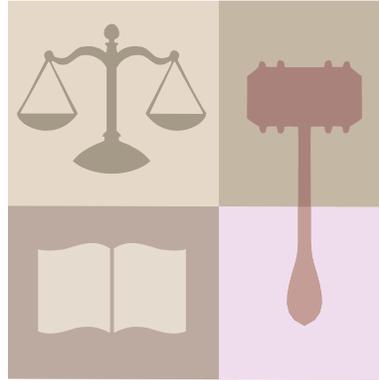


TOWN OF SMITHFIELD PLANNING BOARD AGENDA PACKET



Chairman: Stephen Upton

Vice-Chairman: Daniel Sanders

Members:

Mark Lane

Ashley Spain

Michael Taylor

Eddie Foy

Teresa Daughtry

Mark Helmer, Senior Planner

Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, September 7, 2017

Meeting Time: 6:00 p.m.

Meeting Place: Council Chambers, Smithfield Town Hall

**AGENDA
PLANNING BOARD
REGULAR MEETING
SEPTEMBER 7, 2017
MEETING TIME: 6:00 PM
TOWN HALL**

Call to Order.

Identify voting members

Approval of the minutes for August 10, 2017

Public Hearings

TX-17-04 Town of Smithfield Planning Department is requesting to amend the Unified Development Ordinance:

- **Section 1.3.4.3** – Modification to subdivision exemptions to include divisions of property in accordance with a probated will or in accordance with intestate succession under Chapter 29 of the N.C. General Statutes per Session Law 2017-10.
- **Section 1.8.7.1** – Added statute of limitations for land use violation enforcement per Session Law 2017-10.
- **Section 10.84.4** – Added an exemption of Small Wireless Communication Infrastructure from local government review and approval per House Bill 310.
- **Appendix A** – Added definitions related to small wireless communication and the watershed protection overlay modifications.
- **Sections 10.90.2, 10.90.6.2.3, 10.90.7.2.2, 10.90.7.2.3, 10.90.8, 10.90.9 and 10.90.16** – To allow for projects in the watershed protection overlay districts to utilize the “high density option” to increase impervious surfaces up to 70 percent with the utilization of approved engineered stormwater devices as permitted by NCGS 143-214.5 and Title 15A of the North Carolina Administrative Code (NCAC) subchapter 02B.

Old Business

New Business

SP-17-09 Tire and Wheels Service Shop: The applicant is requesting site plan approval of an automotive tire and wheel shop on property within a B-3 (Business) zoning district and located at 2301 South Brightleaf Boulevard.

SP-17-11 Rob’s Hydraulics: The applicant is requesting site plan approval of a heavy equipment sales and service facility on property within a B-3 (Business) zoning district and located within the 3500 block of US Business Highway 70 West.

Site Plan Review Training

Adjournment

DRAFT
Smithfield Planning Board Minutes
Thursday, August 10, 2017
6:00 P.M., Town Hall, Council Chambers

Members Present:

Chairman Stephen Upton
Vice-Chairman Daniel Sanders
Michael Taylor
Mark Lane
Eddie Foy
Ashley Spain

Members Absent:

Teresa Daughtry

Staff Present:

Mark Helmer, Senior Planner
Julie Edmonds, Administrative Assistant

Staff Absent:

CALL TO ORDER

Mr. Upton asked the board if anyone had amendments to the agenda. There were none. Mr. Upton then gave a brief purpose of the Planning Board to the audience. He reminded everyone that the recommendation from the Planning Board would meet before Town Council on September 5th, 2017 at 7pm.

INTRODUCTION OF MICHAEL TAYLOR

Michael Taylor came forward and was sworn in as a Planning Board Member by Mr. Steve Upton.

APPROVAL OF MINUTES FROM July 13, 2017

Eddie Foy made a motion, seconded by Daniels Sanders to approve the minutes as written.
Unanimous.

APPROVAL TO OPEN THE PUBLIC HEARING

Ashley Spain made a motion, seconded by Mark Lane to open the Public Hearing.
Unanimous.

Public Hearings:

After all persons given testimony were duly sworn, Mr. Upton opened the public hearing.

CUP-17-08 Theron Lee McLamb:

Mr. Helmer stated the applicant is requesting a conditional use permit to construct and operate a recreational vehicle park that will accommodate 148 RV sites and 48 rental cabins on 30.15 acres of land located within a B-3 (Business) zoning district. The properties considered for approval are generally bound to the north by CSX Railway, south by Equity Park Subdivision,

east by Magnolia Drive and west by Pine Acres Subdivision. The properties are further identified as Johnston County Tax ID# 15L11008K and 15O99002H. Included in your packet is an area map highlighting the subject property. RV parks are a permitted use within the B-3 zoning district with a valid Conditional Use Permit. The Future Land Use Plan has identified this being reasonable for commercial development. There will be amenities located toward the entrance to include a swimming pool, retail sales, restroom facilities and a playground. There is one access point being proposed on Magnolia Drive. Six parking spaces will be available at the entrance, adjacent to the welcome center. There will be a 50 foot landscape buffer with fence on the western property line and along the northern property line. Utilities are located within the right-of-way of Magnolia Drive to include water, sewer and electric. The property will qualify for a freestanding sign. The applicant has submitted a preliminary site plan. The site has one way drive aisles for pull thru sites, around the perimeter there will be back in sites. There will be two areas within this site to accommodate small cabins, the northeast corner, as well as the southern portion of the plan. A dog park will be located toward the center of the property. The applicant has shown a utility plan that would tie into existing Town of Smithfield water, sewer and electric. There will be a sewer main extension into the property to include water and sewage.

Mr. Daniel Sanders asked if an RV park business is a new thing coming into a B-3/ residential zoning district.

Mark Helmer said RV parks are everywhere and each community has to decide what zoning districts they want these parks to be in. Some allow them in residential zoning districts and some like the Town of Smithfield allow them in commercial zoning districts.

Mr. Daniel Sanders asked if the NCDOT has said anything about this project.

Mr. Helmer said Magnolia Dr. which is the street the applicant is proposing to have access to, is maintained by the Town of Smithfield, so any driveway permitting would be done by the Town of Smithfield, not NCDOT.

Mr. Foy asked if there was going to be a detention pond.

Mr. Helmer said currently there isn't one planned.

Mr. Foy asked where the rain water would go.

Mr. Helmer said that question is best suited for the engineer.

Mr. Foy asked what kind of condition Magnolia Drive was in. Was it repaved when Venture Drive was repaved and is Magnolia Drive the only entrance to this proposed RV Park?

Mr. Helmer said no, Magnolia Drive wasn't part of the Venture Drive repaving project and Magnolia is the only entrance in the current plan.

Mr. Lane asked if there were setbacks on the cabins.

Mr. Helmer said yes and no, our current ordinance doesn't have standards for that but our current UDO does address a minimum of 20 feet from one cabin to another. It does appear the current plan does meet those standards.

Mr. Sanders asked if the water runoff was going to go into the Town of Smithfield drainage or go down beside the railroad.

Mr. Helmer stated that question would be best suited for the engineer.

Mr. Spain asked if the landscape buffer also included a fence.

Mr. Helmer stated yes a fence is shown on the plan.

Mr. Sanders asked if the fence and shrubbery would cut down on noise from running generators.

Mr. Helmer said each site would have electric hook-ups, so the need for a generator would be significantly reduced. The facility may have regulations against the use of generators as well.

Mr. Lane asked what kind of land was between the proposed RV Park and Pine Acres Subdivision.

Mr. Helmer said that area has existing vegetation and the first 50 feet could be used to satisfy the buffer requirements if the trees are in good condition.

Mr. Sanders asked if there were any wetlands in that area.

Mr. Helmer said he wasn't aware of any delineated wetlands. The Comprehensive Plan did show some land that was wet but it may be poorly draining soil. That question would be best suited for the applicant.

Dan Simmons came forward introduced himself and began by stating the size of the largest RV site would be about 2,950 sq. feet and 2550 sq. feet for the smallest. The UDO states the minimum is 2000 sq. feet so we have exceeded that. Each space will have water, electric, sewer, Wi-Fi and cable TV. This is to be a first class family oriented KOA park. There will be designated quiet times; no noise will be allowed or you will be made to leave. The area between Pine Acres and the proposed RV Park is immature pine trees. The plan is the leave them there and allow them to act as a buffer as well as add shrubs, a screened opaque fence that can't be seen through and a knock down gate which is required by Duke Energy. This allows them access to power lines and the Fire Department or EMS in case emergency. The knock down gate would be kept locked at all times. Storm water will not go through Pine Acres it will go where is naturally goes now. It is split in two directions, part goes to the railroad and part goes to the pond that John Shallcross built. We will look into expanding that pond or we

will install a new facility that meets the Town of Smithfield Storm Water Ordinance. Roads within the park will be chip-seal. Each site will have a fire-pit, picnic table and a grill. We have to meet KOA standards and they're very strict. We have to be competitive with what's around here. Mr. Simmons designed Raleigh Oaks in Four Oaks off Hwy 701. It is considered a 4-Star RV park. The RV Park they've proposed in Smithfield will provide a safe, fenced in family oriented place for people to stay. It will bring business to the area by shopping and dining. The RV today is either a 5th wheel or an enclosed motor home. You're talking about someone spending in excess of \$100,000. The people you're getting in are people that can afford to do that. The 48 cabins will be treated just like a motel room; occupants will pay motel tax on them when they rent them out. Some of these cabins have kitchens, some do not. Linens would be provided by the owner. Two commercial laundry areas will also be provided for the cabins.

Mr. Sanders asked if anyone had gotten approval from CSX to allow the rain water to run along the railroad.

Mr. Simmons said the rainwater is going there now. They can't stop from where water is going today. The Town of Smithfield Ordinance requires us to detain the first 2 inches of rainfall. The bulk of the site will go toward the pond and into the storm water drain system on Magnolia Drive into the pond the developers of I-95 plaza built. We are looking back at those calculations to see how much of this area was taken into account when that pond was built.

Mr. Foy asked if the 48 cabins would be used for long-term stays.

Mr. Simmons asked what you would consider long-term.

Mr. Foy said maybe a couple months. I don't want to see undesirable people take up in these cabins on a long-term basis and create trouble.

Mr. Simmons said you have people who travel and work in pipeline type work and would stay a couple months. They foresee people renting these cabins that would be respectful and follow the rules. This is not like renting a house, you don't give them 30 days, you put them out right then.

Mr. Upton asked if the amenities for the sites have paved driveways.

Mr. Simmons said yes they will have the chip seal.

Mr. Upton asked how traffic would be impacted.

Mr. Simmons said he didn't foresee a tremendous traffic impact. Your typical RV isn't near as heavy as these big trucks transporting stone that's been running up and down Venture Drive.

Mr. Upton asked if a traffic impact study had been done for this proposed RV Park.

Mr. Simmons said no, a traffic impact study hasn't been done. He also designed the KOA in New Bern. It is similar in size and similar in the amount of cabins to the one we're proposing here. They don't have a tremendous traffic problem, you have people in and out but it is staggered. If you look at the entrance, we can put 4 or 5 in there at one time waiting to get their assignment.

Mr. Upton asked is the RV Park would be managed and monitored by KOA.

Mr. Simmons said it has to meet KOA standards given to them to go by in operation and amenities.

Mr. Foy asked if the only entrance and exit would be located at Magnolia Drive.

Mr. Simmons said yes that is the only entrance and exit. You don't need more than one entrance, you need to control who is coming in and going out.

Mr. Sanders asked what would be underneath the RV's for long-term use.

Mr. Simmons said each RV would be sitting on the chip-seal pavement not dirt and stabilizers would be used to hold them in place.

Mr. Lane asked if the noise restrictions for the RV Park would stop at 11pm.

Mr. Simmons said yes it is proposed to be 11:00 pm but this is a conditional use permit. If the Town of Smithfield decides it needs to be 10:00 pm then we will comply.

Mr. Mike McLamb came forward and made a statement. He said obviously a lot of people are interested in this project. His job is two-fold, it is to inform people of what their goal is and get feedback. We want our project to be unharmed. Mr. McLamb was born and raised in Smithfield and owns a business in town as well. He said this project isn't being done by someone out of the area. If someone has a concern he wants to know it. Mr. McLamb is a local business owner; this project has his name on it, he is not entering into this lightly and he doesn't want any junk out there.

Mr. McLamb hired a consultant, David Goren to get some advice and insight on developing this RV Park. Mr. McLamb had a feasibility survey done and Mr. Goren stated the proposed RV Park would be a strong enhancement to the Smithfield community and would be a welcome addition to the development that is taking place around the Carolina Outlet Mall. The park will appeal to travelers along I-95 as a stopping point on a longer trip.

Mr. Upton asked what jurisdiction the Town of Smithfield has on the KOA's or the park since it is going to be developed here in town.

Mr. Helmer said once the site plan is approved and the permitting process begins there will be a team of inspectors who inspect the construction of the project to ensure it is being built to the

approved plan. After construction we have an enforcement program that will continue to monitor and maintain the property.

Mr. Lane asked Mr. McLamb where he was with the quiet zone with CSX.

Mr. McLamb said they haven't pursued that yet. The first step would be for the Town of Smithfield to submit a quiet zone application to CSX.

Mr. Foy asked what the plan would be for enforcing security inside the RV Park.

Mr. McLamb said they would have security patrolling inside park. One of the reasons he chose KOA is due to their policies and procedures. They have ongoing training; operate and oversee 500 RV Parks.

Stephanie Avery from 318 Pine Street came forward to express her concerns. Her first concern is the location of this RV Park. She said it is in a floodplain zone. If trees are cut down the rain water will present flooding problems. She is also concerned how this water run-off will impact the town's sewer system. Yes we want more businesses and income but think about the social and environmental impact you will have on the community.

Tony Nixon from 8 Cedar Drive came forward to express a few concerns he and his neighbors have. They aren't opposed to Mr. Mclamb developing his land; certainly as a land owner you have that right. They're opposed to the type of business that would be going in there without some kind of buffering such as office and industrial not just a 50 ft. buffer. They feel RV Parks could have a negative effect on water quality from spills of gasoline or diesel and even septic spillage into the water system. Pollution from the water run-off is another concern. Residents worry about their safety due to the increased traffic. They are concerned about the extra noise and traffic. An RV Park like this would destroy the tranquility that these residents currently enjoy. Ask yourselves how do we have ordinances against mobile homes in the city, yet have an RV Park next to an established neighborhood within the city limits. Would you want this in your backyard?

Mr. Foy asked Mr. Nixon how much of a buffer would be necessary in order for him to be in favor of this project.

Mr. Nixon said there isn't any amount of buffer that would be acceptable to have an RV Park beside their neighborhood.

Matthew Clancy from 320 Dogwood Street came forward to say he doesn't understand what the draw is to someone wanting to build an RV Park in a location such as this. He stated there were way too many RV sites proposed for a 30 acre parcel of land. He said nothing about this project would compel him to visit. He doesn't see it as a family oriented establishment. He sees this as an opportunity for someone to slide some affordable housing in not a campground.

Flora Grantham from 400 Dogwood Street came forward to speak. She said her house is at the end of that street and she'd be highly affected by this RV Park. She asked why a dog park was proposed but not a pond or recreation for humans. Ms. Grantham stated the leaves fall off the trees that are in the proposed 50 foot buffer and would not help keep out noise. Dogwood Street ends with a cul-de-sac, it is a place where people have built their houses, and it is not a commercial area. She stated the Planning Board agreed years ago to install a privacy fence from the Waffle House all the way down to the movie theatre and it isn't hasn't been put in. People still wander around and walk through each other's yard because those fences haven't been installed. She hears big rig trucks running their engines all night long while parked at the movie theatre. A 50 foot buffer will not keep noise out; those trucks are a perfect example. We do not want this near our neighborhood.

Oliver Johnson from 405 Ash Street spoke about his concerns. The size and intensity of the proposed RV Park would be detrimental to the Pine Acres community. Decreased property values, increased noise, increased crime and increased environmental issues are all reasons he doesn't want this park. Citizens and property owners have a right to quiet enjoyment of their properties. The additional noise, lights, traffic and safety and security issues associated with this RV Park would adversely impact that right.

Debbie Stanley of 404 Oak Street asked how traffic was impacted by the KOA RV Park in New Bern that Mr. Dan Simmons built. Is there a Carolina Outlet Center? Are there eateries or hotels surrounding this RV Park?

Mr. Simmons said one side of the RV Park is residential and the other is commercial. Restaurants are around this RV Park, it is not as intense as the Carolina Outlet Center.

Ms. Stephanie Avery asked if Mr. Simmons or Mr. McLamb planned to conduct a traffic impact study.

Mr. Simmons said right now there aren't plans to conduct a traffic impact analysis but the market study indicated that this area would accommodate the traffic and the flow that was coming in.

Mr. Foy said actually you did a market study based on the fact that so many people were coming and going and this would help you to decide if the area could support a KOA RV Park.

Mr. Simmons said yes that is correct.

Mr. Foy said the thing I am thinking about is there will only be one entrance and exit for the campground and in all fairness I am not sure how that traffic coming and going on that side will affect Pine Acres. That is why I asked so many questions about the water issue. That is the biggest issue I have. I can't tell you I am completely satisfied but if they have to meet DWQ standards then you might be able to get me there. I am still concerned about all this traffic coming in and out of this one location.

Mr. Simmons said Raleigh Oaks in Four Oaks off Hwy 701 has almost 200 locations in there plus all the cabins. It has one entrance in and out on Hwy 701 and it is a lot busier than Venture Drive.

Mr. Nixon stepped forward again saying you have to live there to know what's going on. The traffic pattern at the Outlet Center now is already confusing with the traffic circle. Add someone pulling an RV or boat behind them and that will pose more problems. On a daily basis people come into Pine Acres that have missed the entrance to the Outlet Center. Therefore you're going to be bringing RV's into the neighborhood just to turn around. Kobe Japanese Steak House has already been approved to be built on the corner of Dogwood and Hwy 70 Business that will already increase traffic at the subdivision entrance.

Mr. Lane said whether we agree or not, we have standards to go by. If we pass or deny this project, it doesn't mean we are personally for or against it.

Eddie Foy made a motion to close the public hearing for CUP-17-08 seconded by Daniel Sanders and move to the Finding of Fact for a conditional use permit.

The Smithfield Planning Board shall recommend and the Town Council of the Town of Smithfield shall decide the matter of this Conditional Use Permit Application by motion and vote on each of the following four findings of fact.

1. Based on evidence and testimony presented it is the finding of the Planning Board that the application, if approved, will not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and approved. or is approved with the following stated conditions.

Mr. Sanders-**Denial** Applicant Failed to Address Storm water Issue for this project.

Mr. Lane: **Approval** with Conditions: Noise must stop at 10pm and a Traffic Impact Study done.

Mr. Foy: **Approval** with Conditions: Noise must stop at 10pm and a Traffic Impact Study done.

Mr. Spain: **Approval**

Mr. Taylor: **Approved**

2. Based on evidence and testimony presented it is the finding of the Planning Board that the application, if approved, meets all required specifications and conforms to the standards and practices of sound land use planning and the Town of Smithfield Unified Development Ordinance or other applicable regulations or is approved with the following additional stated conditions.

Mr. Sanders- **Denial**: Applicant failed to address storm water and the sound problems that would arise.

Mr. Lane: **Approval**

Mr. Foy: **Approval**

Mr. Spain: **Approval**

Mr. Taylor: **Approval**

3. Based on the evidence and testimony presented it is the finding of the Planning Board that the application, if approved, will not substantially injure the value of adjoining or abutting property and will not be detrimental to the use or development of adjacent properties or other neighborhood uses or is approved with the following additional stated conditions.

Mr. Sanders: **Denial**- Will substantially injure the value of property.

Mr. Foy: **Denial**- Not enough evidence to satisfy him that property value wouldn't be injured.

Mr. Upton: **Denial**- Based on applicant failing to prove project wouldn't injure property values.

Mr. Taylor: **Denial**- Additional noise could potentially injure home values.

Mr. Lane: **Approval**

Mr. Spain: **Approval**

4. Based on the evidence and testimony presented it is the finding of the Planning Board that the application, if approved, would not adversely affect the adopted plans and policies of the Town of Smithfield, or violate the character of existing standards for development of the adjacent properties or is approved with the following additional stated conditions.

Mr. Sanders: **Denial**- Proposed Park would adversely affect the adopted plans and policies of the Town of Smithfield, or violate the character of existing standards for development of the adjacent properties.

Mr. Foy: **Approved**

Mr. Upton: **Approved**

Mr. Taylor: **Approved**

Mr. Lane: **Approved**

Mr. Spain: **Approved**

Mr. Sanders made a motion for the denial of CUP-17-08, seconded by Mr. Foy.
4 to 3 vote to recommend denial.

Based upon satisfactory compliance with the above stated four findings and fully contingent upon full incorporation of all statements entered into the record by the testimony of the applicant and applicant's representative;

Chairman Steve Upton stated CUP-17-08 has been recommended for denial by the Planning Board and will move to Town Council on September 5, 2017.

Old Business:

No Report

New Business:

Our next Planning Board Meeting is scheduled for September 7, 2017.

Daniel Sanders made a motion to adjourn, seconded by Eddie Foy.
Unanimous.

Submitted this 11th day of August, 2017.

Julie Edmonds
Administrative Assistant
Planning Department



Request for Planning Board Action

**Application
for Unified
Development
Ordinance
Text
Amendment
TX-17-04
Date: 9/7/2017**

Subject: Unified Development Ordinance Text Amendments
Department: Planning
Presented by: Steven L. Medlin, AICP, Interim Planning Director
Presentation: Public Hearing

Issue Statement

The Unified Development Ordinance needs to be amended to incorporate changes mandated by the North Carolina State Legislature and to allow for greater impervious surfaces in watershed protection areas as authorized by the General Statutes.

Financial Impact

There will be no financial impact to the Town.

Action Needed

To review the document, hold a public hearing and make a decision for Unified Development Ordinance text amendment.

Recommendation

The Planning Department recommends approval of the proposed amendments to Sections 1.3, 1.8, 10.82, 10.90 and Appendix A of the Unified Development Ordinance; and recommends that the Town Council approve a consistency statement declaring the request is consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

Approved: City Manager City Attorney

Attachments:

1. Staff Report
2. Ordinance



Staff Report

Application
for Unified
Development
Ordinance
Text
Amendment
TX-17-04

Public
Hearing:

The Planning Department initiated a review of recent legislative changes enacted by the North Carolina General Assembly and identified necessary changes to the Unified Development Ordinance (UDO). In addition staff was asked to evaluate the inclusion of text, allowed by the General Statutes, to permit properties within watershed protection overlay areas to take advantage of the "high density option" which will allow greater impervious surface amounts. The staff has identified modifications necessary to the following Sections of the UDO: Articles 1.3, 1.8, 10.82, 10.90 and Appendix A.

Summary of the text amendments include:

Section 1.3.4.3 – Modification to subdivision exemptions to include divisions of property in accordance with a probated will or in accordance with intestate succession under Chapter 29 of the N.C. General Statutes per Session Law 2017-10.

Section 1.8.7.1 – Added statute of limitations for land use violation enforcement per Session Law 2017-10.

Section 10.84.4 – Added an exemption of Small Wireless Communication Infrastructure from local government review and approval per House Bill 310.

Sections 10.90.2, 10.90.6.2.3, 10.90.7.2.2, 10.90.7.2.3, 10.90.8, 10.90.9 and 10.90.16 – To allow for projects in the watershed protection overlay districts to utilize the "high density option" to increase impervious surfaces up to 70 percent with the utilization of approved engineered stormwater devices as permitted by NCGS 143-214.5 and Title 15A of the North Carolina Administrative Code (NCAC) subchapter 02B.

Appendix A – Added definitions related to small wireless communication and the watershed protection overlay modifications.

DRAFT ORDINANCE # TX 17-04
AN ORDINANCE TO AMEND THE TOWN OF SMITHFIELD UNIFIED DEVELOPMENT ORDINANCE
REGARDING RECENT LEGISLATIVE CHANGES AND ADDITION OF WATERSHED PROTECTION OVERLAY
HIGH DENSITY OPTION

WHEREAS, the Smithfield Town Council wishes to amend certain provisions in the Unified Development Ordinance by making changes to bring the ordinance into compliance with recent legislation and to add the opportunity to utilize the “high density option” for properties within the watershed protection overlay areas; and

WHEREAS, it is the objective of the Smithfield Town Council to have the UDO promote regulatory efficiency and consistency and the health, safety, and general welfare of the community;

NOW, THEREFORE, be it ordained that the following Articles are amended to make the following changes set forth in the deletions (strikethroughs) and additions (underlining) below:

PART 1

[Revise paragraph 1.3.4.3 to add additional exemption language as specified by the General Statutes.]

Section 1.3.4 Exemptions.

[Paragraphs not listed remain unchanged]

1.3.4.3. The following are not subject to the Subdivision Regulations of this Ordinance (Article 10, Part X):

- The combination or recombination of portions of previously subdivided and recorded lots where the total number of lots is not increased and the resultant lots are equal to or exceed the standards of the municipality as shown on its subdivision regulations.
- The division of land into parcels greater than ten acres where no street right-of-way dedication is involved.
- The public acquisition by purchase of strips of land for the widening or opening of streets or for public transportation system corridors.
- The division of a tract in single ownership whose entire area is no greater than two acres into not more than three lots, where no street right-of-way dedication is involved and where the resultant lots are equal to or exceed the standards of the municipality, as shown in its subdivision regulations.
- The division of a tract into parcels in accordance with the terms of a probated will or in accordance with intestate succession under Chapter 29 of the General Statutes.

And

[Add Section 1.8.7 related to statute of limitations for land use violations as mandated by the General Statutes.]

1.8.7. Statute of Limitation for Land Use Violations

1.8.7.1 Any enforcement action for a violation of a land use statute, ordinance, or permit must be taken within five years from the earlier of the occurrence of the following:

- a. The facts constituting the violation are known to the governing board, an agent, or employee of the Town.
- b. The violation can reasonably be determined from the public record of the Town.

This standard does not limit the remedy of injunction for conditions that are actually injurious or dangerous to the public health or safety.

1.8.7.2 Any enforcement action for a violation of a land use statute, ordinance, or permit must be taken within seven years from the earlier of the occurrence of the following:

- a. The violation is apparent from a public right-of-way.
- b. The violation is in plain view from a place to which the public is invited.

This standard does not limit the remedy of injunction for conditions that are actually injurious or dangerous to the public health or safety.

And

[Revise Section 10.84.4 to make compliant with the General Statutes.]

10.84.4. Exempt From All Approval Processes. The following are exempt from all Town of Smithfield zoning approval processes and requirements, unless located within the Historic District Overlay:

10.84.4.1. Removal or replacement of transmission equipment on an existing wireless tower or base station that does not result in a substantial modification as defined in this Ordinance.

10.84.4.2. Ordinary Maintenance of existing Wireless Facilities and Wireless Support Structures. Nothing in this section requires an application and approval for routine maintenance or limits the performance of routine maintenance on wireless support structures and facilities, including in kind replacement of wireless facilities.

10.84.4.3. Wireless Facilities, including Small Wireless Facilities, placed on existing or replacement Utility Poles subject to the following limitation.

10.84.4.3.1 Each new Small Wireless Facility in the public right-of-way shall not extend more than 10 feet above the utility pole, or the wireless support structure on which it is collocated.

10.84.4.4. COWs placed for a period of not more than one hundred twenty (120) days at any location within the Town of Smithfield or in response to a declaration of an emergency or a disaster by the Governor.

10.84.4.5. Non-tower wireless communications facilities are permitted by right in all zoning districts in a right-of-way.

And

[Revise Section 10.92.2 to correct the authority citations, Sections 10.90.6 and 10.90.7 to authorize the usage of the high density option in watershed overlay districts, and add Section 10.90.16 to allow for utilization of cluster subdivisions.]

[Paragraphs not listed remain unchanged]

10.90.2. Authority.

Statutory authority for this section is derived from North Carolina General Statutes Chapter 160A-381, Article 8, Section 174, and Chapter 143, Article 21, which delegates the responsibility to local governments to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry.

10.90.6. Development Regulations - WS-IV-CA District.

The following regulations shall apply within the WS-IV-CA:

10.90.6.1. Allowed Uses.

10.90.6.1.1. Agricultural uses subject to the provisions of the Food Security Act of 1985 and the Food, Agriculture, Conservation, and Trade Act of 1990. Agriculture activities conducted after January 1, 1993 shall maintain a minimum ten foot vegetative buffer, or equivalent control as determined by the Soil and Water Conservation Commission, along all perennial waters indicated on the most recent versions of USGS 1:24,000 scale topographic or as determined by other reliable sources. Animal operations greater than 100 animal units shall employ Best Management Practices by July 1, 1994 recommended by the Soil and Water Conservation Commission.

10.90.6.1.2. Silviculture, subject to the provisions of the Forest Practices Guidelines Related to Water Quality.

10.90.6.1.3. Residential uses.

10.90.6.1.4. Expansions to existing nonresidential development in accordance with Section 10.90.9.

10.90.6.2. Density and Built-Upon Limits.

10.90.6.2.1. Single-Family Residential. Where neither public water or sewer are available, the minimum lot size shall be 40,000 square feet, or as determined by the Johnston County Division of Environmental Health. Where either public water or sewer, or both, are available, the minimum lot size shall be ½ acre or 21,780 square feet.

10.90.6.2.2. All Other Residential Development. Development shall not exceed 24% built upon area on a project by project basis unless the High Density Option is utilized. For the purpose of calculating the built upon area, total project area shall include the gross acreage in the tract on which the project is to be developed.

10.90.6.2.3. High Density Option. Impervious surfaces may be increased up to a maximum of 70% subject to the following requirements:

10.90.6.2.3.1. Stormwater Control Requirements. Where development proposes intensity greater than 24% engineered stormwater controls shall be used to control stormwater runoff from the first inch of rainfall in order to meet water quality concerns.

10.90.6.2.3.1. Ownership, Design, and Maintenance of Engineered Stormwater Controls.

1. Unless otherwise approved, ownership of the engineered stormwater controls shall remain with the property owner or a property owner's association, which shall be responsible for the continued care and maintenance of such controls.
2. Engineer stormwater controls shall be designed and constructed in accordance with standards and specifications established by the Town of Smithfield.
3. Except as allowed in paragraph c below, no building permit shall be issued for a site proposed for development, until:
 - a. UDO Administrator has approved plans and specifications for the proposed engineered stormwater controls and the property owner has entered into an Agreement and Covenants or Operation and Maintenance Agreement with the Town in accordance with the terms established by the Town; and
 - b. The property owner has posted a performance bond, other surety instrument, or other payment satisfactory to the Town in an amount determined by the UDO Administrator as appropriate to assure construction, maintenance, repair, and/or reconstruction necessary for adequate performance of the engineered stormwater controls.
 - c. For multi-family projects, building permits may be issued; but construction drawing approval, or water and sewer permit approval, shall be withheld until compliance with paragraphs a and b above.
 - d. The Agreement and Covenants or Operation and Maintenance Agreement required under paragraph a, above, may be required prior to site plan or preliminary plat approval.
4. No certificate of compliance/occupancy shall be issued for any structure constructed within a site proposed for development, other than as allowed below, until the UDO Administrator has approved construction of the engineered stormwater controls and after review and approval of "as-built" drawings. Notwithstanding this requirement, the UDO Administrator may allow for delay in approval of construction of stormwater controls and submission and approval of as-built drawings for single family housing and other developments requiring multiple certificates of occupancy.

10.90.7. Development Regulations - WS-IV-PA District.

The following regulations shall apply within the WS-IV-PA:

10.90.7.1. Allowed Uses.

10.90.7.1.1. Agricultural, subject to the provisions of the Food Security Act of 1985 and the Food, Agriculture, Conservation, and Trade Act of 1990.

10.90.7.1.2. Silviculture, subject to the provisions of the Forest Practices Guidelines Related to Water Quality.

10.90.7.1.3. Residential development.

10.90.7.1.4. Nonresidential development, excluding storage of toxic and hazardous materials unless a spill containment plan is implemented.

10.90.7.2. Density and Built-Upon Limits.

10.90.7.2.1. Single-Family Residential. Where neither public water or sewer are available, the minimum lot size shall be 40,000 square feet, or as determined by the Johnston County Division of Environmental Health. Where either public water or sewer, or both, are available, the minimum lot size shall be ½ acre or 21,780 square feet.

10.90.7.2.2. All Other Residential Development and Nonresidential Development.

Development shall not exceed 24% built upon area on a project by project basis unless the High Density Option is utilized. For the purpose of calculating the built upon area, total project area shall include the gross acreage in the tract on which the project is to be developed.

10.90.7.2.3. High Density Option. Impervious surfaces may be increased up to a maximum of 70% subject to the following requirements:

10.90.7.2.3.1. Stormwater Control Requirements. Where development proposes intensity greater than 24% engineered stormwater controls shall be used to control stormwater runoff from the first inch of rainfall in order to meet water quality concerns.

10.90.7.2.3.1. Ownership, Design, and Maintenance of Engineered Stormwater Controls.

1. Unless otherwise approved, ownership of the engineered stormwater controls shall remain with the property owner or a property owner's association, which shall be responsible for the continued care and maintenance of such controls.
2. Engineer stormwater controls shall be designed and constructed in accordance with standards and specifications established by the Town of Smithfield.
3. Except as allowed in paragraph c below, no building permit shall be issued for a site proposed for development, until:
 - a. UDO Administrator has approved plans and specifications for the proposed engineered stormwater controls and the property owner has entered into an Agreement and Covenants or Operation and Maintenance Agreement with the Town in accordance with the terms established by the Town; and
 - b. The property owner has posted a performance bond, other surety instrument, or other payment satisfactory to the Town in an amount determined by the UDO Administrator as appropriate to assure construction, maintenance, repair, and/or reconstruction necessary for adequate performance of the engineered stormwater controls.
 - c. For office, institutional, commercial, industrial and multi-family projects, building permits may be issued; but construction drawing approval, or water and sewer permit approval, shall be withheld until compliance with paragraphs a and b above.
 - d. The Agreement and Covenants or Operation and Maintenance Agreement required under paragraph a, above, may be required prior to site plan or preliminary plat approval.
4. No certificate of compliance/occupancy shall be issued for any structure constructed within a site proposed for development, other than as allowed below, until the UDO Administrator has approved construction of the engineered stormwater controls and after review and approval of "as-built" drawings. Notwithstanding this requirement, the UDO Administrator may allow for delay in approval of construction of stormwater controls and submission and approval of as-built drawings for single family housing and other developments requiring multiple certificates of occupancy.

10.90.8. Impervious Surface Transfer Credit

The impervious surface limit provisions of this section can be exceeded through an impervious surface credit transfer. Credit for the impervious surfaces allowed on one or more parcels

("donor parcels") can be transferred to non-contiguous parcels ("receiving parcels"), such that the amount of impervious surface available for a development project would be the total of what is normally allowed on the receiving parcel plus what is transferred from the donor parcel(s). Impervious surface credit transfer is subject to the following provisions:

- a. The donor parcel and receiving parcel shall be located within the same water supply watershed.
- b. The impervious surface credit transfer shall not be from a donor parcel in Protected Area to a receiving parcel in Critical Area.
- c. The portion of the donor parcel which is restricted from development as part of the impervious surface credit transfer shall remain in a vegetated or natural state or used for crop production or pasture provided that best management practices (BMPs) as developed by the Soil and Water Conservation District are utilized. The portion of the donor site restricted from development shall be protected from all future development through use of a permanent conservation easement in favor of either:
(1) Town of Smithfield; or
(2) A land trust or similar conservation-oriented non-profit organization with legal authority to accept such easements (the organization shall be bona fide and in perpetual existence and the conveyance instruments shall contain an appropriate provision for retransfer to the Town in the event the organization becomes unable to carry out its functions). If the entity accepting the easement is not the Town then a third right of enforcement favoring the Town shall be included in the easement.
- d. The impervious surface credit transfer shall be reviewed and approved through use of the site plan process.
- e. The donor parcel shall be deemed appropriate for acceptance by the Town under the Town of Smithfield Review Criteria for Acceptance of Conservation Easements for Impervious Surface Transfer.

10.90.89. Buffer Areas Required.

For all new development activities proposed within the WS-IV-CA or WS-IV-PA Districts, a minimum 50 foot vegetative buffer is required, unless the High Density Option is utilized in which case the minimum buffer will be 100 foot, adjacent to all perennial waters as indicated on the most recent versions of USGS 1:24,000 (7.5 minute) scale topographic maps or as determined by other reliable sources. Vegetation within such buffers shall remain undisturbed except as may be necessary to accommodate any of the following uses:

- 10.90.89.1.*** Boat docks, ramps, piers, or similar structures.
- 10.90.89.2.*** Reconstruction, rehabilitation, or restoration of structures listed on the National Register of Historic Places.
- 10.90.89.3.*** Roads, provided they cross the buffer at a horizontal angle of at least 60 degrees.
- 10.90.89.4.*** Other public projects, where no practical alternative exists.

10.90.16. Cluster Subdivisions.

Cluster development is allowed in all Watershed Areas under the following conditions:

- a. Minimum lot sizes are not applicable to single family cluster development projects; however, the total number of lots shall not exceed the number of lots allowed for single family detached developments in Sections 10.90.6.2.1 and 10.90.7.2.1. Density or built-upon area for the project shall not exceed that allowed for the critical area, balance of watershed or protected area,

whichever applies.

- b. All built-upon area shall be designed and located to minimize stormwater runoff impact to the receiving waters and minimize concentrated stormwater flow, maximize the use of sheet flow through vegetated areas, and maximize the flow length through vegetated areas.
- c. Areas of concentrated density development shall be located in upland area and away, to the maximum extent practicable, from surface waters and drainage ways.
- d. The remainder of the tract shall remain in a vegetated or natural state. The title to the open space area shall be conveyed to an incorporated homeowners association for management; to the Town of Smithfield for preservation as a park or open space; or to a conservation organization for preservation in a permanent easement. Where a property association is not incorporated, a maintenance agreement shall be filed with the property deeds.

Cluster developments that meet the applicable low density requirements shall transport stormwater runoff by vegetated conveyances to the maximum extent practicable.

And

[Revise Section (Appendix) A – Definitions, to incorporate new definitions related to wireless communication, watershed protection ordinance and General Statute changes.]

[Definitions not listed remain unchanged]

Act of God

An event, such as an earthquake, tornado or hurricane, that is caused by natural forces and cannot be prevented or foreseen.

Adjacent

Property abutting directly on the boundary of, touching, or sharing a common point.

Affiliate

A person that directly, or indirectly through one or more intermediaries, controls, is controlled by, or is under common control of another person.

Agriculture

The use of land for agricultural purposes, including farming, dairying, pasturage, agriculture, horticulture, floriculture, viticulture, forestry, and animal and poultry husbandry and the necessary accessory uses for packing, treating, or storing the produce; provided, however, that the operation of any such accessory uses shall be secondary to that of normal agricultural activities and provided further that the above uses shall not include the commercial feeding of garbage or offal to swine or other animals. The use of waters for stock watering, irrigation, and other farm purposes.

Airport

A place where aircraft can take off and land, be repaired, take on or discharge passengers or cargo, be stored or refueled.

Antenna

Communication equipment that transmits, receives, or transmits and receives electromagnetic radio signals used in the provision of all types of wireless communication services.

Antenna array

A single or group of antenna(s) and their associated mounting hardware, transmission lines, or other appurtenances which share a common attachment device such as a mounting frame or mounting support structure for the sole purpose of transmitting or receiving electromagnetic waves.

Base Station

A station at a specific site authorized to communicate with mobile stations, generally consisting of radio receivers, antennas, coaxial cables, power supplies, and other associated electronics.

Best Management Practices (BMP)

A structural or nonstructural management-based practice used singularly or in combination to reduce nonpoint source inputs to receiving waters in order to achieve water quality protection goals.

Buffer

An area of natural or planted vegetation through which stormwater runoff flows in a diffuse manner so that the runoff does not become channelized and which provides for infiltration of the runoff and filtering of pollutants. The buffer is measured landward from the normal pool elevation of impounded structures and from the bank of each side of streams or rivers.

Building

Any structure built for support, shelter, or enclosure for any occupancy or storage.

Any structure having a roof supported by columns or by walls, and intended for shelter, housing or enclosure of persons, animals or property. The connection of two buildings by means of an open porch, breezeway, passageway, carport or other such open structure, with or without a roof, shall not be deemed to make them one building.

Building Code

The North Carolina State Building code and any other uniform building, fire, electrical, plumbing, or mechanical codes adopted by a recognized national code organization together with State or local amendments to those codes enacted solely to address imminent threats of destruction of property or injury to persons.

Building permit

An official administrative authorization issued by the Johnston County Inspections Department prior to beginning construction consistent with the provisions of G.S. 160A-417.

Built-upon area

Built-upon areas shall include that portion of a development project that is covered by impervious or partially impervious cover including buildings, pavement, gravel areas (e.g. roads, parking lots, paths), recreation facilities (e.g. tennis courts), etc. (Note: Wooden slatted decks and the water area of a swimming pool are considered pervious.)

Cemetery

A place used or to be used and dedicated or designated for interment of human remains or pet animal remains.

Cluster Development

Cluster development means the grouping of buildings in order to conserve land resources and provide for innovation in the design of the project including minimizing stormwater runoff impacts. This term includes nonresidential development as well as single-family residential and multi-family developments. For the purpose of this ordinance, planned unit developments and mixed use development are considered as cluster development.

Collocation

The placement, installation, maintenance, modification, operation, or replacement of wireless facilities on, under, within, or on the surface of the earth adjacent to existing structures, including utility poles, town utility poles, water towers, buildings, and other structures capable of structurally supporting the attachment of wireless facilities in compliance with applicable codes. The term "collocation" does not include the installation of new utility poles, Town utility poles, or wireless support structures.

Communication facility

The set of equipment and network components, including wires and cables and associated facilities used by a communication service provider to provide communication services.

Communication service

Cable service as defined in 47 U.S.C. § 522(6), information service as defined in 47 U.S.C. § 153(24), telecommunications service as defined in 47 U.S.C. § 153(53), or wireless services.

Communication service provider

A cable operator as defined in 47 U.S.C. § 522(5); a provider of information service, as defined in 47 U.S.C. § 153(24); a telecommunications carrier, as defined in 47 U.S.C. § 153(51); or a wireless provider.

Critical Area

The area adjacent to a water supply intake or reservoir where risk associated with pollution is greater than from the remaining portions of the watershed. The critical area is defined as extending either one-half mile from the normal pool elevation of the reservoir in which the intake is located or to the ridge line of the watershed (whichever comes first); or one-half mile upstream from the intake located directly in the stream or river (run-of-the-river), or the ridge line of the watershed (whichever comes first). Local governments may extend the critical area as needed. Major landmarks such as highways or property lines may be used to delineate the outer boundary of the critical area if these landmarks are immediately adjacent to the appropriate outer boundary of one-half mile.

Customary Home Occupations

Any use conducted entirely within a dwelling and carried on by the occupants thereof, which use is clearly incidental and secondary to the use of the dwelling for residential purposes and does not change the character thereof. Provided further that no mechanical equipment is installed or used except as is normally used for domestic or professional purposes, and that not over twenty-five percent (25%) of the total floor space of any structure is used for the occupation. No home occupation shall be conducted in any accessory building except for the storage and service of a vehicle that is driven off site, such as a service repair truck, delivery truck, etc.

Eligible facilities request

A request for modification of an existing wireless tower or base station that involves collocation of new transmission equipment or replacement of transmission equipment but does not include substantial modification.

Engineered stormwater control

A structural BMP used to reduce pollution or peak flow rates to downstream properties and receiving waters in order to achieve water quality or water quantity control.

Equipment compound

An area surrounding or near the base of a wireless support structure within which a wireless facility is located.

Erosion

The wearing away of land surface by the action of wind, water, gravity or any combination thereof.

Existing Development

Those projects that are built or those projects that at a minimum have established a vested right under North Carolina zoning law as of the effective date of this ordinance based on at least one of the following criteria:

- (1) substantial expenditures of resources (time, labor, money) based on a good faith reliance upon having received a valid local government approval to proceed with the project, or
- (2) having an outstanding valid building permit as authorized by the General Statutes (G.S. 160A-385.1), or
- (3) having an approved site specific or phased development plan as authorized by the General Statutes (G.S. 160A-385.1).

Existing Lot (Lot of Record)

A lot which is part of a subdivision, a plat of which has been recorded in the Office of the Register of Deeds prior to the adoption of this ordinance, or a lot described by metes and bounds, the description of which has been so recorded prior to the adoption of this ordinance.

Fall zone

The area in which a wireless support structure may be expected to fall in the event of a structural failure, as measured by engineering standards.

Family Subdivision

Family subdivision means a division of a tract of land: (a) to convey the resulting parcels, with the exception of parcels retained by the grantor, to a relative or relatives as a gift or for nominal consideration, but only if no more than one parcel is conveyed by the grantor from the tract to any one relative; or (b) to divide land from a common ancestor among tenants in common, all of whom inherited by intestacy or by will.

High Density Option

One of two approaches available for development in the Watershed Protection Overlays. The high density option relies on imperious surface limits and engineered stormwater controls to minimize risk of water pollution.

Industrial Development.

Any non-residential development that requires an NPDES permit for an industrial discharge and/or requires the use or storage of any hazardous material for the purpose of manufacturing, assembling, finishing, cleaning or developing any product or commodity.

Landfill

A facility for the disposal of solid waste on land in a sanitary manner in accordance with Chapter 130A Article 9 of the N.C. General Statutes. For the purpose of this ordinance this term does not include composting facilities.

Micro wireless facility

A small wireless facility that is no larger in dimension than 24 inches in length, 15 inches in width, and 12 inches in height and that has an exterior antenna, if any, no longer than 11 inches.

Minor Variance (Watershed)

A variance from the minimum statewide watershed protection rules that results in a relaxation, by a factor of up to five (5) percent of any buffer, density or built-upon area requirement under the high density option; or that results in a relaxation, by a factor of up to ten (10) percent, of any management requirement under the low density option.

Nonconforming Lot of Record (Watershed)

A lot described by a plat or a deed that was recorded prior to the effective date of local watershed protection regulations (or their amendments) that does not meet the minimum lot size or other development requirements of the statewide watershed protection rules.

Non-residential Development

All development other than residential development, agriculture and silviculture.

Protected Area

The area adjoining and upstream of the critical area of WS-IV watersheds. The boundaries of the protected area are defined as within five miles of and draining to the normal pool elevation of the reservoir or to the ridgeline of the watershed; or within 10 miles upstream and draining to the intake located directly in the stream or river or to the ridgeline of the watershed.

Residential Development

Buildings for residence such as attached and detached single-family dwellings, apartment complexes, condominiums, townhouses, cottages, etc. and their associated outbuildings such as garages, storage buildings, gazebos, etc. and customary home occupations.

Residuals

Any solid or semi-solid waste generated from a wastewater treatment plant, water treatment plant or air pollution control facility permitted under the authority of the Environmental Management Commission.

Right-of-Way (Town)

A right-of-way owned, leased, or operated by the Town of Smithfield, including any public street or alley that is not part of the State highway system.

Search ring

The area within which a wireless support facility or wireless facility must be located in order to meet service objectives of the wireless service provider using the wireless facility or wireless support structure.

Small wireless facility

A wireless facility that meets both of the following qualifications:

- a) Each antenna is located inside an enclosure of no more than six cubic feet in volume or, in the case of an antenna that has exposed elements, the antenna and all of its elements, if enclosed, could fit within an enclosure of no more than six cubic feet.
- b) All other wireless equipment associated with the facility has a cumulative volume of no more than 28 cubic feet. For the purposes of this ordinance, the following types of ancillary equipment are not included in the calculation of equipment volume: electric meters, concealment elements, telecommunications demarcation boxes, ground based enclosures, grounding equipment, power transfer switches, cut-off switches, vertical cable runs for the connection of power and other services, or other support structures.

Substantial modification, wireless facilities

The mounting of a proposed wireless facility on a wireless support structure that substantially changes the physical dimensions of the support structure. A mounting is presumed to be a substantial modification if it meets any one or more of the criteria listed below. The burden is on the Town to demonstrate that a mounting that does not meet the listed criteria constitutes a substantial change to the physical dimensions of the wireless support structure.

- a. Increasing the existing vertical height of the structure by the greater of (i) more than ten percent (10%) or (ii) the height of one additional antenna array with separation from the nearest existing antenna not to exceed 20 feet.
- b. Except where necessary to shelter the antenna from inclement weather or to connect the antenna to the tower via cable, adding an appurtenance to the body of a wireless support structure that protrudes horizontally from the edge of the wireless support structure the greater of (i) more than 20 feet or (ii) more than the width of the wireless support structure at the level of the appurtenance.
- c. Increasing the square footage of the existing equipment compound by more than 2,500 square feet.

Toxic Substance

Any substance or combination of substances (including disease causing agents), which after discharge and upon exposure, ingestion, inhalation, or assimilation into any organism, either directly from the environment or indirectly by ingestion through food chains, has the potential to cause death, disease, behavioral abnormalities, cancer, genetic mutations, physiological malfunctions (including malfunctions or suppression in reproduction or growth) or physical deformities in such organisms or their off spring or other adverse health effects.

Utility pole

A structure that is designed for and used to carry lines, cables, wires, lighting facilities, or small wireless facilities for telephone, cable television, electricity, lighting, or wireless services.

Water Dependent Structure

Any structure for which the use requires access to or proximity to or citing within surface waters to fulfill its basic purpose, such as boat ramps, boat houses, docks and bulkheads. Ancillary facilities such as restaurants, outlets for boat supplies, parking lots and commercial boat storage areas are not water dependent structures.

Watershed

The entire land area contributing surface drainage to a specific point (e.g. the water supply intake.)

Watershed Administrator

The UDO Administrator who is the official or designated person of the Town of Smithfield responsible for administration and enforcement of this ordinance.

Watershed Variance

A permission to develop or use property granted by the Board of Adjustment relaxing or waiving a water supply watershed management requirement adopted by the Environmental Management Commission that is incorporated into this ordinance.

Water tower

A water storage tank, a standpipe, or an elevated tank situated on a support structure originally constructed for use as a reservoir or facility to store or deliver water.

Wireless facility

Equipment at a fixed location that enables wireless communications between user equipment and a communications network, including (i) equipment associated with wireless communications and (ii) radio transceivers, antennas, wires, coaxial or fiber-optic cable, regular and backup power supplies, and comparable equipment, regardless of technological configuration. The term includes small wireless facilities. The term shall not include any of the following:

- a. The structure or improvements on, under, within, or adjacent to which the equipment is collocated.
- b. Wireline backhaul facilities.
- c. Coaxial or fiber-optic cable that is between wireless structures or utility poles or Town utility poles or that is otherwise not immediately adjacent to or directly associated with a particular antenna.

Wireless infrastructure provider

Any person with a certificate to provide telecommunications service in the State who builds or installs wireless communication transmission equipment, wireless facilities, or wireless support structures for small wireless facilities but that does not provide wireless services.

Wireless provider

A wireless infrastructure provider or a wireless services provider.

Wireless services

Any services, using licensed or unlicensed wireless spectrum, including the use of Wi-Fi, whether at a fixed location or mobile, provided to the public using wireless facilities.

Wireless services provider

A person who provides wireless services.

Wireless support structure

A new or existing structure, such as a monopole, lattice tower, or guyed tower that is designed to support or capable of supporting wireless facilities. A utility pole or Town utility pole is not a wireless support structure.

PART 2

That the Unified Development Ordinance shall be renumbered as necessary to accommodate these changes.

PART 3

That these amendments of the Unified Development Ordinance shall become effective upon adoption.

Duly adopted this the 3rd day of October 2017.

M. Andy Moore, Mayor

ATTEST

Shannan L. Williams, Town Clerk



PLANNING DEPARTMENT

Steven L. Medlin, AICP, Interim Planning Director

Notice Of Public Hearing

Notice is hereby given that a public hearing will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, September 7, 2017 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider adoption of amendments to the Unified Development Ordinance (UDO). The Town initiated an update of its current Unified Development Ordinance to accomplish the following:

- Make modifications to bring the UDO into compliance with recent changes to the N.C. General Statutes in the following areas:
 - **Section 1.3.4.3** – Modification to subdivision exemptions to include divisions of property in accordance with a probated will or in accordance with intestate succession under Chapter 29 of the N.C. General Statutes per Session Law 2017-10.
 - **Section 1.8.7.1** – Added statute of limitations for land use violation enforcement per Session Law 2017-10.
 - **Section 10.84.4** – Added an exemption of Small Wireless Communication Infrastructure from local government review and approval per House Bill 310.
 - **Appendix A** – Added definitions related to small wireless communication and the watershed protection overlay modifications.
- Make provision for the ability to increase impervious surface limitations and to utilize cluster subdivision standards in watershed protection areas.
 - **Sections 10.90.2, 10.90.6.2.3, 10.90.7.2.2, 10.90.7.2.3, 10.90.8, 10.90.9 and 10.90.16** – To allow for projects in the watershed protection overlay districts to utilize the “high density option” to increase impervious surfaces up to 70 percent with the utilization of approved engineered stormwater devices as permitted by NCGS 143-214.5 and Title 15A of the North Carolina Administrative Code (NCAC) subchapter 02B.

The public is encouraged to attend the public hearing to obtain additional information and to have the opportunity to comment on the draft ordinance. The Smithfield Town Council may adopt the Unified Development Ordinance following the public hearing. A copy of the draft ordinance may be reviewed at the Town of Smithfield Planning Department, 350 East Market Street, Smithfield, NC, during normal office hours. A copy of the ordinance may be purchased from the Town for the cost of copying. If you have questions, please contact Mark Helmer, Senior Planner, at 919/934-2116, extension 1112.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Smithfield Planning Department at (919) 934-2116 or online at www.smithfield-nc.com.

Run “Legal Ad” in the Smithfield Herald on 8/23/17 and 8/30/17



Request for Planning Board Action

**Business
Agenda** SP-17-09
Item:
Date: 9/7/17

Subject: SP-17-09 Tires and Wheels Service Shop

Department: Planning

Presented by: Mark E. Helmer, AICP Senior Planner

Presentation:

Issue Statement: The applicant is requesting preliminary site plan review and approval of a retail sales and service center on property located within a B-3 (Business) zoning district.

Financial Impact: none

Action Needed The Planning Board is requested to review the preliminary site plan for compliance with the Town of Smithfield Unified Development Ordinance minimum development standards.

Recommendation Planning staff recommends approval of the site plan with the condition that all Unified Development Ordinance standards are met prior to issuance of final site plan approval and issuance of a valid zoning permit.

Approved: City Manager City Attorney

Attachments:



Staff Report

**Business
Agenda Item: SP-17-09**

History

On December 2, 2016, the Smithfield Town Council approved CUP-16-12 to allow Amalia Felix Mireles to construct an automotive repair facility with tire sales and service on property located within the B-3 (Business) zoning district. The property which received the conditional use permit is located on the southwest corner of Wal-Pat Road and South Brightleaf Boulevard and further identified as Johnston County Tax ID# 15A61047D.

On August 8, 2017, BRL Engineering submitted a site plan for an automotive repair facility. The site plan as submitted generally meets the requirements of the UDO and provides paved parking, required landscaping, and one access point on South Brightleaf Boulevard.

Key site elements

- 2,830 square foot building
- Paved parking provided as required by current development standards.
- Access provided by one proposed driveway to be permitted by NCDOT.
- Required landscape yards
- Public utilities connections
- Screened dumpsters

Site Data

Proposed Project Name: Site Plan For Tires & Wheels Service Shop

Current Property Owner Of Record: Amalia Felix Mireles

Developer/Applicant: Amalia Felix Mireles

Zoning: B-3

Existing Use, Vacant Block Building (To Be Demolished), Remaining Open Lot

Proposed Use: Commercial - Auto Maintenance / Repair & Future Office/Lease Space

Electricity Provider: Town Of Smithfield

Total Boundary Area= 1.621 Ac

Area In Existing NCDOT ROW = 0.192 Ac

Buildable Site Area = 1.429 Ac

Existing Building/Structure Sq. Ft. = 2,930 Sq. Ft. +/-

Proposed Building/Structure Sq. Ft. = 2,800 Sq. Ft.

+ 3,250 Sq. Ft (Max Future Bldgs)

Parking Spaces Required = 4 Current Proposed (1 Space Per Bay X 4 Bays At Front Max)

Parking Spaces Provided= 49

Handicap Spaces Required= 2
Handicap Spaces Provide = 2
Existing Impervious Area 0.428 Ac (18,660 Sq. Ft.)
Proposed Impervious Area= 0.913 Ac {39,751 Sq. Ft.} - Includes Current+ Future
(3,250 Max Sq. Ft. Future Bldgs)
(33,701 Sq. Ft. - Remaining Vehicular Areas)
Net New/Additional Impervious Area = .485 Ac (21,091 Sq. Ft)
Stormwater: < 0.5 Ac New Impervious - No Attenuation Required
Nitrogen Not Calculated

The Planning Department recommends approval of the preliminary site plan with the condition that all minimum requirements of the Town of Smithfield Unified Development Ordinance are met to include required landscaping, parking, and access prior to final site plan approval and permitting.



APPLICATION FOR SITE PLAN/SUBDIVISION REVIEW

Date Submitted: 8/7/17 NCPIN: 168320-91-1779

Applicant: Amalia Felix Mireles Property Owner: Same as Applicant

Address: 10517 US 70 Highway West Address: Same as Applicant
Clayton, NC 27520

Project Contact: Alfonzo Iler Phone: 919 553-5557

Phone: 919 320-4831 Fax: _____

Fax: _____ Zoning: B-3

Location: 2314 S. Brightleaf Blvd.
Smithfield, NC 25777 Linear Footage of Proposed Streets: N/A

No. of Lots Proposed: N/A Average Lot Sizes: N/A

Existing Impervious Surface Area: 0.428 Ac Proposed Impervious Surface Area: 0.913 Ac (0.485 New)

Total Acreage 1.429 Ac. (Clear of R/W) Total Disturbed Area: 1.32 Ac.

Project Name: Site Plan for Tires & Wheels Service Shop

Street Name(s): _____
(Continue on additional sheet, if necessary)

Estimate of Water Allocation Required: _____

Estimate of Sewer Allocation Required: _____

Type of Project: (check one)

- Exempt Subdivision (Submit 2 paper copies)
- Minor Subdivision (Submit 2 paper copies)
- Major Subdivision (Submit 6 paper copies)
- Recombination (Submit 2 paper copies)
- Site Plan (Submit 6 paper copies)

Application Fee:

Minor Subdivision (\$50.00) + \$5.00 a lot (\$55.00 min)

Major Subdivision (\$250.00) + \$5.00 a lot (\$255.00 min)

Total Number of Lots _____ x \$5.00/lot

Site Plan (\$150.00) + \$50.00 an acre (\$200.00 min) (\$150 + 1.429 Ac x \$50/Ac) \$221.45

Total \$221.45

File Number _____

#500 (Min.)
Town of Smithfield
Signature



Storm Water Permit Application

Development/Site Name: Site Plan for Tires & Wheels Service Shop

Owner/Developer Name: Amalia Felix Mireles

Address: 10517 US 70 Highway West

Phone: 919 320-4831 Contact Person: Alfonzo Iler

Fax: _____ No. of acres to be disturbed: 1.32 Ac.

Email: alfonzoiler@aol.com No. of acres in development: 1.429 Ac. (Clear of RW)

Type of Development: (circle one)

Fee

Residential

\$30/acre (\$500 minimum)

Non-Residential

\$75/acre (\$500 minimum)

I hereby certify that all information contained within this Storm Water Management Application is accurate and complete to the best of my knowledge and conforms to the Town of Smithfield's Storm Water Management Ordinance and storm water design criteria. The Town of Smithfield has the right to inspect all storm water facilities on this site.

Amalia Felix Mireles

Type or Printed Name

Amalia Felix Mireles
Signature of Owner/Developer

8/4/17
Date

I assume responsibility for inspections, maintenance and operation of all storm water facilities/Best Management Practices in accordance with the Inspection and Maintenance Agreement enclosed and with the Storm Water Management Permit.

Amalia Felix Mireles

Type or Printed Name

Amalia Felix Mireles
*Signature

8/4/17
Date

Acting as an agent for: Amalia Felix Mireles

*Note: Responsibility for the continued operation and maintenance of the storm water facilities can be assumed from the developer by an individual landowner or Home Owner's Association. In the event that a Home Owner's Association assumes responsibility, the signature shall be of an individual acting as an agent for the Home Owner's Association.

Submit the completed application along with detailed plans, Inspection and Maintenance Agreement, easements, supporting design information and the associated fee to:

**Storm Water Administrator, Town of Smithfield
PO Box 761
350 East Market Street
Smithfield, NC 27577**

If you have any questions or need more information, contact the SW Administrator at 919-934-2116.

CONSTRUCTION DRAWINGS

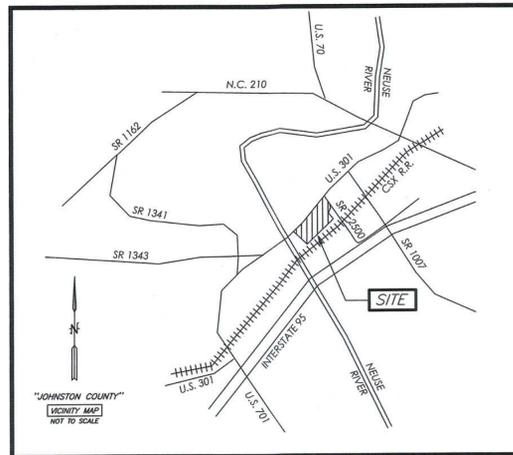
CIVIL/SITE DESIGN PLANS FOR

SITE PLAN FOR TIRES & WHEELS SERVICE SHOP

IN

TOWN OF SMITHFIELD, NC

AUGUST 7, 2017



**FINAL DRAWING - FOR
REVIEW PURPOSES ONLY**
(NOT RELEASED FOR CONSTRUCTION)

SHEET INDEX

| <u>SHEET TITLE</u> | <u>SHEET No.</u> |
|--|------------------|
| NOTES, LEGEND, AND BRIEF SPECIFICATIONS..... | 1 |
| EXISTING CONDITIONS & DEMOLITION PLAN..... | 2 |
| CURRENT SITE PLAN / OVERALL LAYOUT & UTILITY PLAN (WATER/SEWER SERVICES).... | 3 |
| OVERALL GRADING / EROSION CONTROL / SURFACE DRAINAGE PLAN..... | 4 |
| FINAL SURFACES / PAVING PLAN..... | 5 |
| DETAIL SHEETS..... | D1 - D4 |
| *SEPARATE LANDSCAPE PLAN (BY OTHERS) | |

OWNER/DEVELOPER:

AMALIA FELIX MIRELES
10517 US 70 HIGHWAY WEST
CLAYTON, NC 27520

CONTACT: ALFONZO ILER
TEL: 919 320-4831 (M)
EMAIL: alfonzoiler@aol.com



BRL ENGINEERING & SURVEYING
112 East Johnston Street
Smithfield, NC 27577
Office: (919) 989-9300
Field: (919) 631-6934

www.brleengineering.com
brleengineering@earthlink.net

NCBELS Firm
No: P-0323

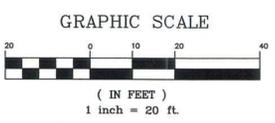
BOUNDARY & PROPERTY SURVEY BY:
BYRD SURVEYING, PA
112 EAST JOHNSTON STREET
SMITHFIELD, NC 27577
PHONE: 919 989-9300
FAX: 919 989-9301

GENERAL NOTES FOR THIS PLAN SHEET:

- This plan sheet is part of multiple plan sheets within an overall set of Construction Drawings for Site Construction only. The plan sheets in the construction drawings are designed, engineered, and produced in accordance with 21 NCAC 56.0701 and .1103. Each plan sheet within the Construction Drawings shall not be considered final for construction unless appropriately signed and sealed by Engineer as a final document. Additionally, all site permits and approvals from appropriate federal, state and local agencies must be obtained prior to beginning any construction activity related to a permit/approval. Contact Engineer if there is any question regarding permits/approvals.
- See also pertinent Detail Sheets for specific construction details related to this plan sheet. See also Site Plan and/or Notes/Specs/Legend sheet for additional notes or specifications pertaining to the overall project.

SPECIAL ADDITIONAL NOTES FOR THIS PLAN SHEET:

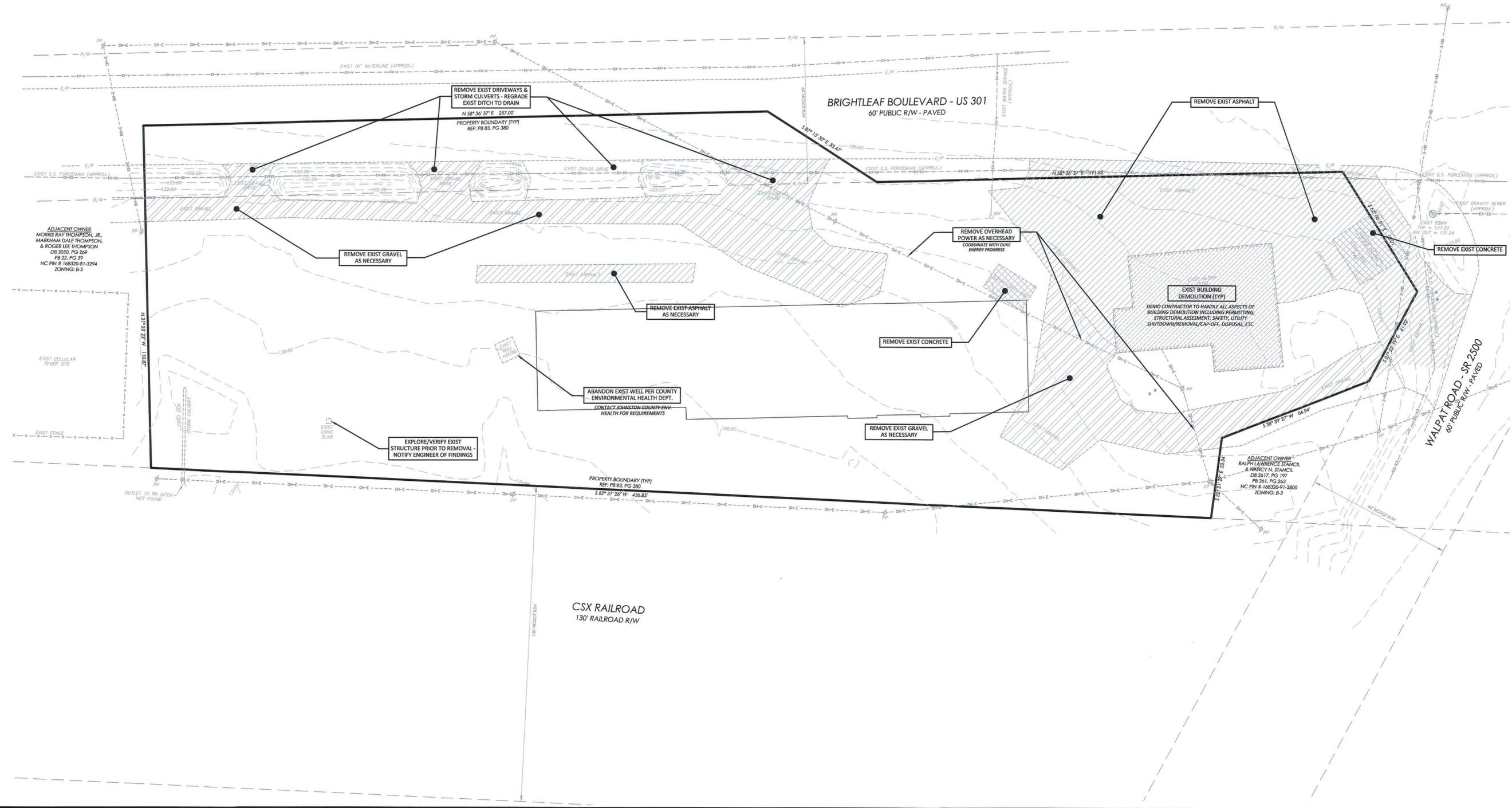
- Purpose: The purpose of this Existing Conditions & Demolition Plan is to depict an overall layout of the existing site and depict construction activities that are related to site demolition. It includes a surveyed boundary, an engineering/topographic survey of the land, and areas of "minimum" site demolition (additional demolition areas may be necessary). This plan sheet is part of a full set of Construction Drawings and should be used in conjunction with the full set that is approved and released for construction.
- Standard Specifications: No standard specifications are given for this Plan. Any/all industry standards shall apply.
- Work in Rights-of-Way or Easements: Any work in existing or proposed rights-of-way or easements (particularly NCDOT rights-of-way) shall be conducted in accordance with the standards of the holder of the right-of-way or easement. Work in existing rights-of-way or easements shall also be conducted in accordance with any approved encroachment or permit, and all conditions within the permit. Contact DEVELOPER or ENGINEER with any questions regarding permitting.
- Site Demolition as shown hereon is considered a recommended "minimum" illustration of necessary demolition. CONTRACTOR shall demolish, remove and/or relocate ALL OTHER structures or other visible/obvious utilities as required to complete construction according to the Plans. CONTRACTOR shall visit the site prior to bidding, or prior to providing any pricing for the work, and satisfy himself as to all demolition that is required.
- This plan does not express or imply any specific instructions or specifications related to demolition. Any structural demolition as may be required shall be the sole responsibility of the CONTRACTOR. Any demolition permits as may be required shall be obtained by the CONTRACTOR.
- All demolition material removed shall be hauled offsite and properly disposed of. Coordinate with OWNER regarding any materials that may be salvaged and/or stored on-site. Notify ENGINEER and OWNER immediately if unknown hazardous materials are encountered that may require special demolition and disposal techniques.
- Before demolition, install all erosion control devices according to the Erosion Control Plan. If an Erosion Control Plan is not required or provided, CONTRACTOR is responsible for controlling and containing all sediment on-site in accordance with NC Law.



DEMOLITION / REMOVAL LEGEND

- CONCRETE DEMO/REMOVAL**
- ASPHALT DEMO/REMOVAL**
(CONTRACTOR MAY OPT TO RETAIN EXISTING WHERE NEEDED)
- GRAVEL DEMO/REMOVAL**
(CONTRACTOR MAY OPT TO RETAIN EXISTING WHERE NEEDED)
- BUILDING/STRUCTURAL DEMO/REMOVAL**

FINAL DRAWING - FOR REVIEW PURPOSES ONLY
(NOT RELEASED FOR CONSTRUCTION)



| | | | | | | | | | | | |
|--|----------------|--------|--------|----------------|-----------|-----|-------------|-----|-------------|-----------|--|
| <p>REVISIONS/NOTES:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">DATE:</td> <td>8/7/17</td> </tr> <tr> <td>SCALE:</td> <td>REF: BAR SCALE</td> </tr> <tr> <td>DRAWN BY:</td> <td>BRL</td> </tr> <tr> <td>CHECKED BY:</td> <td>BRL</td> </tr> <tr> <td>PROJECT No:</td> <td>116010.00</td> </tr> </table> | DATE: | 8/7/17 | SCALE: | REF: BAR SCALE | DRAWN BY: | BRL | CHECKED BY: | BRL | PROJECT No: | 116010.00 | <p>BRL ENGINEERING & SURVEYING 112 East Johnston Street Smithfield, NC 27577 Office: (919) 989-8300 Field: (919) 631-6934 www.brlengineering.com brlengineering@earthlink.net</p> <p>OWNER/DEVELOPER INFORMATION OWNER/DEVELOPER: AMALIA FELIX WIRELES CONTACT: ALFONSO LER ADDRESS: 188320-91-1779 CITY/TOWN: SMITHFIELD, NC COUNTY: JOHNSTON CO., NC STATE: NC ZONING: B-3</p> |
| DATE: | 8/7/17 | | | | | | | | | | |
| SCALE: | REF: BAR SCALE | | | | | | | | | | |
| DRAWN BY: | BRL | | | | | | | | | | |
| CHECKED BY: | BRL | | | | | | | | | | |
| PROJECT No: | 116010.00 | | | | | | | | | | |
| <p>SITE PLAN FOR TIRES & WHEELS SERVICE SHOP</p> | | | | | | | | | | | |
| <p>EXISTING CONDITIONS & SITE DEMOLITION PLAN</p> | | | | | | | | | | | |
| <p>Sheet No. 2 of 5</p> <p>EXIST CONDITIONS & DEMOLITION</p> | | | | | | | | | | | |

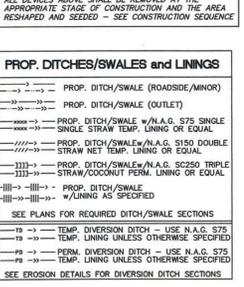
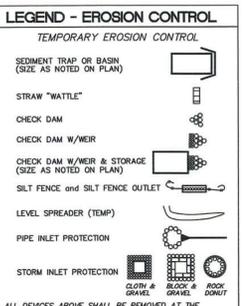
FOR BRIEF SPECS PERTAINING TO OVERALL EARTHWORK CONSTRUCTION, SEE BRIEF SPECIFICATIONS ON SHEET 1.

GENERAL NOTES FOR THIS PLAN SHEET:
 1. This plan sheet is part of multiple plan sheets with an overall set of Construction Drawings for Site Construction only. The plan sheets in the construction drawings are designed, engineered, and produced in accordance with 21 NCAC 36.0701 and 1103. Each plan sheet within the Construction Drawings shall not be considered final for construction unless appropriately signed and sealed by Engineer as a final document. Additionally, all site permits and approvals from appropriate federal, state & local agencies must be obtained prior to beginning any construction activity related to a permit/approval. Contact Engineer if there is any question regarding permits/approvals.
 2. See also pertinent Detail Sheets for specific construction details related to this plan sheet. See also Site Plan and/or Notes/Specs/legend sheet for additional notes or specifications pertaining to the overall project.

SPECIAL/ADDITIONAL NOTES FOR THIS PLAN SHEET:
 1. Purpose: The purpose of this Grading/Erosion Control Plan is to depict an overall layout for most site construction activities that are related to grading or earth moving. It includes erosion control devices, and surface drainage ditches & outlets. This plan sheet is part of a full set of Construction Drawings and should be used in conjunction with the full set that is approved and released for construction.
 2. Standard Specifications: All grading for street construction or other vehicular areas (ie. parking lots) shall be in accordance with the current standards and specifications of NCDOT. When required or requested, CONTRACTOR shall provide for independent testing & inspection, including: proof-rolling, compaction, and asphalt density testing; and shall provide written documentation to DEVELOPER/ENGINEER indicating acceptable results. All other grading shall be in accordance with these Plans & Specifications or otherwise in accordance with industry standards. All Erosion Control construction shall be in accordance with the current minimum standards and specifications of NCDCEQ and all conditions of permitting. See Notes/Specs/legend sheet for additional specifications.
 3. Work in Right-of-Way or Easements: Any work in existing or proposed right-of-way or easements (particularly NCDOT rights-of-way) shall be conducted according to the standards of the holder of the right-of-way or easement. Work in existing right-of-way or easements shall also be conducted in accordance with any approved encroachment or permit, and all conditions within the permit. Contact DEVELOPER or ENGINEER with any questions regarding permitting.
 4. Finish Grade Contours and Cuts: The finish grade contours shown on this plan are to finish asphalt, sidewalk, gutter, or ground elevations (topically surface flow or "outlet flow"). There are no cuts or curb grades for this plan.
 5. Handicap Accessibility: This site shall conform to all requirements for handicap accessibility. This may require that special attention be given to finish grades throughout ALL stages of grading. In general, proposed grades and contours as indicated hereon were set in order to meet the required standards. However, because of the detail in construction required to achieve these requirements in the field, the CONTRACTOR shall be responsible for ensuring that staking, rough grading, base material installation, fine grading, and finish surface result in the desired finish grades & slopes along accessible routes. See Special Notes - Handicap Accessibility on sheet 1 for additional information related to Handicap Accessibility.

TOTAL DENUDED AREA
 1.32 AC

SEE LIMITS OF DISTURBANCE IN PLAN VIEW



SPECIAL NOTES FOR EROSION CONTROL

- NPDES GENERAL STORMWATER PERMIT REQUIREMENTS: NCDCEQ Erosion Control approval also constitutes NPDES Construction approval/permitting, for construction sites disturbing greater than one acre. NPDES requirements on construction sites shall be in accordance with the conditions of NCDWR General Permit NCG 010000, including self monitoring and reporting (refer to NCDWR website for additional information related to this general permit). The CONTRACTOR, on behalf of the OWNER, shall implement all measures, including monitoring, as required by the General Permit.
 - SELF-INSPECTION REPORTING: In addition to weekly Self-Monitoring Reports (as already required under NPDES Permitting - see above), the CONTRACTOR, on behalf of the OWNER, shall maintain Self-Inspection Reports after specific phases of installation of erosion control devices (refer to NCDWR website for additional information related to this requirement).
 - PERMANENT DITCHES DURING CONSTRUCTION (esp. Roadside Ditches & Outlet Ditches): Permanent ditches proposed on this plan may be constructed initially as a temporary diversion with temporary seeding & lining (and the permanent ditch constructed later). OR the permanent ditch section may be installed w/out lining (as long as it is maintained during construction). Either way, the final/accepted ditch shall be cleaned of sediment and shaped/seeded to the permanent ditch section as specified, with final/permanent seeding and any new lining as may be required.
 - TEMPORARY LININGS IN PERMANENT DITCHES AND OTHER AREAS: Temporary linings (when required in permanent ditches, on permanent slopes, or other final areas) may be installed in conjunction with temporary seeding or final/permanent seeding (depending on construction schedule), but ditch or other graded area shall remain non-erode during construction, AND final ditch or graded area shall be established with a stable growth of final/permanent grass. In some cases additional lining may be required to stabilize bare areas prior to final acceptance.
 - FINAL/PERMANENT SEEDING: See Erosion Control details/specifications for all final/permanent grass areas and grass types as proposed for this site. Temporary seeded areas may need to be completely scarified and re-seeded with permanent seed (unless overseeding will allow for the desired stand of perennial grass). Coordinate with ENGINEER regarding final seeding mix. Coordinate with OWNER if sodding specific areas may be a desirable alternative to seeding.
 - PRICING ALLOWANCE FOR REMOVING TEMPORARY SEDIMENT STORAGE DEVICES: CONTRACTOR shall include a separate pricing allowance for removing, grading and seeding all sediment storage devices (ie. traps, siltment basins, excavated storage, etc. (listed per each device). OWNER shall have the option to leave these devices in for the future home-building phase; but only as coordinated with the appropriate erosion control permitting agency. Posting of bonds or other monetary security may be required by the agency in order to leave these devices in.
- ADDITIONAL NOTES PER NC Land Quality Section:**
- The following must be kept on-site until the EASC Plan has been closed out by Land Quality: Previous 30 days of self inspection records, rain gauge, approval certificate/letter, and NPDES permit. Failure to maintain these on-site violates the NPDES permit.
 - Mat Slopes in Summer and Winter: Graded slopes and fills shall be protected with a rolled erosion control product if completed outside optimum germination seasons, when unfavorable weather conditions prevent establishment of vegetative ground cover.
 - 48 Hours Notification: Land Quality shall be formally notified a minimum of 48 hours prior to construction beginning.
 - Permanent ground cover will be provided for all disturbed areas within 15 working days or no more than 90 calendar days (whichever is shorter).

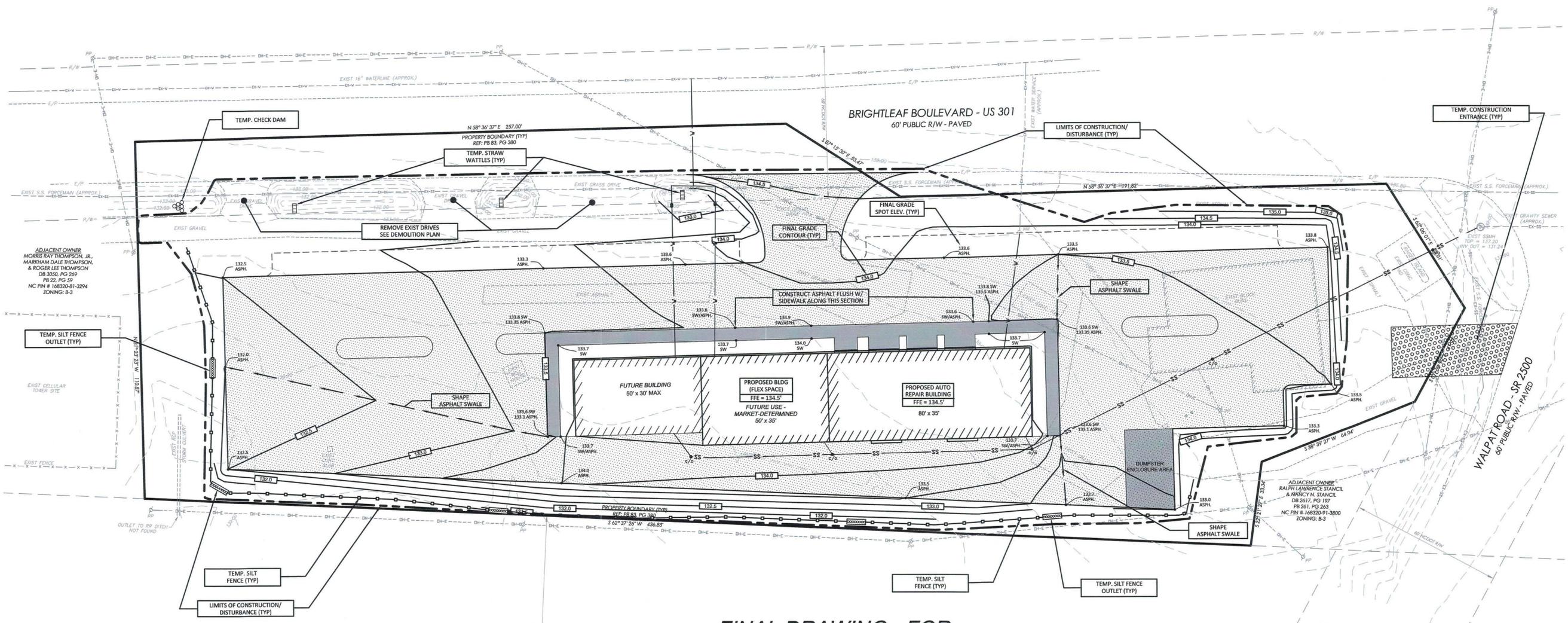
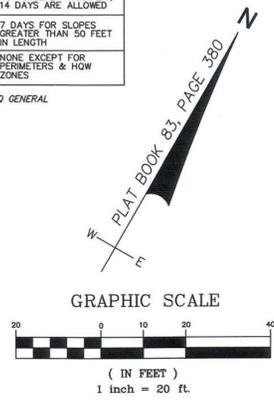
SITE-SPECIFIC CONSTRUCTION SEQUENCE FOR EROSION CONTROL

- Obtain approval from NCDCEQ Sedimentation & Erosion Control. CONTRACTOR shall notify NCDCEQ prior to any land disturbing activity.
- Install construction entrance(s) at existing NCDOT roadway as shown.
- IN OPEN AREAS, install silt fence, silt fence outlets, check dams, wattles, and any other perimeter devices per approved plan. Seed any disturbed areas with temporary seeding in accordance with the Ground Stabilization Requirements.
- IN WOODED AREAS, begin any clearing & grubbing or individual tree removal as necessary for construction. Do not exceed limits of construction as indicated. Orange tree protection fencing is also encouraged along the clearing limits of this project. Then install devices described in Step 3 above.
- Begin any demolition or other removal of existing facilities as required.
- Begin rough grading and earthwork operations, bringing earth material to proper grades and maintaining drainage patterns in general conformance with the proposed grades. Install any other temporary erosion measures where indicated on this Plan.
- During grading, check all all erosion control measures at least once per week and after every rainfall event (ref. Special Erosion Notes 1 & 2 this sheet). Place temporary seeding in denuded areas in accordance with the Ground Stabilization Requirements.
- Complete rough and fine grading operations to required grades, maintaining surface drainage patterns as shown on plan.
- Construct any water, sewer, or storm drainage pipes and appurtenances as indicated on plan. (This step may be performed in conjunction with steps 6-9).
- Install finish grade hard surfaces: install compacted ABC and asphalt in roadway or vehicular sections according to plans. Install any other gravel or paved surfaces according to plans. (See Final Surfaces/Paving Plan).
- Install finish grade soft surfaces: Spread topsoil in areas where grass seeding or landscaping is proposed. (See Final Surfaces/Paving Plan). Shape and seed permanent ditches or swales where indicated on plan.
- Seed any remaining disturbed areas with PERMANENT seeding in accordance with the Seeding Specifications (ref. Erosion Details). Coordinate with ENGINEER regarding final seeding mix. Coordinate with OWNER if sodding specific areas may be a desirable alternative to seeding. Install any erosion control matting (that hasn't already been installed) where indicated on this Plan. Coordinate with OWNER and/or ENGINEER if other areas (esp. fill slopes and ditches) might require erosion control matting due to evidence of erosion or upcoming weather patterns.
- When areas upslope from temporary erosion devices have been completed and stabilized (with an established growth of permanent grass), then the temporary devices may be removed. Notify NCDCEQ to schedule an inspection prior to removal of any sediment containment devices. Upon removal of sediment storage devices, immediately bring surrounding areas to finish grade and seed and mulch with permanent seeding.
- Remove any remaining temporary erosion measures AFTER upstream seeded areas are established and stabilized. Grade, shape, and seed all disturbed areas where devices are removed. Any remaining permanent erosion devices (if any) should now be installed.

GROUND STABILIZATION REQUIREMENTS

| SITE AREA DESCRIPTION | STABILIZATION TIME FRAME | STABILIZATION TIME FRAME EXCEPTIONS |
|--|--------------------------|---|
| PERIMETER DIKES, SWALES, DITCHES AND SLOPES | 7 DAYS | NONE |
| HIGH QUALITY WATER (HOW) ZONES | 7 DAYS | NONE |
| SLOPES STEEPER THAN 3:1 | 7 DAYS | IF SLOPES ARE 10' OR LESS IN LENGTH & ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED |
| SLOPES 3:1 OR FLATTER | 14 DAYS | 7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH |
| ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS | NONE EXCEPT FOR PERIMETERS & HOW ZONES |

AND IN ACCORDANCE WITH CURRENT NCDWR GENERAL CONSTRUCTION PERMIT (NCG01)



FINAL DRAWING - FOR REVIEW PURPOSES ONLY
 (NOT RELEASED FOR CONSTRUCTION)

CSX RAILROAD
 130' RAILROAD R/W

REVISION NOTES:

| | |
|--------------|----------------|
| DATE: | 8/7/17 |
| SCALE: | REF. BAR SCALE |
| DRAWN BY: | BRL |
| CHECKED BY: | BRL |
| PROJECT NO.: | 11610.00 |

BRL ENGINEERING & SURVEYING
 112 East Johnston Street
 Smithfield, NC 27577
 Office: (919) 989-9300
 Field: (919) 831-8934
 www.brlengineering.com
 brlengineering@earthlink.net

SITE PLAN FOR TIRES & WHEELS SERVICE SHOP

OWNER/DEVELOPER INFORMATION
 OWNER/DEVELOPER: AMALIA FELIX WHEELS
 CONTACT: ALFONZOLER
 DEVELOPER ADDRESS: 112 EAST JOHNSTON STREET, SMITHFIELD, NC 27577
 CLAYTON, NC 27027
 PHONE: 919.336.4811

SITE INFORMATION
 CITY OR TOWN, COUNTY & STATE: SMITHFIELD, JOHNSTON CO., NC
 TOWNSHIP, COUNTY, & STATE: ---
 NC PIN #: 168320-91-1779 ZONING: B-3

Sheet No. **4** of **5**
GRADING/EROSION/DRAINAGE

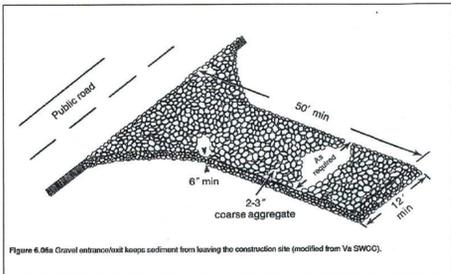


Figure 6.06a Gravel entrance/trap layout showing sediment from leaving the construction site (modified from Va SWDC).

- Construction Specifications**
1. Clear the entrance and exit area of all vegetation, roots, and other objectionable material and properly grade it.
 2. Place the gravel to the specific grade and dimensions shown on the plans, and smooth it.
 3. Provide drainage to carry water to a sediment trap or other suitable outlet.
 4. Use geotextile fabrics because they improve stability of the foundation in locations subject to seepage or high water table.
- Maintenance**
- Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic regrading with 2-inch stones. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.

CONSTRUCTION ENTRANCE PAD DETAIL
NO SCALE

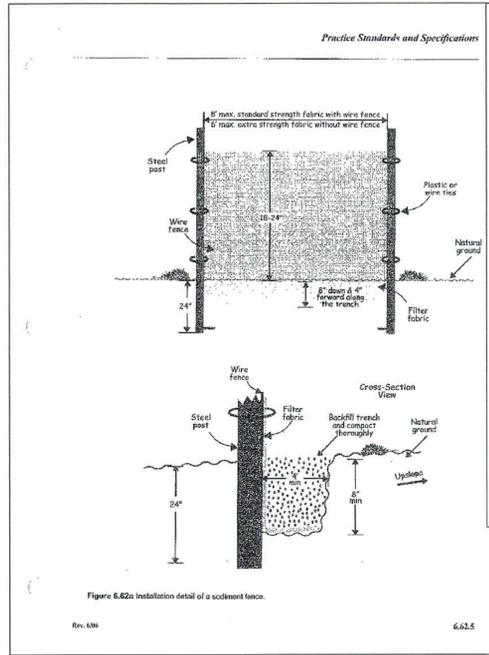


Figure 6.62a Installation detail of a sediment fence.

- Maintenance**
- Inspect sediment fences at least once a week and after each rainfall. Make any required repairs immediately.
- Should the fabric of a sediment fence collapse, tear, decompose or become ineffective, replace it promptly.
- Remove sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.
- Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

SEDIMENT ("SILT") FENCING
NO SCALE

Table 6.62b Specifications For Sediment Fence Fabric

| Temporary Silt Fence Material Property Requirements | | | | |
|---|-------------|----------------------|----------------------------|---------------|
| Test Method | Units | Minimum ¹ | Un-Reported ² | Type of Value |
| Grab Strength | ASTM D 4852 | N (lbs) | | |
| Machine Direction | | 400 | 550 | MAFV |
| | | (90) | (120) | |
| Machine Direction | | 400 | 400 | MAFV |
| | | (90) | (90) | |
| Permeability | ASTM D 4491 | sec 1 | 0.05 | MAFV |
| Apparent Opening Size ³ | ASTM D 4751 | mm | 0.05 | MAFV |
| | | (0.05) | (0.05) | |
| Ultraviolet Stability | ASTM D 4365 | Resistant | 70% after 1000 hr exposure | Typical |
| | | Resistant | 50% or exposure | Typical |

¹Silt Fence support that consist of 14 gage steel wire with a mesh fabric of 150 mm (6 inches), or precast concrete polymer mesh of equivalent strength.

²These fabric values are based on empirical evidence with a variety of sediment. For geotechnically sensitive areas, a review of previous experience under site or regionally specific geologic tests in accordance with Test Method D 5141 should be performed by the agency to confirm suitability of these requirements.

³As measured in accordance with Test Method D 4852.

- CONSTRUCTION**
1. Construct the sediment barrier of standard strength or extra strength synthetic fiber fabric.
 2. Ensure that the height of the sediment fence does not exceed 24 inches above the ground surface. (Higher fences may impound volume of water sufficient to cause failure of the structure.)
 3. Contract the filter fabric from a continuous roll out to the length of the barrier to avoid joints. When joints are necessary, securely fasten the filter cloth only at a support post with 4 feet minimum overlap to the next post.
 4. Support standard strength filter fabric by wire mesh fastened securely to the uplope side of the posts. Extend the wire mesh support to the bottom of the trench. Fasten the wire reinforcement, then fabric on the uplope side of the fence post. Wire or plastic zip ties should have minimum 50 pound tensile strength.
 5. When a wire mesh support fence is used, space posts a maximum of 8 feet apart. Support posts should be driven securely into the ground a minimum of 24 inches.
 6. Extra strength filter fabric with 6 feet post spacing does not require wire mesh support fence. Securely fasten the filter fabric directly to posts. Wire or plastic zip ties should have minimum 50 pound tensile strength.

7. Excavate a trench approximately 4 inches wide and 8 inches deep along the proposed line of posts and uplope from the barrier (Figure 6.62b).
 8. Place 12 inches of the fabric along the bottom and side of the trench.
 9. Backfill the trench with soil placed over the filter fabric and compact. Thorough compaction of the backfill is critical to silt fence performance.
 10. Do not attach filter fabric to existing trees.
- SEDIMENT FENCE INSTALLATION USING THE SLICING METHOD**
- Instead of excavating a trench, placing fabric and then backfilling trench, sediment fence may be installed using specially designed equipment that inserts the fabric into a cut sliced in the ground with a slicer (Figure 6.62b).

- Installation Specifications**
1. The base of both end posts should be at least one foot higher than the middle of the fence. Check with a level if necessary.
 2. Install posts 4 feet apart in critical areas and 6 feet apart on standard applications.
 3. Install posts 2 feet deep on the downstream side of the silt fence, and as close as possible to the fabric, enabling posts to support the fabric from upstream water pressure.
 4. Install posts with the supplies facing away from the silt fabric.
 5. Attach the fabric to each post with three ties, all spaced within the top 8 inches of the fabric. Attach each tie diagonally 45 degrees through the fabric, with each postwire at least 1 inch vertically apart. Also each tie should be positioned to hang on a post nipple when tightened to prevent sagging.
 6. Wrap approximately 6 inches of fabric around the end posts and secure with 3 ties.
 7. No more than 24 inches of a 36 inch fabric is allowed above ground level.
 8. The installation should be checked and corrected for any deviations before completion.
 9. Compaction is vitally important for effective results. Compact the soil immediately back to the silt fence fabric with the front wheel of the tractor, skid steer, or roller exerting at least 60 pounds per square inch. Compact the upstream side first, and then each side twice for a total of 4 trips.

FINAL DRAWING - FOR REVIEW PURPOSES ONLY
(NOT RELEASED FOR CONSTRUCTION)

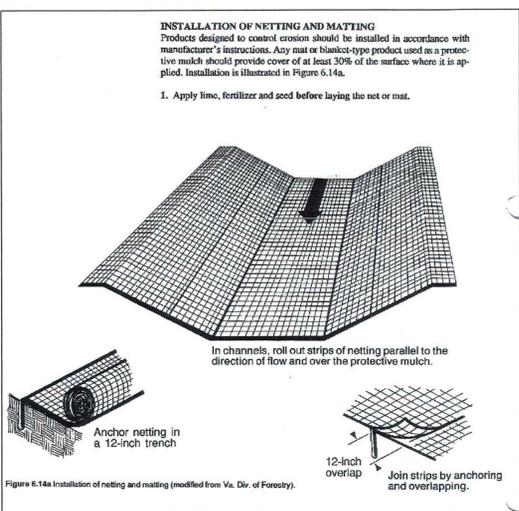


Figure 6.14a Installation of netting and matting (modified from Va. Div. of Forestry).

- Practice Standards and Specifications**
1. Apply lime, fertilizer and seed before laying the net or mat.
 2. Start laying the net from the top of the channel or slope and unroll it down the grade. Allow netting to lay loosely on the soil or mulch cover but without wrinkles—do not stretch.
 3. To secure the net, bury the uplope end in a slot or trench no less than 6 inches deep, cover with soil, and tamp firmly as shown in Figure 6.14a. Staple the net every 12 inches across the top end and every 3 ft. around the edges and bottom. Where 2 strips of net are laid side by side, the adjacent edges should be overlapped 3 inches and stapled together. Each strip of netting should also be stapled down the center, every 3 ft. Do not stretch the net when applying staples.
 4. To join two strips, cut a trench to anchor the end of the new net. Overlap the end of the previous roll 18 inches, as shown in Figure 6.14a, and staple every 12 inches just below the anchor slot.

DITCH LINING INSTALLATION DETAIL (GENERAL)
NO SCALE

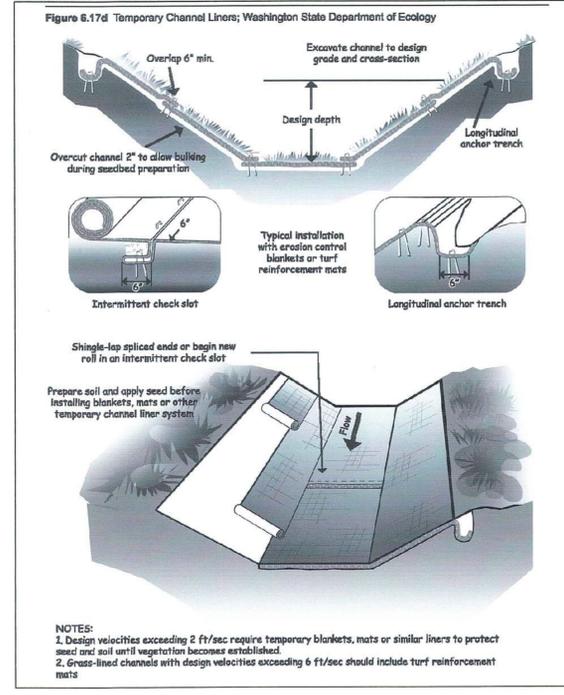
FOR OTHER ROLLED PRODUCTS, SEE DETAIL FOR "ROLLED EROSION CONTROL PRODUCTS (GENERAL)"

MAINTENANCE:
Same as for Rolled Erosion Control Products.

- Construction Specifications**
- Construction**
- Even if properly designed, if not properly installed, RECP's will probably not function as desired. Proper installation is imperative. Even if properly installed, if not properly timed and nourished, vegetation will probably not grow as desired. Proper seed/vegetation selection is also imperative.
- Grade the surface of installation areas so that the ground is smooth and loose. When seeding prior to installation, follow the steps for seed bed preparation, soil amendments, and seeding in *Surface Stabilization*, 6.1. All gullies, rills, and any other disturbed areas must be fine graded prior to installation. Spread seed before RECP installation. (Important: Remove all large rocks, dirt clods, stumps, roots, grass clumps, trash, and other obstructions from the soil surface to allow for direct contact between the soil surface and the RECP.)
- Terminal anchor trenches are required at RECP ends and intermittent trenches must be constructed across channels at 25-foot intervals. Terminal anchor trenches should be a minimum of 12 inches in depth and 6 inches in width, while intermittent trenches need be only 6 inches deep and 6 inches wide.
- Installation for Slopes**—Place the RECP 2-3 feet over the top of the slope and into an excavated end trench measuring approximately 12 inches deep by 6 inches wide. Pin the RECP at 1 foot intervals along the bottom of the trench, backfill, and compact. Unroll the RECP down (or along) the slope maintaining direct contact between the soil and the RECP. Overlap adjacent rolls a minimum of 3 inches. Pin the RECP to the ground using staples or pins in a 3 foot center-to-center pattern. Less frequent stapling/pinning is acceptable on moderate slopes.

- Maintenance**
1. Inspect Rolled Erosion Control Products at least weekly and after each significant (1/2 inch or greater) rain fall event repair immediately.
 2. Good contact with the ground must be maintained, and erosion must not occur beneath the RECP.
 3. Any areas of the RECP that are damaged or not in close contact with the ground shall be repaired and stapled.
 4. If erosion occurs due to poorly controlled drainage, the problem shall be fixed and the eroded area protected.
 5. Monitor and repair the RECP as necessary until ground cover is established.

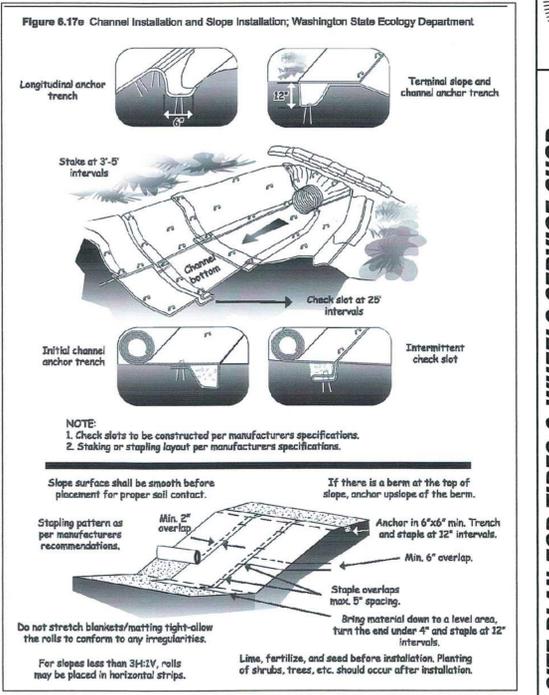
- Installation in Channels**—Excavate terminal trenches (12 inches deep and 6 inches wide) across the channel at the upper and lower end of the lined channel sections. At 25-foot intervals along the channel, anchor the RECP across the channel either in 6 inch by 6 inch trenches or by installing two closely spaced rows of anchors. Excavate longitudinal trenches 6 inches deep and wide along channel edges (above water line) in which to bury the outside RECP edges. Place the first RECP in the terminal trench and pin it at 1 foot intervals along the bottom of the trench.
- Note: The RECP should be placed upside down in the trench with the roll on the downstream side of the bench.
- Once pinned and backfilled, the RECP is deployed by wrapping over the top of the trench and unrolling upstream. If the channel is wider than the provided rolls, place ends of adjacent rolls in the terminal trench, overlapping the adjacent rolls a minimum of 3 inches. Pin at 1 foot intervals, backfill, and compact. Unroll the RECP in the upstream direction until reaching the first intermittent trench. Fold the RECP back over itself, positioning the roll on the downstream side of the trench, and allowing the mat to conform to the trench.
- Then pin the RECP (two layers) to the bottom of the trench, backfill, and compact. Continue up the channel (wrapping over the top of the intermittent trench) repeating this step at other intermittent trenches, until reaching the upper terminal trench.
- At the upper terminal trench, allow the RECP to conform to the trench, secure with pins or staples, backfill, compact and then bring the mat back over the top of the trench and onto the existing mat (2 to 3 feet overlap in the downstream direction), and pin at 1 foot intervals across the RECP. When starting installation of a new roll, begin in a trench or shingle-lap ends of rolls a minimum of 1 foot with upstream RECP on top to prevent uplifting. Place the outside edges of the RECP(s) in longitudinal trenches, pin, backfill, and compact.
- Anchoring Devices**—11 gage, at least 6 inches length by 1 inch width staples or 12 inch minimum length wooden stakes are recommended for anchoring the RECP to the ground.
- Drive staples or pins so that the top of the staple or pin is flush with the ground surface. Anchor each RECP every 3 feet along its center. Longitudinal overlaps must be sufficient to accommodate a row of anchors and uniform along the entire length of overlap and anchored every 3 feet along the overlap length. Roll ends may be spliced by overlapping 1 foot (in the direction of water flow), with the upstream/uplope mat placed on top of the downstream/downslope RECP. This overlap should be anchored at 1 foot spacing across the RECP. When installing multiple width mats heat seamed in the factory, all factory seams and field overlaps should be similarly anchored.



- NOTES:**
1. Design velocities exceeding 2 ft/sec require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established.
 2. Grass-lined channels with design velocities exceeding 6 ft/sec should include turf reinforcement mats.

ROLLED EROSION PRODUCTS (GENERAL)
NO SCALE

FOR SPECIFIC ROLLED PRODUCTS, SEE DETAIL FOR "ROLLED EROSION CONTROL PRODUCTS (PROPRIETARY)"



- NOTE:**
1. Check slots to be constructed per manufacturer's specifications.
 2. Staking or stapling layout per manufacturer's specifications.

REVISION/NOTES:

| | |
|--------------|----------------|
| DATE: | 8/7/17 |
| SCALE: | REF. BAR SCALE |
| DRAWN BY: | BRL |
| CHECKED BY: | BRL |
| PROJECT NO.: | 11610.00 |

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NCEBS Firm No: 74222

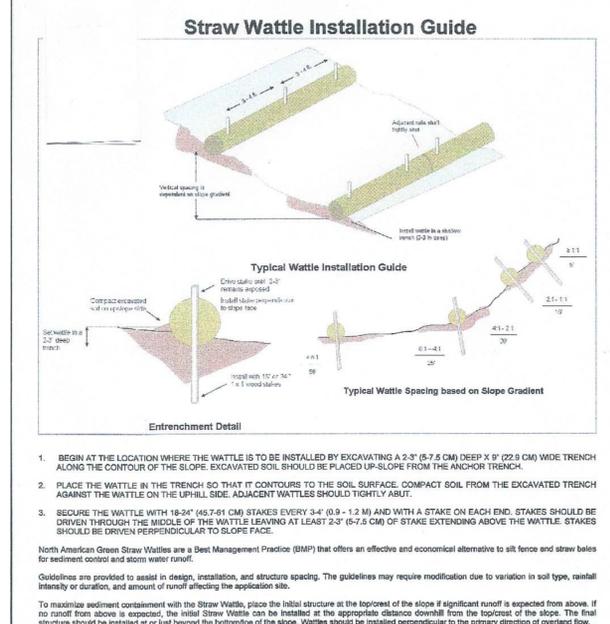
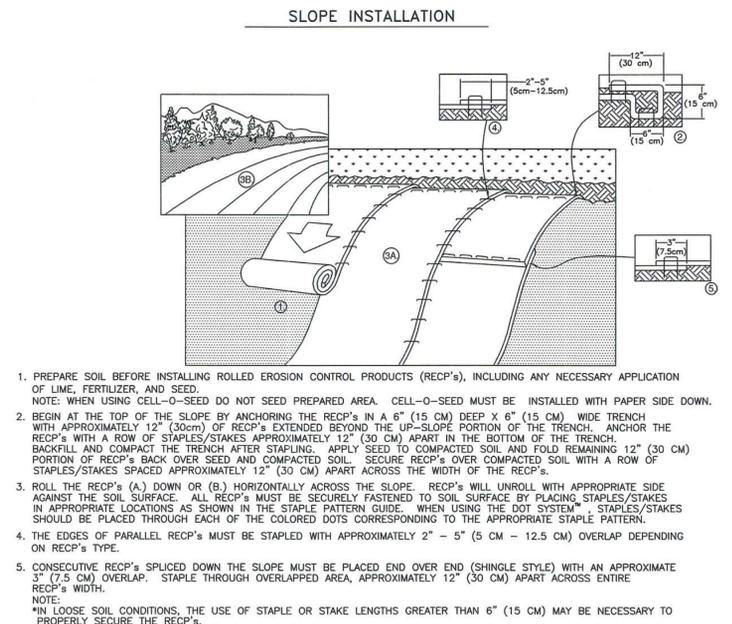
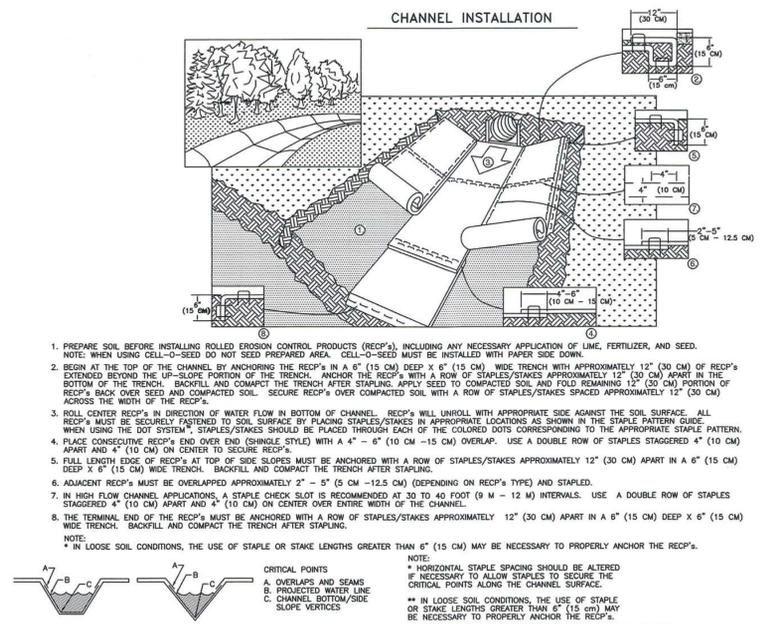
EROSION CONTROL DETAILS

SITE PLAN FOR TIRES & WHEELS SERVICE SHOP

OWNER/DEVELOPER INFORMATION
OWNER/DEVELOPER: AMALIA FELIX WHEELS
CONTACT: ALFONZOLER
ADDRESS: 112 EAST JOHNSTON STREET
SMITHFIELD, NC 27577
PHONE: 919-989-9800

SITE INFORMATION
CITY OR TOWN, COUNTY & STATE: SMITHFIELD, JOHNSTON CO., NC
TOWNSHIP, COUNTY, & STATE: _____
NC PINF: 168320-91-1779 ZONING: B-3

Sheet No. **D1** of **D4**
EROSION DETAILS



1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE RECP'S.

3. ROLL CENTER RECP'S IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

4. PLACE CONSECUTIVE RECP'S END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM - 15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE RECP'S.

5. FULL LENGTH EDGE OF RECP'S AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

6. ADJACENT RECP'S MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) (DEPENDING ON RECP'S TYPE) AND STAPLED.

7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.

8. THE TERMINAL END OF THE RECP'S MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NOTE:
* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP'S.

NOTE:
* HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.
* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP'S.

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.

3. ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.

5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

NOTE:
* IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" (61.3-76.2 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.

2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UP-SLOPE. ADJACENT WATTLES SHOULD TIGHTLY ADJUT.

3. SECURE THE WATTLE WITH 18-24" (45.7-61 CM) STAKES 3'-4" (0.9-1.2 M) AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" (5.1-7.6 CM) OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales for sediment control and storm water runoff.

Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.

To maximize sediment containment with the Straw Wattle, place the initial structure at the top of the slope if significant runoff is expected from above. If no runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downhill from the top of the slope. The final structure should be installed at or just beyond the bottom of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.

Straw Wattles are a temporary sediment control device and are not intended to replace rolled erosion control products (RECPs) or hydraulic erosion control products (HECPs). If vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with barriers, mats, and mulches as supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on storage capacity.

For additional installation assistance, please contact North American Green's Technical Services Department at 1-800-772-2040

14649 Highway 41 North, Evansville, Indiana 47725
1-800-772-2040

ROLLED EROSION PRODUCTS (PROPRIETARY)
NO SCALE

FOR NORTH AMERICAN GREEN PRODUCT INSTALLATION
NOTE: PLANS CALL FOR NORTH AMERICAN GREEN OR EQUAL PRODUCTS. ANY EQUAL PRODUCTS SHALL BE INSTALLED ACCORDING TO THE GENERAL DETAILS INDICATED HEREON, OR ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

FINAL DRAWING - FOR REVIEW PURPOSES ONLY
(NOT RELEASED FOR CONSTRUCTION)

Table 6.10a
Temporary Seeding Recommendations for Late Winter and Early Spring

| Seeding mixture Species | Rate (lb/acre) |
|--|----------------|
| Rye (grain) | 120 |
| Annual lespedeza (Koba in Piedmont and Coastal Plain, Korean in Mountains) | 50 |

Table 6.10c
Temporary Seeding Recommendations for Fall

| Seeding mixture Species | Rate (lb/acre) |
|-------------------------|----------------|
| Rye (grain) | 120 |

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding dates
Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Reestablishment if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.

Seeding dates
Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 30

Soil amendments
Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Repair and referitize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extend temporary cover beyond June 15, overseed with 50 lb/acre Koba (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

Table 6.10b
Temporary Seeding Recommendations for Summer

| Seeding mixture Species | Rate (lb/acre) |
|-------------------------|----------------|
| German millet | 40 |

SEEDING
Evenly apply seed using a cyclone seeder (broadcast), drill, cultipacker seeder, or hydroseeder. Use seeding rates given in Tables 6.10a-6.10c. Broadcast seeding and hydroseeding are appropriate for steep slopes where equipment cannot be driven. Hand broadcasting is not recommended because of the difficulty in achieving a uniform distribution.

Small grains should be planted no more than 1 inch deep, and grasses and legumes no more than 1/2 inch. Broadcast seed must be covered by raking or chain dragging, and then lightly firmed with a roller or cultipacker. Hydroseeded mixtures should include a wood fiber (cellulose) mulch.

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

Seeding dates
Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance
Reestablishment if growth is not fully adequate. Reseed, referitize and mulch immediately following erosion or other damage.

MULCHING
The use of an appropriate mulch will help ensure establishment under normal conditions, and is essential to seeding success under harsh site conditions (Practice 6.14, *Mulching*). Harsh site conditions include:

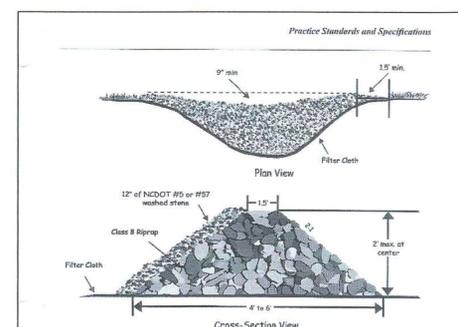
- seeding in fall for winter cover (wood fiber mulches are not considered adequate for this use),
- slopes steeper than 3:1,
- excessively hot or dry weather,
- adverse soils (shallow, rocky, or high in clay or sand), and
- areas receiving concentrated flow.

If the area to be mulched is subject to concentrated waterflow, as in channels, anchor mulch with netting (Practice 6.14, *Mulching*).

Maintenance Reseed and mulch areas where seedling emergence is poor, or where erosion occurs, as soon as possible. Do not mow. Protect from traffic as much as possible.

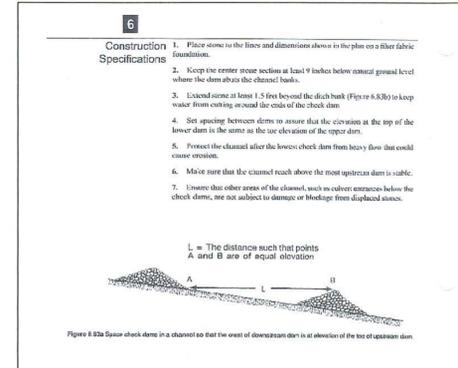
SEEDING SCHEDULE AND SEEDBED PREPARATION
NO SCALE

The Seeding Schedule above is a recommended minimum for all disturbed areas that are left exposed for greater than the maximum time frames, as established by the state. See "Ground Stabilization Requirements" for maximum stabilization time frames for exposed areas (in accordance current NCDWM General Construction Permit, NCDOT). Seed with Temporary Seeding all disturbed areas that will be left exposed and that are scheduled to be seeded later with Permanent Seeding. Seed with Permanent Seeding all areas that are left exposed that will not be re-disturbed later. When plans call for a particular final seeding (ref. Final Seeding Schedule on the Final Surface Plan, Sheet 6 of this project), then provide a stable and established stand of the specified grass type. If plans do not call for a particular final seeding, then provide a stable and established stand of the Permanent Seeding mixture specified here. Such Permanent Seeding shall be approved by the OWNER or ENGINEER prior to placement.

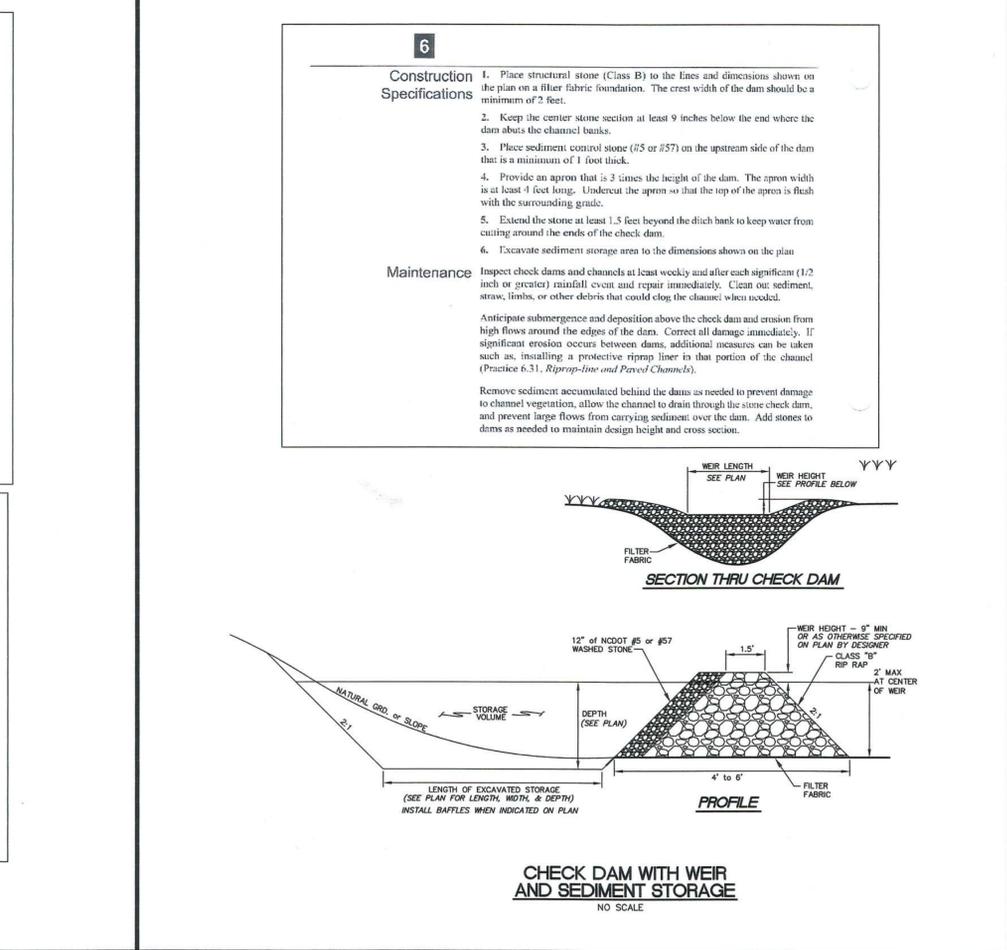


Construction Specifications

- Place stone to the lines and dimensions shown in the plan on a filter fabric foundation.
- Keep the center stone section at least 9 inches below natural ground level where the dam abuts the channel bank.
- Extend stone at least 1.5 feet beyond the ditch bank (Figure 6.83b) to keep water from exiting around the ends of the check dam.
- Set spacing between dams to assure that the elevation at the top of the lower dam is the same as the toe elevation of the upper dam.
- Protect the channel after the lowest check dam from heavy flow that could cause erosion.
- Make sure that the channel reach above the most upstream dam is stable.
- Ensure that other areas of the channel, such as culvert entrances below the check dams, are not subject to damage or blockage from displaced stones.



CHECK DAM WITH WEIR AND SEDIMENT STORAGE
NO SCALE



CHECK DAM WITH WEIR AND SEDIMENT STORAGE
NO SCALE

REVISION NOTES:

DATE: 8/7/17 SCALE: REF. BAR SCALE

DATE: DRAWN BY: BRL CHECKED BY: BRL PROJECT NO: 116010.00

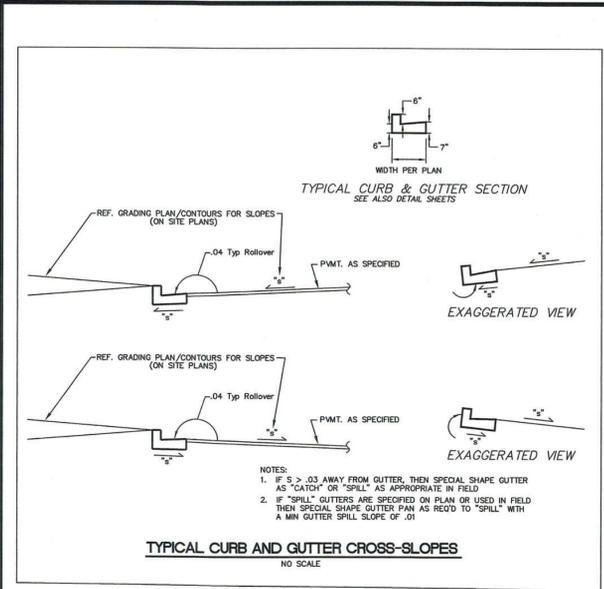
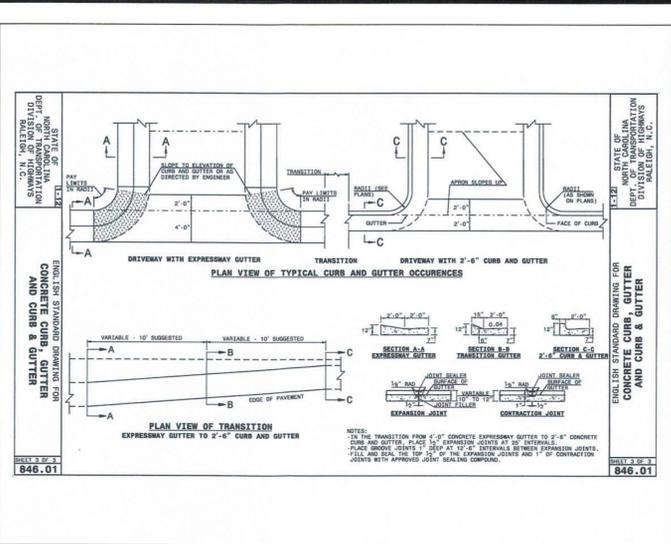
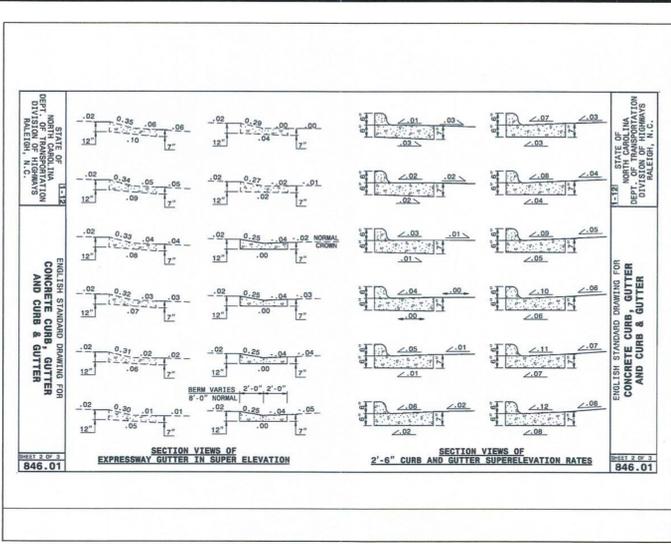
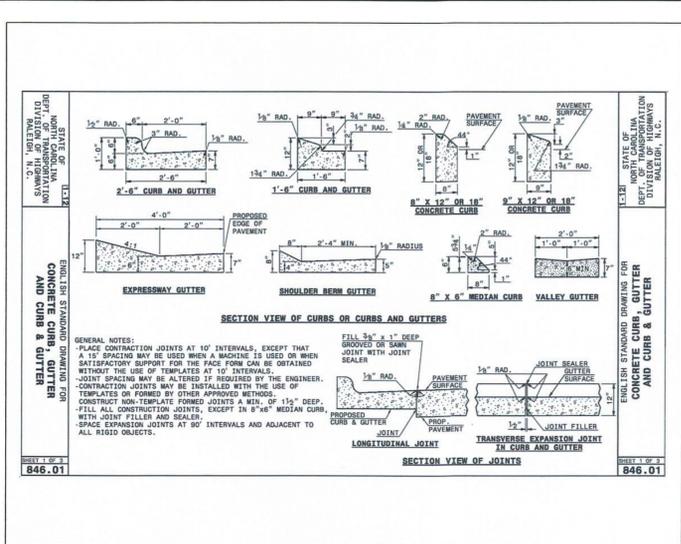
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www.brlengineering.com
brl@brlinc.com

OWNER/DEVELOPER INFORMATION
OWNER/DEVELOPER: AMALIA FELIX WIRELES
CONTACT: ALFONSO LER
ADDRESS: 112 EAST JOHNSTON STREET
SMITHFIELD, NC 27577

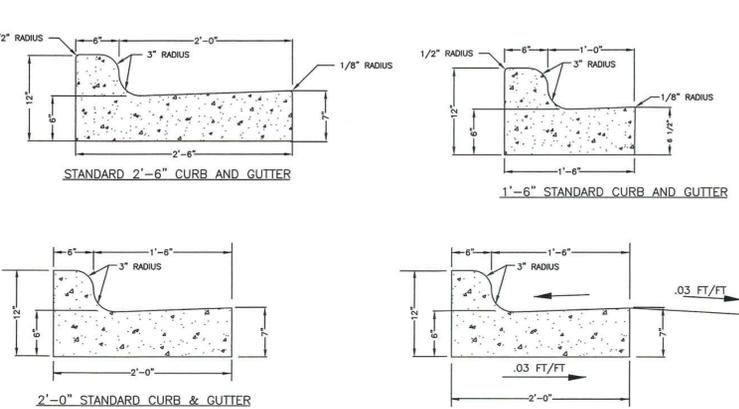
SITE INFORMATION
CITY OR TOWN, COUNTY & STATE: SMITHFIELD, JOHNSTON CO., NC
TOWNSHIP, COUNTY, & STATE: ...
NC PINF: 68820-91-1779 ZONING: B-3

EROSION CONTROL DETAILS

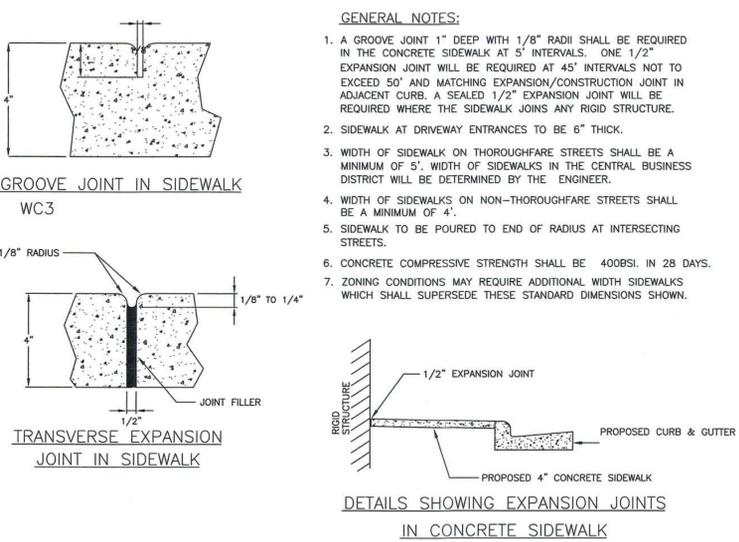
Sheet No. **D2** of **D4**



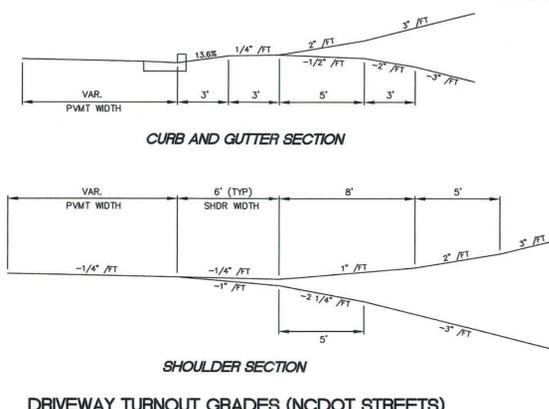
NCDOT STD. CURB-n-GUTTER AND CURBING
NO SCALE



STANDARD CURB & GUTTER
NO SCALE
REF: CITY OF CHARLOTTE
SEE ALSO NCDOT STD. 846.01

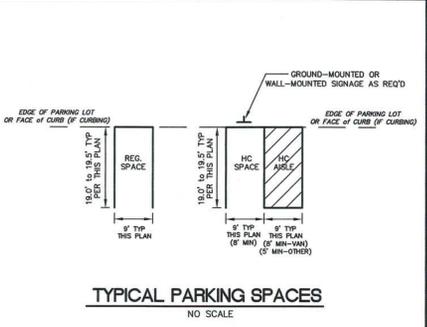


STANDARD SIDEWALK
NO SCALE
REF: CITY OF CHARLOTTE
SEE ALSO NCDOT STD. 846.01



DRIVEWAY TURNOUT GRADES (NCDOT STREETS)
NO SCALE

FINAL DRAWING - FOR REVIEW PURPOSES ONLY
(NOT RELEASED FOR CONSTRUCTION)

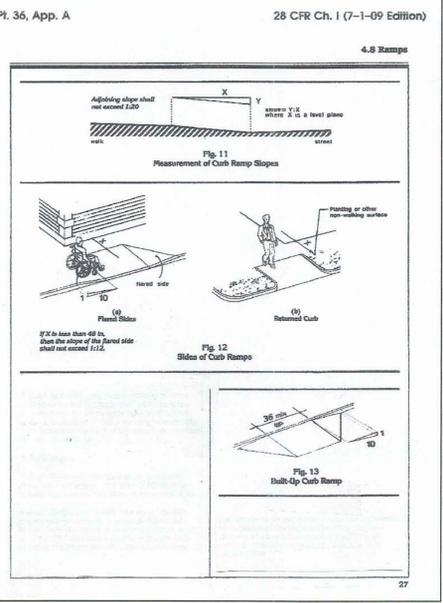


TYPICAL PARKING SPACES
NO SCALE

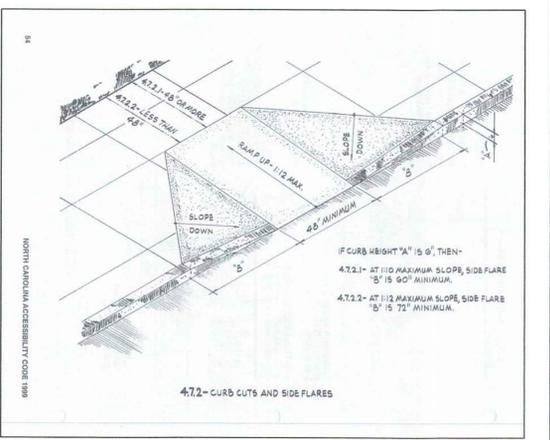
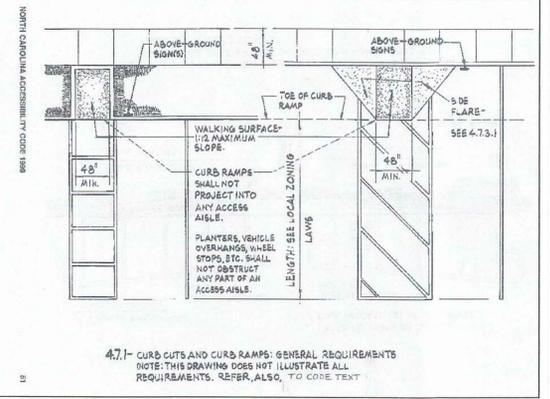


HANDICAP PARKING SIGN DETAIL
NO SCALE

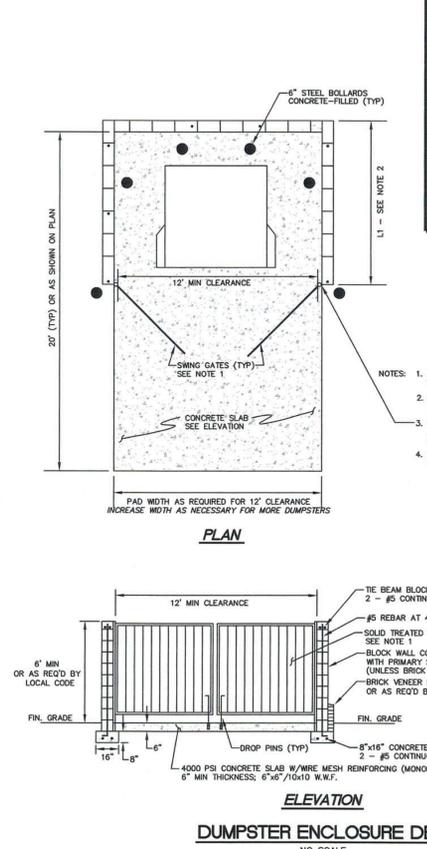
NOTES: 1. Any private driveway connections to proposed streets shall be constructed according to this detail.
2. This detail is intended to meet or exceed the typical NCDOT criteria for 'Driveway Turnout Grades' (ref. NCDOT Subdivision Roads Min. Construction Standards 2000 version).



PEDESTRIAN ACCESSIBILITY: CURB CUTS AND RAMPS
NO SCALE



4.7.2 CURB CUTS AND SIDE FLARES



DUMPSTER ENCLOSURE DETAIL
NO SCALE

| | | | |
|-----------------|--------|-------------|----------------|
| REVISION/NOTES: | DATE: | SCALE: | REF: BAR SCALE |
| | 8/7/17 | DRAWN BY: | BRL |
| | | CHECKED BY: | BRL |
| | | PROJECT NO: | 116010.00 |

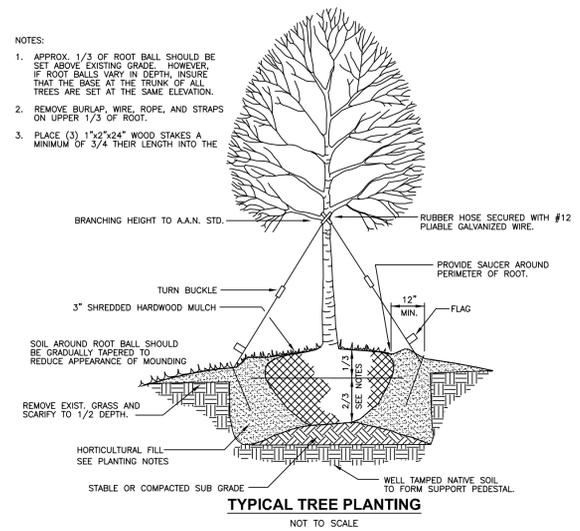
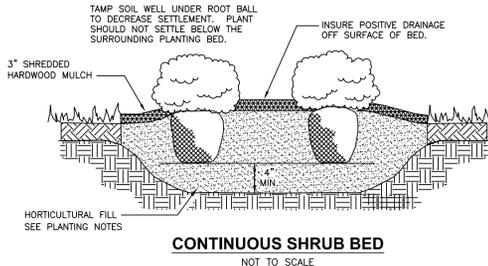
BRL ENGINEERING & SURVEYING
112 East Johnston Street
Smithfield, NC 27577
Office: (919) 989-9300
www.brlengineering.com
NCELS FIRM No. P-3033

SITE PLAN FOR TIRES & WHEELS SERVICE SHOP

OWNER/DEVELOPER INFORMATION
OWNER/DEVELOPER: AMALIA REJA MIRELES
CONTACT: ALFONSO LER
ADDRESS: 112 EAST JOHNSTON STREET, SMITHFIELD, NC 27577
PHONE: 919-989-9300

SITE INFORMATION
CITY OR TOWN, COUNTY & STATE: SMITHFIELD, JOHNSTON CO., NC
TOWNSHIP, COUNTY, & STATE: ZONING: B-3
NC PIN: 188320-91-1779

Sheet No. **D4** of **D4** DETAILS MISCELLANEOUS



- NOTES:
- APPROX. 1/3 OF ROOT BALL SHOULD BE SET ABOVE EXISTING GRADE. HOWEVER, IF ROOT BALLS VARY IN DEPTH, INSURE THAT THE BASE AT THE TRUNK OF ALL TREES ARE SET AT THE SAME ELEVATION.
 - REMOVE BURLAP, WIRE, ROPE, AND STRAPS ON UPPER 1/3 OF ROOT.
 - PLACE (3) 1"x2"x24" WOOD STAKES A MINIMUM OF 3/4 THEIR LENGTH INTO THE

- PLANTING NOTES**
- Code name refers to plant list. Where there is only a key, the quantity is one. Where the code name is followed by a number, the number is the quantity required for the indicated plant bed.
 - Locate plants and planting beds by using scaled dimensions from side-walks, building walls, etc.
 - All plants shall meet or exceed the minimum standards set by the USDA Standard for Nursery Stock sponsored by the American Association of Nurserymen, Inc., Washington, D. C..
 - Mulch all planting beds with a minimum of 2" of triple shredded hardwood bark.
 - Landscape Contractor shall verify utility and storm drainage locations in the field, prior to beginning construction.
 - Apply pre-emergent herbicide to all planting beds per mfg's specifications.
 - For lawn type see Lawn Notes.
 - Plant bed preparation: Till into bed to a depth of 8-10", 5" of organic rich (50-50 blend) screened topsoil free of weeds and roots.
 - Warranty plantings and lawn for one year following project completion.
 - Landscape Contractor shall verify plant schedule for accuracy and notify Landscape Architect of any discrepancies.

LAWN NOTES

Loosen subgrade to a depth of 4" in areas where topsoil has been stripped. Spread 2" depth of topsoil, till to mix topsoil with subsoil, spread additional 2" depth of topsoil, add specified soil amendments and mix thoroughly into top 4" of soil. Till surface to a level, fine surface.

Grade and roll prepared lawn surface. Water thoroughly but do not create muddy soil condition.

Lay sod strips with tight joints, roll or tamp lightly, and water thoroughly.

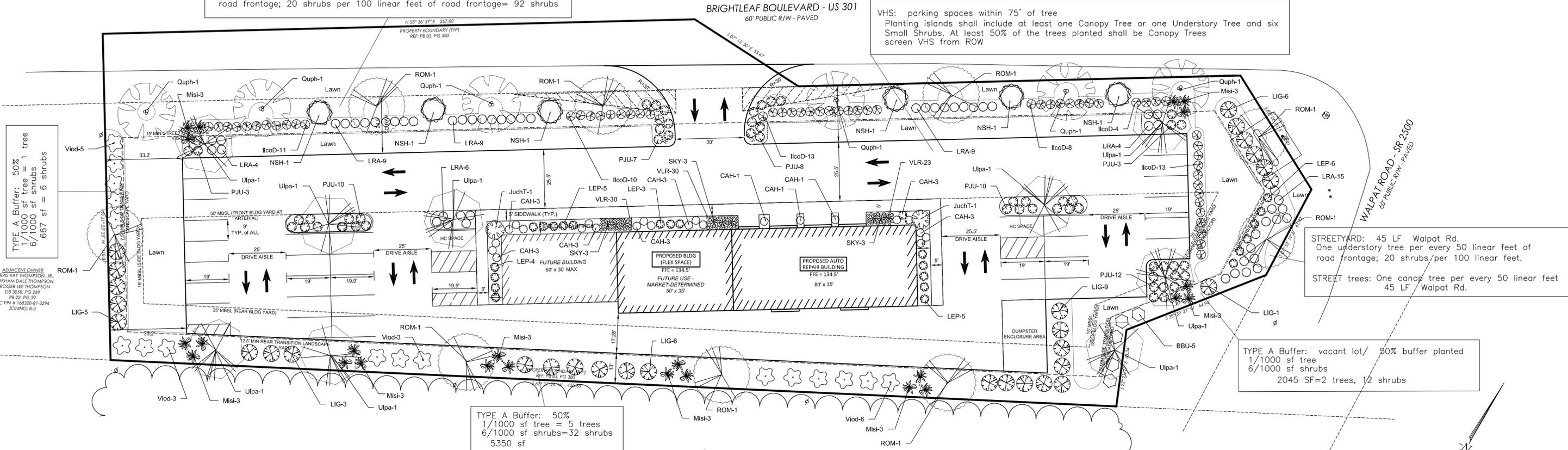
Lawn type: Fescue Sod

Fertilizer: Fertilize new sod for the first time about six weeks after laying the sod. Apply fertilizer as recommended by the results of a soil test or broadcast a slow-release, granular fertilizer with a 10-10-10 or similar formula at a rate of no more than 1 pound nitrogen per 1,000 square feet of lawn.

STREET TREES: One canopy tree per every 50 linear feet
458 LF = 1/50lf = 9 canopy trees

STREETYARD: 458 LF Hwy. 301 South
One understory tree per every 50 linear feet = 9 trees
road frontage; 20 shrubs per 100 linear feet of road frontage= 92 shrubs

VHS: parking spaces within 75' of tree
Planting islands shall include at least one Canopy Tree or one Understory Tree and six Small Shrubs. At least 50% of the trees planted shall be Canopy Trees screen VHS from ROW



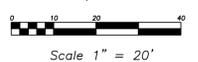
Planting Schedule

| Code Name | Quantity | Common Name | Scientific Name | Planting Size |
|-----------|----------|-----------------------|---|----------------------------|
| BBU | 5 | Burning Bush | <i>Euonymus alata 'Compacta'</i> | 5-Gal/36" ht. min. |
| CAH | 24 | Carissa Holly | <i>Ilex cornuta 'Carissa'</i> | 3-Gal/15-18" ht. |
| Ulpa | 9 | Chinese elm | <i>Ulmus parvifolia</i> | 2 1/2"-Gal/12 ft. ht. min. |
| IlcoD | 59 | Dwarf Burford holly | <i>Ilex cornuta 'Dwarf Burford'</i> | 5-Gal/36" ht. min. |
| JuchT | 2 | Hollywood juniper | <i>Juniperus chinensis 'Torulosa'</i> | 5 ft. ht. |
| Misi | 24 | Japanese silver grass | <i>Miscanthus sinensis</i> | 5-Gal/36" ht. min. |
| LRA | 56 | Little Richard Abelia | <i>Abelia grandiflora, 'Little Richard'</i> | 3-Gal/15-18" ht. |
| NSH | 6 | Nellie Stevens Holly | <i>Ilex x 'Nellie Stevens'</i> | 6 ft. ht. min/B&B |
| PJU | 53 | Var. Parson's Juniper | <i>Juniperus d, 'Variegated Parson'</i> | 3-Gal/15-18" ht. |
| LEP | 23 | Pink Lorepetalum | <i>Lorepetalum chinense, 'Burgundy'</i> | 5-Gal/36" ht. min. |
| ROM | 9 | Red Maple | <i>Acer rubrum 'Autumn Glory'</i> | 2 1/2"-Gal/12 ft. ht. min. |
| SKY | 9 | Sky Pencil Holly | <i>Ilex crenata 'Sky Pencil'</i> | 4 ft. ht./7 gal. |
| Viod | 17 | Sweet viburnum | <i>Viburnum odoratissimum</i> | 4-5 ft. ht./ 15 gal. |
| VLR | 83 | Variegated Liriope | <i>Liriope muscari 'Variegata'</i> | 4" pot |
| LIG | 30 | Wax Leaf Ligustrum | <i>Ligustrum japonicum 'Wax Leaf'</i> | 5-Gal/36" ht. min. |
| Quph | 6 | Willow oak | <i>Quercus phellos</i> | 2 1/2"-Gal/12 ft. ht. min. |

GROSS LANDSCAPE AREA
20% of the gross acreage of the site
70,610 sf total for site
20,550 sf landscape area
29 % landscape area provided

Clayton Narron, Landscape Architect
312 South Fourth St., Smithfield, NC 27577
Tele: 919-464-9329

DATE 8-17-17
LANDSCAPE MASTER PLAN
TIRES & WHEELS SERVICE SHOP
Walpat Rd and Hwy 301 South, Smithfield, NC 27577
NC PIN# 168320-91-1779 ZONING B-3





Request for Planning Board Action

**Business
Agenda** SP-17-11
Item:
Date: 9/7/17

Subject: SP-17-11 Contactor with outdoor sales and storage

Department: Planning

Presented by: Mark E. Helmer, AICP Senior Planner

Presentation:

Issue Statement Rob's Hydraulics Inc. is requesting site plan review and approval of a contractors storage yard on property located within a B-3 (Business) zoning district.

Financial Impact: none

Action Needed The Planning Board is requested to review the site plan for compliance with the Town of Smithfield Unified Development Ordinance minimum development standards.

Recommendation Planning staff recommends approval of the site plan with the condition that all Unified Development Ordinance standards are met prior to issuance of final site plan approval and issuance of a valid zoning permit.

Approved: City Manager City Attorney

Attachments:



Staff Report

**Business
Agenda Item: SP-17-11**

History

On April 24, 2017, the Smithfield Town Council adopted an ordinance that allows for contractors yards with outdoor storage within the B-3 (Business) and (LI) Light Industrial zoning district as a permitted use by right providing all other minimum developments standards are met to include landscaping, screening of outdoor storage and landscape buffer requirements.

On August 3, 2017, Rob's Hydraulics submitted a site plan for a contractor yard with outdoor display of heavy equipment for sale. The site plan as submitted generally meets the requirements of the UDO and provides paved parking, required landscaping, a stormwater management plan and two proposed access points on US Business Highway 70. Given the nature of the products for sale, a waiver of the requirement for asphalt and landscaping in the area to be designated for display of products for sale would be prudent.

Key site elements

- 10,800 square foot building
- Paved parking is provided as required by current development standards.
- Access provided by two proposed driveways to be permitted by NCDOT.
- Required landscape yards
- Use of existing vegetation for required buffers where adjacent to residential land uses and zoning districts should be encouraged were practical
- Public utilities connections
- Gravel display area for products for sale
- Area suitable for screened storage
- Screened dumpsters
- Storm water management detention facility with BMP level spreader

Site Data

Name: Rob's Hydraulics Inc. (Contact: Rob Lynch)
Address: 7765 Pitt St./PO Box 636 Grimesland, NC 27837
Telephone: 252-752-1500

Project Name: Rob's Hydraulics Address: TBD Hwy 70 Smithfield, NC
Tax ID: 4668486 Zoning: B-3 Total Lot Area= 14.42 acres
Existing Use: Vacant Proposed Use: Construction Equipment Sales

Total Proposed Building Area: 10,800 sf
Max Building Height: 40' Setbacks- Along Hwy 70: 50' Along Hickory Dr. 30'
Required Parking: 10 Spaces (Includes 1 HC Space)

Existing Impervious Surface= 0 sf
Total Proposed Impervious Surface: 115,922 sf (2.661 ac.)
Lot will be subdivided. Project will be on approx. 5.77 ac. tract
Building: 10,800 sf Gravel: 95,981 sf Office/Sales: 9,600 sf Storage: 1,200 sf
Sidewalk: 1,658 sf Asphalt Pavement: 6,283 sf Covered Wash Area: 1,200 sf

The Planning Department recommends approval of the preliminary site plan with the condition that all minimum requirements of the Town of Smithfield Unified Development Ordinance are met to include landscaping, parking, access, and stormwater management prior to final site plan approval and permitting.



APPLICATION FOR SITE PLAN/SUBDIVISION REVIEW

Date Submitted: _____ NCPIN: 168505-18-6872

Applicant: Rob's Hydraulics Property Owner: Early Bird Investments, LLC

Address: 7765 Pitt St./PO Box 636 Address: 736 Cherry Street Suite 200
Grimesland, NC 27837 Chattanooga, TN 37402

Project Contact: Rob Lynch Phone: _____

Phone: 252-752-1500 Fax: _____

Fax: None Zoning: B-3

Location: HWY 70 Business (Address TBD) Linear Footage of Proposed Streets: 0

No. of Lots Proposed: 1 Average Lot Sizes: N/A

Existing Impervious Surface Area: 0 sf (vacant) Proposed Impervious Surface Area: 2.661 acres

Total Acreage 5.77 acres Total Disturbed Area: 5.74 acres

Project Name: Rob's Hydraulics

Street Name(s): N/A

(Continue on additional sheet, if necessary)

Estimate of Water Allocation Required: 500 gpd

Estimate of Sewer Allocation Required: 500 gpd

Type of Project: (check one)

- Exempt Subdivision (Submit 2 paper copies)
- Minor Subdivision (Submit 2 paper copies)
- Major Subdivision (Submit 6 paper copies)
- Recombination (Submit 2 paper copies)
- Site Plan (Submit 6 paper copies)

Application Fee:

Minor Subdivision (\$50.00) + \$5.00 a lot (\$55.00 min)

Major Subdivision (\$250.00) + \$5.00 a lot (\$255.00 min)

Total Number of Lots _____ x \$5.00/lot

Site Plan (\$150.00) + \$50.00 an acre (\$200.00 min)

\$450.00
Total \$450.00

File Number _____



Storm Water Permit Application

Development/Site Name: Rob's Hydraulics

Owner/Developer Name: Rob's Hydraulics, Inc.

Address: PO Box 636

Phone: 252-752-1500 Contact Person: Rob Lynch

Fax: None No. of acres to be disturbed: 5.74

Email: rob@robshydraulics.com No. of acres in development: 5.76

| | |
|-----------------------------------|---------------------------|
| Type of Development: (circle one) | Fee |
| Residential | \$30/acre (\$500 minimum) |
| Non-Residential | \$75/acre (\$500 minimum) |

I hereby certify that all information contained within this Storm Water Management Application is accurate and complete to the best of my knowledge and conforms to the Town of Smithfield's Storm Water Management Ordinance and storm water design criteria. The Town of Smithfield has the right to inspect all storm water facilities on this site.

Rob Lynch

Type or Printed Name

T. Patrick Shultz for
Signature of Owner/Developer Rob Lynch

07/27/17
Date

I assume responsibility for inspections, maintenance and operation of all storm water facilities/Best Management Practices in accordance with the Inspection and Maintenance Agreement enclosed and with the Storm Water Management Permit.

Rob Lynch

Type or Printed Name

T. Patrick Shultz for
*Signature Rob Lynch

07/27/17
Date

Acting as an agent for: Rob Lynch

*Note: Responsibility for the continued operation and maintenance of the storm water facilities can be assumed from the developer by an individual landowner or Home Owner's Association. In the event that a Home Owner's Association assumes responsibility, the signature shall be of an individual acting as an agent for the Home Owner's Association.

Submit the completed application along with detailed plans, Inspection and Maintenance Agreement, easements, supporting design information and the associated fee to:

Storm Water Administrator, Town of Smithfield
PO Box 761
350 East Market Street
Smithfield, NC 27577

If you have any questions or need more information, contact the SW Administrator at 919-934-2116.

ROB'S HYDRAULICS HWY 70 (ADDRESS TBD) SMITHFIELD, NC

ADJACENT PROPERTY OWNERS



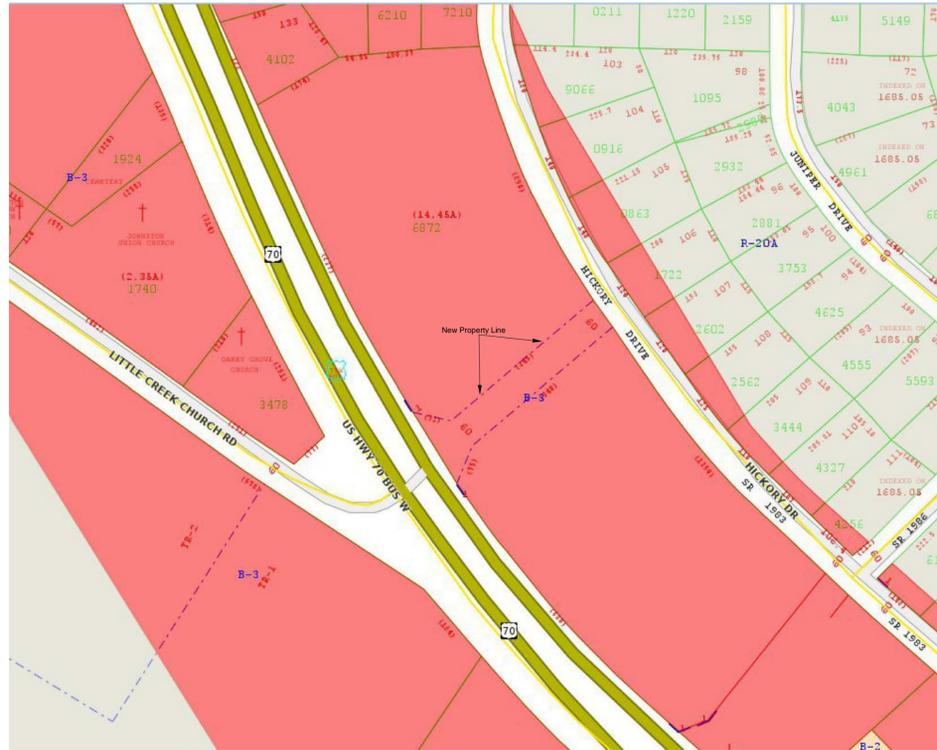
Scale: 1"=300'

Adjacent Property Owner Information

- | | |
|--|--|
| 1. Oakey Grove Church US 70 BUS Hwy W, Clayton, NC 27520-6827 | 7. Israel Arellano 115 Cloverdale Rd., Clayton NC 27520-0000 |
| 2. Johnston Union Church US 70 BUS Hwy W, Clayton, NC 27520-6827 | 8. Theda Tiffany 203 Cloverdale Dr., Clayton NC 27520-9789 |
| 3. Cemetary US 70 BUS Hwy W, Clayton, NC 27520-6827 | 9. Abraham Hernandez and Maria Guerrero 108 Hickory Dr., Clayton NC 27520-9710 |
| 4. David and Jennifer Johnson 3600 US 70 BUS Hwy W, Clayton, NC 27520-6827 | 10. Edward and Linda McLeod P.O. Box 2143 Smithfield, NC 27577-0000 |
| 5. David and Jennifer Johnson 3600 US 70 BUS Hwy W, Clayton, NC 27520-6827 | 11. Roger and Ruth Matthews P.O. Box 461 Smithfield, NC 27577-0000 |
| 6. Steven and Jewel Eller 113 Cloverdale Dr., Clayton NC 27520-6800 | 12. Algernon and Patricia Parker 120 Hickory Dr., Clayton NC 27520-0000 |

NOTE: ALL ADJACENT PROPERTIES ZONED B-3. PORTIONS OF THE PROPERTIES TO THE EAST (ACROSS HICKORY DRIVE) ARE ZONED R-20. CURRENT USE FOR PROPERTIES 1-3 IS 'CHURCH' CURRENT USE FOR PROPERTIES 4-12 IS 'RESIDENTIAL'

ZONING MAP



Scale: 1"=150'

| Applicant Information |
|---|
| Name: Rob's Hydraulics Inc. (Contact: Rob Lynch) Address: 7765 Pitt St./PO Box 636 Grimesland, NC 27837 Telephone: 252-752-1500 |
| Project Information |
| Project Name: Rob's Hydraulics Tax ID: 4668486 Pin Number: 168505-18-6872 Deed Book/Page: 3114/359 Address: TBD Hwy 70 Smithfield, NC Zoning: B-3 Total Lot Area= 14.42 acres ¹ Existing Use: Vacant Proposed Use: Construction Equipment Sales Total Proposed Building Area: 10,800 sf Office/Sales: 9,600 sf Storage: 1,200 sf Max Building Height: 40' Setbacks- Along Hwy 70: 50' Along New Road: 35' Along Hickory Dr.: 35' Required Parking: 10 Spaces ² (Includes 1 HC Space) Existing Impervious Surface= 0 sf Total Proposed Impervious Surface: 115,922 sf (2.661 ac.) Building: 10,800 sf Gravel: 95,981 sf Sidewalk: 1,658 sf Asphalt Pavement: 6,283 sf Covered Wash Area: 1,200 sf % Impervious: 46.1% |

¹Lot will be subdivided. Project will be on approx. 5.77 ac. tract
²Based on 1 Space per 1000 sf of Floor Area

Note: Site is located within Environmentally Sensitive Area

Page Index

- Sheet 1 Cover Sheet
- Sheet 2 Existing Conditions
- Sheet 3 Site Plan
- Sheet 4 Utility Plan
- Sheet 5 Grading Plan
- Sheet 6 Erosion Control Plan
- Sheet 7 Stormwater Plan
- Sheet 8 Landscaping Plan
- Sheet 9 Erosion Control & Stormwater Details

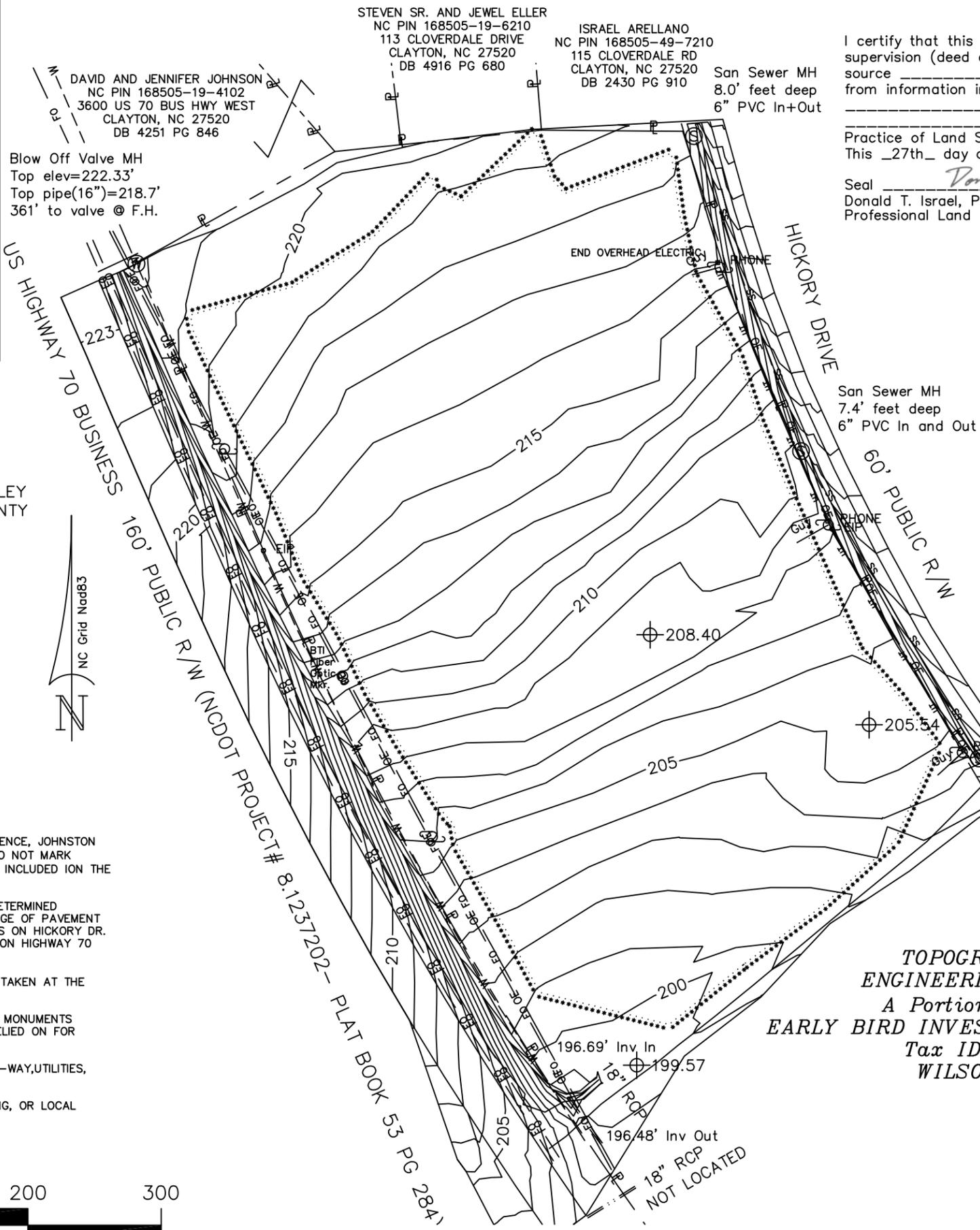
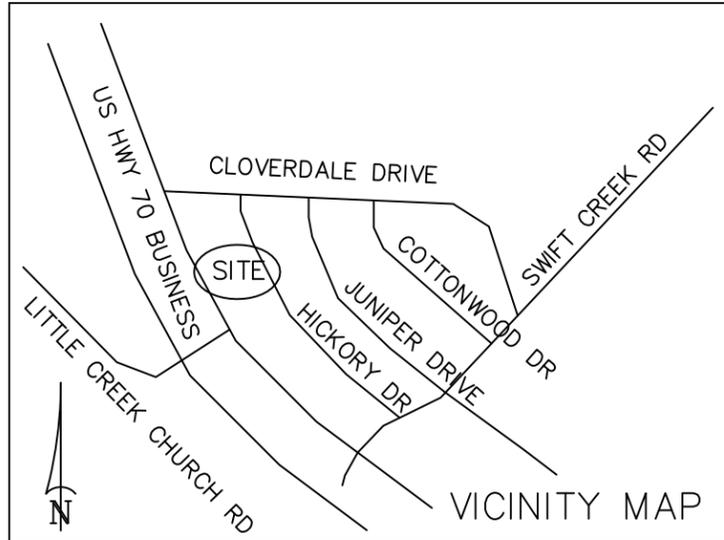
| Special Conditions of Approval | Approval Stamping |
|--------------------------------|-------------------|
| | |

7/27/17



ENGINEERING & ENVIRONMENTAL
SCIENCE COMPANY
3008 Anderson Drive Suite 102
Raleigh, NC 27609
(919) 781-7798

Sheet No.
1
of **9**



I certify that this map was drawn under my supervision from an actual survey made by my supervision (deed description recorded in Book 3114, page 359 or other reference source _____); that the boundaries not surveyed are indicated as drawn from information in Plat Book 53, page 284 or other reference source _____; the the ratio of precision or positional accuracy is _____; and that this map meets the requirements of The Standards of Practice of Land Surveying in North Carolina (21 NCAC 56.1600).
 This 27th day of June, 2017

Seal Donald T. Israel
 Donald T. Israel, PLS L-3756
 Professional Land Surveyor

REFERENCES:

PLAT BY DENNIS RAY BLACKMON, PLS FOR JAMES WHITLEY HEIRS DATED 12-17-98 AND FOUND IN JOHNSTON COUNTY REGISTRY IN PLAT BOOK 53 PAGE 283,284.

DEED BOOK 3314 PAGE 359

LEGEND

| | | | |
|--------|--------------------------|--------|--------------------|
| P.D.E. | PUBLIC DRAINAGE EASEMENT | NRB | NEW REBAR |
| EIP | EXISTING IRON PIPE | ERB | EXISTING REBAR |
| OE | OVERHEAD POWER LINE | ERB-BC | ERB AT BC |
| CM | CONCRETE MONUMENT | LPOLE | FENCE LINE |
| UT | UTILITY POLE | MH | LIGHT POLE |
| PB | TRANSFORMER | CATV | MANHOLE |
| PHONE | TELEPHONE BOX | | CABLE TV BOX |
| UT | UNDERGROUND TELEPHONE | | |
| W | WATER LINE | W | WATER LINE MANHOLE |
| SS | SANITARY SEWER LINE | | FIRE HYDRANT |
| FO | FIBER OPTIC CABLE | WV | WATER VALVE |
| S | SANITARY SEWER MANHOLE | | |

NOTES

UTILITY LINES WERE PLATTED BASED ON 811 MARKINGS, PHYSICAL EVIDENCE, JOHNSTON COUNTY GIS, ETC.; A REPRESENTATIVE OF USIC STATED THAT "THEY DO NOT MARK UTILITIES FOR DESIGN TICKETS", THEREFORE ALL UTILITIES MAY NOT BE INCLUDED ION THE PLAT.

- OWNER AND WIDTH OF POWER LINE EASEMENT COULD NOT BE DETERMINED
- EARTHLINK MARKED THE FIBER OPTIC LINES CLOSEST TO THE EDGE OF PAVEMENT
- CENTURY LINK APPEARS TO BE THE OWNER OF TELEPHONE LINES ON HICKORY DR.
- FIBER OPTIC LINE MARKER UNDER THE OVERHEAD POWER LINES ON HIGHWAY 70 ARE MARKED "BT"

FOR SAFETY REASONS THE EDGE OF PAVEMENT LOCATIONS WERE TAKEN AT THE EDGE OF THE PAVED SHOULDER NOT THE TRAVEL LANE

THIS IS NOT A COMPLETE BOUNDARY SURVEY, PROPERTY CORNER MONUMENTS AND LINES ARE FOR GENERAL SITE PLAN USE AND NOT TO BE RELIED ON FOR CONVEYANCE.

SURVEY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHTS-OF-WAY,UTILITIES, COVENANTS OR RESTRICTIONS, THAT MAY BE OF RECORD.

NO ATTEMPT HAS BEEN MADE TO INDICATE SETBACK LINES, ZONING, OR LOCAL GOVERNMENT ORDINANCE RESTRICTIONS.



TOPOGRAPHIC and PHYSICAL SURVEY for
 ENGINEERING and ENVIRONMENTAL SCIENCE CO.
 A Portion of a 14 Acre Tract N/F owned by
 EARLY BIRD INVESTMENTS LLC., PB 53 Pg 284 DB 3114 Pg 359
 Tax ID 4668486, NC PIN 18505-18-6872
 WILSON MILLS TOWNSHIP, CLAYTON, NC

DONALD T. ISRAEL

PROFESSIONAL LAND SURVEYOR

5704 TIMBER LANE
 RALEIGH N.C 27606

HOME (919) 743-0282
 CELL (919) 607-9355
 DONALD.ISRAEL@GMAIL.COM

Legend

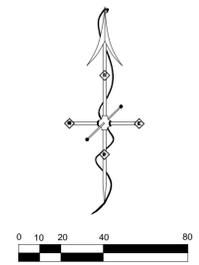
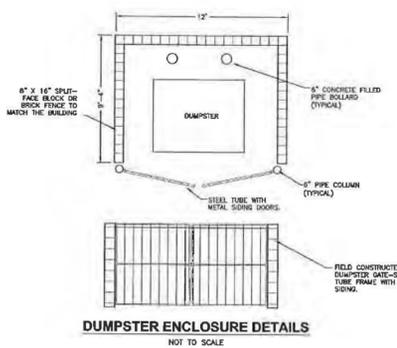
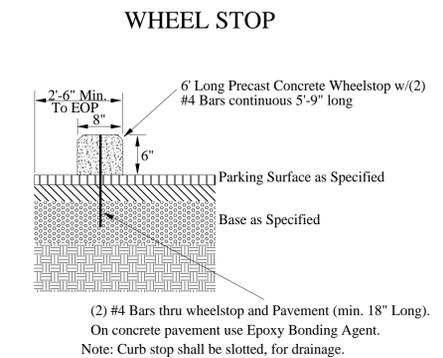
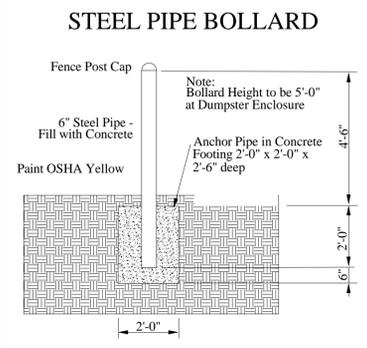
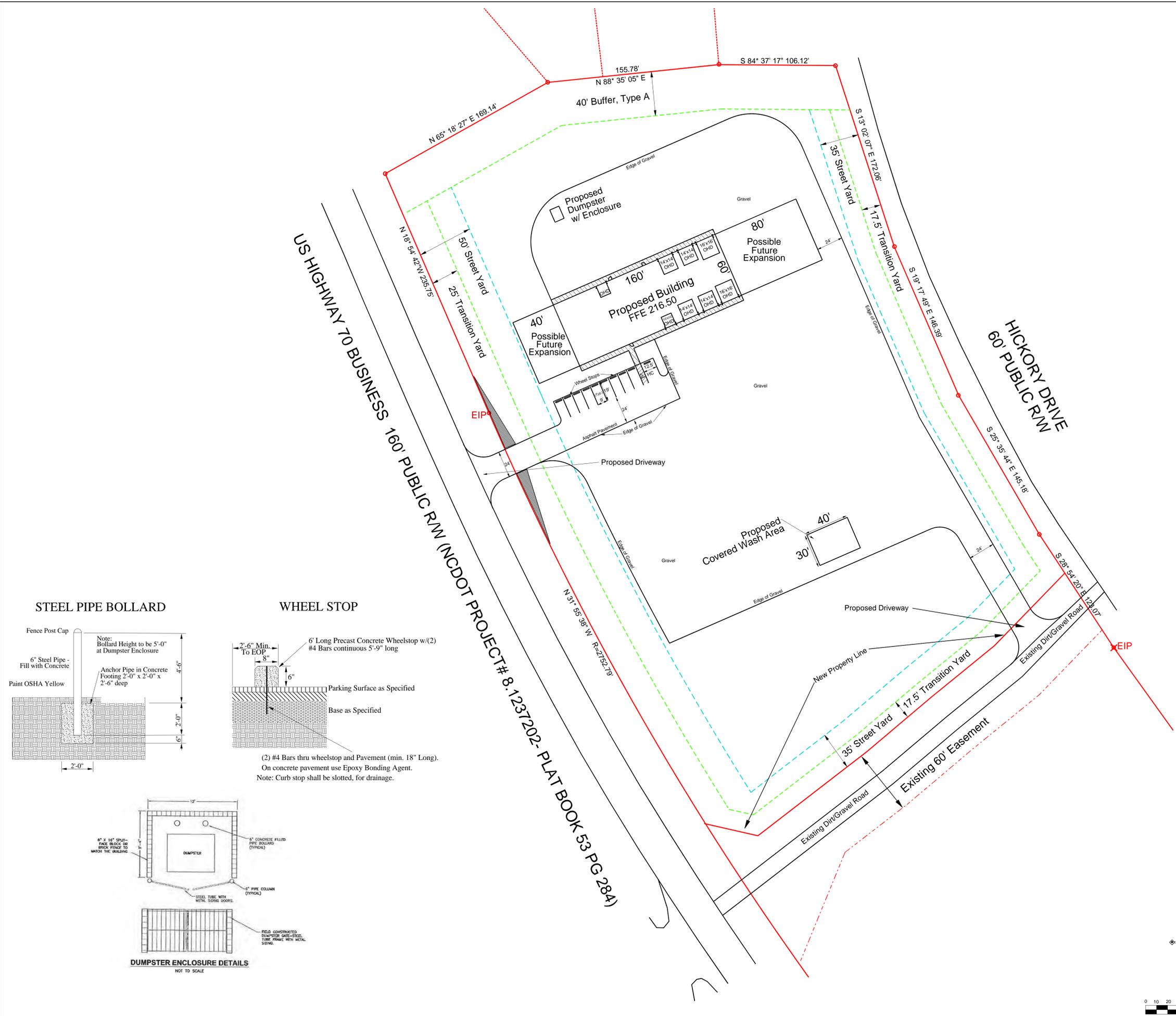
- Property Line
- - - Adjacent Property Line
- - - Street Yards
- - - Transition Yards/Buffers
- Sewer Lines (Proposed and Existing)
- Water Lines (Proposed and Existing)
- ⊙ Sewer Manhole (Proposed and Existing)
- ⊙ Fire Hydrant (Proposed and Existing)
- Existing Power Pole or/and Light Pole
- Existing 5 ft. Contours
- Existing 1 ft. Contours
- Existing Tree Line
- x Existing Spot Elevation
- Existing Overhead Electrical Wires
- Existing Fiber Optic Cables

| Project Information | |
|------------------------------------|--|
| Project Name: | Rob's Hydraulics |
| Tax ID: | 4668486 |
| Pin Number: | 168505-18-6872 |
| Deed Book/Page: | 3114/359 |
| Address: | TBD Hwy 70 Smithfield, NC |
| Zoning: | B-3 |
| Total Lot Area: | 14.42 acres ¹ |
| Existing Use: | Vacant |
| Proposed Use: | Construction Equipment Sales |
| Total Proposed Building Area: | 10,800 sf |
| Office/Sales: | 9,600 sf |
| Storage: | 1,200 sf |
| Max Building Height: | 40' |
| Setbacks- Along Hwy 70: | 50' |
| Along New Road: | 35' |
| Along Hickory Dr.: | 35' |
| Required Parking: | 10 Spaces ² (Includes 1 HC Space) |
| Existing Impervious Surface: | 0 sf |
| Total Proposed Impervious Surface: | 115,922 sf (2.661 ac.) |
| Building: | 10,800 sf |
| Gravel: | 95,981 sf |
| Sidewalk: | 1,658 sf |
| Asphalt Pavement: | 6,283 sf |
| Covered Wash Area: | 1,200 sf |
| % Impervious: | 46.1% |

¹Lot will be subdivided. Project will be on approx. 5.77 ac. tract
²Based on 1 Space per 1000 sf of Floor Area

Note: Site is located within Environmentally Sensitive Area

- Notes:
- All mechanical ground and roof equipment must be screened from view.
 - All handicap ramps, crosswalks, etc. shall meet ADA Standards.
 - All proposed sidewalks are 5 ft. in width.



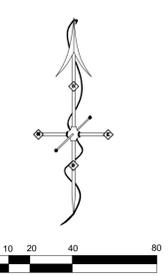
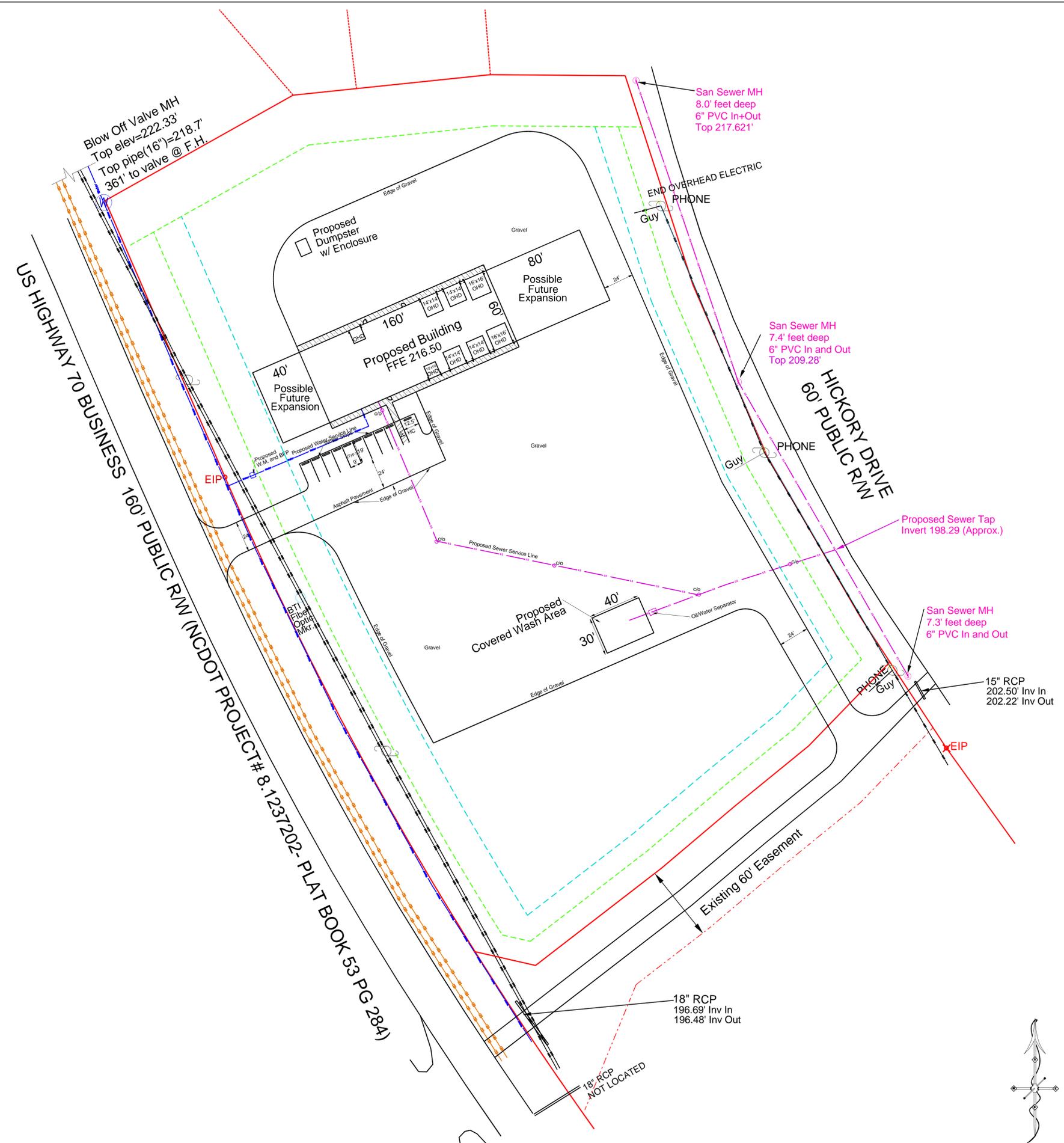
| | | |
|--|--|------------------------------|
| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 |
| | 7/27/17 | DRAWN: TPS |
| NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 041984 ROBERT W. BRANN | Site Plan Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC | REVISED: SCALE: 1"=40' |
| | Rob's Hydraulics, Inc. 7765 Pitt St./PO Box 636 Grimesland, NC 27837 | Sheet No. 3 of 9 |

Legend

- Property Line
- - - Adjacent Property Line
- - - Street Yards
- - - Transition Yards/Buffers
- Sewer Lines (Proposed and Existing)
- Water Lines (Proposed and Existing)
- ⊙ Sewer Manhole (Proposed and Existing)
- ⊙ Fire Hydrant (Proposed and Existing)
- ⊙ Existing Power Pole or/and Light Pole
- 220 Existing 5 ft. Contours
- Existing 1 ft. Contours
- Existing Tree Line
- x 216.816 Existing Spot Elevation
- Existing Overhead Electrical Wires
- Existing Fiber Optic Cables

Utility Notes:

1. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON TRAFFIC AREAS AND 4'-0" IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
3. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN.
4. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
5. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND THOSE ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC. THAT MAY BE REQUIRED.
7. SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
8. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
9. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART "F" APPLIES TO ALL EXCAVATIONS EXCEEDING 5' IN DEPTH.
10. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
11. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONSTRUCTION SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
12. CONTRACTORS SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
13. LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE OR SCHEMATIC. THE LOCATIONS ARE BASED ON ACTUAL FIELD SURVEYS AND THE BEST AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND UNDERGROUND STRUCTURES AND VERIFY REQUIRED COVER AND CLEARANCES PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.
14. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE WELDED JOINTS, UNLESS SPECIFIED OTHERWISE. MINIMUM SLOPES ON SANITARY SEWER SERVICES 4" - 1/4"/FT., 6" - 1/8"/FT., 8" - 1/16"/FT.
15. WATER SERVICE LINES SHALL BE 2" PVC PIPE TO CONFORM WITH: NSF 61, ASTM D1785, ASTM D2241, AND ASTM D2672. ALL WATER SERVICE PIPE INSTALLED UNDERGROUND AND OUTSIDE OF THE STRUCTURE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 160 PSI.
16. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
17. WASTE PIPING SHALL BE CONNECTED TO BUILDINGS STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
18. CONTRACTOR SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
19. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH JOHNSTON COUNTY AND TOWN OF SMITHFIELD STANDARDS AND SPECIFICATIONS.
20. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
21. SANITARY SEWER SERVICES SHALL BE PVC SCHEDULE 40, UNLESS SPECIFIED OTHERWISE. CLEANOUTS SHALL BE PLACED NO MORE THAN 100' APART. CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
22. CONNECTION OF SANITARY SEWER SERVICES TO AN EXISTING MANHOLE SHALL COMPLY WITH THE TOWN OF SMITHFIELD STANDARDS INCLUDING CORE DRILL FOR OPENING INTO MANHOLE AND INSTALLING WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3' 1-2, 8" ABC OR BETTER.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.
24. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS.
25. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
26. ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT JOHNSTON COUNTY AND TOWN OF SMITHFIELD STANDARD SPECIFICATIONS AND DETAILS.
27. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL UTILITIES TO THE SITE HAVE BEEN INSTALLED.
28. NATURAL GAS ROUTING IS NOT PART OF THIS PLAN.



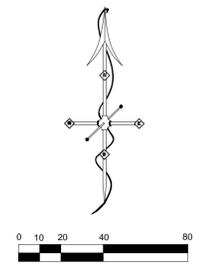
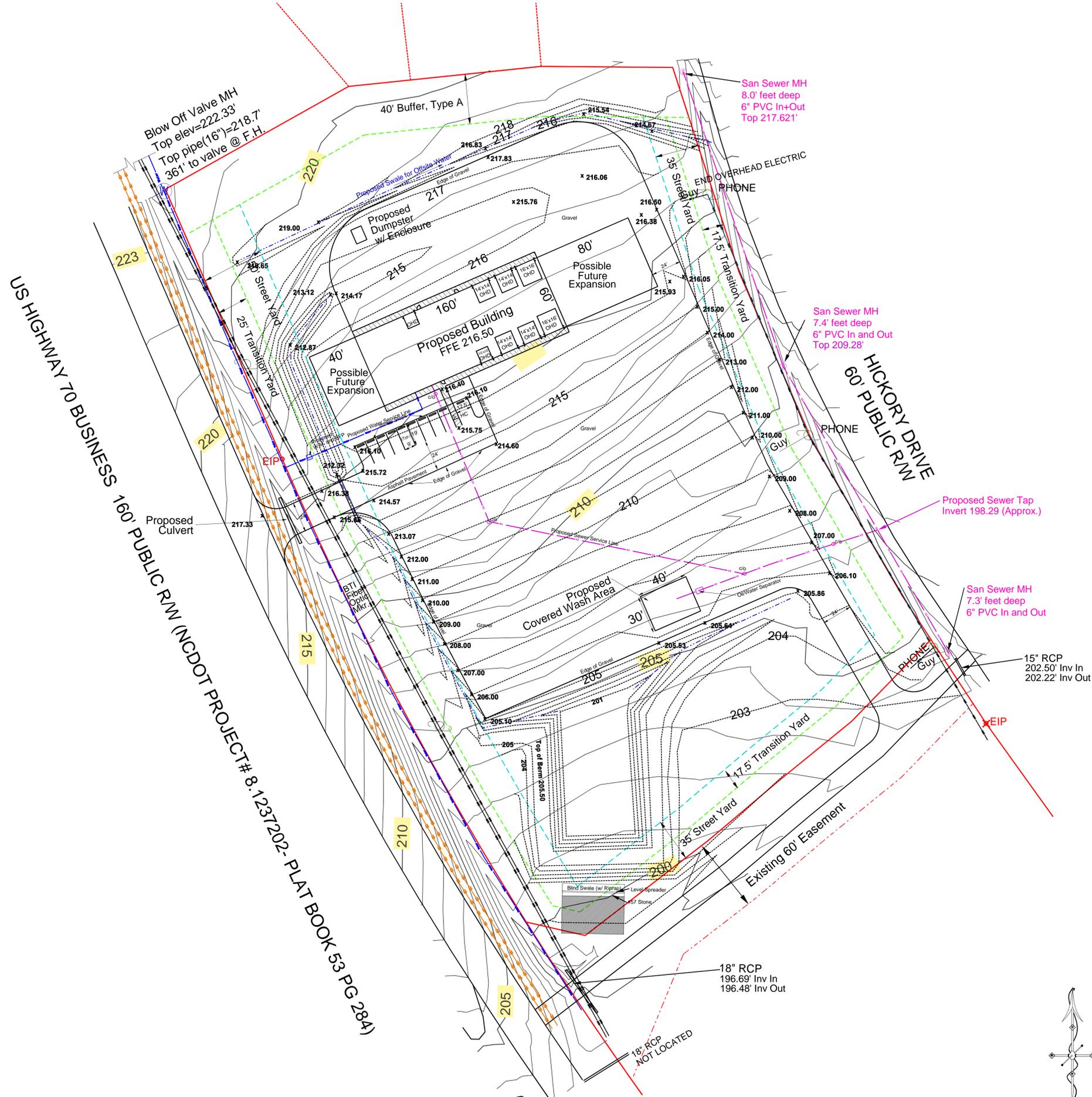
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|--|--|--|
| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 DRAWN: TPS |
| | 7/27/17 | Utility Plan Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC |
| Rob's Hydraulics, Inc. 7765 Pitt St./PO Box 636 Grimesland, NC 27837 | | |

Legend

- Property Line
- Adjacent Property Line
- Street Yards
- Transition Yards/Buffers
- Sewer Lines (Proposed and Existing)
- Water Lines (Proposed and Existing)
- Sewer Manhole (Proposed and Existing)
- Fire Hydrant (Proposed and Existing)
- Existing Power Pole or/and Light Pole
- Existing 5 ft. Contours
- Existing 1 ft. Contours
- Existing Tree Line
- Existing Spot Elevation
- Existing Overhead Electrical Wires
- Existing Fiber Optic Cables

Grading Notes

1. Establishment of a permanent ground cover shall be within 15 working days of any phase of grading.
2. Cut and fill slopes shall be stabilized within 15 days of any phase of grading.
3. Streets adjacent to the project shall be kept clean at all times or a wash station will be required.



| | | |
|---|--|---|
| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 DRAWN: TPS |
| | 7/27/17 | REVISIONS: SCALE: 1"=40' Sheet No. 5 of: 9 |
| Grading Plan Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC Rob's Hydraulics, Inc. 7765 Pitt St./PO Box 636 Grimesland, NC 27837 | | |

US HIGHWAY 70 BUSINESS 160' PUBLIC RM (NCDOT PROJECT # 8.1237202- PLAT BOOK 53 PG 28A)

Legend

- Property Line
- - - Adjacent Property Line
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- - - Transition Yards/Buffers
- Sewer Lines (Proposed and Existing)
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- ⊕ Sewer Manhole (Proposed and Existing)
- ⊕ Fire Hydrant (Proposed and Existing)
- ⊕ Existing Power Pole or/and Light Pole
- Existing 5 ft. Contours
- Existing 1 ft. Contours
- Existing Tree Line
- x Existing Spot Elevation
- Existing Overhead Electrical Wires
- Existing Fiber Optic Cables
- - - Proposed 1 ft. Contours
- - - Proposed Silt Fence
- - - Limits of Disturbance

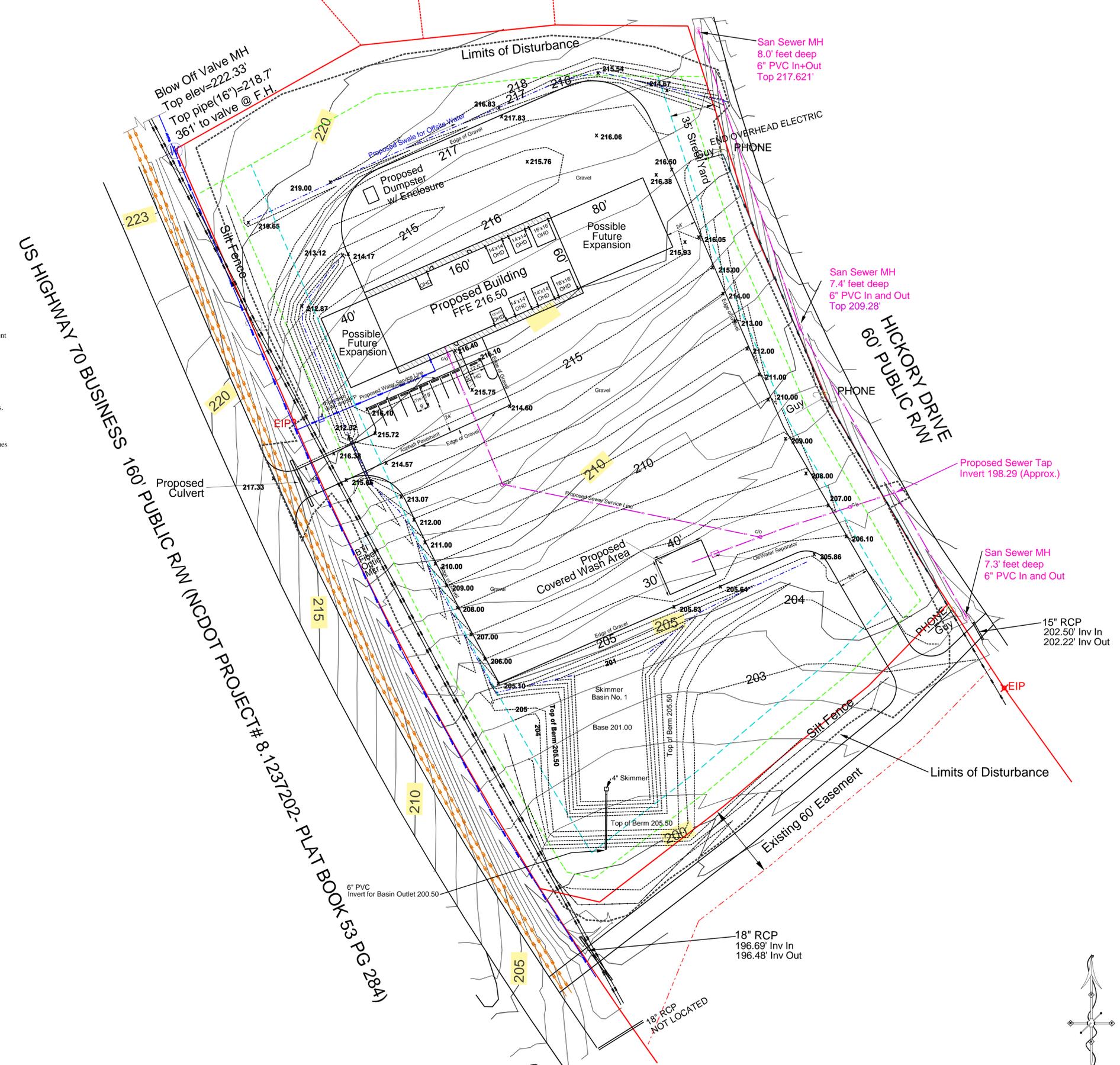
Total Project Disturbance: 5.74 ac.

CONSTRUCTION SEQUENCE

1. Obtain letter of plan approval for sedimentation and erosion control from NCDEQ.
2. Install temporary diversions, silt fencing, or other measures as shown on the approved plans. Clear only as necessary to install these devices.
3. Install Skimmer Basin No. 1 as shown on the plans
4. Begin clearing and grubbing rough grade site.
5. Stockpile sufficient amount of topsoil to cover 3-inches over landscaped areas at the end of the project.
6. Establish ground cover on graded slopes and fills within the time frames on the Ground Stabilization Table shown below.
7. Stabilize site as areas are brought up to finished grade with vegetation or paving.
8. When construction is complete and all areas are stabilized completely call for inspection by Environmental Inspector.
9. Flush and clean all stormwater system pipes. Clean and remove sediment from temporary sediment holding devices.
10. Revegetate per the vegetation schedule.
11. After entire site is stabilized, clean and remove sediment from the Skimmer Basin No. 1. Convert the basin to the permanent Dry Detention Pond by removing the skimmer from the PVC pipe and ensuring that the pond is installed with the approved design elevations.

| Site Area Description | Stabilization Time Frame | Stabilization Time Frame Exceptions |
|---|--------------------------|--|
| • Perimeter ditches, swales, ditches and slopes | 7 days | None |
| • High Quality Water (HQW) Zones | 7 days | None |
| • Slopes steeper than 3:1 | 7 days | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. |
| • Slopes 3:1 or flatter | 14 days | 7-days for slopes greater than 50 feet in length |
| • All other areas with slopes flatter than 4:1 | 14 days | None (except for perimeters and HQW Zones) |

*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section 11.B.2.b)



VEGETATION PLAN

1. Spread topsoil over disturbed areas and leave surface reasonably smooth and uniform.
2. Scarify surface to prepare a seedbed 4 to 6 inches deep. Use such equipment as tilling, discing, or tracing with the teeth on a front end loader.
3. Mix lime and fertilizer with the soil during seedbed preparation.
4. Seed on freshly prepared seedbed following the application rates for the appropriate season.
5. Match all seeded areas immediately.
6. Tack mulch on slopes 3:1 (H:V) or steeper by spraying with emulsified asphalt. Use an anchoring tool such as a farming disc set in a vertical position on slopes less than 3:1. Mulch netting may also be used on slopes.
7. Inspect seeded areas and make repairs within the planting season. If vegetation is over 60% damaged, repeat steps 2 through 5.
8. Permanent revegetation shall be accomplished at the specified times of the year. Temporary vegetation shall be applied outside of the optimal times for establishment of permanent vegetation.

TEMPORARY SEEDING SCHEDULE

Seeding Date: August 15 to December 30

| Seed Type | Rate |
|---------------------|----------------|
| Rye (gram) | 120 lbs/acre |
| 10-10-10 Fertilizer | 1,000 lbs/acre |
| Lime | 2,000 lbs/acre |
| Mulch | 4,000 lbs/acre |

Seeding Date: January 1 to May 1

| Seed Type | Rate |
|---------------------|----------------|
| Rye (gram) | 120 lbs/acre |
| Kobe lespedeza | 50 lbs/acre |
| 10-10-10 Fertilizer | 750 lbs/acre |
| Lime | 2,000 lbs/acre |
| Mulch | 4,000 lbs/acre |

Seeding Date: May 1 to August 15

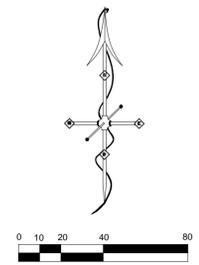
| Seed Type | Rate |
|---------------------|----------------|
| German Millet | 40 lbs/acre |
| 10-10-10 Fertilizer | 750 lbs/acre |
| Lime | 2,000 lbs/acre |
| Mulch | 4,000 lbs/acre |

PERMANENT SEEDING SCHEDULE

Seeding Date:
Best: Sept 15 - Oct. 15
Possible: Sept. 1 - Oct. 31 or Feb. 15 - Apr. 30

| Seed Type | Rate |
|---------------------|----------------|
| Tall Fescue | 200 lbs/acre |
| Rye | 25 lbs/acre |
| Kobe lespedeza | 10 lbs/acre |
| 10-10-10 Fertilizer | 1,000 lbs/acre |
| Lime | 4,000 lbs/acre |
| Mulch | 4,000 lbs/acre |

- Note 1: Fertilizer and lime application rates may deviate from above if soils are analyzed for optimum rates.
- Note 2: Mulch shall be tacked with emulsified asphalt at a rate of 14 to 28 gallons/1,000 sq. ft. on slopes of 3:1 (H:V) or steeper.
- Note 3: Fertilize according to soil tests or apply 40 lbs/acre nitrogen in Jan. or Feb., 40 lb in Sept. and 40 lb. in Nov., from a 12-4-8, 16-4-8, or similar turf fertilizer. Avoid fertilizer applications during warm weather, as this increases stand losses to disease. Re-seed, fertilize and mulch damaged areas immediately. Mow to a height of 2.5-3 inches as needed.



| | | |
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| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 DRAWN: TPS |
| | 7/27/17 | REVISION: |
| | Erosion Control Plan Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC | SCALE: 1"=40' Sheet No. 6 of 9 |
| Rob's Hydraulics, Inc. 7765 Pitt St./PO Box 636 Grimesland, NC 27837 | | |

Legend

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- Adjacent Property Line
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- Water Lines (Proposed and Existing)
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- Existing Spot Elevation
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- Existing Fiber Optic Cables
- Proposed 1 ft. Contours

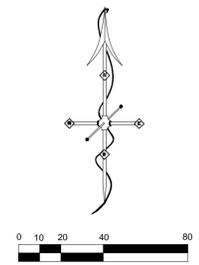
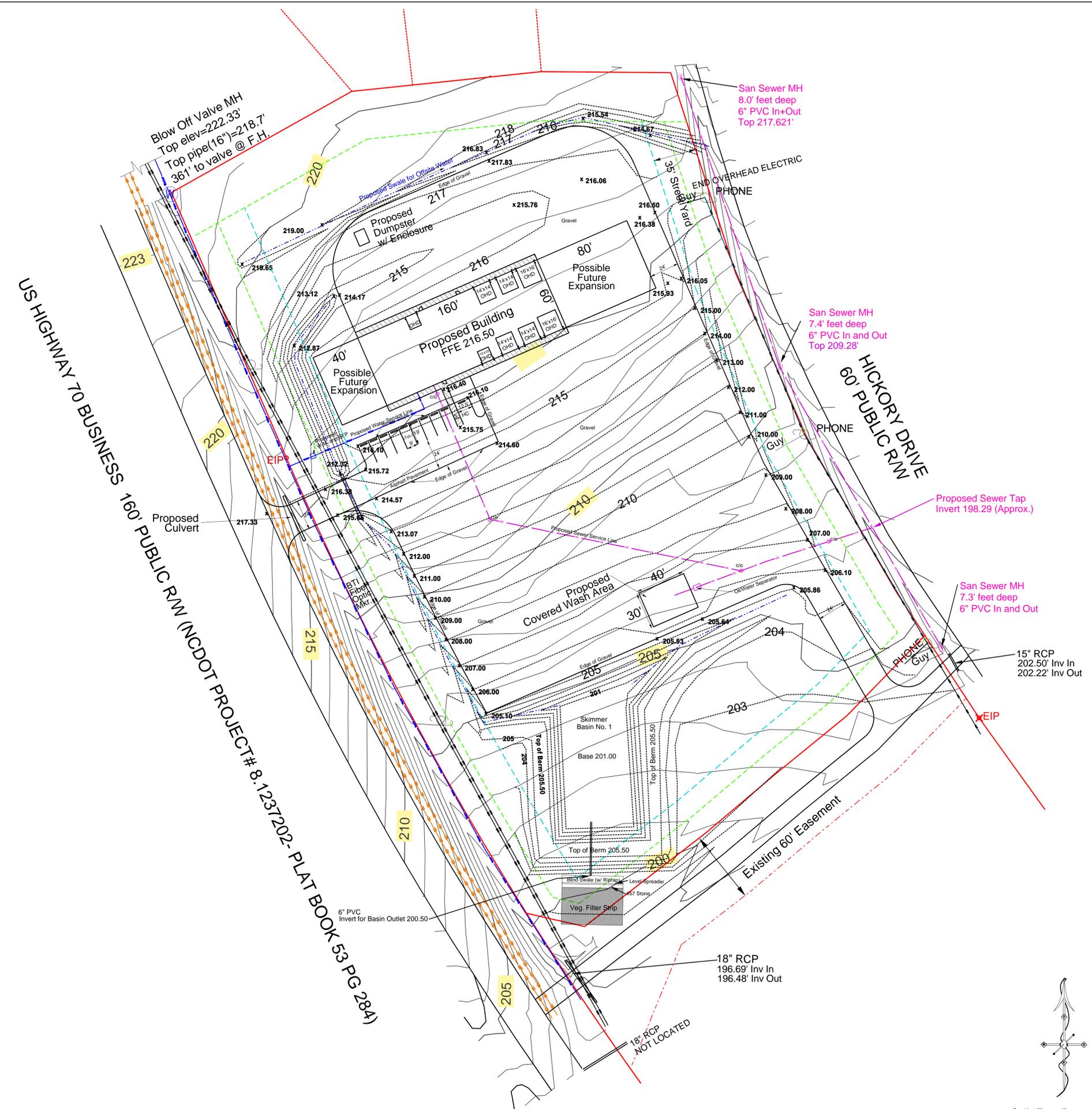
Peak Flow Rates

| Site Condition | 2-year (cfs) |
|-----------------------------------|--------------|
| Pre-Development | 12.47 |
| Post-Development | 19.57 |
| Post-Development with attenuation | 8.11 |

Total Nitrogen Export

| Site Condition | Total Nitrogen (lb/ac/yr) |
|-----------------------------------|---------------------------|
| Post-Development | 10.54 |
| Post-Development w/ BMP reduction | 7.75 |

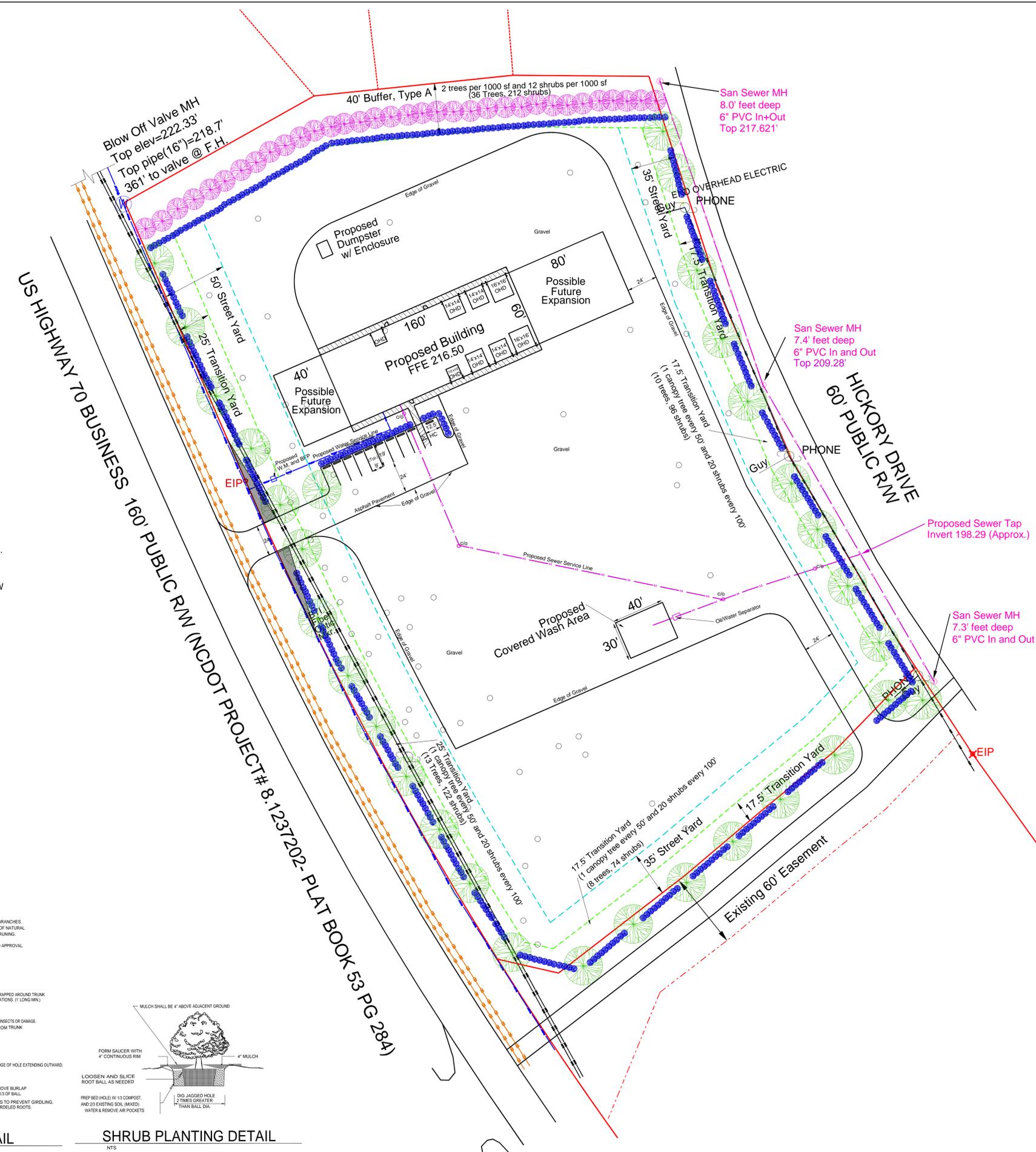
Note: Buydown will be required to reduce TNE to 3.6 lb/ac/yr



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| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 DRAWN: TPS |
| | 7/27/17 | Stormwater Plan Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC |

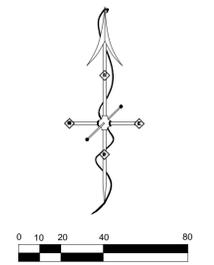
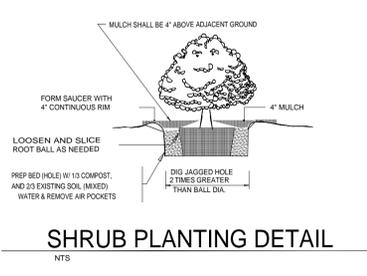
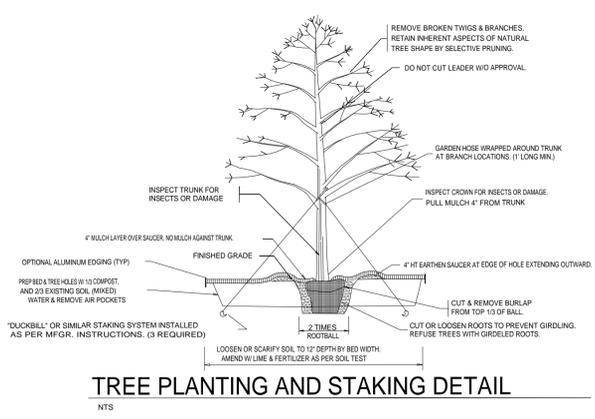
Legend

- Property Line
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- x Existing Spot Elevation
- Existing Overhead Electrical Wires
- Existing Fiber Optic Cables
- Existing Tree w/ DBH 8-15"



NOTE: LANDSCAPING SHOWN IS THE MAXIMUM REQUIRED. THE ENTIRE SITE IS PREDOMINANTLY COVERED WITH PINE. DBH VARIES FROM 2 INCHES TO 15 INCHES. DURING LAND CLEARING ACTIVITIES, THIN TREE AREAS IN DESIGNATED LANDSCAPED AREAS AND AUGMENT AS NEEDED WITH NEW LANDSCAPING.

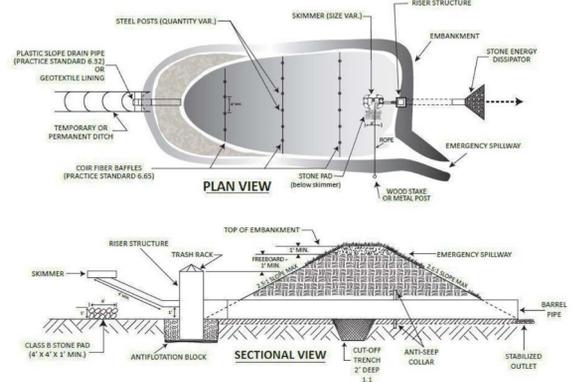
- Notes:
1. All landscaped areas shall be maintained in an attractive and healthy condition. Dead or diseased plantings shall be removed and replaced in a timely fashion.
 2. All landscaped areas shall be provided with an automatically operated irrigation system that will adequately cover all living plant material, such system shall include a rain sensor.
 3. All HVAC/mechanical equipment, both ground and roof mounted shall be screened from view.
 4. Contractor to coordinate plantings with landscape provider. Approved equals accepted.



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| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 DRAWN: TPS |
| | 7/27/17 | Landscaping Plan Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC |
| Rob's Hydraulics, Inc. 7765 Pitt St./PO Box 636 Grimesland, NC 27837 | | |

EROSION CONTROL DETAILS

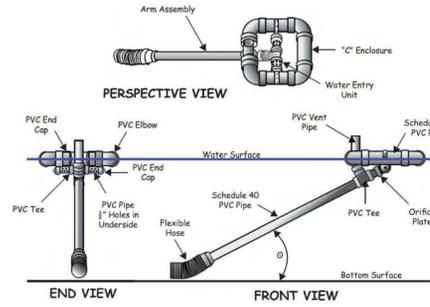
SKIMMER BASIN DETAIL



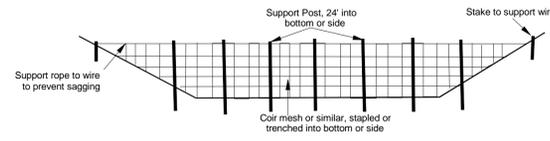
NOTES
 1. SEED AND PLACE MATTING FOR EROSION CONTROL ON INTERIOR AND EXTERIOR SLOPES.
 2. INSTALL A MINIMUM OF 3 COIR FIBER BAFFLES IN ACCORDANCE WITH PRACTICE STANDARD 6.65.
 3. INSTALL SKIMMER AND COUPLING TO RISER STRUCTURE OR DIRECTLY INTO EMBANKMENT 1 FT. FROM BOTTOM OF BASIN.
 4. THE ARM PIPE SHALL HAVE A MINIMUM LENGTH OF 6 FT. BETWEEN THE SKIMMER AND COUPLING.

NOT TO SCALE

SKIMMER DETAIL



CROSS-SECTION BAFFLE (NTS)



Porous Baffle Specifications

- Grade the basin so that the bottom is at equal elevation.
- Steel posts shall be driven to at least 24 inches below ground surface and spaced at 4 ft. centers.
- Top of fabric shall be at least 6 inches above stone spillway elevation and 2 inches lower than berm elevation.
- Bottom and sides of fabric shall be anchored in a 6 inch trench of pinned with 8 inch long erosion control matting staples.
- The baffles shall be composed of coir fiber matting with the following specifications:

Coir Fiber Mat Specifications
 100% coir fiber (coir) twine woven into high strength mat
 Thickness: 0.30 in. minimum
 Tensile Strength: 1348 x 626 lbf/ft minimum
 Elongation: 34% x 38% maximum
 Flexibility (ring-cm): 6500 x 2900
 Flow velocity: Observed 11 ft/sec
 Weight: 20 wt/SY
 Size: 6.6 x 164 ft (120 SY)
 "C" Factor: 0.002
 Open Area (measured): 50%

Basin Maintenance

Inspect skimmer sediment basins at least weekly and after each significant (one half inch or greater) rainfall event and repair immediately. Remove sediment and restore the basin to its original dimensions when sediment accumulates to one-half the height of the first baffle. Pull the skimmer to one side so that the sediment underneath it can be excavated. Excavate the sediment from the entire basin, not just around the skimmer or the first cell. Make sure vegetation growing in the bottom of the basin does not hold down the skimmer.

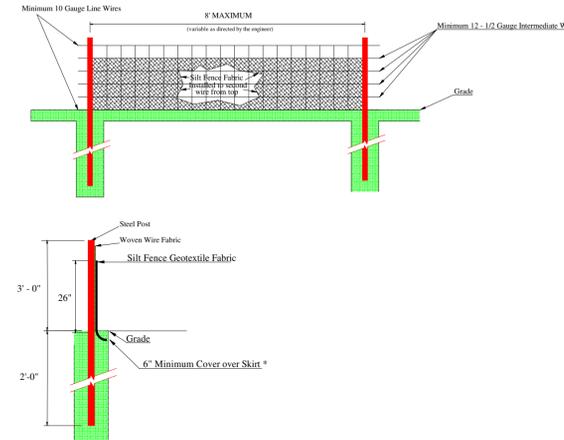
Repair the baffles if they are damaged. Re-anchor the baffles if water is flowing underneath or around them.

If the skimmer is clogged with trash and there is water in the basin, usually jerking on the rope will make the skimmer bob up and down and dislodge the debris and restore flow. If this does not work, pull the skimmer over to the side of the basin and remove the debris. Also check the orifice inside the skimmer to see if it is clogged; if so remove the debris.

If the skimmer arm or barrel pipe is clogged, the orifice can be removed and the obstruction cleared with a plumber's snake or by flushing with water. Be sure and replace the orifice before repositioning the skimmer.

Check the fabric lined spillway for damage and make any required repairs with fabric that spans the full width of the spillway. Check the embankment, spillways, and outlet for erosion damage, and inspect the embankment for piping and settlement. Make all necessary repairs immediately. Remove all trash and other debris from the skimmer and pool areas.

Silt Fence Details



Silt Fence Specifications

- Steel posts shall be a minimum of 5 ft. long, weigh a minimum of 1.3 lb/ft, and have projections to aid in fastening the wire or fabric. Steel posts shall also have a metal plate welded near the bottom such that when the post is driven to the proper depth, the plate will be below the ground level for added stability.
- Woven Wire Fence shall conform to the requirements of ASTM A 116. Class 2 zinc coating for wire. The fence shall be at least 32 in. high and shall have at least 6 line (horizontal) wires. Stay (vertical) wires shall be spaced 12 in. apart. The top and bottom wires shall be 10 gage. All other wires shall be 12 1/2 gage.
- Filter Fabric shall be composed of fibers consisting of long chain synthetic polymers composed of at least 85% by weight of polyolefins, polyesters, or polyamides. The fibers shall be formed into a network such that the filaments or yarns retain dimensional stability relative to each other. The filter fabric shall be free of any treatment or coating which might adversely alter its physical properties after installation. The fabric shall be free of defects or flaws which significantly affect its physical and/or filtering properties. The fabric shall have a minimum width of 36 inches.

The filter fabric shall be furnished with suitable wrapping for protection against moisture and extended ultraviolet prior to placement.

The filter fabric shall meet the following minimum physical requirements:

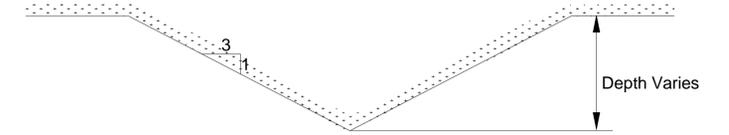
| PROPERTY | TEST METHOD | REQUIRED VALUE |
|--|-------------|---|
| Tensile Strength | ASTM D 4632 | 400 Newtons (90lb) |
| Elongation | ASTM D 4632 | <50% - fabric self supporting > 50% - fabric requires woven wire backing |
| Apparent Opening Size (AOS)** | ASTM D 4751 | 0.84 millimeter (U.S. Sieve #20) |
| Permeability | ASTM D 4491 | 0.01 Sec. |
| Ultraviolet Stability (retained strength after 500hrs of ultraviolet exposure) | ASTM D 4355 | 70% |

- A 6 in. x 6 in. trench shall be dug on the upstream side of the silt fence. The silt fence shall line the trench and extend up the posts for the remainder of the fabric width. The trench shall then be backfilled and tamped. Silt fence fabrics shall be spliced together only at supporting posts with a minimum of 6 in. of overlap and in such a manner to prevent silt from passing between the two ends. At the time of installation, the fabric will be rejected if it has any defects, deterioration, or other damage incurred during manufacture, transportation, or storage.

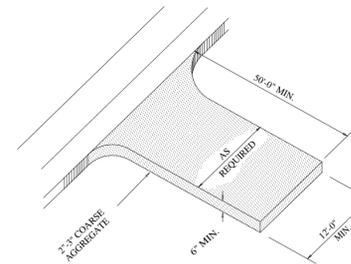
Silt Fence Maintenance Considerations

- Inspect silt fences at least once a week and after each rainfall. Make any required repairs immediately.
- Remove the fabric of a sediment fence that collapses, tear, decompose or become ineffective, replace it promptly.
- Remove the sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.
- Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

Vegetated Swale Detail (Typ.)

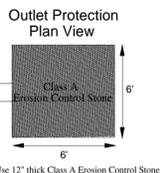
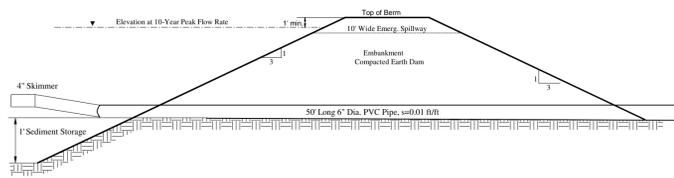


CONSTRUCTION ENTRANCE/EXIT

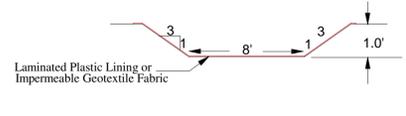


- Notes:
- Clear the entrance/exit area of all vegetation, roots and other objectionable material.
 - Place 2-3" coarse aggregate.
 - Maintenance Considerations: Maintain the gravel pad in a condition to prevent mud or sediment from leaving the construction site. This may require periodic topdressing with 2-inch stone. After each rainfall, inspect any structure used to trap sediment and clean it out as necessary. Immediately remove all objectionable materials spilled, washed, or tracked onto public roadways.

Skimmer Basin No. 1 Outlet Structure Cross-Section (NTS)

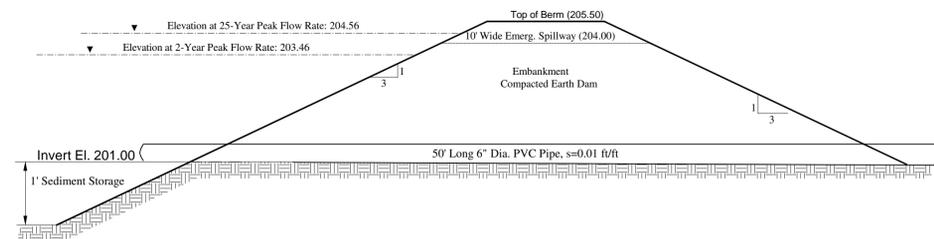


SECONDARY SPILLWAY DETAIL

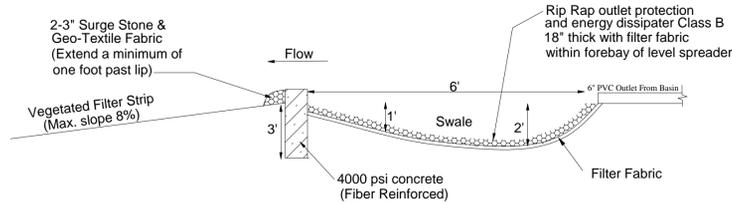


STORMWATER DETAILS

Dry Detention Basin Outlet Structure Cross-Section (NTS)

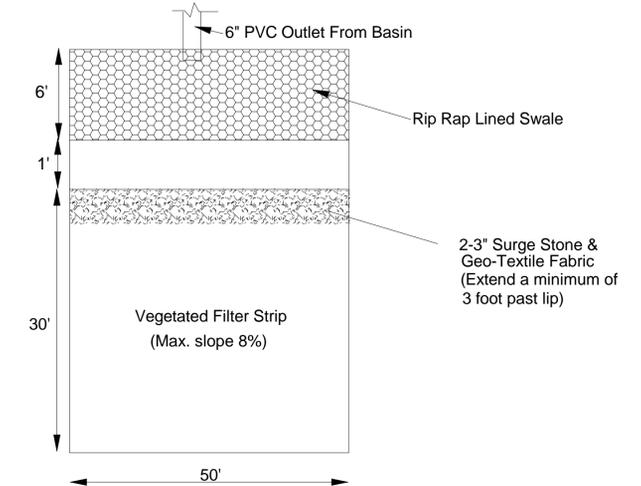


Level Spreader Detail



Maintenance:
 Inspect the level spreader after every rainfall until vegetation is established and properly make any needed repairs after the area has been stabilized. Make periodic inspections and keep vegetation in a healthy, vigorous condition.

Level Spreader and Vegetated Filter Strip Plan View (NTS)



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| | ENGINEERING & ENVIRONMENTAL SCIENCE COMPANY 3008 Anderson Drive Suite 102 Raleigh, NC 27609 (919) 781-7798 | DATE: 07/27/2017 |
| | 7/27/17 | DRAWN: TPS |
| Erosion Control & Stormwater Details Rob's Hydraulics Hwy 70 (Address TBD) Smithfield, NC | | REVISED: SCALE: NTS |
| Rob's Hydraulics, Inc. 7765 Pitt St./PO Box 636 Grimesland, NC 27837 | | Sheet No. 9 of: 9 |