY.

INSPECT AND MAINTAIN SODDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 60% OR MORE OF SODDED AREAS FAIL TO BECOME ROOTED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS WITH NEW SOD MATERIALS.

SEEDING: APPLY TURF-TYPE SEED MIXTURE (E.G. "CONFEDERATE" FESCUE MIXTURE, "TRI-BLEND", ETC.) AT A RATE OF 6 LBS. PER 1000 S.F. KENTUCKY 31 TALL FESCUE IS UNACCEPTABLE.

CULTIPACK SEEDDED AREAS AND APPLY ANTI-EROSION MULCH AT A RATE OF 2 TONS PER ACRE.

INSPECT AND MAINTAIN SEEDDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 60% OR MORE OF SEEDDED AREAS FAIL TO BECOME ESTABLISHED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS FOR ESTABLISHMENT OF A SUITABLE TURFGRASS.

LANDSCAPE WORK SPECIFICATIONS
SCALE: NTS

6

IRRIGATION DIRECTIVES

A. THE GENERAL CONTRACTOR SHALL SUBCONTRACT THE IRRIGATION WORK TO A FIRM OF HIS CHOICE, OR HAVE THE PLANTING CONTRACTOR SUB-CONTRACT THE IRRIGATION WORK TO A FIRM OF THEIR CHOICE

B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO SPRAY THE LAWN AND PLANT BEDS SEPARATELY AS SHOWN ON THE PLAN IN OUTLYING AREAS ISLANDS OF SHRUBS SHALL BE OVERSPRAYED WITH THE LAWN HEADS OR, PER PLAN, MAY HAVE SHRUB HEADS ON THE ADJACENT LAWN ZONE

C. PROVIDE ADEQUATE ZONES TO INDIVIDUALLY CONTROL IRRIGATION FOR ALL THE DIFFERENT EXPOSURES AND SLOPES AT LEAST AS INDICATED ON THE PLANS AS WELL AS TO BE ABLE TO BEST MATCH THE WATER AVAILABLE TO THE SYSTEM

D. SUBMIT HEAD LAYOUT AND ROUTING PLAN TO THE LANDSCAPE ARCHITECT FOR APPROVAL OF THE LAYOUT AND ZONE DESIGN

E. IN MUNICIPAL AREAS PROVIDE THE OWNER A (DOLLAR) CHOICE TO SET A SEPARATE METER FOR THE IRRIGATION, OR TO USE THE EXISTING METERED SOURCE FOR THE IRRIGATION

F. METERS ARE PROVIDED FOR IRRIGATIONS, CONTRACTOR TO PROVIDE BACK-FLOW PREVENTION

G. PROVIDE THE OWNER A PLASTIC COVERED COLOR CODED PLAN TO PLACE NEAR THE CONTROLLER

H. PROVIDE (3) THREE COPIES OF "AS-BUILT" LAYOUT AND OPERATING INSTRUCTIONS TO THE OWNER.

IRRIGATION NOTES

NOTICE TO IRRIGATION CONTRACTOR: MANY GOVERNMENTAL UNITS ARE CURRENTLY REVISING THEIR ORDINANCES AND REGULATIONS REGARDING IRRIGATION SYSTEMS. BEFORE THIS PROJECT IS BID OR INSTALLED, THE CONTRACTOR SHALL VERIFY WITH THE RULING GOVERNMENTAL UNIT THAT THE PROPOSED SYSTEM MEETS ALL LOCAL REGULATIONS. AREAS OF SPECIAL CONCERN INCLUDE:

1. RIGHT-OF-WAY EASEMENT AGREEMENTS FOR PLACEMENT OF IRRIGATION WITHIN STREET/ROAD RIGHT-OF-WAYS
2. BACKFLOW PREVENTION DEVICES, WHETHER THESE ARE REQUIRED AND IF SO, WHAT TYPES ARE APPROVED.
3. CERTIFICATION/LICENSE TO INSTALL BACKFLOW PREVENTER DEVICES AND METERS.
4. "WINTER SERVICE" REQUIREMENTS FOR BACKFLOW PREVENTER DEVICES.
5. USE OF A SECOND METER FOR IRRIGATION USE ONLY.
6. WATER RATION DAYS IN WHICH IRRIGATION SYSTEM CANNOT BE USED.
7. ALL OTHER REGULATIONS NOT MENTIONED HEREIN.

SHOULD THE BID/CONSTRUCTION DOCUMENTS BE INCONSISTANT WITH CURRENT LOCAL REGULATIONS, THE CONTRACTOR SHALL PRESENT THE OWNER WITH A QUOTE/CONTRACT THAT INCLUDES MODIFICATIONS TO MAKE THE SYSTEM COMPLIANT WITH ALL THE LOCAL CODES.

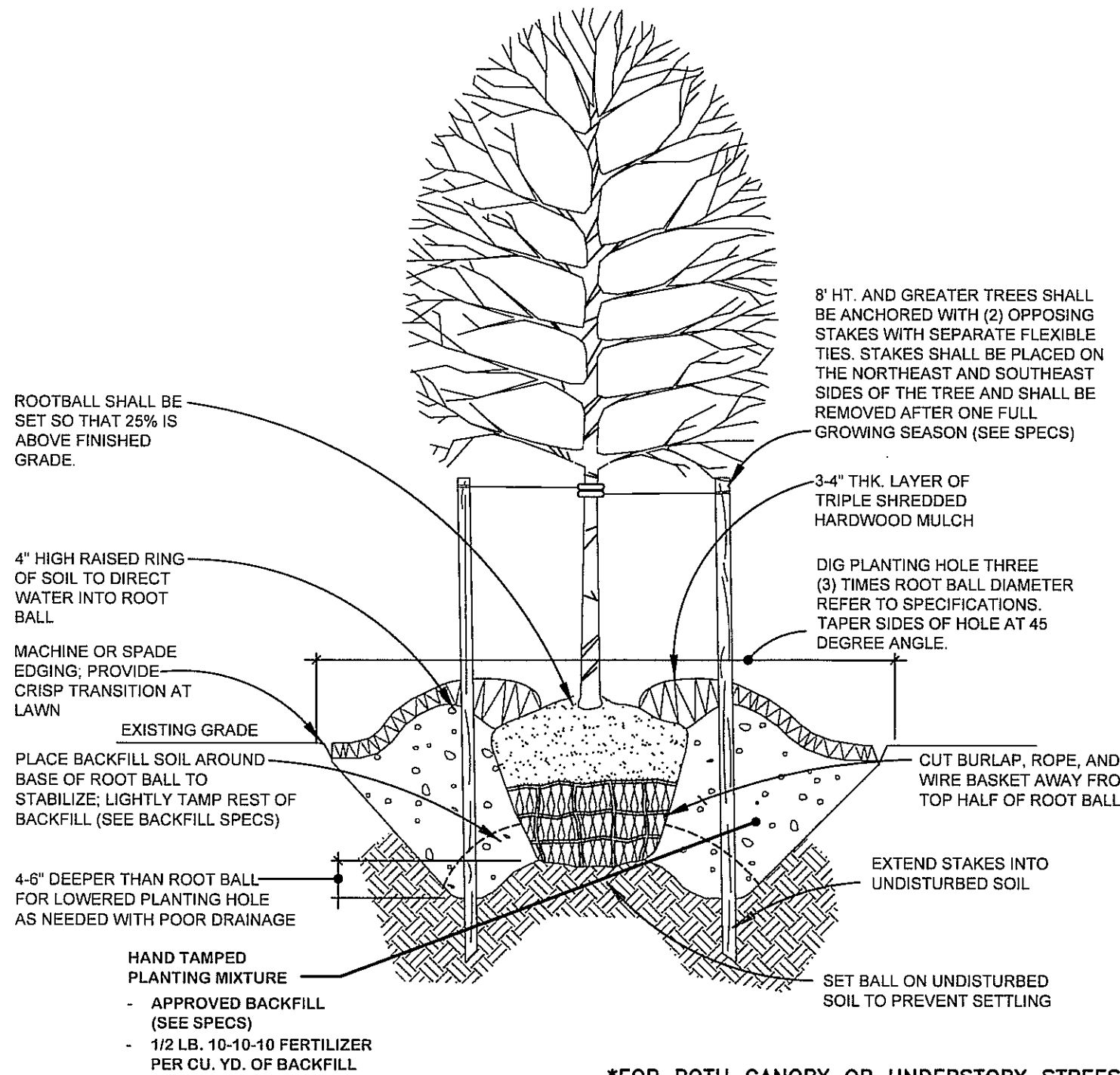
PERMITS, FEES: THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO INSTALL THE SYSTEM AND HE SHALL PAY ANY ASSOCIATED FEES. COST FOR THESE ITEMS SHALL BE INCLUDED IN THE QUOTE/CONTRACT FOR THE IRRIGATION SYSTEM.

IRRIGATION DIRECTIVES AND NOTES
SCALE: NTS

5

NOTES

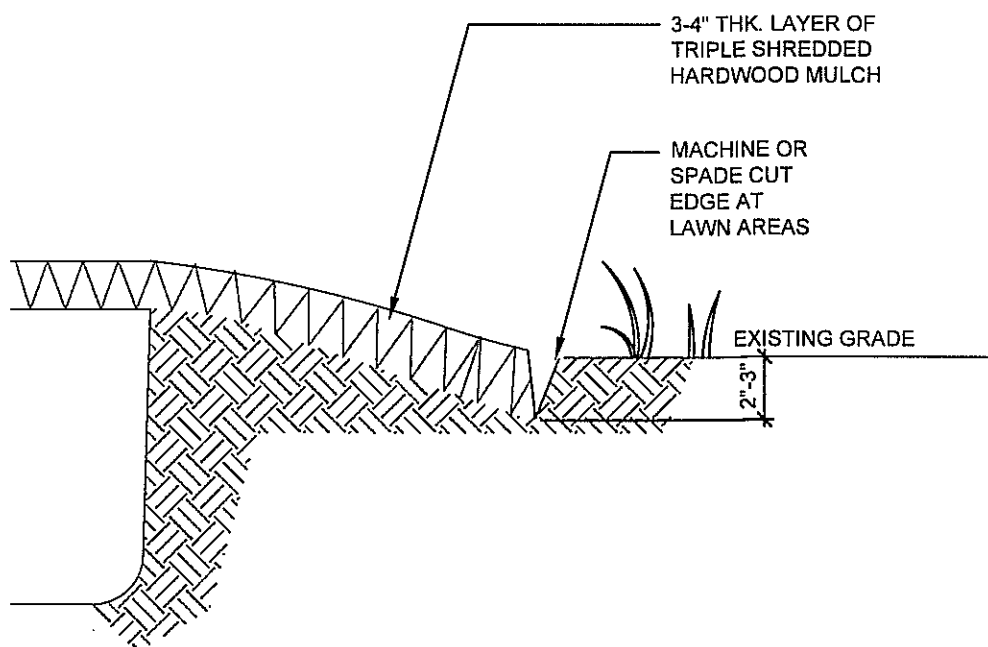
1. THE PLANTING PROCES IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
2. FOR SINGLE STEM TREES, DO NOT SUPPLY TREES WITH MULTIPLE LEADERS, ONLY PROVIDE TREES WITH A SINGLE LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS AND TO INSURE COMPLIANCE WITH SIGHT DISTANCE STANDARDS.
3. MARK THE NORTH SIDE OF THE TREE AT THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
4. WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 6" TO 8" OVER THE ENTIRE BED AREA.
5. FOR CONTAINER-GROWN TREES, SET THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
6. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
7. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAKING DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.



*FOR BOTH CANOPY OR UNDERSTORY STREETS

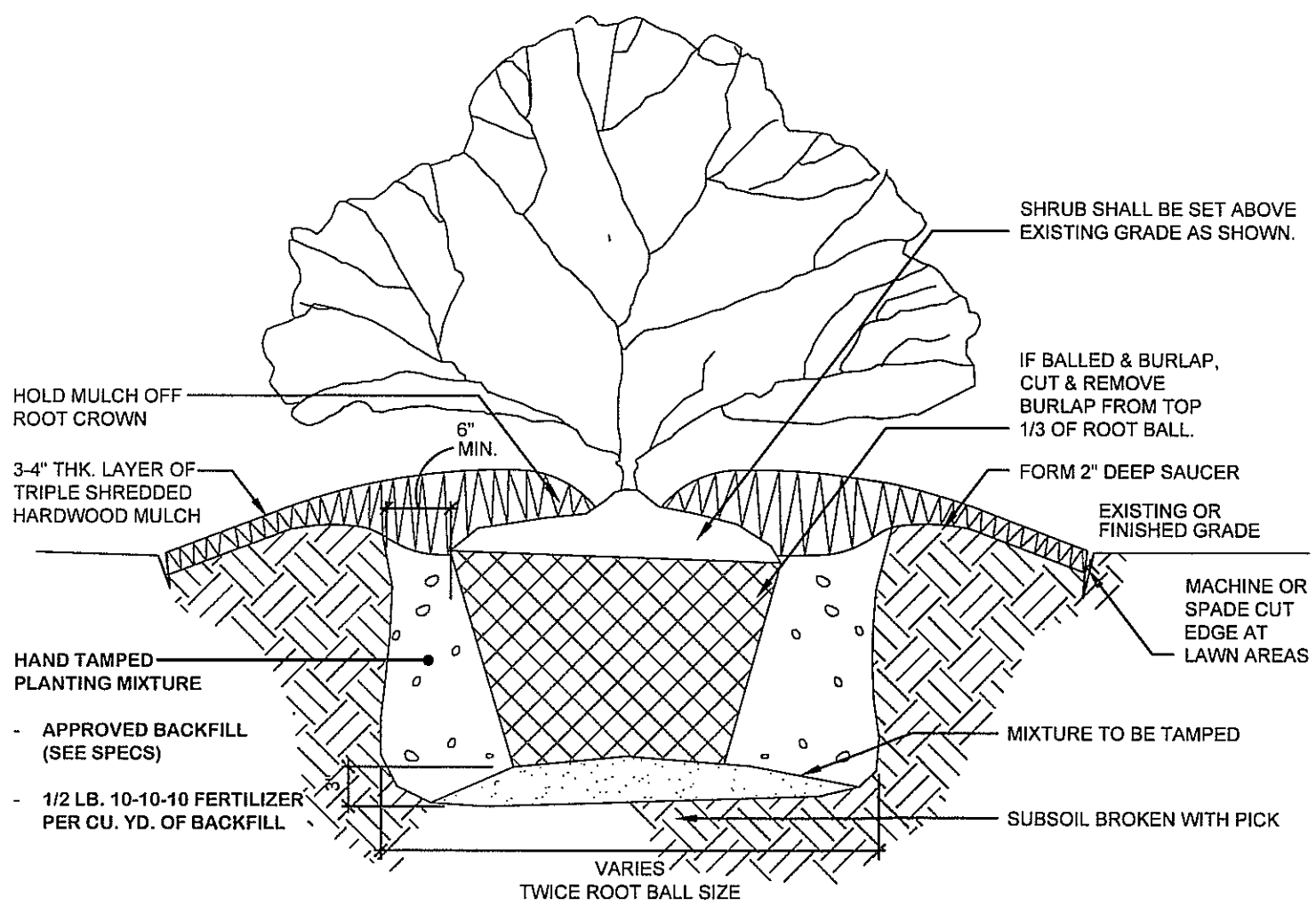
* TYPICAL TREE INSTALLATION
SCALE: NTS

4



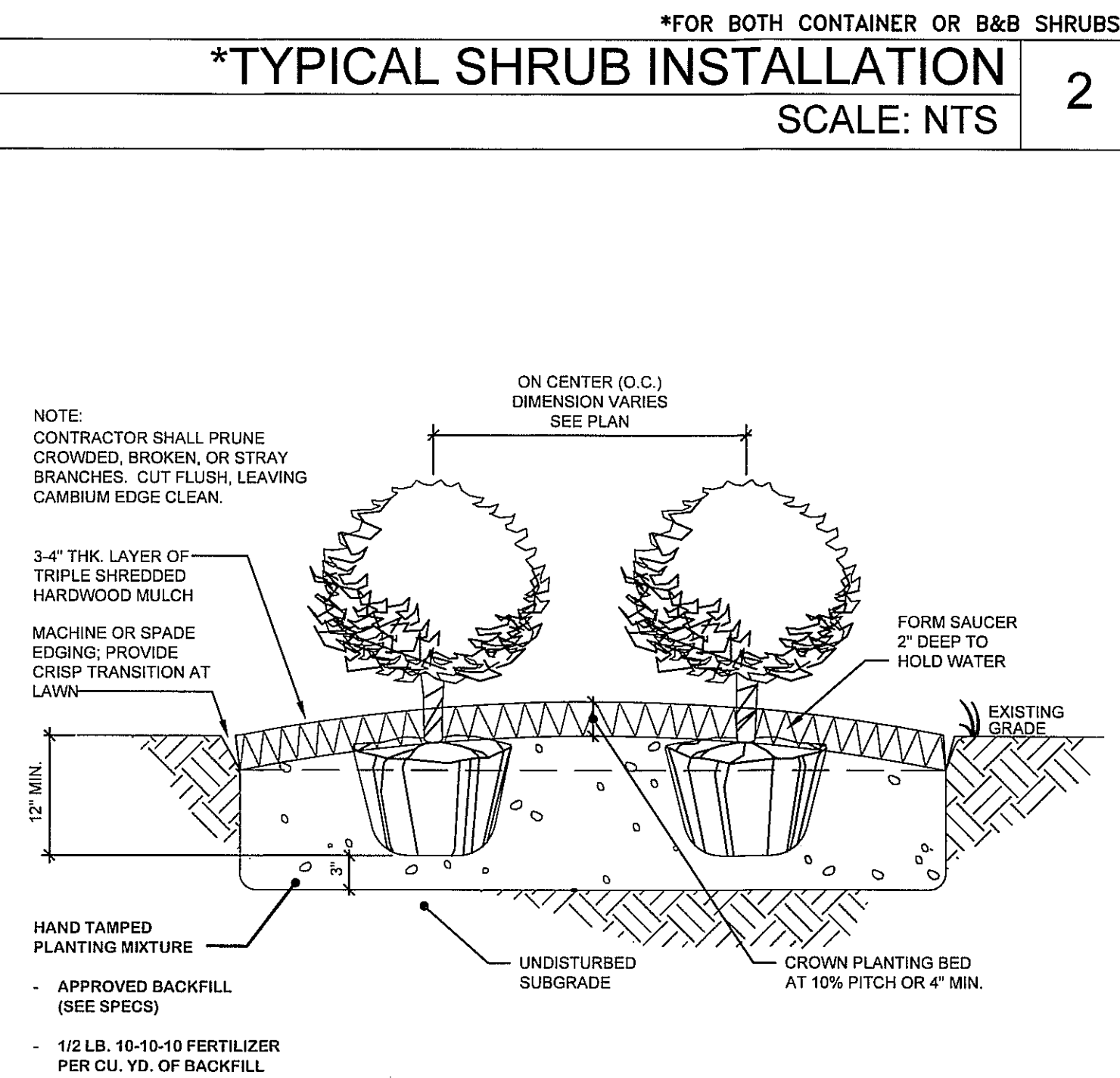
BED EDGING
SCALE: NTS

1



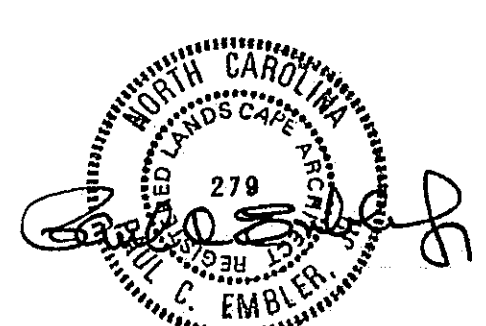
*FOR BOTH CONTAINER OR B&B SHRUBS
*TYPICAL SHRUB INSTALLATION
SCALE: NTS

2



MASSING PLANT INSTALLATION
SCALE: NTS

3



NOT RELEASED FOR
CONSTRUCTION

11 KENTWOOD DRIVE
SMITHFIELD, NC 27577
pembie@tterraeden.com
919-219-3410
LAF-279

TERRAE DEN
LANDSCAPE & DESIGN, LLC
LANDSCAPE ARCHITECTS - PLANNERS



SPRING BRANCH
COMMONS PHASE 2
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

LANDSCAPE DETAILS

DESIGN PCE
DRAWN ADS
CHECKED PCE
HORIZONTAL SCALE
SEE GRADING SCALE
VERTICAL SCALE
DATE 9/03/2021
JOB NO. N/A
SHEET

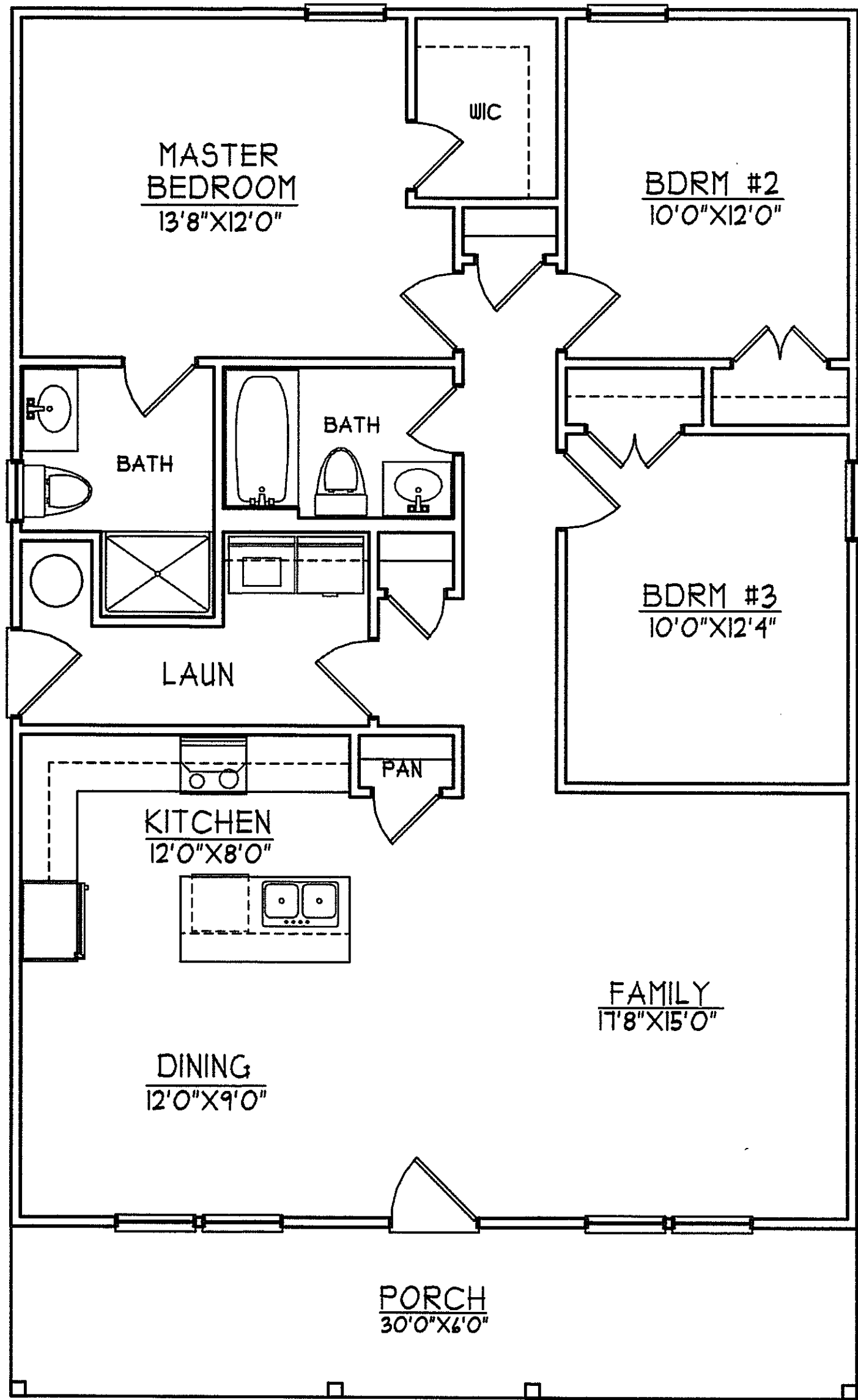
L1.02

HOUSE PLAN
NOT TO SCALE

THE JESSE
#1290



ELEVATION "A"



SQUARE FOOTAGE

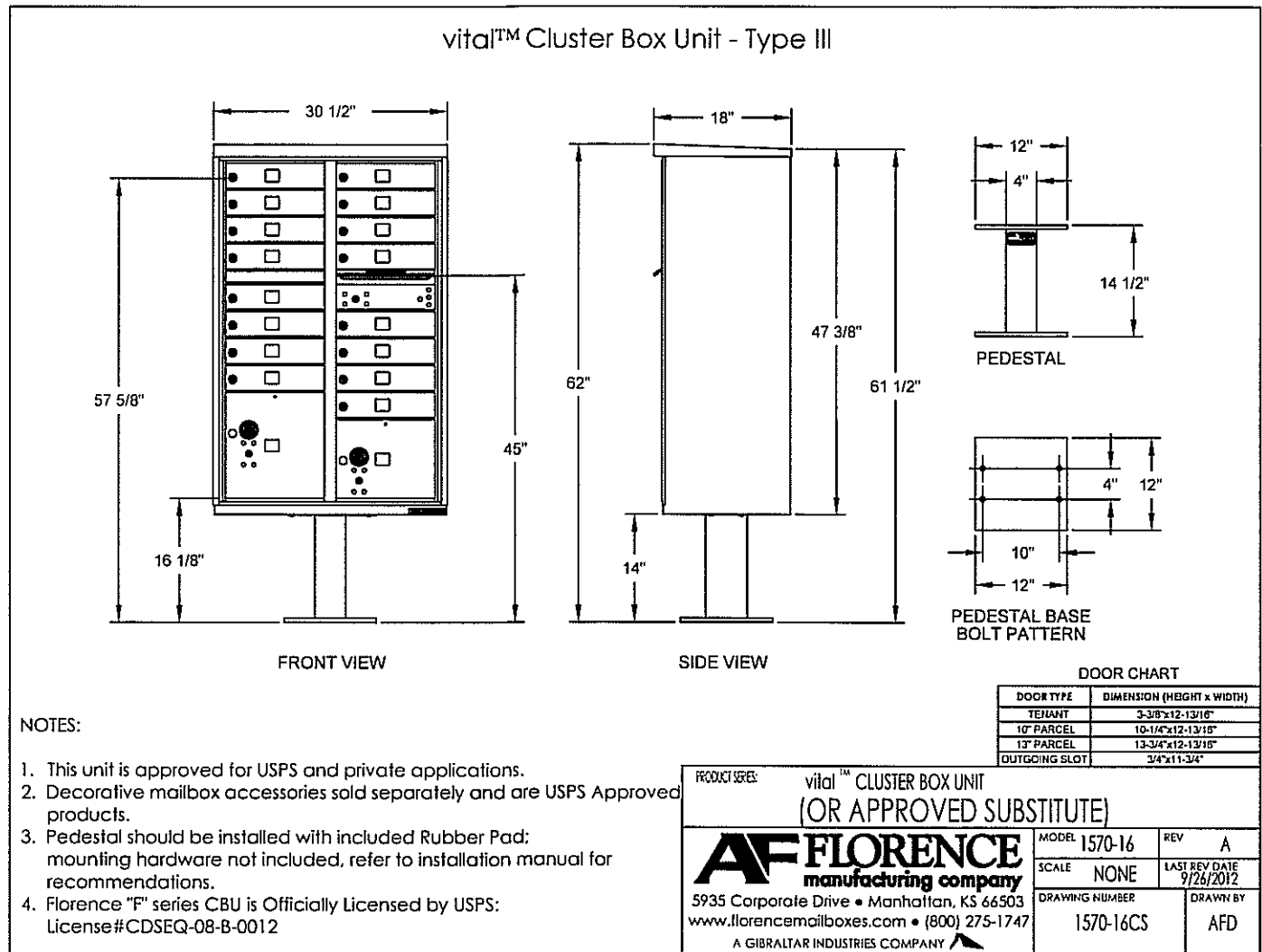
FIRST FLOOR = 1290

WIDTH = 30'-0"

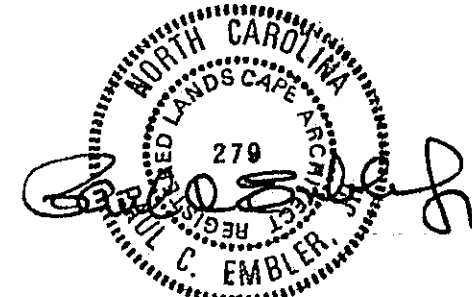
DEPTH = 49'-0"



ELEVATION "B"



CLUSTER MAILBOX UNIT
NOT TO SCALE



NOT RELEASED FOR
CONSTRUCTION

SEEDBED PREPARATION

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO 6 INCH DEPTH.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
6. SEED (150 LBS/ACRE) ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND IS OVER 60% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

SOIL PREPARATION

- * AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS IN CLAY SOIL)
- * FERTILIZER - 1,000 LBS/ACRE - 10/10/10
- * SUPERPHOSPHATE - 500 LBS/ACRE - 20% ANALYSIS
- * MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW
- * ANCHOR - ASPHALT EMULSION @ 400 GALS/ACRE

SEEDING SPECIFICATIONS

1. TEMPORARY SEEDING
* SEE TABLES BELOW
2. PERMANENT SEEDING
* TALL FESCUE - 100 LBS/ACRE
* SERICEA LESPEDEZA - 15 LBS/ACRE

Table 6.10a
Temporary Seeding
Recommendations for Late
Winter and Early Spring

Seeding mixture	Rate (lb/acre)
Species	120
Rye (grain)	
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding dates

Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Soil amendments

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. APPLY ASPHALT TACK AT A RATE OF 400 GALLONS PER ACRE.

Maintenance

Referitize if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.

Table 6.10b
Temporary Seeding
Recommendations for
Summer

Seeding mixture	Rate (lb/acre)
Species	40
German millet	

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

Seeding dates

Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Soil amendments

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. APPLY ASPHALT TACK AT A RATE OF 400 GALLONS PER ACRE.

Maintenance

Referitize if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.

Table 6.10c
Temporary Seeding
Recommendations for Fall

Seeding mixture	Rate (lb/acre)
Species	120
Rye (grain)	

Seeding dates

Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 30

Soil amendments

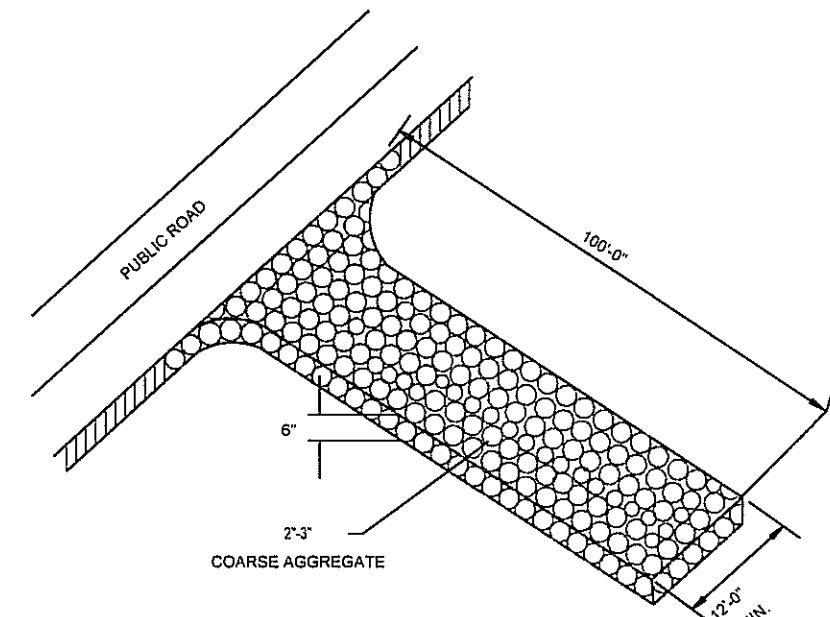
Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

Mulch

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. APPLY ASPHALT TACK AT A RATE OF 400 GALLONS PER ACRE.

Maintenance

Repair and referitize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extent temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

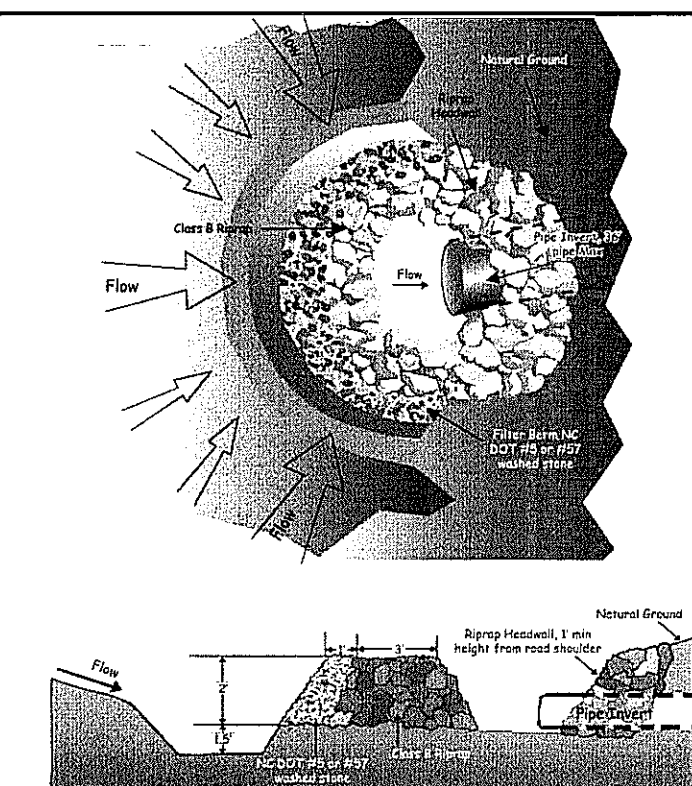


MAINTENANCE

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2 INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT

NOT TO SCALE

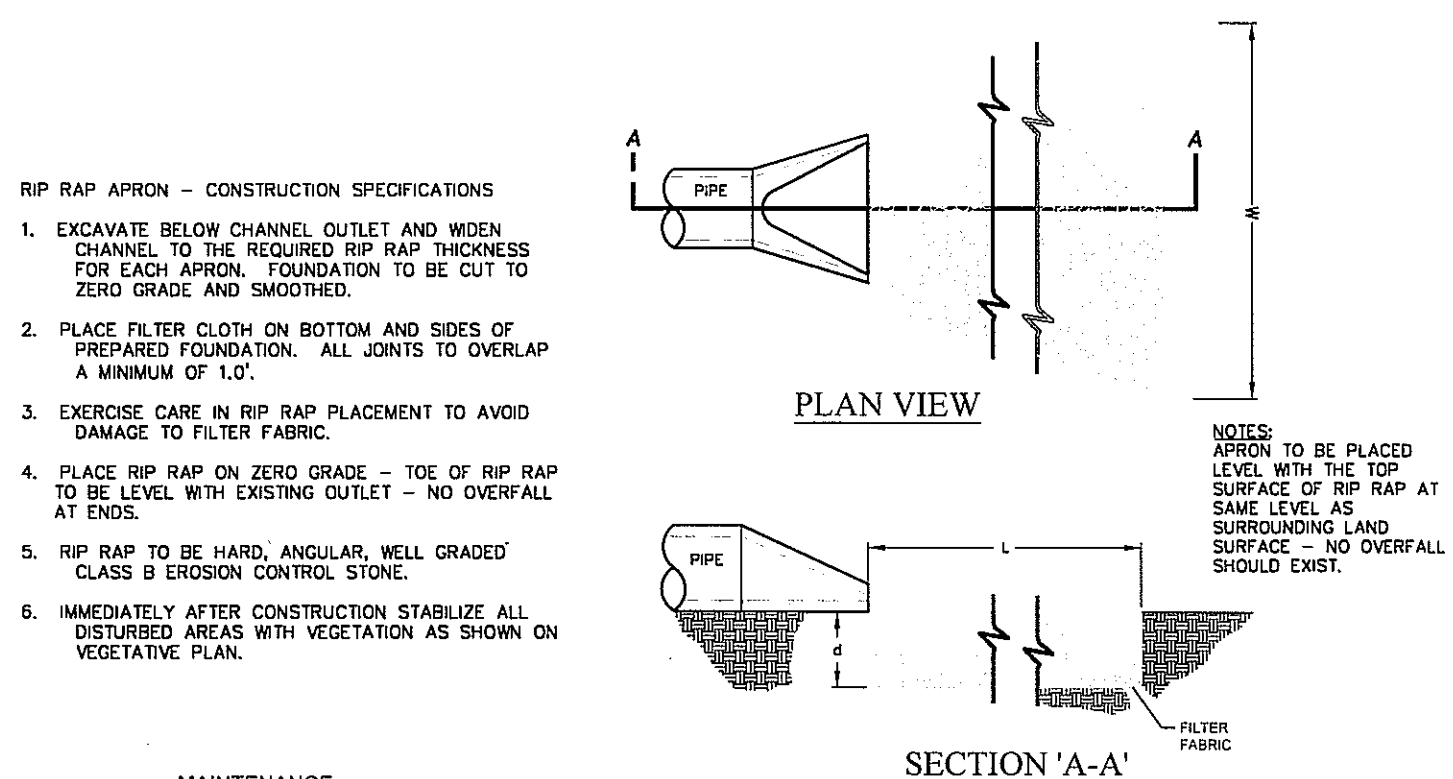


MAINTENANCE

INSPECT WIRE AND WASHED STONE INLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME (APPROX 50% OUTLET COVERAGE) FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE INLET DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ARC INLET PROTECTION

NOT TO SCALE

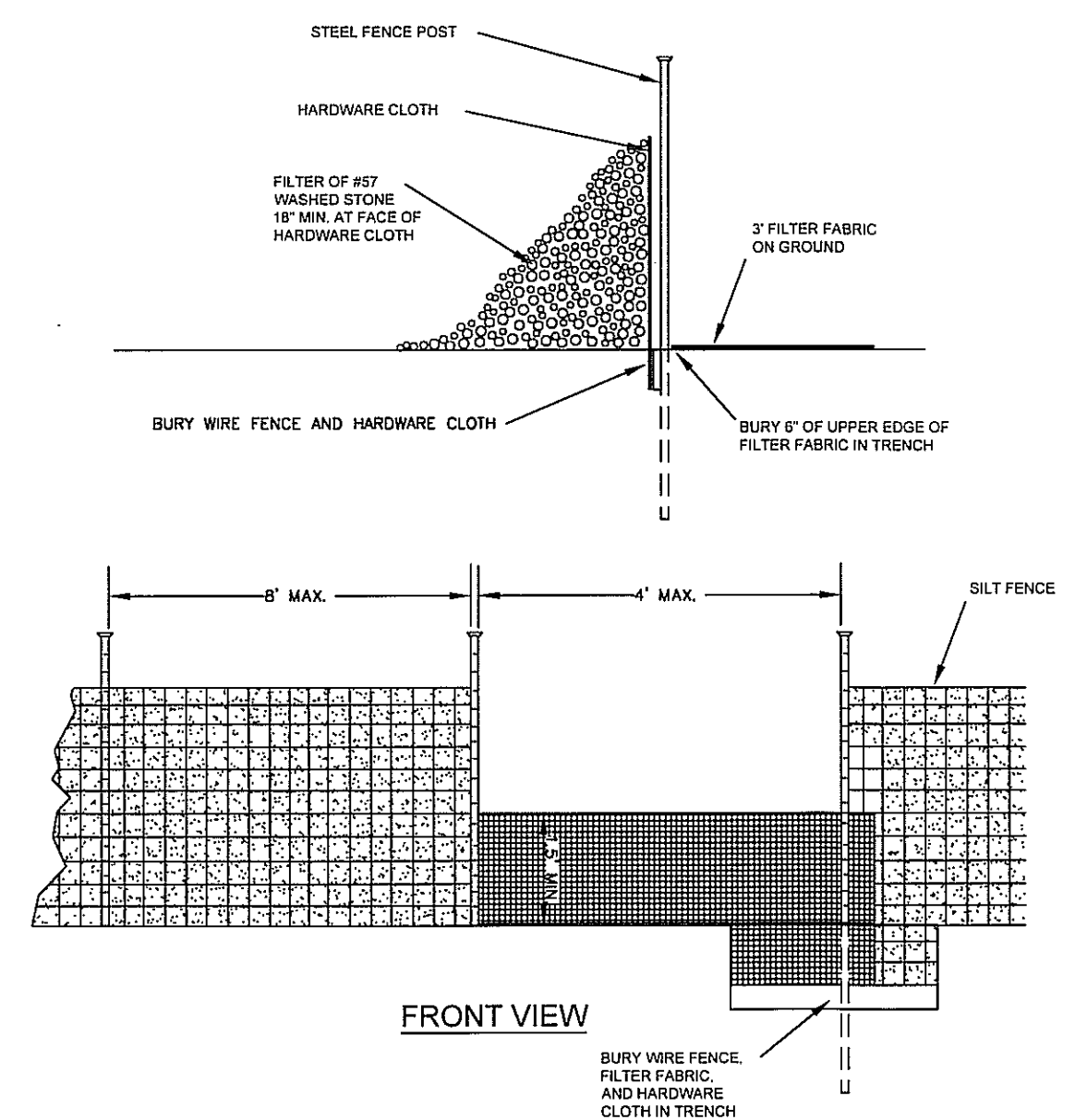


MAINTENANCE

INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

STONE OUTLET PROTECTION

NOT TO SCALE

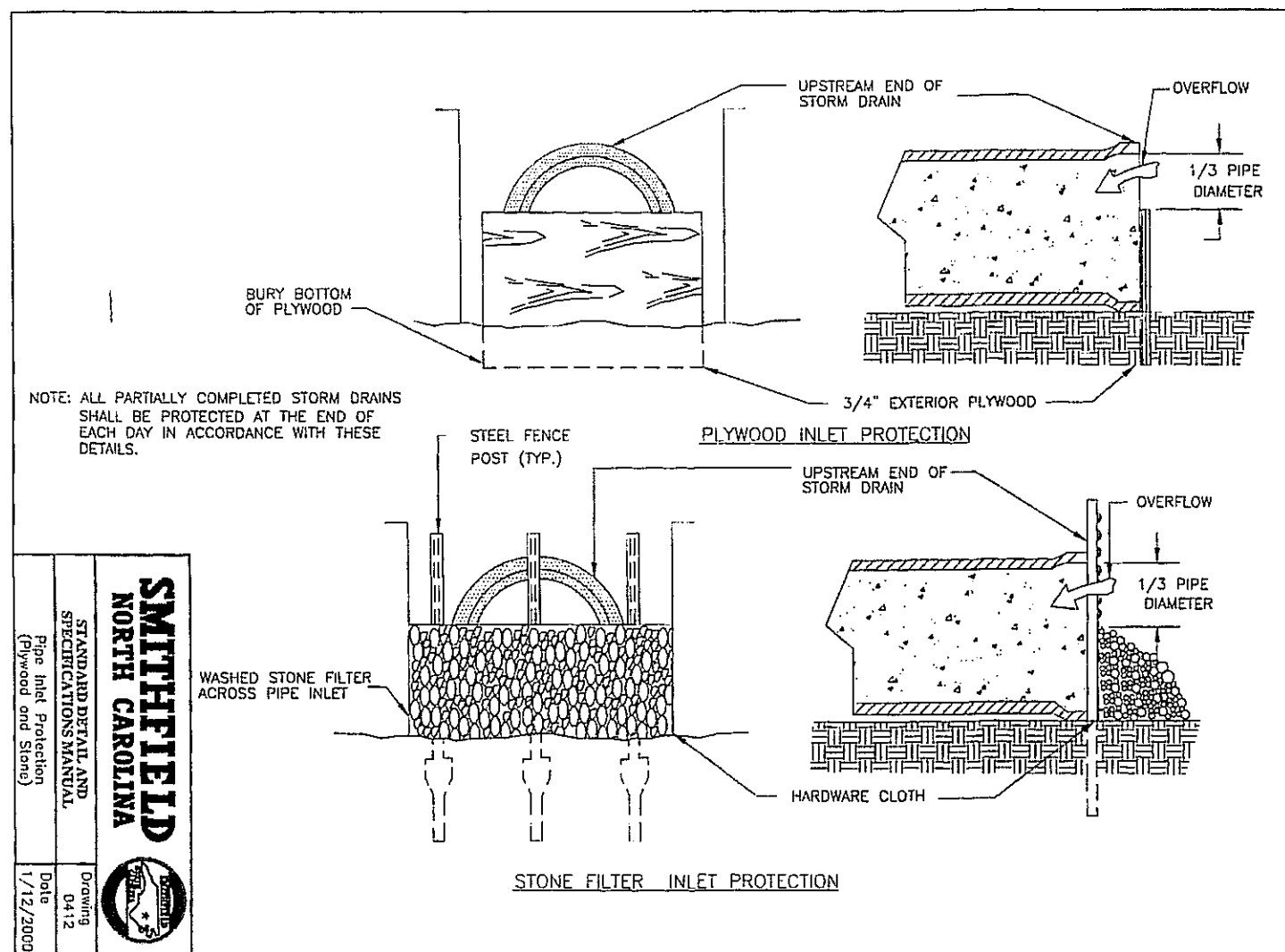


MAINTENANCE

INSPECT WIRE AND WASHED STONE OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME (APPROX 50% OUTLET COVERAGE) FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE OUTLET DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

WIRE AND WASHED STONE SILT FENCE OUTLET

NOT TO SCALE

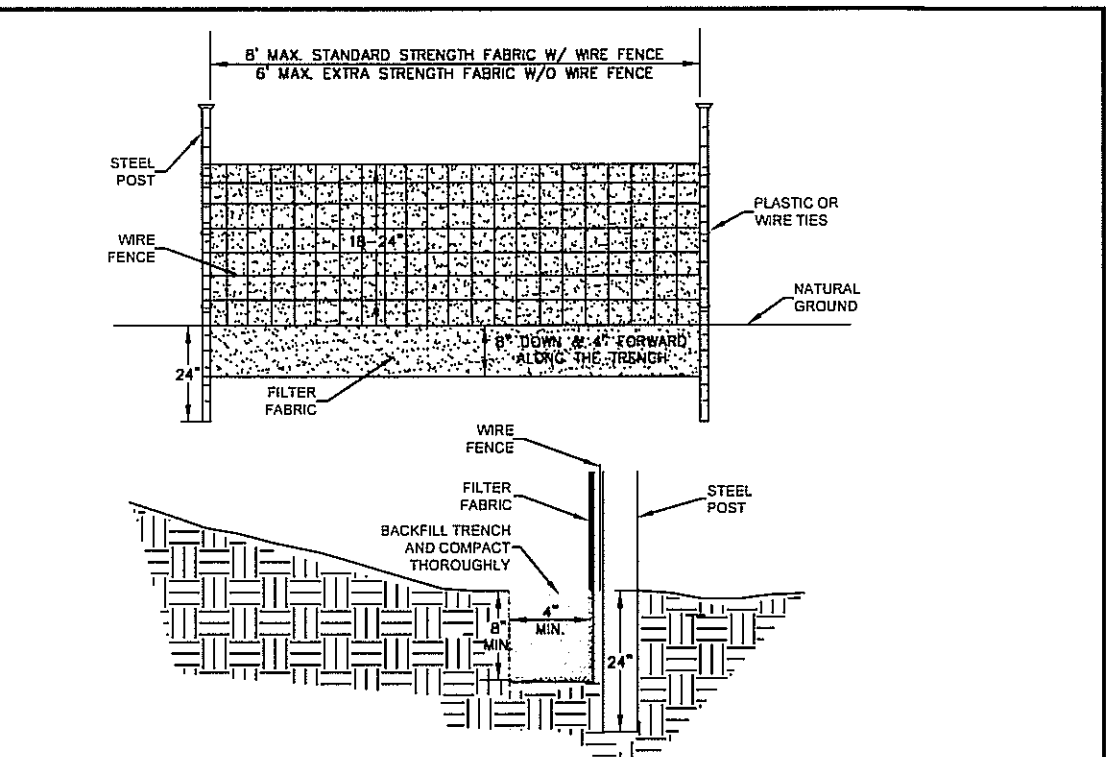


MAINTENANCE

INSPECT WIRE AND WASHED STONE INLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME (APPROX 50% OUTLET COVERAGE) FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE INLET DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

WIRE AND WASHED STONE INLET PROTECTION

NOT TO SCALE

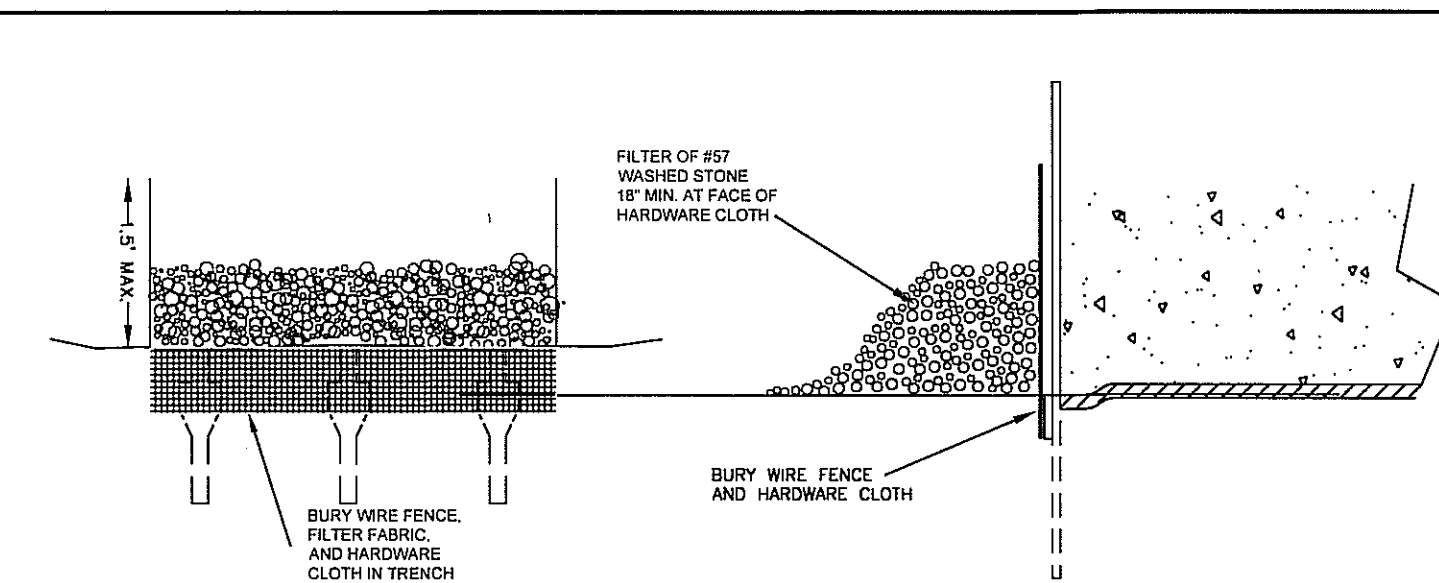


MAINTENANCE

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

STANDARD TEMPORARY SILT FENCE

NOT TO SCALE

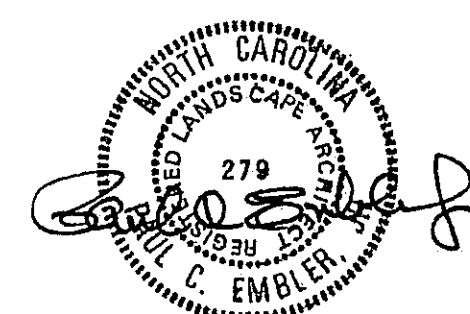


MAINTENANCE

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WIRE AND WASHED STONE INLET PROTECTION

NOT TO SCALE



NOT RELEASED FOR
CONSTRUCTION

11 KENTWOOD DRIVE
SMITHFIELD, NC 27577
pembler@embarqmail.com
919-219-3410
LA# - 279

TERRAEEDEN
LANDSCAPE & DESIGN, LLC

LANDSCAPE ARCHITECTS - PLANNERS



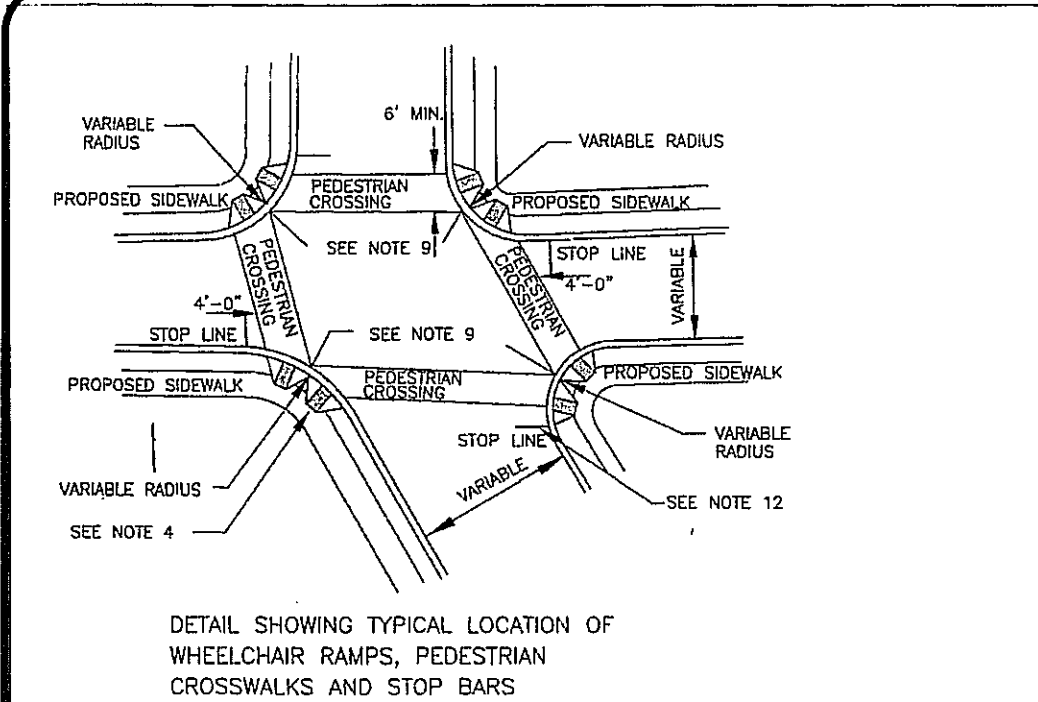
SPRING BRANCH
COMMONS PHASE 2

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

EROSION CONTROL
DETAILS 1

DESIGN PCE
DRAWN ADS
CHECKED PCE
HORIZONTAL SCALE
SEE GRAPHIC SCALE
VERTICAL SCALE
DATE 9/03/2021
JOB NO. N/A
SHEET

DT1.01



SMITHFIELD NORTH CAROLINA

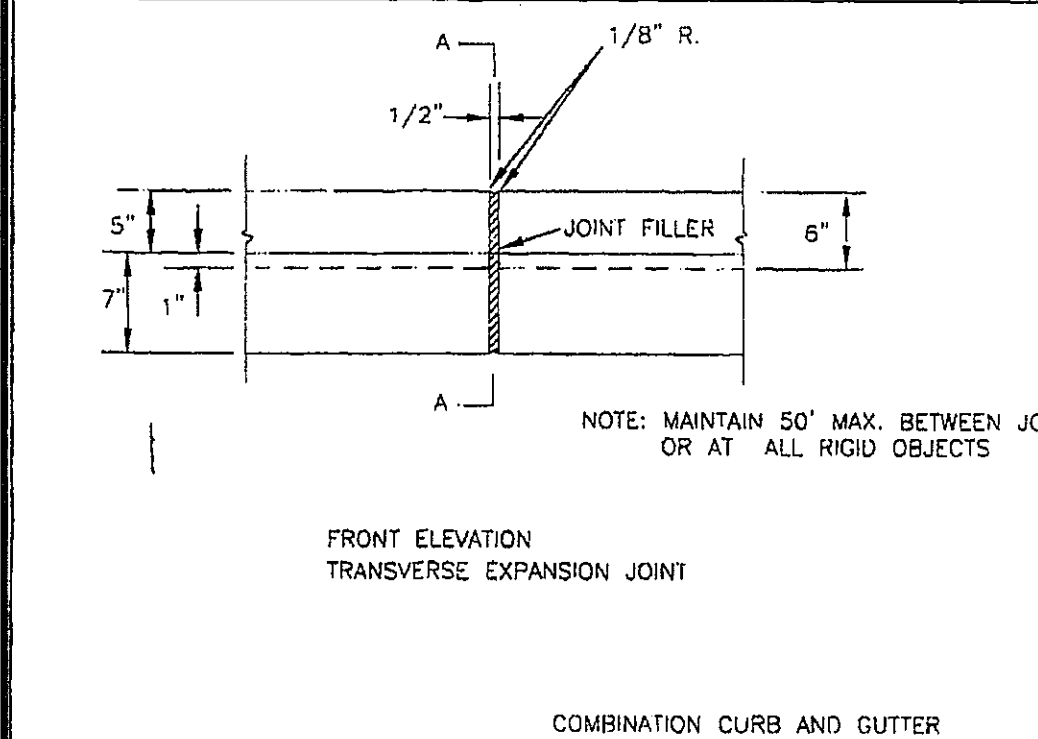
STANDARD DETAIL AND SPECIFICATIONS MANUAL

Standard Wheelchair Ramp

Drawing 0317B

Date 1/12/2000

- NOTES:
1. THE WALKING SURFACE SHALL BE SLIP RESISTANT. DETECTABLE WARNING DOMES SHALL COVER THE FULL WIDTH AND DEPTH OF THE RAMP FLOOR. THE DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9". A HEIGHT OF 0.3" AND CENTER-TO-CENTER SPACING OF NOMINAL 2.35". THE RAMP MAY BE YELLOW OR ANY COLOR WITH A 70% CONTRAST RATIO.
 2. CROSSWALK WIDTHS AND CONFIGURATION VARY; MUST CONFORM TO TRAFFIC DESIGN STANDARDS.
 3. NORTH CAROLINA GENERAL STATUTE 136-44.44 REQUIRES THAT ALL STREET CURBS BEING CONSTRUCTED OR RECONSTRUCTED FOR MAINTENANCE PROCEDURES, TRAFFIC OPERATIONS, REPAIRS, CORRECTION OF UTILITIES OR ALTERED FOR ANY REASON AFTER SEPTEMBER 1, 1973 SHALL PROVIDE WHEEL CHAIR RAMP FOR THE PHYSICALLY HANDICAPPED AT ALL INTERSECTIONS WHERE BOTH CURB AND GUTTER AND SIDEWALKS ARE PROVIDED AND AT OTHER POINTS OF PEDESTRIAN FLOW. IN ADDITION SECTION 22B OF THE 1973 FEDERAL AND HIGHWAY SAFETY ACT REQUIRES PROVISION OF CURBS AND RAMP ON ANY CURB CONSTRUCTION AFTER JULY 1, 1976 WHETHER A SIDEWALK IS PROVIDED INITIALLY OR PLANNED FOR FUTURE DATE. THE AMERICANS WITH DISABILITY ACT (ADA) OF 1990 EXTENDS TO INDIVIDUALS WITH DISABILITIES, COMPREHENSIVE CIVIL RIGHTS PROTECTIONS SIMILAR TO THOSE PROVIDED TO PERSONS ON THE BASIS OF RACE, SEX, NATIONAL ORIGIN AND RELIGION UNDER THE CIVIL RIGHTS ACT OF 1964. THESE CURB RAMPING HAVE BEEN DESIGNED TO COMPLY WITH TITLE 111 OF THE ADA BECOMING EFFECTIVE ON JANUARY 26, 1992.
 4. WHEELCHAIR RAMP SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMP SHALL BE LOCATED AS INDICATED IN THESE DETAILS. HOWEVER THE LOCATION MAY BE ADJUSTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS ETC. AFFECT PLACEMENT. AT ALL LOCATIONS, NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN THE RAMP.
 5. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 1/4" (1:2) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 6. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4"). HOWEVER WIDTH MAY, IN NO CASE, SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4"). HOWEVER WIDTH MAY EXCEED 40".
 7. USE CLASS "B" CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SLID TYPE SURFACE. (SEE DETAIL 317A)
 8. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB.
 9. THE INSIDE PEDESTRIAN CROSSWALK LINES SHALL BE SET NO CLOSER IN THE INTERSECTION THAN WOULD BE ESTABLISHED BY SETTING THE INTERSECTION RADIUS. (SEE NOTE 14)
 10. THE CURB CUT AND THE PEDESTRIAN CROSSWALK LINES SHALL BE COORDINATED SO THAT THE BEGINNING OF THE WHEELCHAIR RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
 11. THE MINIMUM WIDTH OF THE PEDESTRIAN CROSSWALK SHALL BE 6 FEET. A CROSSWALK WIDTH OF 10' OR GREATER IS DESIRABLE.
 12. STOP LINES, NORMALLY PERPENDICULAR TO THE LANE LINES, SHALL BE SET WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL STOP SIGN OR OTHER LEGAL REQUIREMENT. AND UNUSUAL APPROACH SKEW MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTING ROADWAY.
 13. PARKING SHALL BE ELIMINATED A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK.
 14. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT OF THE MUTCD.



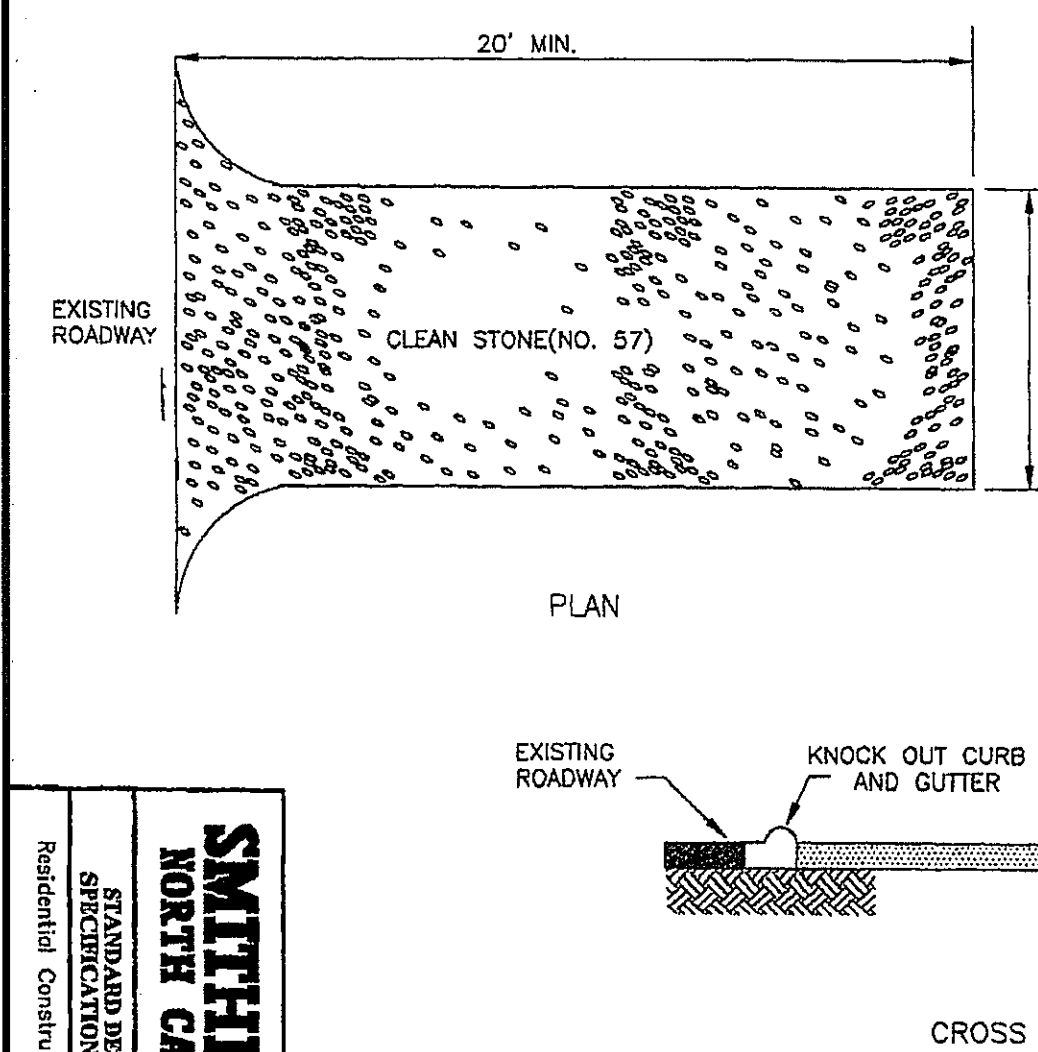
SMITHFIELD NORTH CAROLINA

STANDARD DETAIL AND SPECIFICATIONS MANUAL

Standard Wheelchair Ramp

Drawing 0317B

Date 1/12/2000



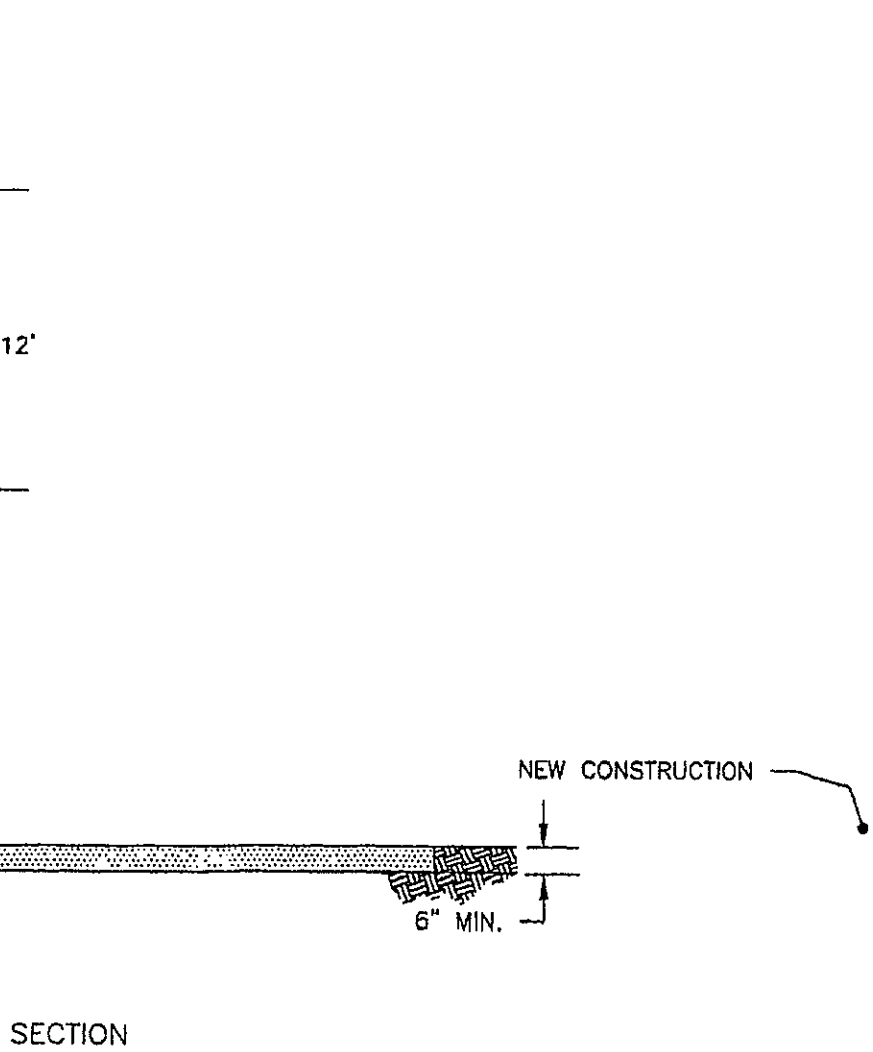
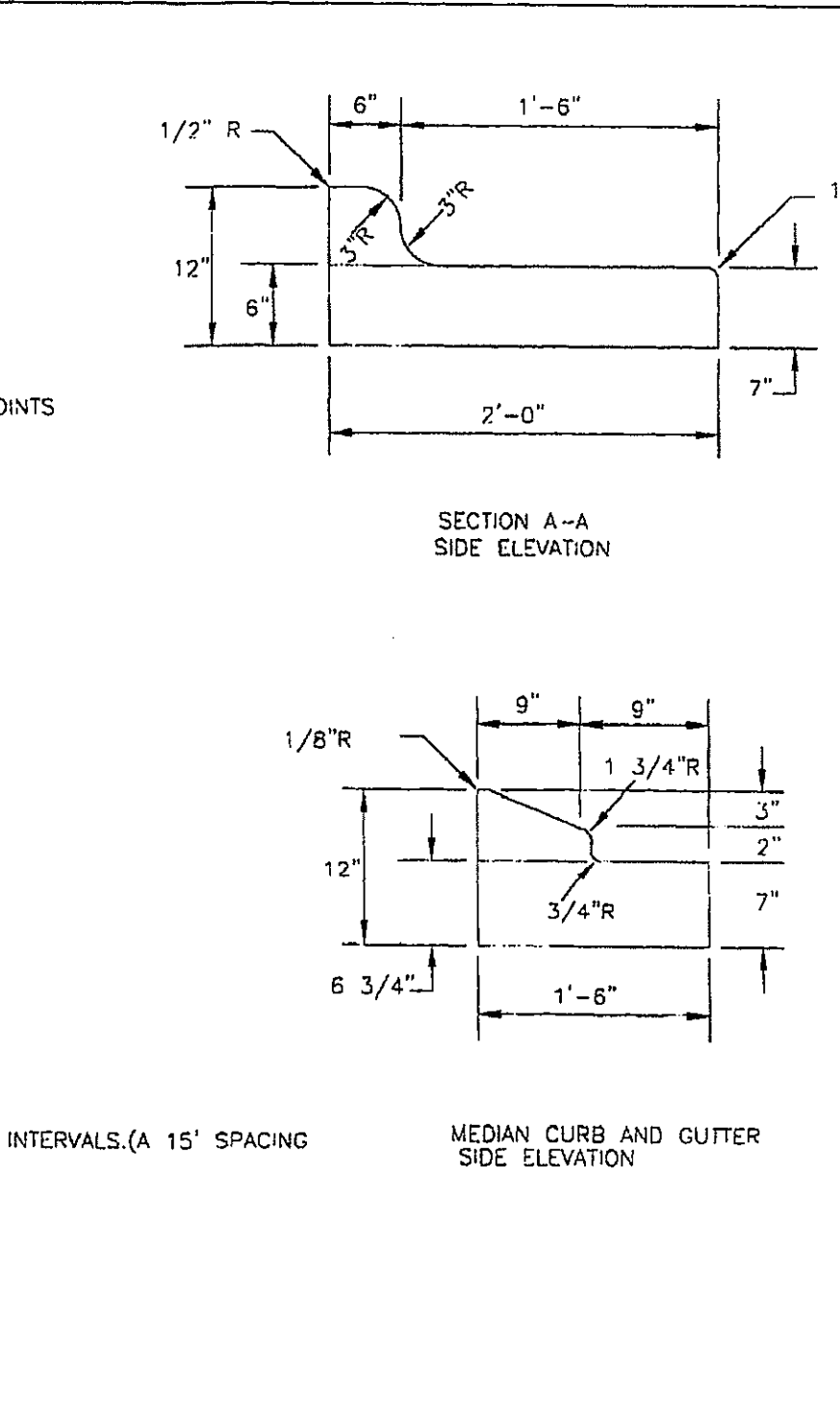
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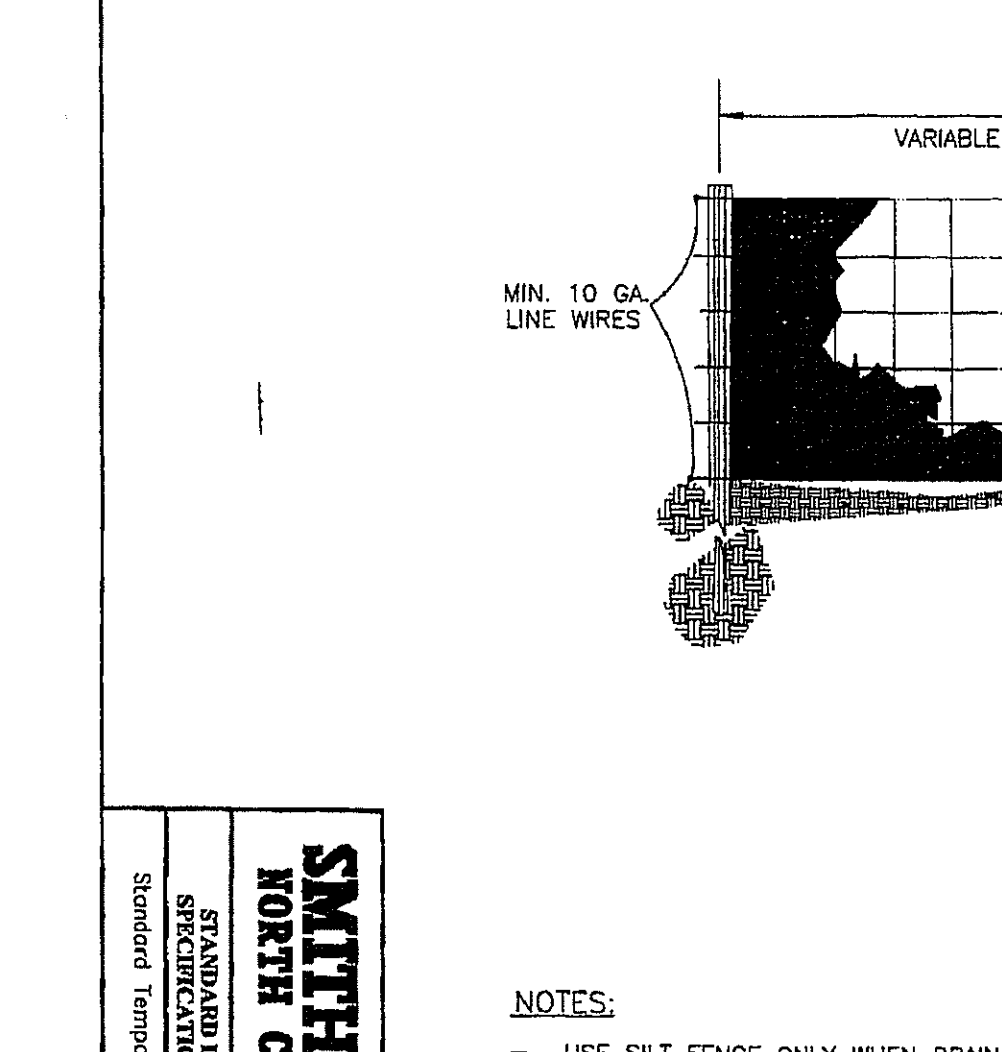
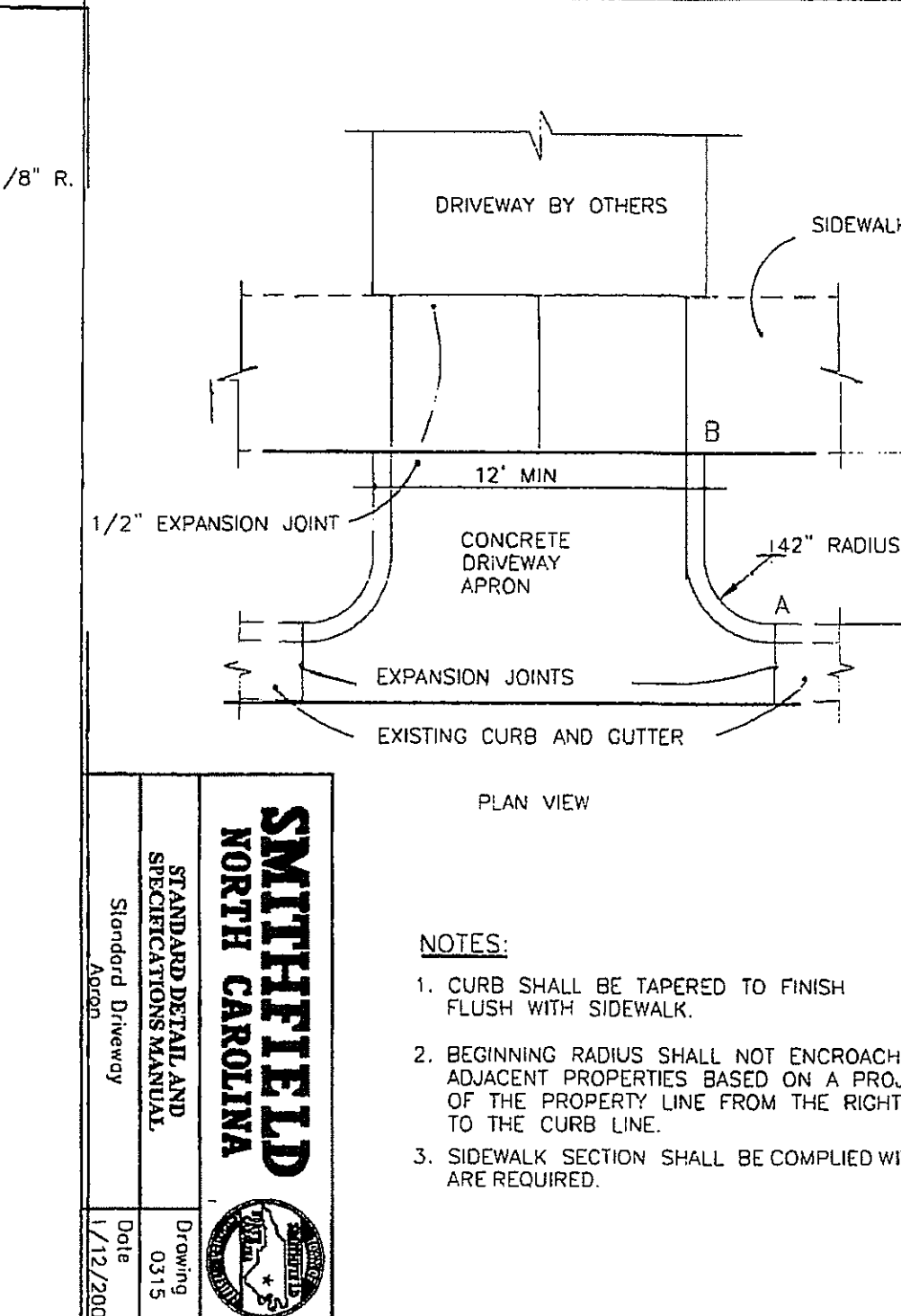
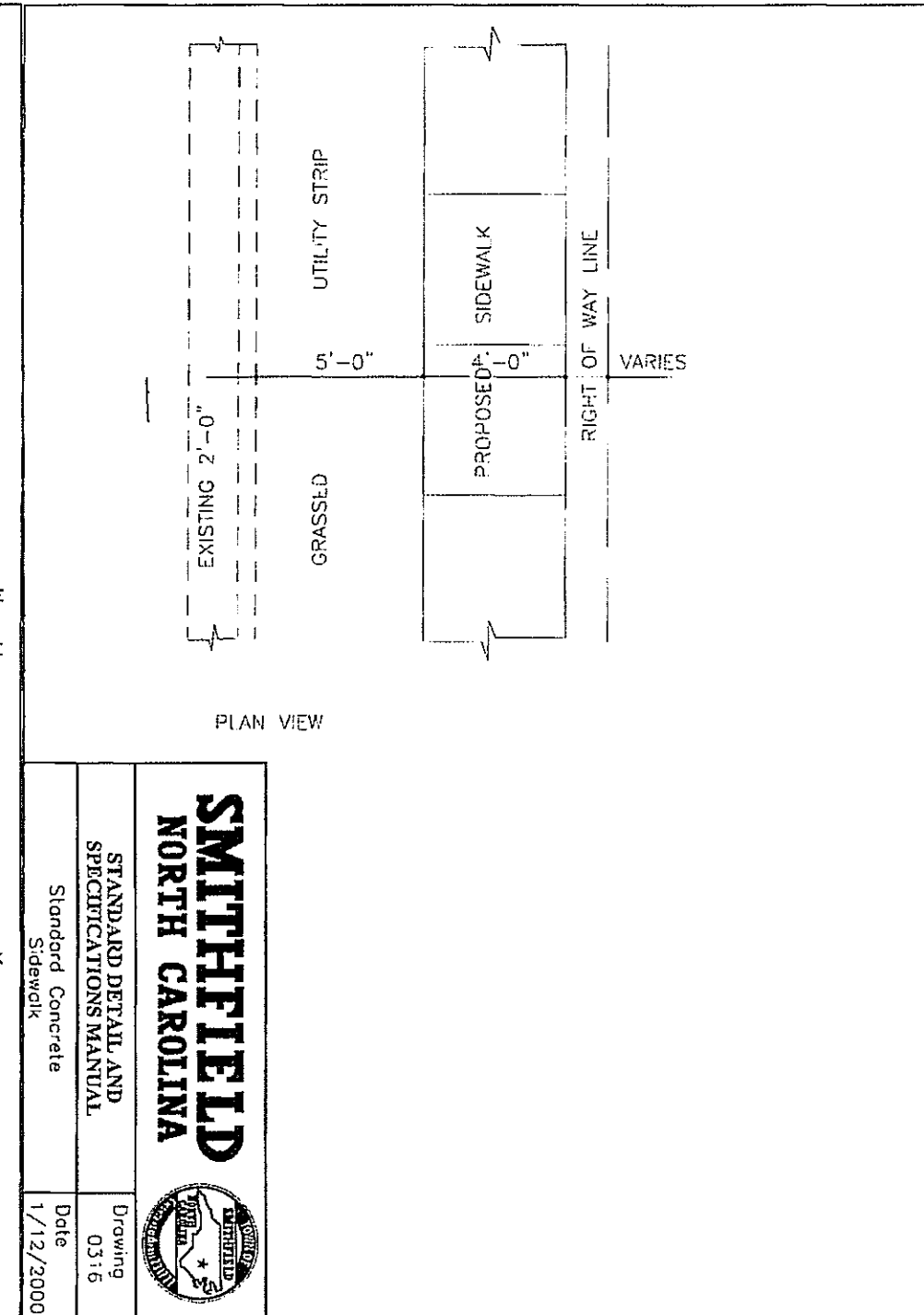
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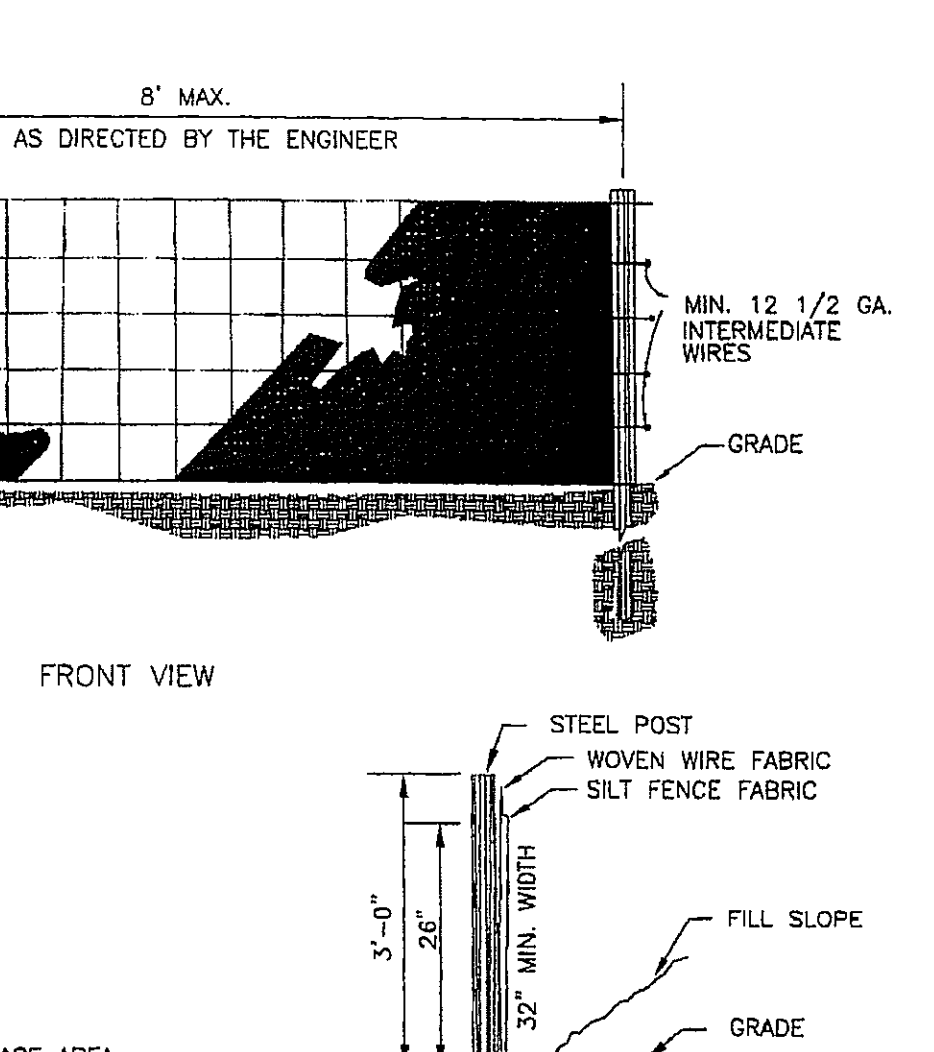
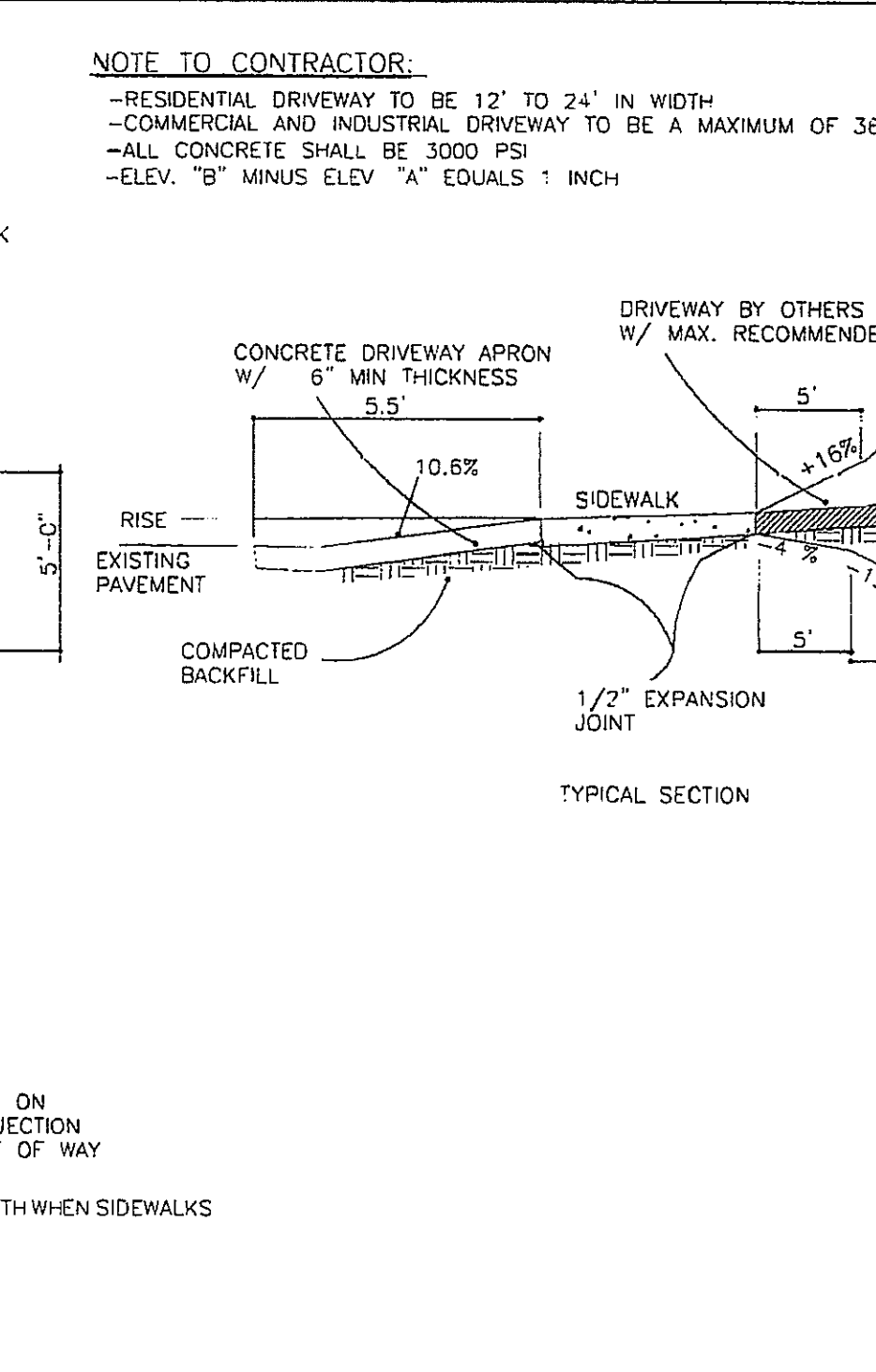
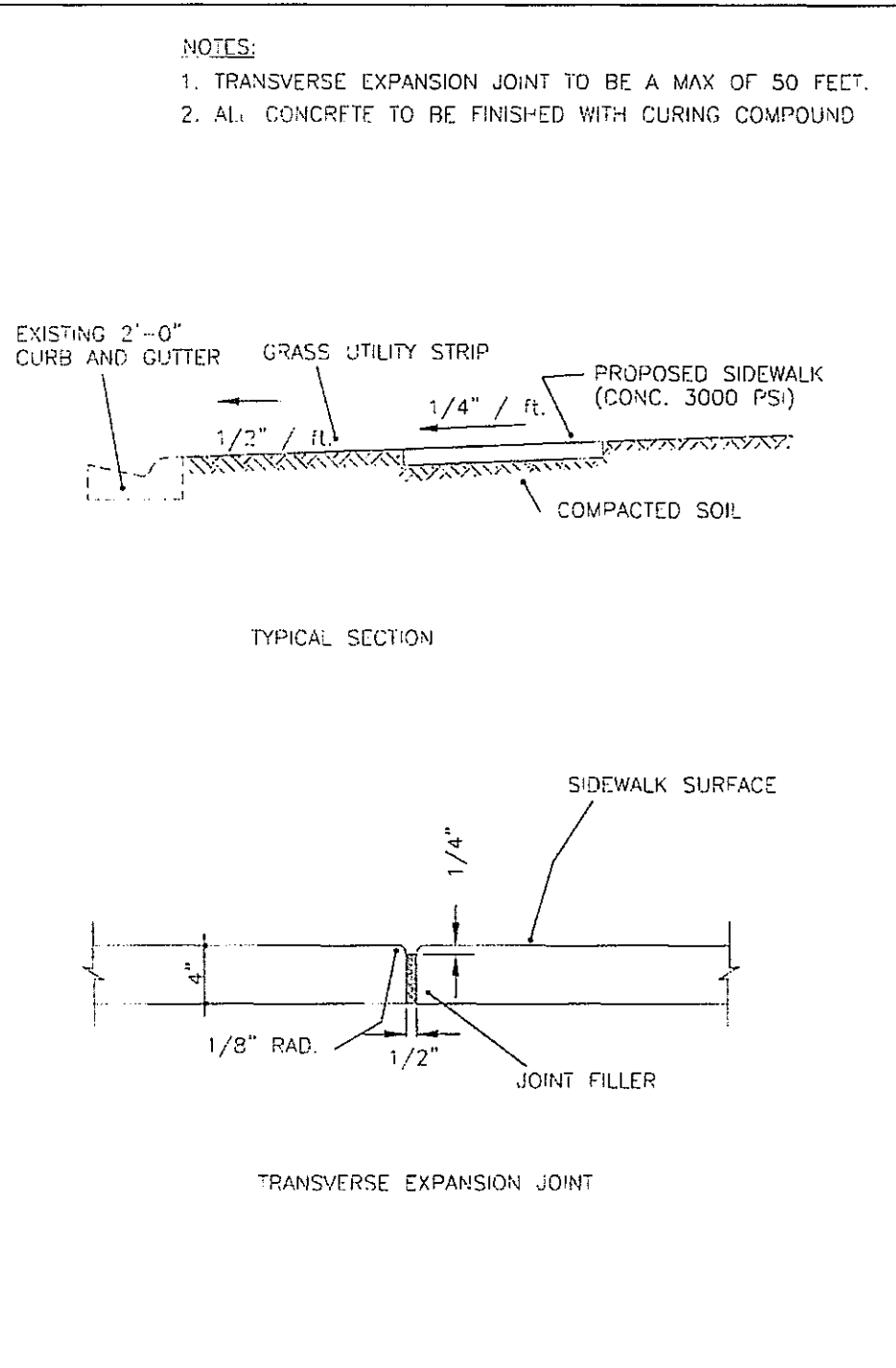
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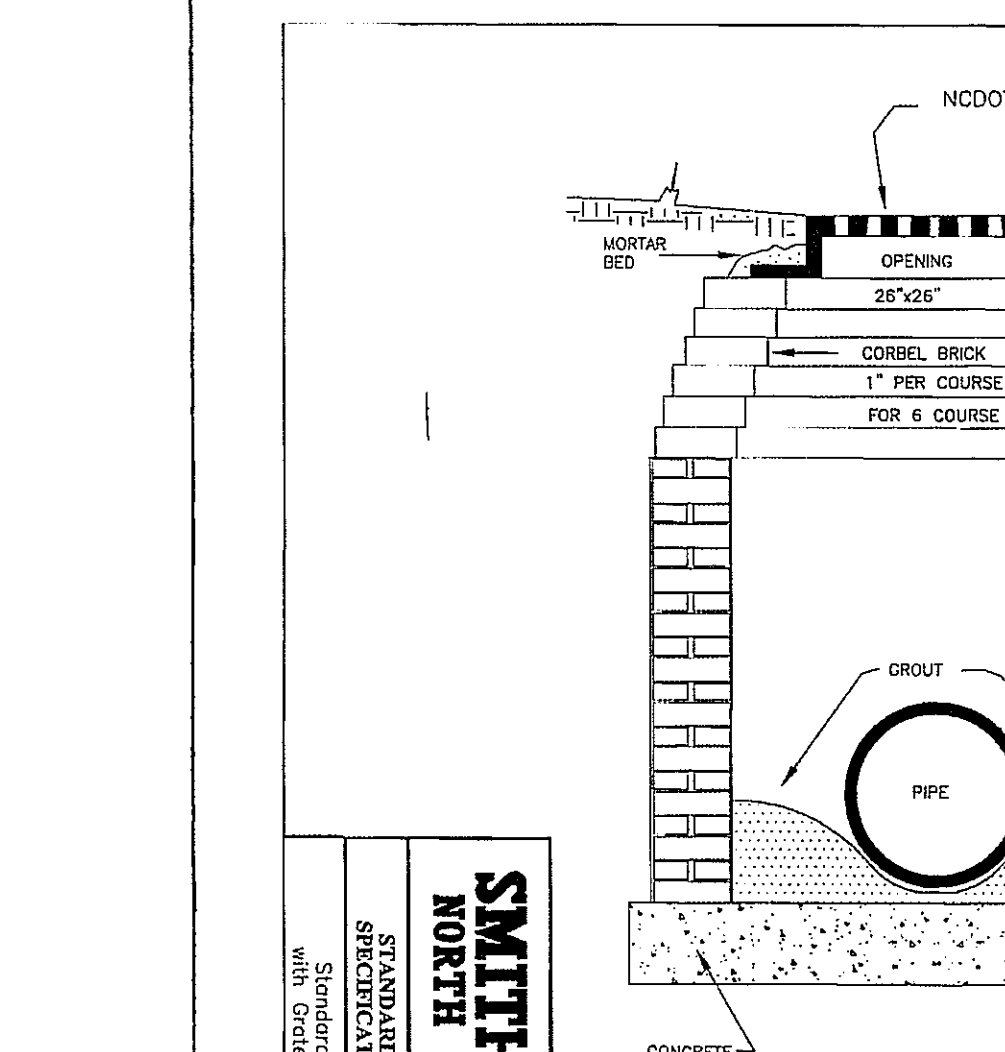
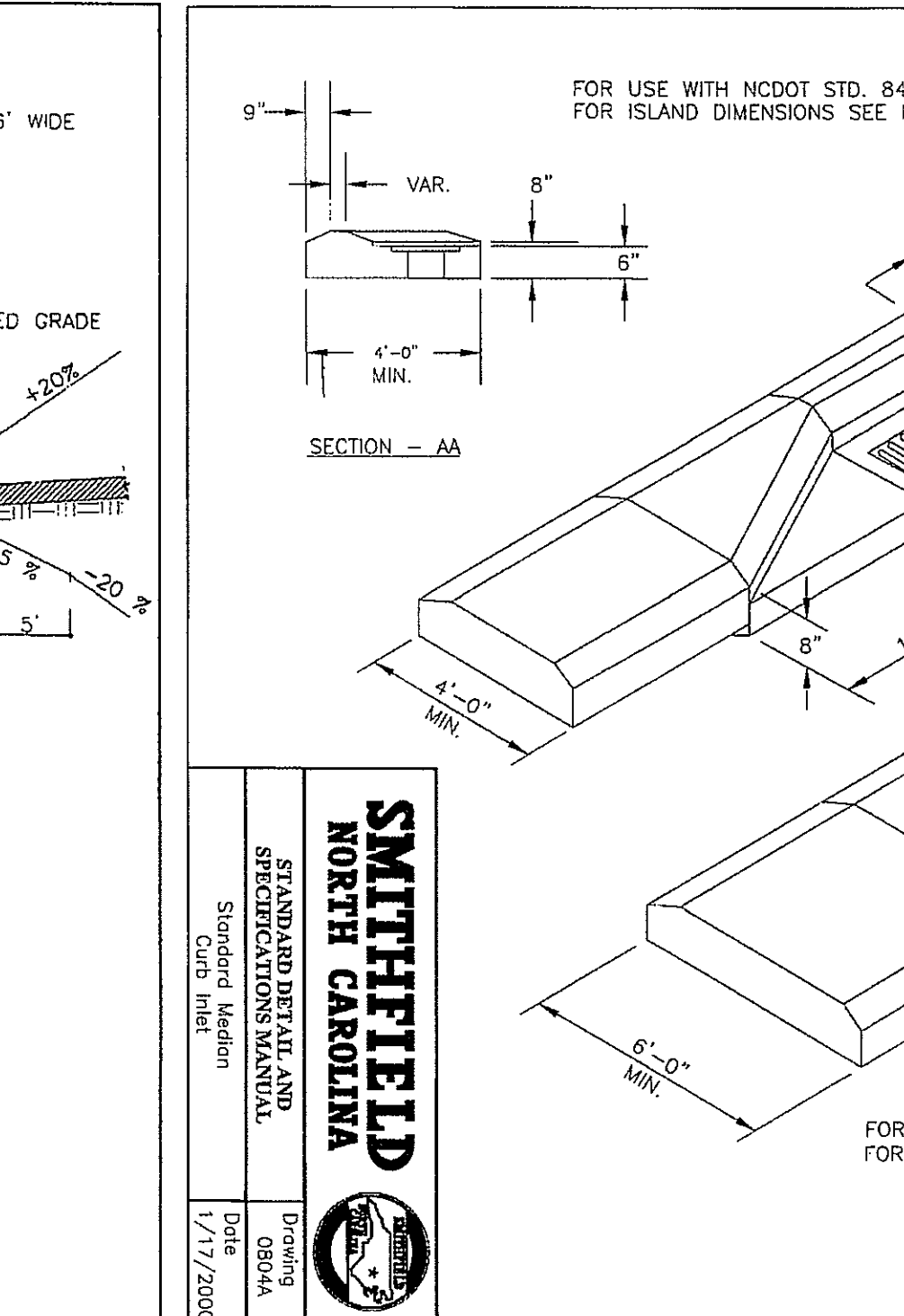
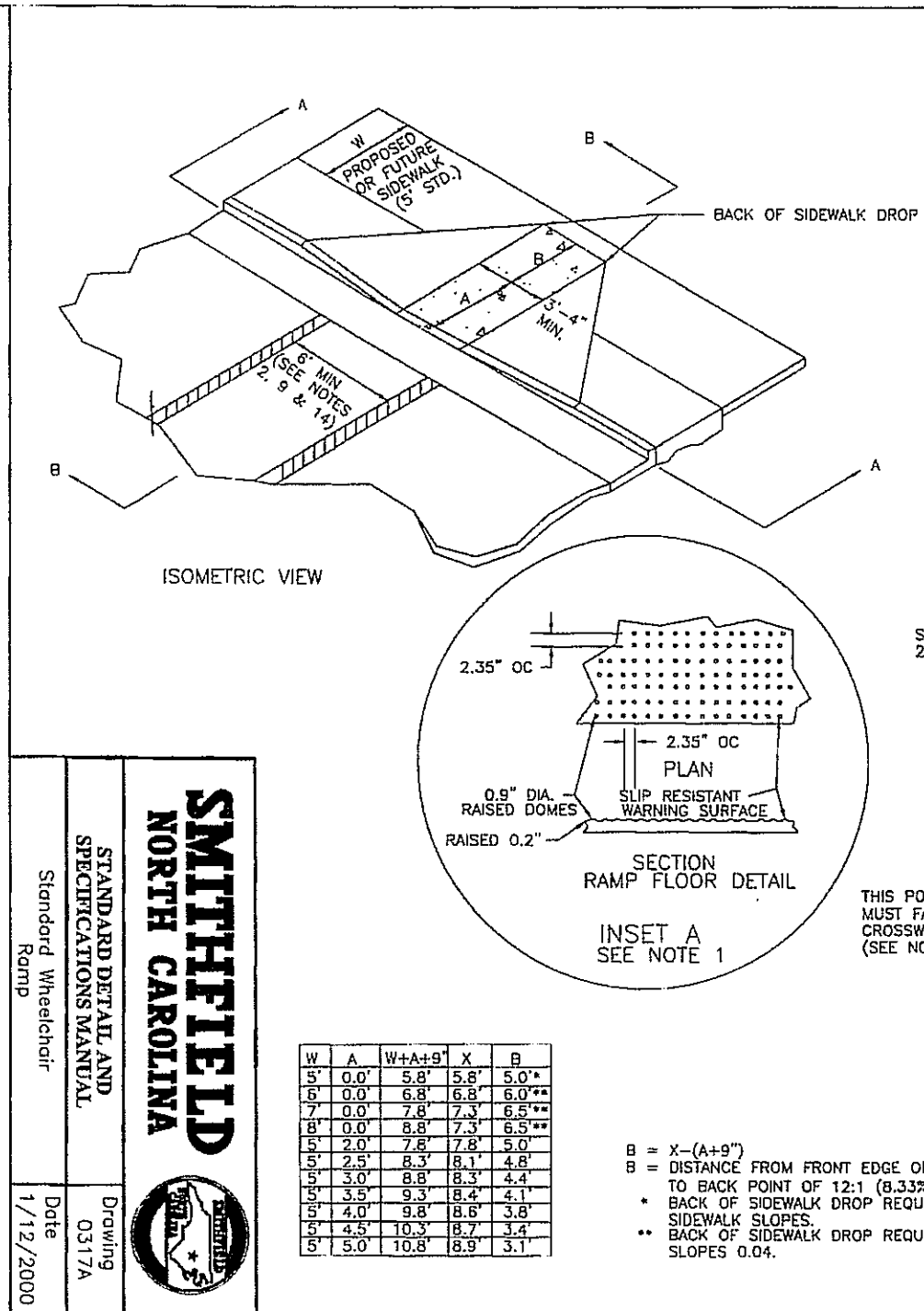
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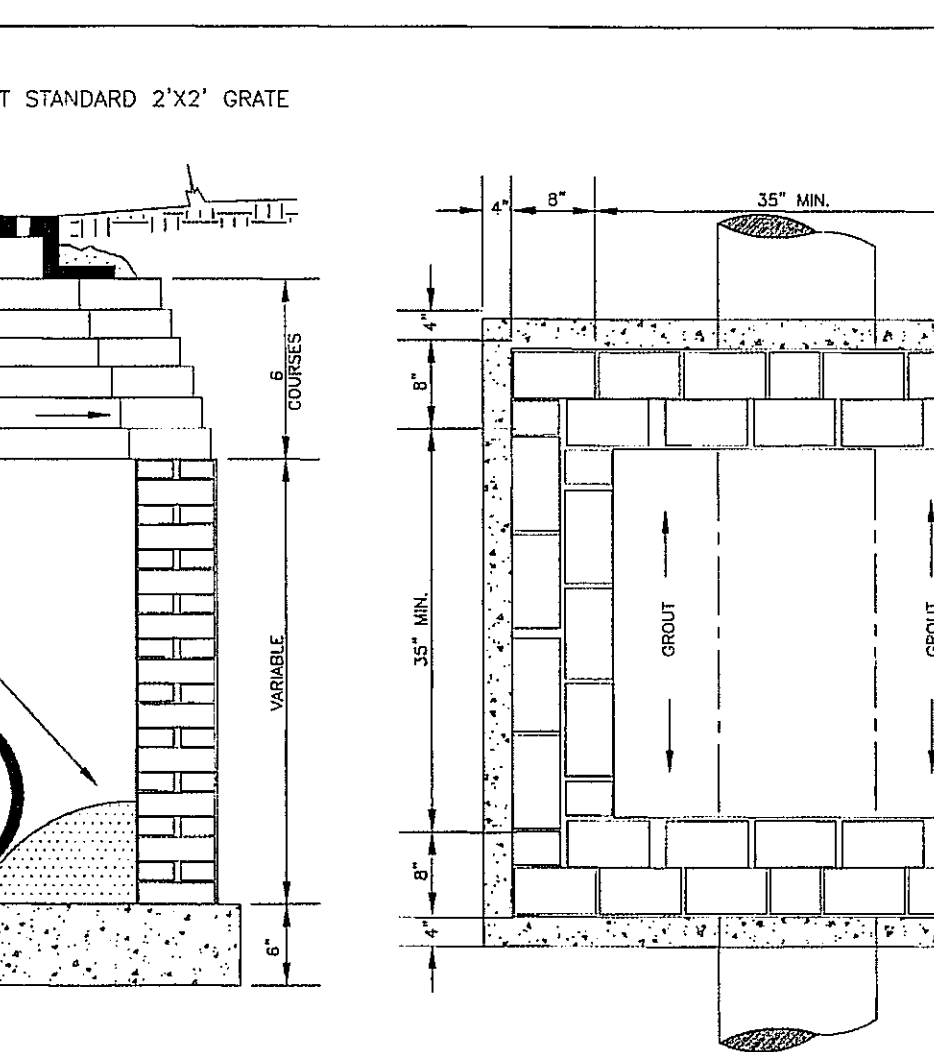
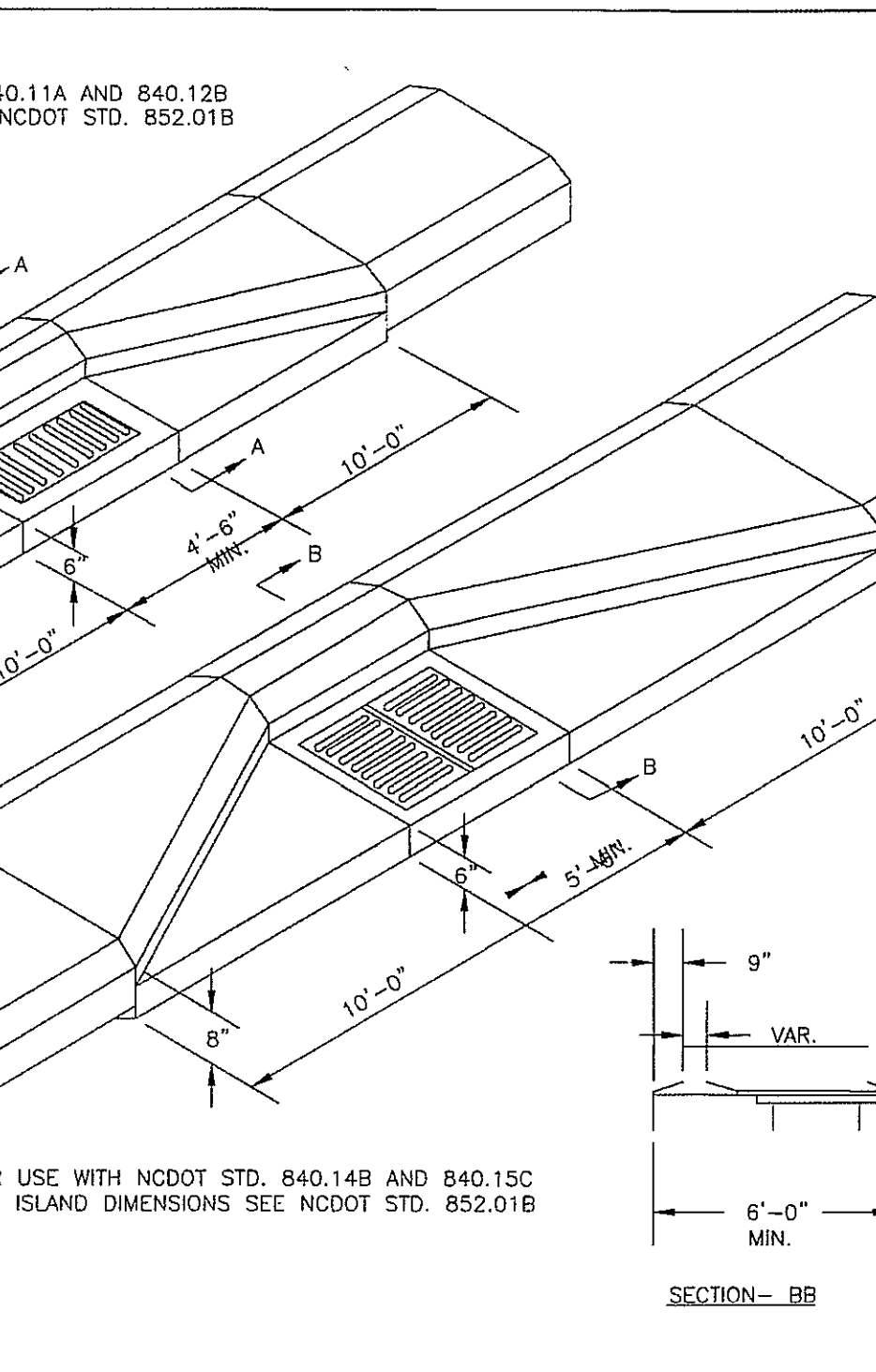
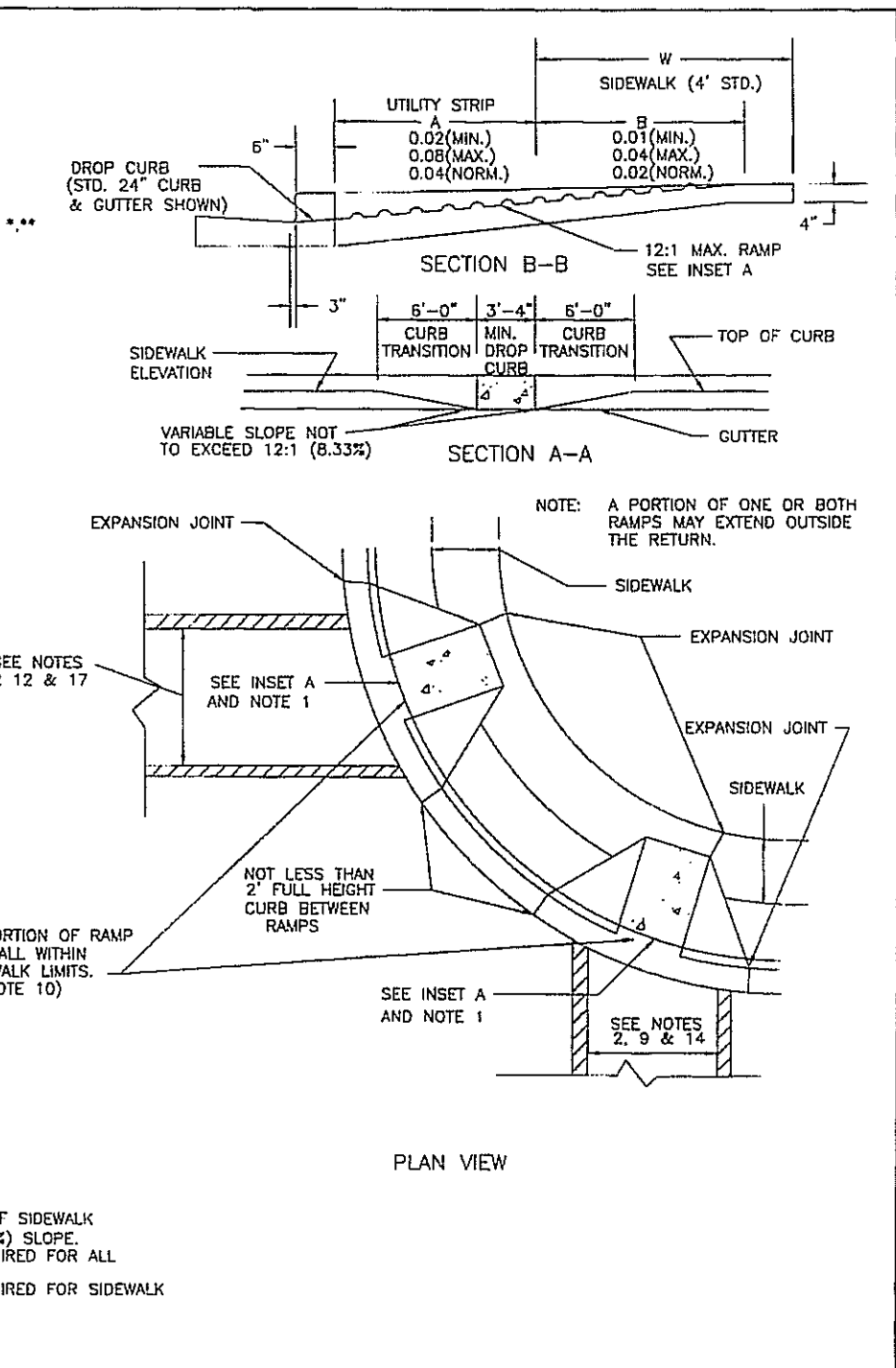
SMITHFIELD NORTH CAROLINA

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Standard Wheelchair Ramp

Drawing 0317B

Date 1/12/2000



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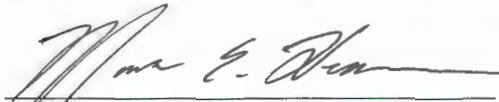
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PLANNING DEPARTMENT
Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, CZ-21-09, were notified by First Class Mail on 9-20-21.



Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

20th day of September, 2021



Notary Public Signature

Julianne Edmonds

Notary Public Name

My Commission expires on January 15, 2023



Adjacent Property Owners of
CZ-21-09

TAG	PIN	NAME	ADDRESS	CITY	STATE	ZIPCODE
15026030	169419-50-6616	BHPS, LLC	PO BOX 968	SANFORD	NC	27331-0968
		Terraedden Landscape & Design LLC	11 Kentwood Dr	Smithfield	NC	27577
15026027	169419-50-4359	ANRAN PARTNERSHIP	PO BOX 531	SMITHFIELD	NC	27577-0000
15026028	169419-50-4497	ANRAN PARTNERSHIP	PO BOX 531	SMITHFIELD	NC	27577-0000
15026044	169419-50-9645	LLC	PO BOX 410	SMITHFIELD	NC	27577-0410
15026058A	169419-50-6383	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026058B	169419-50-7363	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026056	169419-50-6476	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026060	169419-50-6175	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026029	169419-50-5514	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026057	169419-50-6379	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026058	169419-50-7319	TWIN STATES FARMING INCORP	P O BOX 1352	SMITHFIELD	NC	27577-1352
15026012	169419-50-3291	SEBA VENTURES, LLC	426 JAMISON DR	RALEIGH	NC	27610-8620
15026054	169419-50-7389	WALL, LORETTA NOREEN	845 TORREY DR	SUMTER	SC	29150
15026055	169419-50-7424	WALL, LORETTA NOREEN	845 TORREY DR	SUMTER	SC	29150



Request for Planning Board Action

Consent
Agenda ZA-21-05
Item:
Date: 10/07/21

Subject: Single-Family Residential Subdivision Landscape Requirements

Department: Planning Department

Presented by: Mark Helmer, AICP, Senior Planner

Presentation: Business Item

Issue Statement

The Town Council has directed Staff to review the UDO Landscape regulations in consideration of adding single-family residential subdivision landscape regulations

Financial Impact

None

Action Needed

The Planning Board should review and discuss the proposed amendment that will require single-family and townhouse developments to provide landscaping.

Recommendation

Staff recommends the Planning Board review and discuss the proposed amendment and make a recommendation to Town Council.

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Proposed ordinance.
3. Consistency Statement
4. Application



Staff Report

Agenda
Item: ZA-21-05

Overview:

The Town of Smithfield is experiencing unprecedented residential growth and many new subdivisions. The Town Council has become concerned about the character of proposed developments and wants to ensure there is adequate landscaping with new development. The Council has directed staff to look into updating the Town's Landscape Ordinance to include landscape standards for residential development.

Analysis:

Currently, there is a prohibition in place giving single-family residential developments exempt status from meeting landscape requirements of the Town of Smithfield Unified Development Ordinance, Article 10, Performance Standards, Part II, Landscape Requirements. This prohibition applies to all residential subdivisions and ensures that little to no landscaping will be provided when single-family residential developments are approved through a process other than the Conditional Zoning or Planned Unit Development legislative approval process.

Planning staff has drafted an ordinance that will achieve the following:

1. Removes the exempt status of new Single-Family Residential Developments by requiring compliance with Part II, Landscape Requirements.
2. Broadens Single-Family Residential Development standards to include to Townhouse Developments when located on public streets.
3. Creates new landscape standards specify tailored to new residential developments.
4. Creates standards that can be applied to both legislative and quasi-judicial subdivision approval processes.

The proposed draft ordinance amendment will not apply to:

1. Existing developments to include single-family a duplex infill development on existing lots.
2. Exempt and minor subdivisions.
3. Major subdivisions when no new streets are proposed.

The proposed landscape components that will apply to Single-Family and Townhouse Developments will include required street yards, street trees and foundation plantings.

Street yards will require a minimum of 15 feet in depth on all sides of the development that have road frontage on a major or minor arterial streets. The rate of planting will be 2 deciduous trees, 1 evergreen tree and 30 shrubs per 100 linear feet of road frontage. This yard will be similar to existing commercial street yards but with 10 additional shrubs, 1 additional tree and a required mix of deciduous and evergreen tree variety.

Street trees will be required on streets within a proposed residential subdivision at a rate of 2 deciduous trees and 1 evergreen tree per 100 feet of road front on each side of the street. Street trees are to be planted outside of the public right-of-way and maintained by the development owner's association.

Foundation plantings will be required at a rate of 3 per residential unit and must be adjacent to the front facade of each unit.

Existing landscape standards that are proposed to remain unchanged.

Buffer Yards in accordance Section 10.4 Buffer Yard Requirements with will continue to be required and installed by non-residential and multifamily developments when adjacent to single family dwellings and developments.

Zoning District and/or Use To Be Developed (below)	Adjacent Land Use				
	Industrial	Commercial I	Single-Family Residential	Multi-Family Residential (10 or more parking), PUD, PRD	Open Space
Industrial	N/A	Type A	Type C	Type C or D	Type C or D
Commercial	Type A	50% of Type A	Type B	Type A	Type C or D
Multi-Family Residential (10 or more parking), PUD, PRD	Type C or D	Type A	Type A	N/A	N/A

Tree Preservation will continue to apply to all new developments in accordance with Section 10.9, Tree Resource Management.

Parking lot landscaping and dumpster screening requirements will remain unchanged but with the proposed amendments can be applied to single family and townhouse residential developments.

CONSISTENCY STATEMENT (STAFF OPINION):

Staff finds the zoning text amendment as proposed consistency with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.

RECOMMENDATION:

Planning Staff recommend the Planning Board recommend approval of the zoning text amendment ZA-21-05 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

STAFF RECOMMENDED MOTION:

Staff recommends the following motion:

“move to recommend approval of zoning text amendment, ZA-21-05, finding the amendment consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.”

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
ZA-21-05**

Whereas the Smithfield Planning Board, upon acting on a zoning ordinance amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning ordinance amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND APPROVAL OF THE ORDINANCE AMENDMENT,

That the final action regarding zoning ordinance amendment ZA-21-05 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the regularly scheduled meeting of Planning Board; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning ordinance amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board at their regularly scheduled meeting. Therefore, the ordinance amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND APPROVAL OF THE ORDINANCE FAILS,

That the final action regarding zoning ordinance amendment ZA-21-05 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning ordinance amendment does not promote this and therefore is neither reasonable nor in the public interest.

DRAFT ORDINANCE # ZA-12-05
AN ORDINANCE TO AMEND THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ARTICLE 10 SUPPLEMENTAL REGULATIONS AS IT PERTAINS TO RESIDENTIAL
DEVELOPMENTS AND REQUIRED LANDSCAPING

WHEREAS, the Smithfield Town Council wishes to amend certain provisions in the Unified Development Ordinance by making changes to the Town of Smithfield Unified Development Ordinance to apply landscape requirements to single family and townhouse developments subdivisions.

WHEREAS, it is the objective of the Smithfield Town Council to have the UDO promote regulatory efficiency and consistency and the health, safety, and general welfare of the community;

NOW, THEREFORE, be it ordained that the following Articles are amended to make the following changes set forth in the deletions (strikethroughs) and additions (double underlining) below:

[Revise Article 10, Section 10.8 APPLICABILITY, adds language to require major residential subdivision to meet the minimum landscape requirement of Article 10.]

PART 1

That the Unified Development Ordinance shall be page numbered and revision dated as necessary to accommodate these changes.

SECTION 10.8 APPLICABILITY.

The three standard requirements in this section are: Parking Facility Requirements (Section 10.13), Bufferyard Requirements (Section 10.14), and Screening of Dumpsters (Section 10.15.3). The requirements of this Article 10, Part II shall be applicable to the following situations:

10.8.1.1 Single Family Residential Development.

When major residential subdivision with new streets are proposed.

10.8.1.1. 2. Multi-Family Residential Development.

When ten (10) or more parking spaces are required for all phases of development ~~excluding all residential developments which contain solely detached single family dwelling units and all manufactured home parks.~~

[Revise Article 10, Section 10.13 PARKING FACILITY REQUIREMENTS, to create a standard for street yards, street yard plantings and foundation plantings for single family and town house residential developments.]

PART 2

That the Unified Development Ordinance shall be page numbered and revision dated as necessary to accommodate these changes.

SECTION 10.13 PARKING FACILITY REQUIREMENTS

~~10.13.1.4. — A street yard shall be provided with a minimum depth of 50% of the required front- or corner side yard as measured perpendicular to the street right of way, provided that no street yard in excess of 15 feet in depth shall be required. One understory tree per every 50 linear feet of road frontage; 20 shrubs per 100 linear feet of road frontage. — NOTE: If street trees are required per Section 10.15.4, a street tree may replace a required understory tree.~~

10.13.1.8 Streets Yards

10.13.1.8.1 Commercial Developments

Street Yards shall be provided with a minimum depth of 50% of the required front or corner side yard setback as measured perpendicular to the street right of way, provided that no street yard in excess of 15 feet in depth shall be required. The width of the planting strip may vary, but the minimum width cannot be less than seven feet and the average width shall be at least ten feet. The planting area must be covered with living material, including trees, shrubs and/or ground cover, so that no soil is exposed at a rate of two canopy tree and 2 shrubs per every 100 linear feet of road frontage. Canopy trees can be replaced by understory trees if in conflict with overhead utilities. Required trees shall be placed in a planting strip on private property and not within the street right-of-way. No required street yard tree can be planted further than 15 feet from the edge of the right-of-way to meet this requirement.

10.13.1.8.2 Single Family and Town House Residential Developments

Street Yards shall be provided with a minimum depth of 15 feet when adjacent to a major or minor arterial street and shall be planted with 2 deciduous trees, 1 evergreen tree and 30 shrubs per 100 linear feet of road frontage. All interior streets within single family and townhouse developments shall provide 2 deciduous trees, 1 evergreen tree per 100 linear feet of road frontage on each side of the street. Shrubs shall be planted at a rate of 3 per residential unit and placed adjacent to the front building facade. Required trees shall be placed in a planting strip on private property and not within the street right-of-way. No required tree can be planted further than 15 feet from the edge of the right-of-way to meet this requirement.

[Revise Article 10, Section 10.15 ADDITIONAL REQUIREMENTS, to delete redundant language that was moved to Section 10.13]

PART 3

SECTION 10.15 ADDITIONAL REQUIREMENTS.

~~10.15.4. Street Trees.~~

~~On all nonresidential property adjacent to a major or minor arterial, street trees shall be required at the rate of one canopy tree for every 50 linear feet of property abutting the street. Street trees shall be placed in a planting strip on private property and not within the street right-of-way. No street tree can be planted further than 15 feet from the edge of the right-of-way to count as a street tree. The width of the planting strip may vary, but the minimum width cannot be less than seven feet and the average width shall be at least ten feet. The planting area must be covered with living material, including ground cover and/or shrubs, except for mulched trees directly around trees and shrubs, so that no soil is exposed. When a sidewalk is proposed to be constructed on a development site and right-of-way configuration requires that it be constructed on the developers property, the width of the planting strip may be reduced to an average of seven feet.~~

That these amendments of the Unified Development Ordinance shall become effective upon adoption.

Duly adopted this the ____ day of November 2021.

M. Andy Moore, Mayor

ATTEST

Shannan L. Parrish, Town Clerk



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

Petition for Amendment to the Unified Development Ordinance

Pursuant to Article 4 of the Town of Smithfield Unified Development Ordinance, Proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. The application for any amendment shall contain a description of the proposed zoning regulation.

APPLICANT INFORMATION:

Petitioner's Name

Address or PO Box

City, State, Zip Code

Telephone

Proposed amendment to the Town of Smithfield Unified Development Ordinance:

(Attach additional sheets as necessary)

This application must be accompanied by a Statement of Justification which addresses the following:

1. How the amendment proposed would serve the public interest or correct an obvious error in the existing ordinance.
2. How the amendment proposed will enhance or promote the purposes and goals of the adopted plans and policies of the governing body.

The undersigned hereby authorizes the filing of this petition and certifies that the information contained herein stands alone based on the merits of this request and is accurate to the best of their knowledge and belief.

Signature of Petitioner

Date

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Amount Paid: _____