



PLANNING BOARD AGENDA

Members:

Chairman: Stephen Upton (Town)

Vice-Chairman: Mark Lane (ETJ)

Teresa Daughtry (Town)

Ashley Spain (ETJ)

Tom Stevens (Town)

Alisa Bizzell (Town)

Michael Johnson (Town)

Debbie Howard (Town Alt)

Stephen Wensman, AICP, ALA, Planning Director

Mark Helmer, AICP, CZO, Senior Planner

Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, November 7, 2019

Meeting Time: 6:00 p.m.

Meeting Place: Council Chambers, Smithfield Town Hall

PLANNING BOARD

AGENDA FOR REGULAR MEETING

NOVEMBER 7, 2019

6:00 PM TOWN HALL

Call to Order.

Identify voting members

Approval of the agenda

Approval of the minutes for October 3, 2019

New Business

RZ-19-02 Brightleaf Development Partners, LLC: The applicant is requesting to rezone two parcels of land from the R-20A (Residential-Agricultural) to the B-3 (Highway Entrance Business) zoning district. The properties considered for rezoning are located on the northwest side of South Brightleaf Boulevard approximately 305 feet southwest of its intersection with Galilee Road. The properties are further identified as Johnston County Tax ID# 15J10032D & 15J10032E.

S-19-02 Brightleaf Development Partners, LLC: The applicant is requesting preliminary subdivision plat approval for Oakfield Towns, a proposed 17-lot single-family attached residential townhouse development on 1.72 acres of land in the B-3 (Highway Entranceway Business District). The properties considered for subdivision approval are located on the northwest side of South Brightleaf Boulevard approximately 305 feet southwest of its intersection with Galilee Road. The properties are further identified as Johnston County Tax ID# 15J10032D & 15J10032E.

Old Business

Administrative Actions report

Planning Department Development Report

Adjournment

**Draft
Town of Smithfield
Planning Board Minutes
Thursday, October 3, 2019
6:00 P.M., Town Hall, Council Chambers**

Members Present:

Chairman Stephen Upton
Vice-Chair Mark Lane
Teresa Daughtry
Debbie Howard
Michael Johnson

Members Absent:

Alisa Bizzell
Ashley Spain

Staff Present:

Stephen Wensman, Planning Director
Mark Helmer, Senior Planner
Julie Edmonds, Administrative Support Specialist

Staff Absent:

CALL TO ORDER

SWEARING IN OF DEBBIE HOWARD

IDENTIFY VOTING MEMBERS

APPROVAL OF MINUTES from August 1, 2019

Teresa Daughtry made a motion, seconded by Mark Lane to approve the minutes as written.
Unanimously approved

APPROVAL OF THE AGENDA

Mark Lane made a motion to approve the agenda, seconded by Teresa Daughtry. Unanimously approved

NEW BUSINESS

Smithfield Town Plan

The Planning Department is requesting the Planning Board review the draft Town Plan and make a recommendation to the Town Council.

Stephen Wensman said the purpose of the Town Plan is to establish a vision for the transportation land use in the Town of Smithfield. It would process the needs and deficiencies in town. It's to guide growth and development into the future. The plan recommends specific projects and strategies and action. He has provided everyone with any formatting changes within the Town Plan. The future land use map has been updated numerous times; specifically the boundaries of the Downtown Support. There were issues about whether or not that should expand beyond Bridge Street. We brought that boundary to Bridge Street and shortened it as you get to Brightleaf Blvd.

Mr. Lane asked if Mr. Wensman could point out on the Future Land Use Map where the boundary was. He asked if it was only on Bridge Street.

Mr. Wensman said the boundary follows Bridge Street and goes to the North and cuts over.

Mr. Upton said these changes to the map were done by the recommendation of the public and their comments.

Mr. Wensman said yes, this was one of the points of contention at our last meeting. We have addressed it and using the streets as a boundary, opposed to mid-block. The purpose for even going there was due to vacant land and the potential for redevelopment. However the public comment didn't want that to be part

of the Downtown Support. We pulled it back to areas where there are likely to be some multi-family or commercial redevelopment that's supportive of downtown, that wouldn't really impact single-family neighborhoods.

Mr. Lane said we had talked about having the map read from Bridge Street over to Hancock Street down to Hwy 301.

Mr. Wensman said in the updated plan there isn't a trail along the river. It's following the same alignment as the Mountains to Sea Trail. The kiddie park at the end of the greenway shows a neighborhood connection that reaches through the neighborhood and ultimately will go to Smith-Collins Park. It would meet up with some type of street connection and over to Johnston Community College. The goal is to provide more access to the Greenway through various neighborhoods as well as provide opportunities for redevelopment.

Mr. Wensman gave a summary of the updates. In Volume 1 of the Town Plan, there were some updates of growth projections for Smithfield. The National Register of Historic Districts was clarified. There were some proposed ones instead of actual ones that haven't been studied yet and some maps were confused. Distinction between major and minor collectors was changed. As mentioned before, the Mountains to Sea map was added to the introduction to show that the current Mountains to Sea map is in the existing conditions. The Comprehensive Plan has mixed use concept plans for several gateways. He mentioned an example using Rose Manor Shopping Center. It's currently used for storage and often is subject to comments from people passing through saying your gateways don't look good because it's a mall without any life. This could potentially be a mixed use of office, commercial and multi-family homes. There is also vacant land by Johnston Community College that there is a vision for developing someday.

Mr. Wensman stated the last several updates to the Town Plan haven't been printed because it is simply way too much paper. He did want to give this summary of the changes to help everyone better understand where he is coming from. Once this Town Plan is adopted we will begin contacting property owners to see where we can get this trail to go and start making proposals.

Mrs. Howard asked if anything proposed in the Town Plan would go before Town Council for approval.

Mr. Wensman said yes, this is going to be a living document and not binding. It is a starting point for us.

The Town has a grant application in to do a stormwater streambank improvement project, funded by the AG's office. It wouldn't require the use of any Town money. This would allow us to have ponds on the FEMA properties that have been acquired by the Town. With that vision there would be a trail component supported by the Visitor's Bureau. We're looking into getting wetland credits, when you build ponds you get credits from the State.

Mr. Wensman said if this board recommends the Town Plan tonight, he will get with the Town Manager and the Mayor about putting this on the November 12th Town Council agenda. From there, we will advertise the public hearing. We hope before the end of the year it will be adopted by Town Council.

Mr. Lane brought up the imaginary boundary line on Bridge Street from the river to Hwy 301. He would like to know if that separates downtown from North Smithfield.

Mr. Wensman said no not essentially. The area in brown on the map is not downtown or even commercial. Land Use Guidance is a set of policies applicable to that area. There are probably 3 different zoning districts there.

Mr. Lane asked if new businesses would be allowed to open in that area.

Mr. Wensman said that would be up to Town Council. This plan is not advocating for new businesses. The area in brown which has been of much discussion is really an area that says there's a series of policy recommendations. They are supportive of downtown whether it is mixed use housing, park amenities or improved sidewalks. To make that happen there could be zoning changes, overlay zoning or simply

changes to existing code. The downtown area is very important to the community and the desire for more activities, improvements to façades and improving dilapidated property are just some of the requests from the public.

Mr. Lane said that he was concerned about the trail from Second to Wellons Street. He would like to know if this board can put a condition on the approval of the Town Plan, and that the Town Council takes a closer look at that concern.

Mr. Wensman said by having it in the plan we're saying take a look at this. He suggested less busy streets for the trail but it was objected. Once we take up the planning of this project, there will be dialog and funding requirements. How do you put a trail on an existing street? You would need some type of striping and signage which both take money. In order for these things to happen it will take Council involvement.

Mr. Lane said there are no sidewalks.

Mr. Wensman said so we'd have to construct them and that will take money. The trail is important to the community and the current one has been very popular. There is a desire to complete it by connecting to Clayton and North. You can't condition it but you can place wording in it that says it must be less impactful to residents. However it has to go somewhere and regardless to its location someone is going to object.

Emma Gemmell of 207 Hancock Street came forward to speak. She stated that she and Pam Lampe have had concerns about the Town Plan. Some of those concerns have been stated at an earlier Planning Board Meeting. They have had several conversations with Stephen Wensman, Gary Johnson and Sarah Edwards. They asked for the ordinance creating the Municipal Service Tax District in the downtown area for the last 3 weeks and received it yesterday October 2nd.

#1 We're requesting to take out the map in Volume 1 Demographics. It infers that we are part of the downtown area just because of proximities. Their neighborhood wants to stay North Smithfield not downtown even if it's inferred.

#2 We're requesting to take out the words and any illustrations regarding MSTD (Municipal Service Tax District). Downtown is an area as stated in the ordinance of April 2, 1985. The district is the Municipal Service Tax District, not downtown area which is clearly stated in the ordinance. They don't want to be in either the downtown area or the downtown Service Tax District.

#3 In the Appendix of the Growth Plan in comments, the question was asked why we (Town) have a Municipal Service Tax District to tax businesses. It is not an enhancer for businesses to come. It also seems that Municipal Service Tax District credits will be better for the Town than Utility Credits. Taxing isn't a good recruiting tool. Real and personal property is being taxed at a rate of 20 cents on \$100. Sarah said the businesses in downtown had 5 years to object to the personal tax. It wasn't objected, so it is now a permanent tax. She wonders if these businesses were told about having the right to object.

#4 They would also like a hard line for no encroaching into their North Smithfield neighborhood from Downtown or Downtown Support, which is the brown area on the map. The correct downtown area from the ordinance map needs to be put in the Growth Plan map. The hard line can run from Front Street to Seventh Street. Our neighborhoods North of Market and South of Market feel the same way about their neighborhoods. They want protection and no encroaching from businesses and higher density projects.

Our neighbors on Fourth through Seventh Streets are single family homeowners and want protection just like Second and Third Street single family homeowners. We are asking for less density & protection for our neighborhoods North of Market in close proximity to downtown. Taking us out of the downtown area and Municipal Service Tax District, will help us achieve more of a hard line for development. It seems like the developers are given more freedom, less restrictions and easier zoning to encroach into neighborhoods. It hasn't been easy for us to ask for these things for the single family homeowners near the downtown area from Bridge to Seventh Street. We're requesting to lower our zoning from medium

Density to Low Density. We are in a medium density zoning which is very broad. It allows single family to multi-family. We have asked for less dense zoning but Stephen says we have to go to a Planning Board meeting to get it. I'm here, so therefore I am asking.

#5 In the Parks section the word consider is used quite frequently and it seems like it means top priority not CONSIDER. The dictionary meaning is to think carefully about especially in order to make a decision; contemplate, reflect on. Nowhere does this word mean action before input. The Town staff seems to have the input. Most don't even live here. They work here so they aren't affected by most of their directives. There needs to be a "big box" in all Volumes which has the word consider with its definition for people coming in the future using this Growth Plan.

This is just an example, before Parks & Recreation considers a park improvement initiative there needs to be a process that includes Town residences before spending so much money. This has happened with the amphitheater with questions still needing answered by FEMA, Flood Insurance and any restrictions for paying back loans if the amphitheater is damaged or destroyed.

In closing, neighborhoods North and probably South of Market Street want the Planning Board to protect us by doing the things we have requested.

#1 Removing the Map in Volume 1 inferring proximity to downtown as a part of the downtown area and its Municipal Service Tax District into a 5th District. There are 4 districts North, South, East & West. Again, downtown is an area not a district.

#2 Removing in Volume 2 any wording regarding Municipal Service Tax District or Municipal Service District.

#3 Removing downtown as a 5th District and staying a downtown area except for the map from the Ordinance where it shows the Municipal Service Tax District. Our neighborhoods want to be in the North Smithfield District not the Downtown area or District.

The ordinance has a special service tax for the downtown area. Stephen put us in the downtown area. He said it was just words but words matter to him. They will use this to gain real and personal property taxes in addition to regular taxes.

Thanks for listening and we hope you understand our concerns and vote to remove these unwanted pieces of the 2019 Town Growth Plan.

Mrs. Gemmell stated that she agreed with Teresa Daughtry in saying the Town Council needs to take their time in order to digest the Growth Plan. It is difficult to understand.

Mr. Lane asked Mrs. Gemmell if all or most of those conditions are met, would you be ok with the Town Plan being approved for recommendation tonight.

Mrs. Gemmell said she thinks so.

Mrs. Daughtry asked Mrs. Gemmell out of the four things she has requested what would be the top thing she would pick.

Mrs. Gemmell said I guess I don't understand but the 5th District was very concerning to her. In reading the ordinance it spoke of the downtown area and the Municipal Service Tax District. There was too much open-endedness. It doesn't say that tax is mandatory so if they creep into North Smithfield and we're part of that district, we can be taxed. If we're single family residents we will not be taxed. If we're multi-family or duplexes we will be. It will be towards people who can't afford it as much.

Pam Lampe of 415 N. Second Street came forward to speak. She said she and Mrs. Gemmell had talked to Smith Raynor about the Mountains to Sea Trail. Mrs. Lampe feels that the trail should be put on the West Side of the river. She has read the Town Plan several times and studied it in great detail. She is

deeply concerned about the municipal service district. She would like Sarah Edwards to address where she wants it to grow. We don't want it growing into South Smithfield or North Smithfield. We know single family residential is excluded.

Sarah Edwards of 1282-E Packing Plant Rd and Executive Director of Downtown Smithfield Development Corporation came forward to speak. She mentioned Mrs. Lampe's previous comment about the Mountains to Sea Trail. The Downtown Smithfield Development Corporation does own 25 acres on the other side of the river and we have said if it makes sense to have the trail on the other side of the river we would entertain that. We will evaluate what can be done on the property. It could be that the property is wet all the time and we would need to make a high ropes course out of it.

Ms. Edwards also wanted to point out that sidewalks do exist on Second Street down to Parker Street. As far as the maps are concerned, downtown is distinctive in character from other areas in town. You have a mix of commercial and residential properties in close proximity that drives traffic between each other. We have 51 residential units downtown. That separates downtown from any other area. The Downtown Smithfield Municipal Service District is entirely different from the Downtown area or the Downtown Support Area on your map. The Downtown Smithfield Municipal Service District is just a tax district. It runs from the Neuse River Bridge to Hwy 301, it just crosses Hwy 301 to pick up the Rite-Aid property. It then runs to the Advance Auto Parts property down towards Bridge Street. It basically goes from Bridge Street to Church Street, then a block in either direction of Market Street. There is an exception of Third Street where it goes down to Woodall Street. The property owners in that district pay an additional 0.19 cent per \$100 evaluation. That district was created in the 1980's at the request of the property owners within that district. At that time property owners were required to agree at a certain threshold in order for the Town Council to create the district. At least 2/3 of the property owners had to agree and the rate 85 to 90%. For those not in Smithfield at the time, downtown still had the canopies that still exist in some places today. This was done to give Downtown Smithfield a shopping mall feel.

There has been more than 40 million dollars of investment in Downtown Smithfield since the Municipal Services District started. Those are rough numbers and don't represent everything. The only way the Municipal Service District can be expanded is to take in properties adjacent to the district. The district currently ends at the old Rite Aid building and if the business behind them named WinSupply wanted to come into the district they could apply to do so because they are adjacent. The Kangaroo gas station at the intersection of Hospital Rd and Buffalo Rd wouldn't be able to come into the district because they don't share a border.

The amphitheater study is a fresh proposal. At this point there has only been a conceptual drawing done. There is a study that has to be done to see if the current amphitheater can be renovated. We would need to consider materials that could withstand flooding. There will be more opportunities for public input but it can't move forward until this Town Plan moves forward.

Mr. Lane said he feels the new amphitheater will happen but maybe not in its current location.

Mrs. Gemmell said that she wanted to clarify that the Service Tax District Map be put on the map that's going in this plan and removing the 5th District. There is no need to have a 5th District when Downtown is not a district in the ordinance, it is only an area.

Mr. Wensman asked the Planning Board to turn to the Intro document in Volume 1 on page 14. This map is a description of the Town. When the consultants started to describe various parts of the Town they recognized there was a West, South, North and East side. Originally they said downtown which included North Smithfield and historic neighborhoods because they were integral to the original Downtown. They are walkable to the Downtown area. They did a comparative analysis to the different areas. This map is only an analysis; it's not policy or a recommendation.

Mr. Wensman said you can promote the benefits of Municipal Service District and encourage businesses to come into the district. It's in the recommendations of the Downtown Support. If you want to support your downtown, you want to grow your Municipal Service District. It's a key piece to why we have a strong downtown and why it looks as good as it does. People often say you have a great downtown. As the

population grows there will be more opportunity for more density and redevelopment. There are some recommendations about the Town potentially refunding utility fees or waiving utility fees to encourage development. We are now putting connection fees into place. The Town does have a way to waive those fees as means to support development. Mrs. Gemmell mentioned that we should credit the tax as a way to encourage development rather than utilities. I don't believe the Town even could credit that tax. There is a recommendation in the plan that says we should support development initiatives when appropriate through credit or fees.

Mr. Wensman said as far as encroaching into the neighborhoods, this document is loaded with recommendations for improving our buffers between land uses and no encroachment into residential areas. Those recommendations are likely in there because of Mrs. Gemmell and Mrs. Lampe's comments at the public hearings. They were heard and reflected in the document. It's loud and clear and we don't want to continue encroaching into residential areas. We have business areas now underutilized, why would you spread them out into more residential areas. The Municipal Service District is not a threat to the residential districts. The Downtown Support Area is not a threat to the residential districts; it's a series of policies that's supportive of downtown.

Mr. Wensman said to achieve medium density you can have R-6, R-8 and R-10 zoning. North Smithfield is R-10 which is the lowest of the medium density ranges. In that R-10 zoning district you can't have multi-family, it's not allowed. In R-8 zoning you can have multi-family with a special use permit. By right, where you can have single-family homes you can have duplexes. We can't say we're going to guide an area for low-density when it's already built to a medium density. The homes are already there and the land is already subdivided. The vacant properties could be developed in medium density with multi-family if it's zoned R-8 or within that neighborhood support area we should look at ways through zoning to allow mixed use, multi-family or other uses supportive of downtown. The brown area on the map is a set of goals and policies to achieve downtown support.

Mr. Wensman said to answer Mrs. Gemmell's comment on the word consider, he said we want to analyze before we act. It is used throughout the plan and we want consistent language in this plan. Some things we want to consider are an analysis of parks, zoning, and trails. We want them to be considered. Once their considered we will either move forward or we won't. It's going to take community input, the Planning Board, Town Council and Public Hearings. He would like to commend Mrs. Lampe and Mrs. Gemmell on all of the work they have done. Once this plan is passed to Town Council, they will have comments and criticisms.

Mr. Wensman said the Mountains to Sea Trail are more in people's front yards than back yards. If it's along the river it's more likely to be in people's back yards. There will be striping on the road that helps people know they are in the right place or signage saying Mountains to Sea Trail. They will either bike on the sidewalks, on the shoulder or walk. The Mountains to Sea could be a dirt path in the woods, a bike trail or a sidewalk. The State will fund the trail sections but not the street sections. That would be left to the Town to fund as well as the sidewalks. It would take an act of Town Council to recommend routes.

Mr. Upton thanked the Planning Department Staff as well as the Planning Board for their hard work. He said that he felt it was time for this board to come to some conclusion on a decision to recommend the Town Plan to the Town Council.

Mark Lane made a motion that the Planning Board recommends the Town Plan to the Town Council with the exception of the Mountains to Sea Trail from Bob Wallace Park South to be removed. With no second the motion died.

Teresa Daughtry made a motion that the Planning Board recommends the Town Plan to Town Council, seconded by Michael Johnson. For the motion: Stephen Upton, Teresa Daughtry, Michael Johnson and Debbie Howard. Against the motion: Mark Lane.

ZA-19-04 Town of Smithfield

The Planning Department is requesting an amendment to Article 3, Article 4, and Article 6 and Article 7 of the Smithfield Unified Development Ordinance (UDO).

Mr. Wensman said as you all know we have been talking about conditional zoning for some time as an alternative to special use quasi-judicial processes. The Town Council did hire an attorney to review the ordinance amendments that are currently drafted and are ready to be adopted. We haven't heard back yet from that attorney. Mr. Wensman spoke with a Planner and Assistant Manager for another Town near Charlotte doing the same thing this board is proposing to do; using the Table of Uses to remove special uses and require conditional zoning through the use table. They kept a hand full of special uses.

Mr. Lane asked if the attorney had received the information yet.

Mr. Wensman said yes.

Adjournment

Being no further business, Michael Johnson made a motion seconded by Teresa Daughtry to adjourn the meeting. Unanimously approved

Next Planning Board meeting is November 7th, 2019 at 6:00 pm.

Respectfully Submitted,



Julie Edmonds
Administrative Support Specialist



Request for Planning Board Action

**Business
Item:** RZ-19-02
Date: 11/07/2019

Subject: Zoning Map Amendment
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Business Item

Issue Statement

To rezone two parcels (Tax IDs 15J10032D and 15J10032E), 1.72 acres of land, from the R-20A (Residential-Agricultural) zoning district to B-3 (Highway Entrance Business) zoning district.

Financial Impact

There will be no financial impact to the Town.

Action Needed

To review the application for rezoning, and make a recommendation to the Town Council.

Recommendation

The Planning Department recommends approval of the Zoning Map Amendment; and recommend that the Planning Board recommend approval with a consistency statement declaring the request to be consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

Approved: City Manager City Attorney

Attachments:

1. Staff Report
2. Consistency Statement
3. Planning Application



Staff Report

Business Item: RZ-19-02

Application Number: RZ-19-02
Project Name: Oakfield Towns
TAX ID numbers: 15J10032D and 15J10032E
Town Limits / ETJ: Town Limits
Applicant: Adams and Hodge Engineering, PC
Owners: Brightleaf Development Partners, LLC
Agents: none
Neighborhood Meeting: none

PROJECT LOCATION: The property considered for rezoning is located on the north side of US 70 Business West approximately 305 feet southwest of Galilee Road on US Highway 301.

REQUEST: The applicant is requesting to rezone the 1.72 acres of land from the R-20A (Residential-Agricultural) to B-3 (Highway Entrance Business) zoning district.

SITE DATA:

Acreage: 1.72
Present Zoning: R-20A (Residential-Agricultural)
Proposed Zoning: B-3 (Highway Entrance Business)
Existing Use: Single Family Residential
Proposed Use: Single Family Townhomes (Multi-family)
School Impacts: Potentially additional students
Parks and Recreation: Park dedication fee in lieu funds
Fire District: Town of Smithfield
Water and Sewer Provider: Town of Smithfield
Electric Provider: Duke Progress Energy

ENVIRONMENTAL: The property considered for rezoning is not located within a floodplain and no delineated wetlands exist on or near the property considered for rezoning.

ADJACENT ZONING AND LAND USES:

	Exiting Zoning	Existing Use:
North-East	B-3 & R-20A	Manufacturing/ Business/Single-Family Residential
South-East	RMH	Mobile Home Development
North-West	R-20A	Institutional - Johnston County Bus Garage
South-West:	R-20A	Single-Family Residential

STAFF ANALYSIS AND COMMENTARY:

The properties considered for rezoning are currently zoned R-20A and are used for single-family residential. Parcel #1 is 0.586 acres in size and is located at 3292 US Highway 301 (Tax ID 15J10032E). Parcel #2 is 1.14 acres in size and is located at 3210 US Highway 301 (Tax ID 15J10032D). The parcels are adjacent to business, institutional and single-family residential land uses. The rezoning will make the existing single-family home on the property non-conforming, however, the applicant intends to remove the single-family structures.

The current comprehensive land use plan map guides the property to medium density residential. To rezone the property as such would create a spot zone of R-8 zoning. Since the intention of the rezoning is to facilitate Town Home development, the same can be achieved using the B-3 zoning with a special use permit. There is B-3 zoning adjacent to these properties. Therefore, Staff is in support of the rezoning to B-3 and believes it is consistent with the intent of the land use plan.

In order to approve the rezoning, the Town Planning Board/Council must find the rezoning consistent with Town Plans and Policies:

- **Consistency with the Strategic Growth Plan**

The subject properties are guided in the Future Land Use Map as medium density residential, so technically the rezoning is inconsistent with the Future Land Use Map, however, the properties considered for rezoning are adjacent to properties guided for, used and zoned for Commercial. Zoning to B-3 is a better fit for the proposed use, given the adjacent land use and zoning and the planned use of the property. Therefore, the rezoning is generally consistent with the Strategic Growth Plan.

- **Consistency with the Unified Development Code**

The rezoning will be consistent with the Town of Smithfield Unified Development Ordinance because the proposed use is allowed in the B-3 zoning district with a special use permit.

- **Compatibility with Surrounding Land Uses**

The property considered for a rezoning is adjacent to B-3 and R-20A zoning districts and adjacent to business, institutional and residential land uses. The proposed rezoning will not have negative impacts on adjacent land uses and the proposed residential use of the properties are compatible with the adjacent land uses.

PLANNING DEPARTMENT RECOMMENDATION:

The Planning Department recommends approval of the Zoning Map Amendment; and recommend that the Planning Board recommend approval with a consistency statement declaring the request to be consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

PLANNING BOARD RECOMMENDED ACTION:

The Planning Board is respectfully requested to review the petition and make a recommendation to the Town Council whether to approve or deny the rezoning of the residential parcels, 1.72 acres, from the R-20A (Residential-Agricultural) to B-3 (Highway Entrance Business) zoning district.

Recommended Motion:

“Move to recommend the Town Council approve the rezoning, RZ-19-02, rezoning from the R-20A (Residential-Agricultural) to the B-3 (Highway Entrance Business) zoning district finding the request to be consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest”



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: Oakfield Towns Acreage of Property: 1.72 ac
 Parcel ID Number: 168206-48-5825 / 168206-48-5714 Tax ID: 15J10032D / 15J10032E
 Deed Book: 5263 Deed Page(s): 269
 Address: 3276 & 3292 US HWY 301, Smithfield, NC 27577
 Location: Roughly 305 ft Southwest of Galilee Road (SR 1341) on HWY 301

Existing Use: Single Family Proposed Use: Townhomes
 Existing Zoning District: R-20A
 Requested Zoning District: B-3
 Is project within a Planned Development: Yes No
 Planned Development District (if applicable): _____
 Is project within an Overlay District: Yes No
 Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: RZ-19-02 Date Received: Oct 4, 2019 Amount Paid: \$400



Statement of Justification Land Use:

The presently adopted Land Use Plan shows the subject property to be rezoned as being a medium density residential use. The actual use of the property as of this writing is low density residential. The adjacent property to the north is designated as being a commercial use. The proposed commercial use extends all the way to the intersection of US 301 S and Galilee Road. To the east the land use is shown as office and institutional or high density residential. The present use of the property to the east is a mobile home park (high density residential). The property to the south of the subject property is designated as being a medium density residential use. Presently the property to the south is in a low-density residential use. To the west, the adjacent land is designated as office and institutional or high density residential. The present use of the property is the School Bus Garage for Johnston County Board of Education.

Obviously, it can be seen that the intent of the adopted Land Use Map is to create an area that can support commercial establishments and office that incorporates medium to high density residential.

The rezoning of this property to B-3 commercial combined with the issuance of a special use permit for townhomes will fulfill the intent of the Land Use Plan for high density residential.

Zoning:

According to the Unified Development Ordinance, Article 6 – Zoning District – Table of Uses the subject property will need to be rezoned in order to construct townhomes. In addition to the rezoning a special use permit will need to be issued for the construction of the townhomes. According to the table of uses the only zonings that will support a townhome development are B-1, B-2, B-3 commercial zoning or R-6, R-8, RMH residential zoning. RMH zoning is reserved for mobile home parks only, therefore RMH zoning is not applicable for townhomes. R-6 and R-8 zoning cannot be utilized since no R06 or R-8 zoning districts exist anywhere nearby; therefore, no argument can be made for expansion of an contiguous zoning district to incorporate the subject property. If the property were rezoned to R-6 or R-8 it would constitute “spot zoning” because of there not being any immediately adjacent R-6 or R-8 district.

The B-1 district is limited to the downtown area of Smithfield and therefore cannot be used. The B-2 district is a transition district that lies adjacent to the B-1 district and is limited to the Entry Corridor Overlay and is limited to the Entry Corridor Overlay district. Therefore, the B-2 district cannot be used in the rezoning of the subject property.

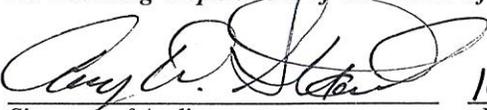
By process of elimination the only zoning district the subject property can be rezoned to is B-3 Commercial. Furthermore, justification can be made that the adjacent property is already zoned B-3 commercial. By rezoning the subject property to B-3 it will not constitute a “spot zoning” but rather expansion of existing zoning district. The rezoning can be further justified by the land use plan showing the commercial extend all the way from Galilee Road to the parcel. It

would only seem logical to expand the commercial land use to incorporate the subject property so that the high density residential the land use plan refers to can be provided.

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Amy D. STANCIL
Print Name


Signature of Applicant

10/04/19
Date

OWNER'S CONSENT FORM

Name of Project: Oakfield Towns Submittal Date: 10/04/2019

OWNERS AUTHORIZATION

I hereby give CONSENT to Adams & Hodge Engineering, PC (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

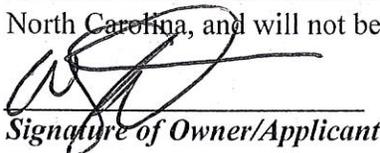

Signature of Owner

Will Stephenson
Print Name

10/2/19
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.


Signature of Owner/Applicant

Will Stephenson
Print Name

10/2/19
Date

FOR OFFICE USE ONLY

File Number: _____ Date submitted: _____ Date received: _____

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
RZ-19-02**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE IS ADOPTED,

That the final action regarding zoning map amendment RZ-19-02 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public meeting; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public meeting. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE FAILS,

That the final action regarding zoning map amendment RZ-19-02 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.

3200 Block of South Brightleaf Boulevard



**Location of Proposed
Rezoning from R-20A to B-3**



Project Name:
Oakfield Towns

File Number:
RZ-19-02

Existing Zoning:
R-20A (Residential -
Agricultural)

Proposed Zoning:
B-3 (Highway Entrance
Business)

Property Owner:
William Stephenson

Applicant:
Adams & Hodge
Engineering, PC

Location: South
Brightleaf Blvd.

Tax ID# 15J10032D &
15J10032E



1 in = 100 ft

Map created by the
Mark E. Helmer, AICP
Senior Planner, GIS Specialist
on 10/29/2019



Request for Planning Board Action

**Business
Item:** S-19-02
Date: 11/07/2019

Subject: Oakfield Towns Preliminary Subdivision
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Business Item

Issue Statement

Adams and Hodge Engineering, PC is requesting a Preliminary Subdivision Plat for Oakfield Towns, a proposed 17-lot attached single-family townhouse development on 1.72 acres of land.

Financial Impact

The development will be served by Town utilities and the Town will receive property taxes.

Action Needed

To review the Preliminary Subdivision Plat and make a recommendation to the Town Council.

Recommendation

Planning Staff recommends the Planning Board recommend approval of the S-19-02 with ___ conditions of approval.

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Application
3. Preliminary Plat and Plans



Staff Report

**Business S-19-
Item: 02**

Application Number: S-19-02
Project Name: Oakfield Towns Preliminary Plat
TAX ID numbers: 15J10032D and 15J10032E
NCPin numbers: 168206-48-5825 and 168206-48-5714
Town Limits/ETJ: Town Limits
Applicant: Adams and Hodge Engineering, PC
Property Owner: Brightleaf Development Partners, LLC
Agents: None

LOCATION: 3276 and 3292 US Highway 301, approximately 305 feet southwest of Galilee Road on the north side of US Highway 301

REQUEST: Adams and Hodge Engineering, PC is requesting a Preliminary Subdivision Plat for Oakfield Towns, a proposed 17-lot single-family attached residential townhouse development on 1.72 acres of land in the B-3 (Highway Entranceway Business District).

SITE/DEVELOPMENT DATA:

Address: 3276 and 3292 US Highway 301
Tax IDs: 15J10032D and 15J10032E
Acreage: 0.586 and 1.14 acres (1.72 acres)
Present Zoning: B-3 with RZ-19-02
Existing Uses: Single-Family Detached Residential
Proposed Use: Single-family Attached Residential Townhouse (Multi-Family)
Fire Protection: Town of Smithfield
School Impacts: Potentially adding students to the schools.
Parks and Recreation: Subject to park dedication fees in lieu funds
Access: US Highway 301
Water Provider: Town of Smithfield
Sewer Provider: Town of Smithfield
Electric Provider: Duke Energy

ADJACENT ZONING AND LAND USES:

	Exiting Zoning	Existing Use:
North-East	B-3 & R-20A	Manufacturing/ Business/Single-Family Residential
South-East	RMH	Mobile Home Development

North-West	R-20A	Institutional - Johnston County Bus Garage
South-West:	R-20A	Single-Family Residential

EXISTING CONDITIONS:

The development parcel is comprised of two single-family residential lots, 0.586 and 1.14 acres in size. The structures on these lots will be removed with the development of the site. The property gently slopes away from S. Brightleaf Boulevard (US Highway 301). A drainage ditch runs along the front of the property within Brightleaf Boulevard (NCDOT) right-of-way. Duke Energy maintains overhead electric lines within the NCDOT right-of-way. There is a overhead electric line that crosses the front corner of the development site to a powerpole located near the west property line. The rear half of the lot is covered with trees, however the size and quantity of trees is unknown (no tree preservation survey has been provided).

Along the southwest property line of the development site there existing single-family residential structure that is situated on that shared property line. This structure currently shares the driveway for the development site. It is unclear as to the fate of this structure and where it will have driveway access in the future.

The development site is also adjacent to a single-family residential property to the north-east. The single-family home on this property is approximately five feet from the shared property line.

There are no known wetlands on site and the development site is not within a floodzone.

REZONING AND SPECIAL USE:

Prior to any approval of the preliminary plat, the property will need to be rezoned appropriately. Application RZ-19-02 proposes to rezone the development site from R-20A to B-3 (application RZ-19-02). Also, after being rezoned to B-3, a special use permit is required to allow multi-family development within the B-3 zoning district.

PRELIMINARY PLAT/PLANS ANALYSIS:

Unit Type/Density/Lot Size. The developer is proposing to construct (17) 1,224 sq. ft. attached single-family residential townhomes on 1.72 acres of land. Each of the 17 townhouse lots will be 0.03 acres in size, with the remainder of the land held in common ownership containing the parking lot, stormwater management pond, dumpster facility, clustered mailbox, sidewalks and landscaping. Each lot will have a small patio in the rear and a covered entrance and landscaping in the front. The Unified Development Ordinance (UDO) requires a minimum of 4,500 sq. ft. gross area per unit. Density Calculation:

$$1.72 \text{ acres} \times 43,560 \text{ sq. ft.} = 74,923.2 \text{ sq. ft.} / 4,500 = 16.6496 \text{ units, or } 17 \text{ units} - 17 \text{ units} / 1.72 \text{ acres} = 9.88 \text{ units per acre.}$$

Each unit will be two-stories and 32 feet in height. The ground floor of each unit will have a kitchen, half-bath, dining/family room and a bedroom/study. **The upper floor of each unit will have bedrooms and bathroom.** The Townhomes will be stick construction with vinyl siding and

shingled roofs. The front and rear elevations of the townhomes are shown with horizontal articulation between units. The end walls are lack articulation or even windows. One of the end walls will face the public right-of-way.

Access and Parking. The development will be accessed by a private - HOA maintained driveway/parking lot. The access will require a NCDOT driveway permit. NCDOT has reviewed the plans and has not indicated the need for any turnlanes or other special requirements. The size of the development is such that the proposed traffic to be generated by the use does not no trigger the need for a traffic impact study. The UDO requires 2 parking stalls for each 3+ bedroom unit. For 17 (3+ bedroom) residential units, 34 parking stalls are required; the site plans indicate 40 are proposed. Adequate parking has been shown with additional parking available for guests.

Utilities. The development will be served by Town of Smithfield water and sewer. The developer will need to construct a forced main along US Highway 301 to connect to a Town manhole near Packing Plant Road. Electricity will be provided by Duke Progress Energy.

Sidewalks. The UDO requires the applicant to construct a public sidewalk along US Highway 301 with the new development. US Highway 301 is a potential alignment of Mountains to Sea Trail. NCDOT will not allow a sidewalk within the right-of-way unless there is concrete curb and gutter. The applicant is not proposing concrete curb and gutter, therefore, NCDOT requires the sidewalk be constructed in a public easement outside the NCDOT right-of-way. The applicant has shown a sidewalk, but it will need to be relocated to an easement outside the NCDOT right-of-way.

Park Dedication. According to the UDO, Section 10.112.3, at least one fifty-seventh of an acre (1/57) shall be dedicated for each dwelling unit planned or provided for in the subdivision plan. Alternatively, the Town can accept a fee in lieu of parkland. There are no Town plans for parks in this area and the applicant is proposing fee in lieu of parkland dedication. The fee in lieu will be due prior to recording the final plat, based on the number of lots in the plat.

Common Space. The proposed preliminary plat shows 6.7 acres of land to be held in common by the 17 units. The developer will need to provide Homeowners Association documents (Declaration of Covenants and Restrictions) for the ownership and maintenance of the common amenities including the parking area, sidewalks, landscaping, stormwater pond, dumpster coral, mailboxes, etc. The HOA documents will need to reviewed by the Town Attorney and recorded with the final plat.

Grading and Erosion Control. The applicant has submitted a sediment and erosion control plan with proposed grading. A sediment and erosion control permit will be required from the NCDEQ.

Stormwater Management. The applicant has submitted a stormwater management plan and is proposing to construction a stormwater management facility with the development of this site. A stormwater maintenance agreement will be executed to ensure the developer/HOA is responsible for the ongoing maintenance of the pond.

Tree Preservation. A tree preservation plan is required, but none has been yet submitted by the developer. The tree preservation plan will identify perimeter trees and significant trees that are required for preservation or mitigation.

Lighting. No lighting plan has been provided. Any lighting is required to comply with the Town's lighting requirements in the UDO.

Signs. The applicant has not proposed any entrance/development signs. Any signs will require a sign permit prior to construction and will need to comply with the UDO.

PLANNING DEPARTMENT RECOMMENDATIONS:

The Planning Department recommends the Planning Board recommend approval of the preliminary plat of the Oakfield Town (S-19-02) with the following conditions:

1. That a special use permit be approved by the Town Council for the multi-family development.
 2. That an easement be provided along the NCDOT right-of-way for a public sidewalk.
 3. That the Town's stormwater management facility maintenance agreement be executed prior to final plat recordation.
 4. That the HOA declarations and covenants be submitted for Town Attorney review and recorded with the final plat.
 5. That a park dedication fee in lieu be paid for the 17 residential lots prior to final plat recordation in accordance with the UDO, Section 10.10.114.8.
 6. That a tree preservation plan be submitted prior to construction plan approval.
-

ACTION REQUESTED:

The Planning Board is requested to review the preliminary plat application and make a recommendation to the Town Council.

Suggested motion:

“Move to recommend approval of the preliminary plat of the Oakfield Towns Preliminary Plat (S-18-02) with 6 conditions”



Town of Smithfield

Planning Department

350 E. Market St Smithfield, NC 27577

P.O. Box 761, Smithfield, NC 27577

Phone 919-934-2116

Fax: 919-934-1134

Preliminary Subdivision Application
General Information

Development Name Oakfield Towns

Proposed Use Townhomes

Property Address(es) 3276 & 3292 US HWY 301, Smithfield, NC 27577

Johnston County Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN# 168206-48-5825 & 168206-48-5714 TAX ID# 15J10032D & 15J10032E

Project type? [] Single Family [x] Townhouse [] Multi-Family [] Non-Residential [] Planned Unit Development (PUD)

2-Story Building with 17 Units

OWNER/DEVELOPER INFORMATION

Company Name Brightleaf Development Partners, LLC Owner/Developer Name Todd Stutts & Will Stephenson

Address 3120 US HWY 70 W, Smithfield, NC 27577

Phone 919-550-4024 & 919-550-0109 Email todd@claytonglassandmirror.com Fax N/A

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name Adams & Hodge Engineering, PC Contact Name Donnie Adams & Amy Stencil

Address 314 E main St., Clayton, NC 27520

Phone 919-243-1332 Email donnie@adamsandhodge.com Fax N/A

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) Existing R-20A/Proposed B-3

If more than one district, provide the acreage of each:

Overlay District? [] Yes [x] No

Inside City Limits? [x] Yes [] No

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____



Project Narrative

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- c) A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- d) A narrative explaining the intent of the project and/or your original or revised vision for the finished product;
- e) A statement showing the proposed density of the project with the method of calculating said density shown;
- f) Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision;
- g) A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- h) A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- i) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- j) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- k) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).

Project Narrative

- a) *A listing of contact information including name(s), address(es), and phone number(s) of : the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;*

Owner: (Current)

Todd Stutts & Will Stephenson
Brightleaf Development Partners, LLC
3210 Hwy 70 W
Smithfield, NC 27577
919-550-0109

Engineer

Adams & Hodge Engineering, PC
314 E. Main St.
Clayton, NC 27520
919-243-1332
donnie@adamsandhodge.com or amy@adamsandhodge.com

- b) *A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);*

Address:

3276 & 3292 US HWY 301
Smithfield, NC 27577

Zoning

Existing Zoning: R-20A
Proposed Zoning: B-3

Parcel Area

1.72 acres
74,879.64 sf

NC PIN/TAG

168206-48-5825 / 15J10032D
168206-48-5714 / 15J10032E

Legal Description

DEED B: 5263 P: 272

END OF DOCUMENT

EXHIBIT A

TRACT ONE:

Johnston County Tax Parcel ID: 15J10032E

BEING a house and lot located on the west side of Hwy No. 301, in Smithfield Township, Johnston County, North Carolina, and being the same property conveyed to Raymond Milton Williford and wife, Gladys Ruth Williford, by James W. Benson and wife, Dorothy B. Benson by deed dated May 18, 1959, and recorded in Book 575, page 555, Johnston County Registry and being more particularly described as follows: **BEGINNING** at a stake on US Highway No. 301, center of Lots Nos. 17 and 18 and runs with the line of said lots and beyond North 35 degrees 45 minutes West 500 feet to a stake in the Thompson line; thence with said line North 57 degrees 15 minutes East 50 feet to a stake in the original line, the line between Lots No. 40 and 41; thence with said original line and the line between Lots Nos. 18 and 19 South 35 degrees 45 minutes East 500 feet to a stake on Highway 301; thence said Highway No. 301 South 57 degrees 15 minutes West 50 feet to the **BEGINNING** and being all of Lot No. 18 and a part of Lot No. 41 as shown on plat recorded in Plat Book 3, page 15, Johnston County Registry..

TRACT TWO:

Johnston County Tax Parcel ID: 15J10032D

BEING a house and lot located on the West side of US Highway 301 about three miles Southwest of the Town of Smithfield and being the same property conveyed by J. L. Sugg and wife, Eva Sugg, to C.R. Cable by deed dated August 13, 1948, and recorded in Book 460, page 224, Johnston County Registry and being more particularly described as follows: **BEGINNING** at a stake on US Highway 301, a corner between Lot Nos. 18 and 19, runs as the line of said lots and past the corner North 35 degrees 45 minutes West 500 feet to a stake in L.T. Thompson's line; thence as his line North 57 degrees 15 minutes East 100 feet to a stake in said line and in the original line between Lots 39 and 40; thence as the line of said lots and past the corner and with the line between Lots No. 20 and 21, South 35 degrees 45 minutes East 500 feet to a stake on Highway 301; thence as said Highway South 57 degrees 15 minutes West 100 feet to the **BEGINNING** and being all of Lot Nos. 19 and 20 of the Subdivision of the Leon G. Stevens Farm known as the Wellons or James Lands and shown by plat in Plat Book 3, page 15, of the Johnston County Registry.

- c) *A narrative explaining the intent of the project and/or your original or revised vision for the finished product;*

The proposed townhome project involves rezoning approximately 1.72 acs of land from R-20A residential to B-3 commercial, obtaining a special use permit to develop the property with 17 two story townhome units totaling 12,699sf of conditioned space. The townhomes will be constructed with associated utilities, parking, walks and landscaping. All proposed improvements will either meet or exceed the requirements set forth in the Town of Smithfield Unified Development Ordinance.

- d) *A statement showing the proposed density of the project with the method of calculation said density shown;*

The proposed density of the development is slightly less than 10 units per acre.

$$\frac{17 \text{ units}}{1.72 \text{ acres}} = 9.88 \text{ units/ac}$$

- e) *Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision;*

Water, sewer and electrical services already exist in the US301S right-of-way. Extensions of utilities into the site will be required. Storm water will be addressed on site by a stormwater management facility. Access to the site will accommodate both pedestrians and vehicles from US301S. Internal, pedestrian circulation between the units, parking, mailboxes and trash corral will be made possible by concrete walks.

- f) *A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring landowners is recommended to get a sense of what issues may arise as your application is processed);*

As of this writing no dialog has occurred with neighboring properties. As part of the rezoning special use permit process a public hearing(s) will be conducted. Information will be submitted after the hearing(s) have taken place.

- g) *A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;*

Potential conflicts with nearby land uses are being minimized by building setbacks, buffers, vegetative screening and landscaping. Only the minimum existing vegetation will be cleared in order to construct the townhomes so as to further minimize impacts.

There are no known wetlands on the property, however, if wetlands are encountered, they will be avoided in order to minimize impacts.

- h) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area.*

The traffic generated by the 17-unit townhome development should not significantly impact the traffic carrying capacity of US301. The units will generate far fewer trips per day than the minimal 800 trip/day that would require traffic impact analysis. There is existing water and sewer capacity to accommodate the 17 townhome units. Police and fire are already being provided since the property is already located within the city limits of Smithfield. Parks and recreation facilities will receive little impact due to the size of development. What recreation impact created will be offset by a recreation fee in lieu of the town of Smithfield.

- i) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas.*

There are no onsite recreation facilities or open space incorporated into the development. A fee in lieu of recreation facilities will be made to the Town of Smithfield as set forth in the UDO.

- j) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).*

October 2019 – Submit application for rezoning and special use

November 2019 – Planning Board Meeting for rezoning and special use permit

December 2019 – Town Council meeting for rezoning and special use permit

January 2020 – Submit plans for site plan approval

March 2020 – Review and Permit

April 2020 – Bid Project

May 2020 – Begin construction

December 2020 – Final Plat

STORMWATER INFORMATION

Existing Impervious Surface <u>0.235 ac / 10,244 SF</u> acres/sf	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface <u>0.87 ac / 37,700.17</u> acres/sf	Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Watershed protection Area Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

If in a Flood Hazard Area, provide the FEMA Map Panel # and Base Flood Elevation

NUMBER OF LOTS AND DENSITY

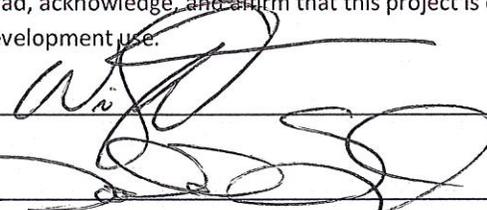
Total # of Single Family Lots	Overall Unit(s)/Acre Densities Per Zoning Districts <u>9.8 Units/acre</u>
Total # of Townhouse Lots <u>17 lots</u>	Acreage in active open space
Total # of All Lots <u>17 lots</u>	Acreage in passive open space <u>0.66 AC / 28,612.92 SF</u>

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the Town.

I hereby designate Adams & Hodge Engineering, PC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature  Date 10/2/19
 Signature  Date 10/2/19

REVIEW FEES

- Major Subdivision (Submit 7 paper copies & 1 Digital copy on CD) \$250.00 + \$5.00 a lot \$255.00 minimum
- Minor Subdivision (Submit 4 paper copies & 1 Digital copy on CD) \$50.00 + \$5.00 a lot \$55.00 minimum
- Recombination Plat (Submit 2 paper copies & 1 Digital copy on CD) \$50.00

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

INFORMATION TO BE PROVIDED ON PRELIMINARY AND FINAL PLATS.

The preliminary and final plats shall depict or contain the information indicated in the following table. An "X" indicates that the information is required.

Information	Preliminary Plat	Final Plat
Vicinity map (6" W x 4" H) showing location of subdivision in relation to neighboring tracts, subdivision, roads, and waterways (to include streets and lots of adjacent developed or platted properties). Also include corporate limits, Town boundaries, county lines if on or near subdivision tract.	X	
Boundaries of tract and portion to be subdivided, including total acreage to be subdivided, distinctly and accurately represented with all bearings and distances shown.	X	X
Proposed street layout and right-of-way width, lot layout and size of each lot. Number lots consecutively throughout the subdivision.	X	X
Name of proposed subdivision.	X	X
Statement from the Johnston County Health Department that a copy of the sketch plan has been submitted to them, if septic tanks or other onsite water or wastewater systems are to be used in the subdivision, AND/OR statement from the County Public Utilities that application has been made for public water and/or sewer permits.	X	
Graphic scale.	X	X
North arrow and orientation.	X	X
Concurrent with submission of the Preliminary Plat to the Town, the subdivider or planner shall submit copies of the Preliminary Plat and any accompanying material to any other applicable agencies concerned with new development, including, but not limited to: District Highway Engineer, County Board of Education, U.S. Army Corps of Engineers, State Department of Natural Resources and Community Development, for review and recommendation.	X	
List the proposed construction sequence.	X	
Storm water plan – see Article 10, Part VI.	X	
Show existing contour lines with no larger than five-foot contour intervals.	X	
New contour lines resulting from earth movement (shown as solid lines) with no larger than five-foot contour intervals (existing lines should be shown as dotted lines).	X	
Survey plat, date(s) survey was conducted and plat prepared, the name, address, phone number, registration number and seal of the Registered Land Surveyor.	X	X
Names, addresses, and telephone numbers of all owners, mortgagees, land planners, architects, landscape architects and professional engineers responsible for the subdivision (include registration numbers and seals, where applicable).	X	X
Date of the drawing(s) and latest revision date(s).	X	X

<i>Information</i>	<i>Preliminary Plat</i>	<i>Final Plat</i>
The owner's name(s) of adjoining properties and Zoning District of each parcel within 100' of the proposed site.	X	
State on plans any variance request(s).	X	
Show existing buildings or other structures, water courses, railroads, bridges, culverts, storm drains, both on the land to be subdivided and land immediately adjoining. Show wooded areas, marshes, swamps, rock outcrops, ponds or lakes, streams or stream beds and any other natural features affecting the site.	X	
The exact location of the flood hazard, floodway and floodway fringe areas from the community's FHBM or FIRM maps (FEMA). State the base flood elevation data for subdivision.	X	X
Show the minimum building setback lines for each lot.	X	X
Provide grading and landscape plans. Proposed plantings or construction of other devices to comply with the screening requirements of Article 10, Part II.	X	
Show location of all proposed entrance or subdivision signage (see Section 10.23.1).	X	
Show pump station detail including any tower, if applicable.	X	
Show area which will not be disturbed of natural vegetation (percentage of total site).	X	
Label all buffer areas, if any, and provide percentage of total site.	X	X
Show all riparian buffer areas.	X	X
Show all watershed protection and management areas per Article 10, Part VI.	X	X
Soil erosion plan.	X	
Show temporary construction access pad.	X	
Outdoor illumination with lighting fixtures and name of electricity provider.	X	
The following data concerning proposed streets:		
Streets, labeled by classification (see Town of Smithfield construction standards) and street name showing linear feet, whether curb and gutter or shoulders and swales are to be provided and indicating street paving widths, approximate grades and typical street cross-sections. Private roads in subdivisions shall also be shown and clearly labeled as such.	X	X
Traffic signage location and detail.	X	
Design engineering data for all corners and curves.	X	X
For office review; a complete site layout, including any future expansion anticipated; horizontal alignment indicating general curve data on site layout plan; vertical alignment indicated by percent grade, PI station and vertical curve length on site plan layout; the District Engineer may require the plotting of the ground profile and grade line for roads where special conditions or problems exist; typical section indicating the pavement design and width and the slopes, widths and details for either the curb and gutter or the shoulder and ditch proposed; drainage facilities and drainage.	X	

Information	Preliminary Plat	Final Plat
Type of street dedication; all streets must be designated public. (Where public streets are involved which will be dedicated to the Town, the subdivider must submit all street plans to the UDO Administrator for approval prior to preliminary plat approval).	X	X
When streets have been accepted into the municipal or the state system before lots are sold, a statement explaining the status of the street in accordance with the Town of Smithfield construction standards.	X	X
If any street is proposed to intersect with a state maintained road, a copy of the application for driveway approval as required by the Department of Transportation, Division of Highways Manual on Driveway Regulations. (1) Evidence that the subdivider has applied for such approval. (2) Evidence that the subdivider has obtained such approval.	X X X	
The location and dimensions of all:		
Utility and other easements.	X	X
Pedestrian and bicycle paths.	X	X
Areas to be dedicated to or reserved for public use.	X	X
The future ownership (dedication or reservation for public use to governmental body or for owners to duly constituted homeowners' association) of recreation and open space lands.	X	X
Required riparian and stream buffer per Article 10, Part VI.	X	X
The site/civil plans for utility layouts including:		
Sanitary sewers, invert elevations at manhole (include profiles).	X	
Storm sewers, invert elevations at manhole (include profiles).	X	
Best management practices (BMPs)	X	
Stormwater control structures	X	
Other drainage facilities, if any.	X	
Impervious surface ratios	X	
Water distribution lines, including line sizes, the location of fire hydrants, blow offs, manholes, force mains, and gate valves.	X	
Gas lines.	X	
Telephone lines.	X	
Electric lines.	X	
Plans for individual water supply and sewage disposal systems, if any.	X	
Provide site calculations including:		
Acreage in buffering/recreation/open space requirements.	X	X
Linear feet in streets and acreage.	X	X
The name and location of any property or buildings within the proposed subdivision or within any contiguous property that is located on the US Department of Interior's National Register of Historic Places.	X	X

<i>Information</i>	<i>Preliminary Plat</i>	<i>Final Plat</i>
Sufficient engineering data to determine readily and reproduce on the ground every straight or curved line, street line, lot line, right-of-way line, easement line, and setback line, including dimensions, bearings, or deflection angles, radii, central angles and tangent distance for the center line of curved property lines that is not the boundary line of curved streets. All dimensions shall be measured to the nearest one-tenth of a foot and all angles to the nearest minute.	X	X
The accurate locations and descriptions of all monuments, markers, and control points.	X	X
Proposed deed restrictions or covenants to be imposed upon newly created lots. Such restrictions are mandatory when private recreation areas are established. Must include statement of compliance with state, local, and federal regulations.	X	X
A copy of the erosion control plan submitted to the Regional Office of NC-DNRCD, when land disturbing activity amounts to one acre or more.	X	
All certifications required in Section 10.117.	X	X
Any other information considered by either the subdivider, UDO Administrator, Planning Board, or Town Council to be pertinent to the review of the plat.	X	X
Improvements guarantees (see Section 5.8.2.6).		X

FOR OFFICE USE ONLY			
File Number: _____	Date Submitted: _____	Date Received: _____	Amount Paid: _____

3200 Block of South Brightleaf Boulevard



**Location of Proposed
17 Lot Subdivision**



Project Name:
Oakfield Towns

File Number:
S-19-02

Existing Zoning:
R-20A (Residential -
Agricultural)

Proposed Zoning:
B-3 (Highway Entrance
Business)

Property Owner:
William Stephenson

Applicant:
Adams & Hodge
Engineering, PC

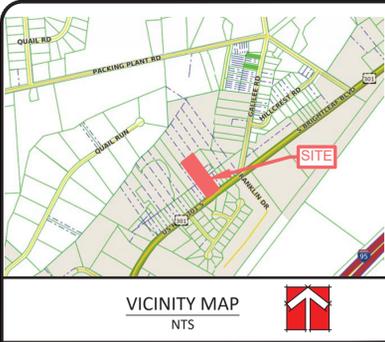
Location: South
Brightleaf Blvd.

Tax ID# 15J10032D &
15J10032E



1 in = 100 ft

Map created by the
Mark E. Helmer, AICP
Senior Planner, GIS Specialist
on 10/29/2019



SITE PLAN

FOR

OAKFIELD TOWNS

IN

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

SHEET INDEX

<u>SHEET TITLE</u>	<u>SHEET No.</u>
EXISTING CONDITIONS	C1.01
SITE PLAN & PRELIMINARY PLAT.....	C2.01
PRELIMINARY UTILITY PLAN.....	C3.01
PRELIMINARY EROSION CONTROL PLAN - STAGE I.....	C4.01
PRELIMINARY EROSION CONTROL PLAN - STAGE II.....	C4.02
PRELIMINARY GRADING & DRAINAGE PLAN.....	C5.01
PRELIMINARY WATER & FORCEMAIN PLAN & PROFILE.....	C6.01
PRELIMINARY GRAVITY SEWER PLAN & PROFILE.....	C6.02
PRELIMINARY LANDSCAPE PLAN	L1.01
GENERAL DETAILS.....	DT1.01
EROSION CONTROL DETAILS 1.....	DT1.02
EROSION CONTROL DETAILS 2.....	DT1.03
EROSION CONTROL DETAILS 3.....	DT1.04
EROSION CONTROL DETAILS 4.....	DT1.05
WATER DETAILS.....	DT1.06
SANITARY SEWER DETAILS.....	DT1.07
LANDSCAPE DETAILS.....	DT1.08
ARCHITECTURAL PLANS 1.....	A1.01
ARCHITECTURAL PLANS 2.....	A1.02

DEVELOPER/APPLICANT:

BRIGHTLEAF DEVELOPMENT
PROPERTIES, LLC.
3210 US HWY 70 W
SMITHFIELD, NC 27577
CONTACT/AGENT: TODD STUTTS
919-550-4024



ADAMS & HODGE
ENGINEERING, PC

314 EAST MAIN STREET
CLAYTON, NC 27520
919-243-1332 info@adamsandhodge.com
FIRM # C-4187

OAKFIELD TOWNS

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

OCTOBER 4, 2019

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10/4/2019 3:16 PM

PRELIMINARY

N/F
JOHNSTON COUNTY
BOARD OF EDUCATION
TAX ID 15J10033
PIN 168206-49-4312

DB 5263 PG 269
50111 SF
PIN 168206-48-5825
1.150 AC

DB 5263 PG 269
24783 SF
PIN 168206-48-5714
0.569 AC

N/F
WALTER LASSITER
DB 4739 PG 970
PIN 168206-48-4711
ZONING: R-20A
2.56 AC

N/F
WILLIAM BRASWELL
TAX ID 15J10032B
PIN 168206-48-5983
ZONING: R-20A
0.61 AC

N/F
WALTER LASSITER
TAX ID 15045026B
PIN 168206-48-7745
ZONING: B-3
0.545 AC

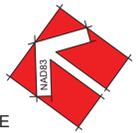
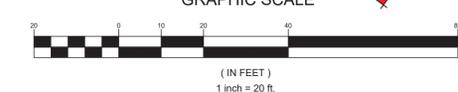
N/F
ERICA YAMILETH MATEO
ZALDIVAR
DB 3881 PG 835
PIN 168206-48-7494
ZONING: RMH
0.563 AC

N/F
RAINBOW
INVESTMENTS
DB 2018 PG 479
PIN 168206-48-6490
ZONING: RMH
0.33 AC

SOURCES OF INFORMATION:
1. EXISTING SURVEY AND EXISTING CONTOURS OF SITE PROVIDED BY TRUE LINE SURVEYING, P.C., 205 W. MAIN STREET, CLAYTON, NC 27520, DATED 8/28/2019.
2. PARCEL INFORMATION FROM JOHNSTON COUNTY GIS DATED 2018



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10/4/2019 3:16 PM
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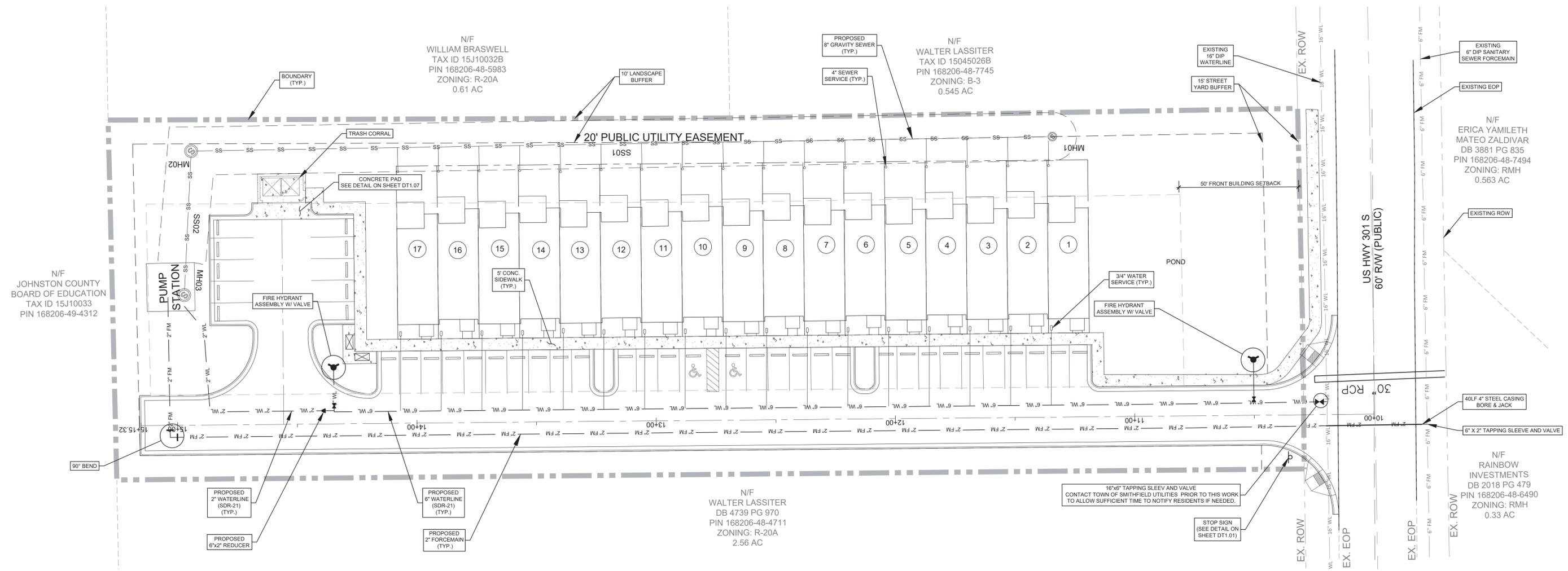
314 EAST MAIN STREET
CLAYTON, NC 27520
info@ash-engineering.com
919.243.1339
FIRM # C-4187

ADAMS & HODGE
ENGINEERING, PC

OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

EXISTING CONDITIONS
DESIGN: N/A
DRAWN: ADS
CHECKED: DCA
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 10/04/2019
JOB NO.:
SHEET:
C1.01

LEGEND	
PROPOSED	
W/L	6" WL
BLOWOFF	
HYDRANT	
VALVE	
REDUCER	
METER	
STORM DRAINAGE	



N/F
JOHNSTON COUNTY
BOARD OF EDUCATION
TAX ID 15J10033
PIN 168206-49-4312

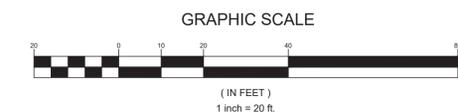
N/F
WILLIAM BRASWELL
TAX ID 15J10032B
PIN 168206-48-5983
ZONING: R-20A
0.61 AC

N/F
WALTER LASSITER
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ZONING: B-3
0.545 AC

N/F
WALTER LASSITER
DB 4739 PG 970
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ZONING: R-20A
2.56 AC

N/F
ERICA YAMILETH
MATEO ZALDIVAR
DB 3881 PG 835
PIN 168206-48-7494
ZONING: RMH
0.563 AC

N/F
RAINBOW
INVESTMENTS
DB 2018 PG 479
PIN 168206-48-6490
ZONING: RMH
0.33 AC



REVISED
10/4/2019 3:47 PM
PRELIMINARY

- SOURCES OF INFORMATION:
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314 EAST MAIN STREET
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info@ash-engineering.com
919.243.1336
FIRM # C-4187

ADAMS & HODGE
ENGINEERING, PC

OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

PRELIMINARY
UTILITY PLAN

DESIGN: DCA
DRAWN: ARC
CHECKED: AMH
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 10/04/2019
JOB NO.:
SHEET:

C3.01

EROSION CONTROL SEQUENCE OF CONSTRUCTION

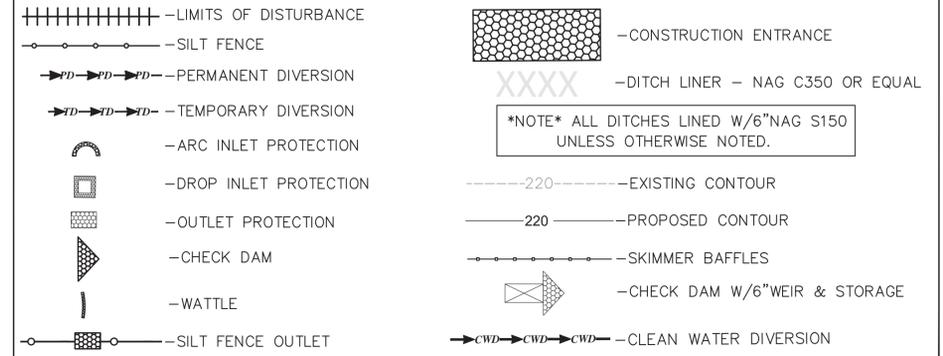
- OBTAIN GRADING PERMIT.
- THIS PROJECT IS DIVIDED INTO TWO STAGES. STAGE 1 EROSION CONTROL - CLEARING & GRUBBING SITE. STAGE 2 EROSION CONTROL - SITE GRADING AND CONSTRUCTION.
- BEFORE BEGINNING ANY LAND DISTURBING ACTIVITY THE CONTRACTOR SHALL CONTACT NCDEQ TO SET UP AND ATTEND A PRE-CONSTRUCTION MEETING.
- BEGIN STAGE 1 EROSION CONTROL.
- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE, SILT FENCING, INLET PROTECTION, TEMPORARY DIVERSIONS, CLEAN WATER DIVERSIONS, TREE PROTECTION FENCING, WIRE & WASHED STONE OUTLETS IN SILT FENCE. INSTALL SKIMMER BASINS AND TEMPORARY SLOPE DRAIN TO SKIMMER BASINS AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- WET POND IS CURRENTLY BEING UTILIZED AS SKIMMER BASIN AND SHALL REMAIN SO DURING CONSTRUCTION AND GRADING SHALL BE FINISHED AND CONVERTED TO WET POND AFTER 75% OF UPSTREAM CONSTRUCTION IS COMPLETE.
- CALL NCDEQ FOR ON SITE INSPECTION AND CERTIFICATE OF COMPLIANCE. (SEE NOTE #3 ABOVE)
- BEGIN STAGE 2 EROSION CONTROL.
- BEGIN TO CLEAR AND GRUB SITE. DURING THE INITIAL CLEARING AND ROUGH GRADING STAGE, ENSURE THAT STORMWATER IS ROUTED TO EXISTING BASINS UNTIL THE PROPOSED DRAINAGE PATTERNS ARE ESTABLISHED. MAINTAIN DEVICES AS NEEDED.
- GROUND COVER MUST BE APPLIED TO DISTURBED AREAS ACCORDING TO THE "GROUND STABILIZATION" TABLE OR EC DETAIL SHEET DT1.04 (PER THE NEW STORMWATER RULES). STABILIZE SITE AS AREAS ARE BROUGHT UP TO GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC.
- WHEN MATERIAL IN CONCRETE WASHOUT REACHES APPROXIMATE HEIGHT OF THE HAY BALES, CONTRACTOR SHALL REMOVE MATERIAL FROM CONCRETE WASHOUT AND DISPOSE OF IT AT AN APPROVED LANDFILL. CONCRETE WASHOUT SHALL THEN BE RESTORED TO CONDITIONS PER DETAIL DT1.03.
- CONTRACTOR SHALL USE THE SELF-INSPECTION PROGRAM AS DETAILED ON SHEET DT1.05 ON A WEEKLY BASIS.
- WHEN CONSTRUCTION IS COMPLETE, AND ALL AREAS ARE PERMANENTLY STABILIZED COMPLETELY WITH THICK VEGETATION, CALL FOR INSPECTION (SEE NOTE #3 ABOVE).
- IF SITE IS APPROVED, REMOVE SILT FENCING, REMOVE TEMPORARY DIVERSIONS, THEN SEED & MULCH OR PAVE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES SUCH AS VELOCITY DISSIPATORS SHOULD BE INSTALLED NOW. REMOVE ANY ACCUMULATED SILT FROM WET POND AND COMPLETE ANY FINAL GRADING, PLANTING, ETC. TO BRING POND TO DESIGN SPECIFICATIONS.
- WHEN THICK VEGETATION HAS BECOME PERMANENTLY ESTABLISHED, CALL FOR FINAL SITE INSPECTION (SEE NOTE #3 ABOVE).

FOR GRAPHIC PURPOSES SILT FENCE AND LIMITS OF DISTURBANCE ARE SHOWN SEPARATED. SILT FENCE IS TO BE INSTALLED AT THE ACTUAL LIMITS OF DISTURBANCE.

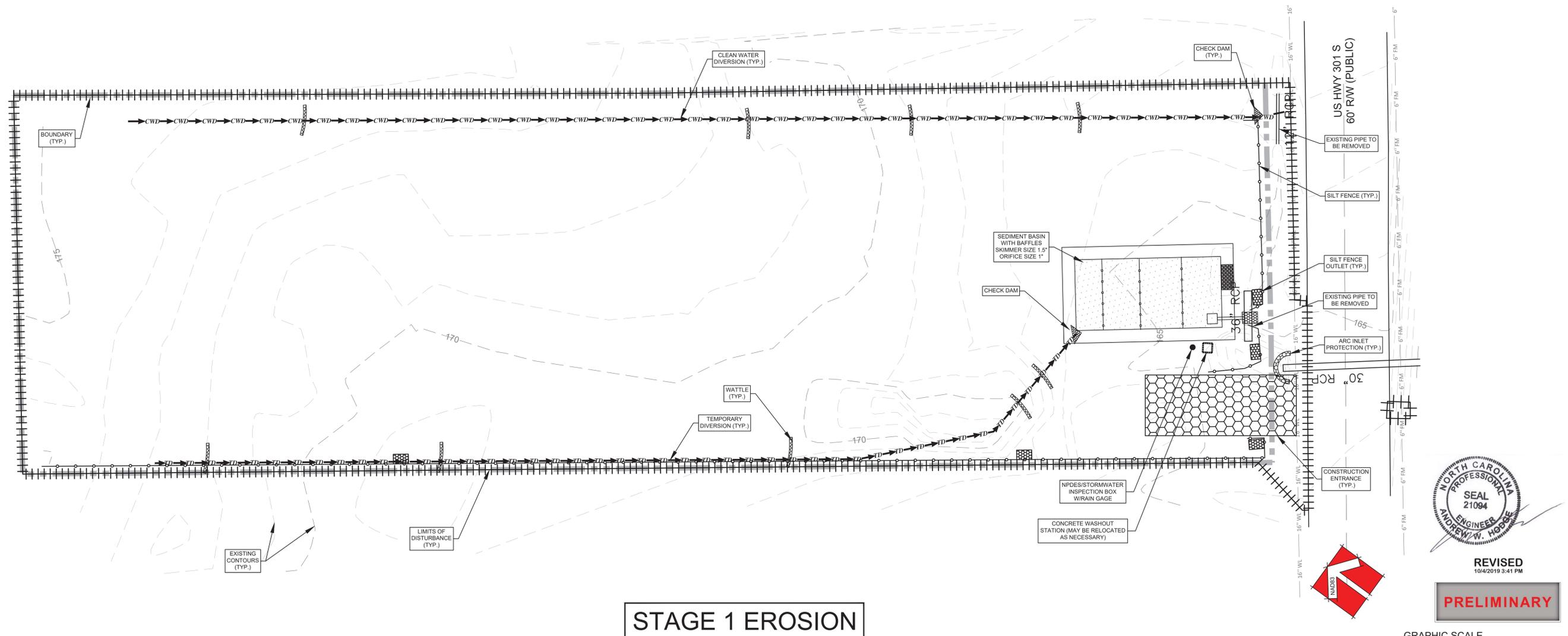
THIS SHEET IS FOR GRADING AND EROSION CONTROL PURPOSES ONLY. DO NOT USE THIS SHEET FOR STORM DRAIN INSTALLATION.

ALL DITCHES/SWALES ARE TO BE IMMEDIATELY LINED USING NAG S150 OR SOD UNLESS OTHERWISE SPECIFIED.

EROSION LEGEND:



DISTURBED AREA = 1.75 AC



STAGE 1 EROSION

- SOURCES OF INFORMATION:
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 - PARCEL INFORMATION FROM JOHNSTON COUNTY GIS DATED 2018

EROSION CONTROL SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- THIS PROJECT IS DIVIDED INTO TWO STAGES. STAGE 1 EROSION CONTROL - CLEARING & GRUBBING SITE. STAGE 2 EROSION CONTROL - SITE GRADING AND CONSTRUCTION.
- BEFORE BEGINNING ANY LAND DISTURBING ACTIVITY THE CONTRACTOR SHALL CONTACT NCDEQ TO SET UP AND ATTEND A PRE-CONSTRUCTION MEETING.
- BEGIN STAGE 1 EROSION CONTROL.
- INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE, SILT FENCING, INLET PROTECTION, TEMPORARY DIVERSIONS, CLEAN WATER DIVERSIONS, TREE PROTECTION FENCING, WIRE & WASHED STONE OUTLETS IN SILT FENCE. INSTALL SKIMMER BASINS AND TEMPORARY SLOPE DRAIN TO SKIMMER BASINS AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- WET POND IS CURRENTLY BEING UTILIZED AS SKIMMER BASIN AND SHALL REMAIN SO DURING CONSTRUCTION AND GRADING SHALL BE FINISHED AND CONVERTED TO WET POND AFTER 75% OF UPSTREAM CONSTRUCTION IS COMPLETE.
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- BEGIN TO CLEAR AND GRUB SITE. DURING THE INITIAL CLEARING AND ROUGH GRADING STAGE, ENSURE THAT STORMWATER IS ROUTED TO EXISTING BASINS UNTIL THE PROPOSED DRAINAGE PATTERNS ARE ESTABLISHED. MAINTAIN DEVICES AS NEEDED.
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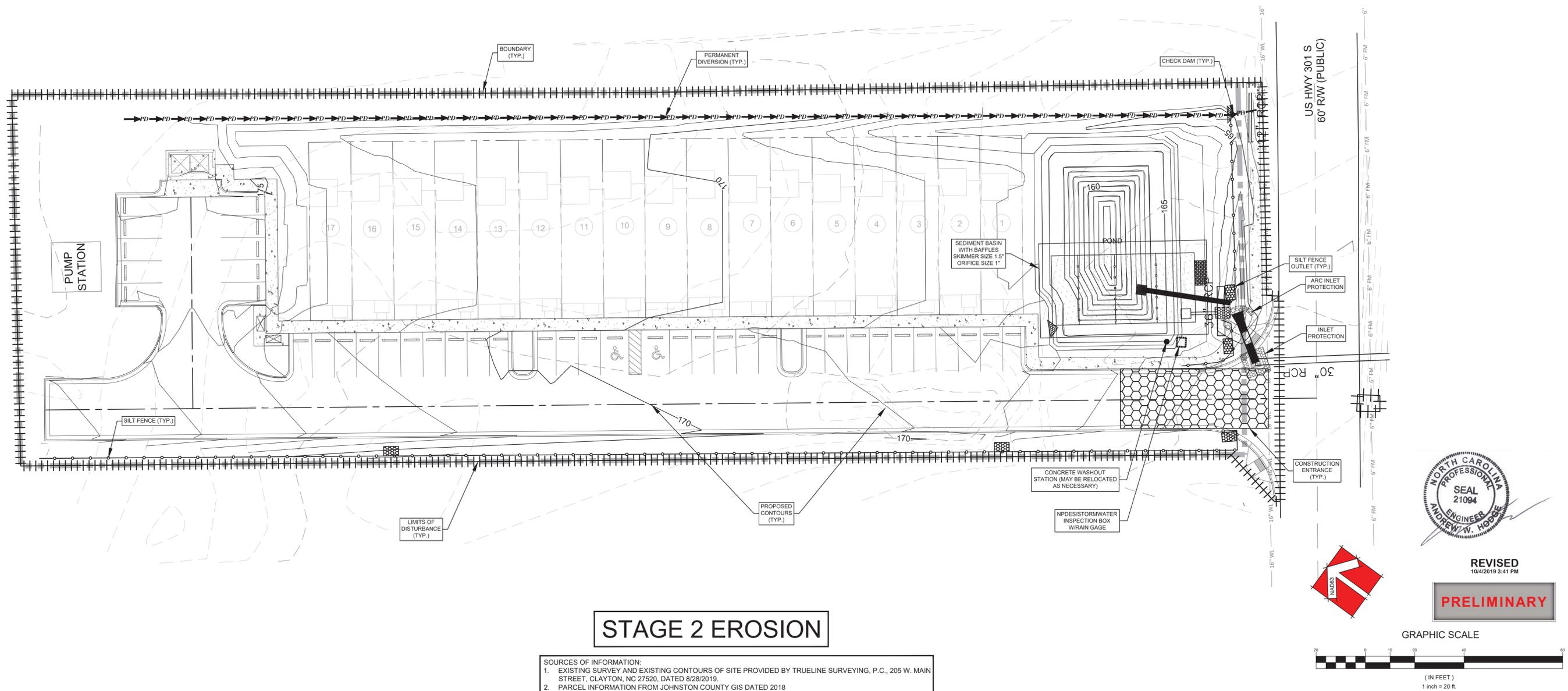
THIS SHEET IS FOR GRADING AND EROSION CONTROL PURPOSES ONLY. DO NOT USE THIS SHEET FOR STORM DRAIN INSTALLATION.

ALL DITCHES/SWALES ARE TO BE IMMEDIATELY LINED USING NAG S150 OR SOD UNLESS OTHERWISE SPECIFIED.

EROSION LEGEND:

- +++++ - LIMITS OF DISTURBANCE
- SILT FENCE
- PD→PD→PD→ - PERMANENT DIVERSION
- TD→TD→TD→ - TEMPORARY DIVERSION
- ⤶ - ARC INLET PROTECTION
- - DROP INLET PROTECTION
- ▒ - OUTLET PROTECTION
- ▴ - CHECK DAM
- ~ - WATTLE
- SILT FENCE OUTLET
- ▒ - CONSTRUCTION ENTRANCE
- XXXX - DITCH LINER - NAG C350 OR EQUAL
- *NOTE* ALL DITCHES LINED W/6"NAG S150 UNLESS OTHERWISE NOTED.
- 220--- - EXISTING CONTOUR
- 220— - PROPOSED CONTOUR
- - SKIMMER BAFFLES
- ▴ - CHECK DAM W/6"WEIFR & STORAGE
- CWD→CWD→CWD→ - CLEAN WATER DIVERSION

DISTURBED AREA = 1.75 AC



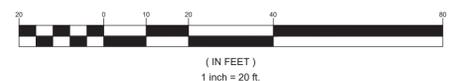
STAGE 2 EROSION

- SOURCES OF INFORMATION:
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 - PARCEL INFORMATION FROM JOHNSTON COUNTY GIS DATED 2018



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PRELIMINARY



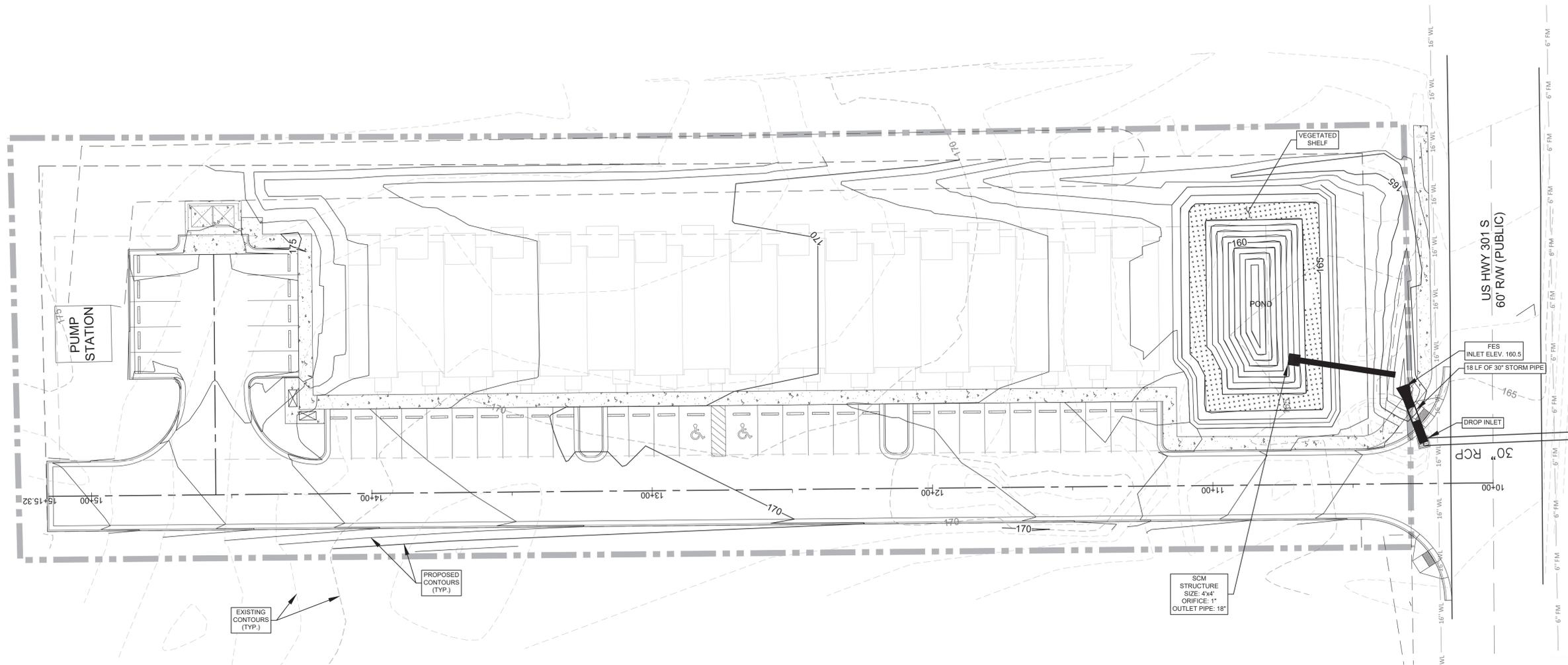
314 EAST MAIN STREET
CLAYTON, NC 27520
info@ash-engineering.com
919.243.1338
FIRM # C-1187

ADAMS & HODGE
ENGINEERING, PC

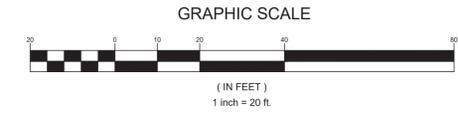
OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

PRELIMINARY
EROSION CONTROL
PLAN - STAGE II

DESIGN: KCB
DRAWN: ARC
CHECKED: AMH
HORIZONTAL SCALE: SEE GRAPHIC SCALE
VERTICAL SCALE: N/A
DATE: 10/04/2019
JOB NO.:
SHEET: C4.02



LEGEND	
PROPOSED	
W/L	— 6" W/L —
BLOWOFF	— 6" W/L —
HYDRANT	— 6" W/L —
VALVE	— 6" W/L —
REDUCER	— 6" W/L —
METER	— 6" W/L —
STORM DRAINAGE	— 6" W/L —
EXISTING CONTOUR	--- 220 ---
PROPOSED CONTOUR	--- 220 ---



REVISED
10/4/2019 3:17 PM
NOT RELEASED FOR
CONSTRUCTION

- SOURCES OF INFORMATION:
- EXISTING SURVEY AND EXISTING CONTOURS OF SITE PROVIDED BY TRUELINE SURVEYING, P.C., 205 W. MAIN STREET, CLAYTON, NC 27520, DATED 8/28/2019.
 - PARCEL INFORMATION FROM JOHNSTON COUNTY GIS DATED 2018

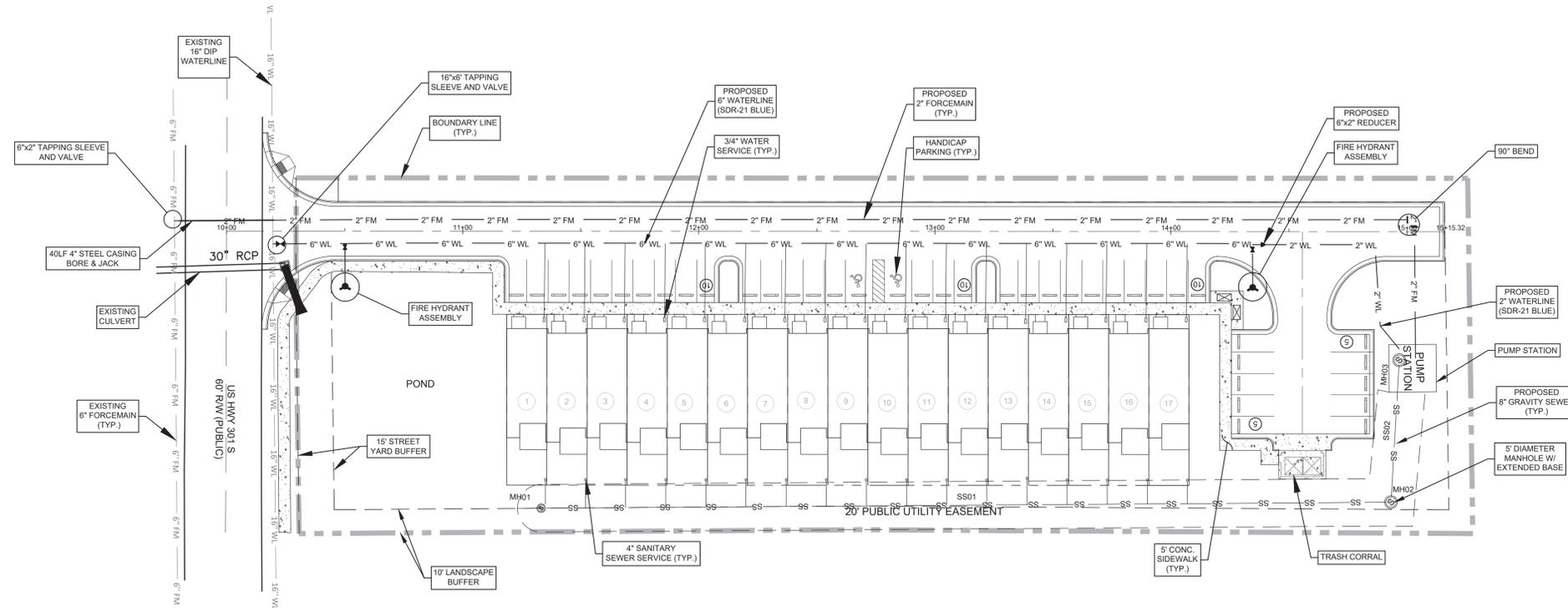
314 EAST MAIN STREET
CLAYTON, NC 27520
info@ash-engineering.com
919.243.1337
FIRM # C-4187

A&H **ADAMS & HODGE**
ENGINEERING, PC

OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

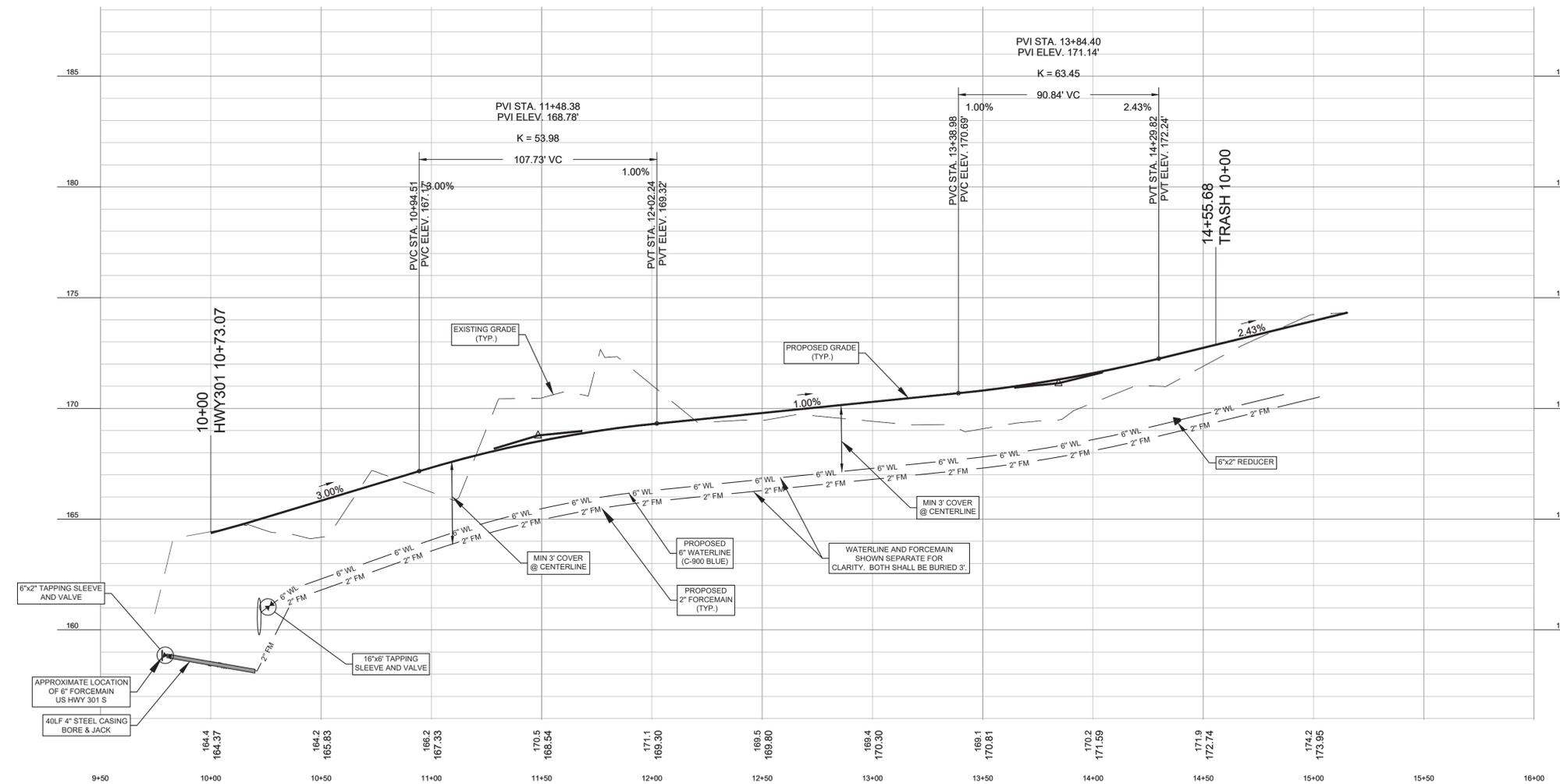
PRELIMINARY GRADING
& DRAINAGE PLAN

DESIGN	
DRAWN	ARC
CHECKED	DCA
HORIZONTAL SCALE	SEE GRAPHIC SCALE
VERTICAL SCALE	N/A
DATE	10/04/2019
JOB NO.	
SHEET	C5.01



PLAN: WATER & FORCEMAIN

LEGEND	
PROPOSED	
2" WL	2" WL
6" WL	6" WL
BLOWOFF	
HYDRANT	
VALVE	
REDUCER	
METER	
STORM DRAINAGE	
2" FORCEMAIN	2" FM
SANITARY SEWER	SS

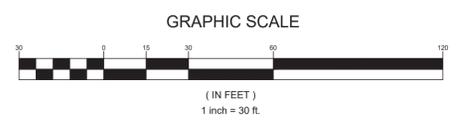


PROFILE: WATER & FORCEMAIN

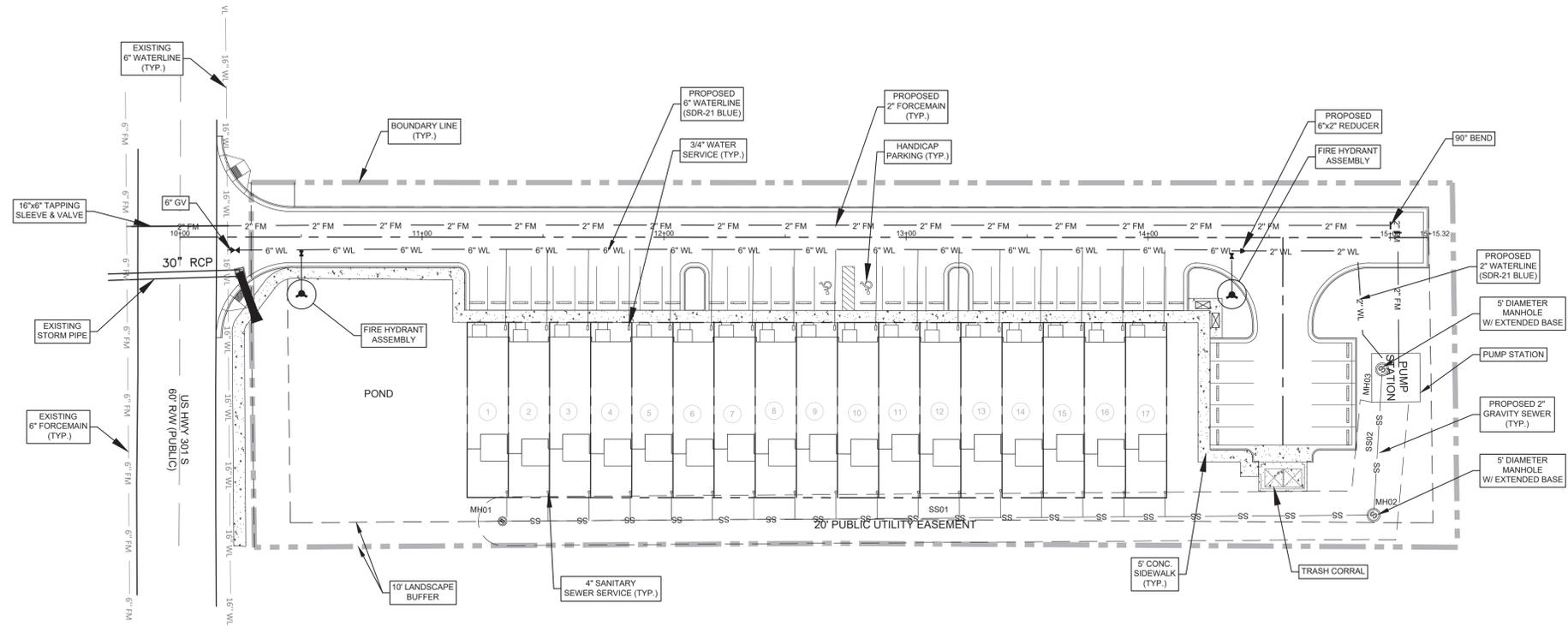
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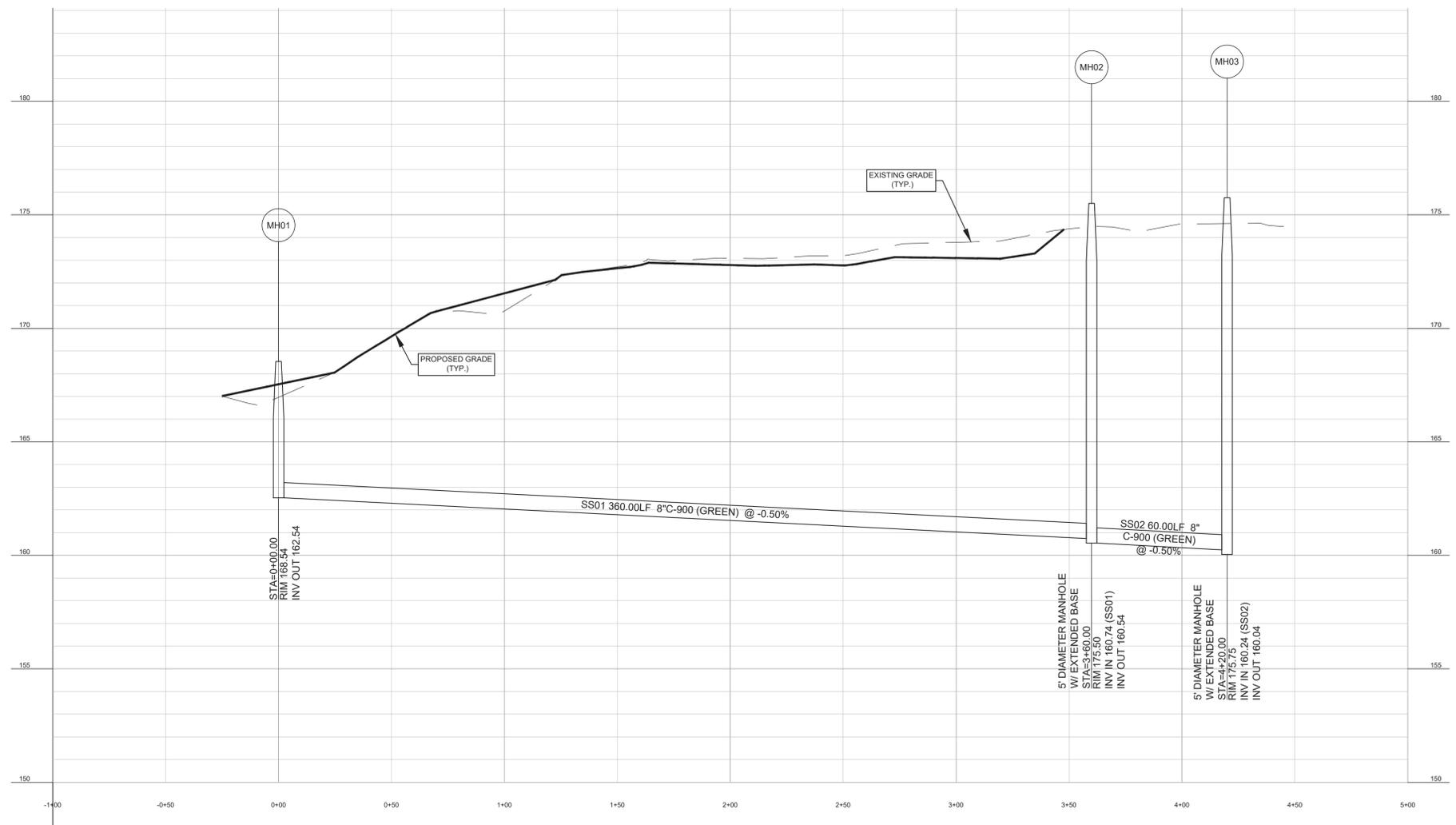
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314 EAST MAIN STREET
 CLAYTON, NC 27520
 info@ash-engineering.com
 919.243.1333
 FIRM # C-1187
ADAMS & HODGE
 ENGINEERING, PC
A&H
 OAKFIELD TOWNS
 TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY
 WATER & FORCEMAIN
 PLAN & PROFILE
 DESIGN: KCB
 DRAWN: KCB
 CHECKED: AMH
 HORIZONTAL SCALE: SEE GRAPHIC SCALE
 VERTICAL SCALE: 1"=4'
 DATE: 10/04/2019
 JOB NO.:
 SHEET: C6.01



PLAN: SANITARY SEWER



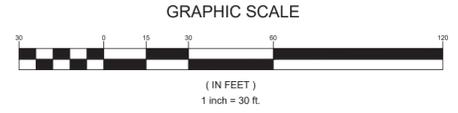
PROFILE: SANITARY SEWER

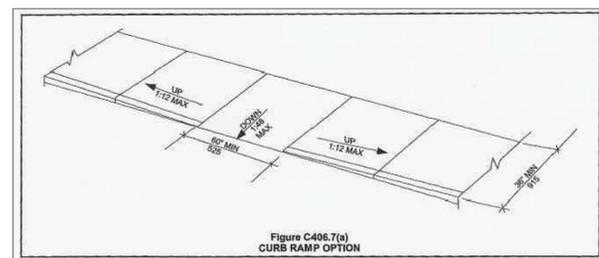
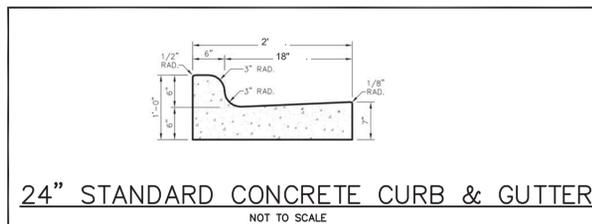
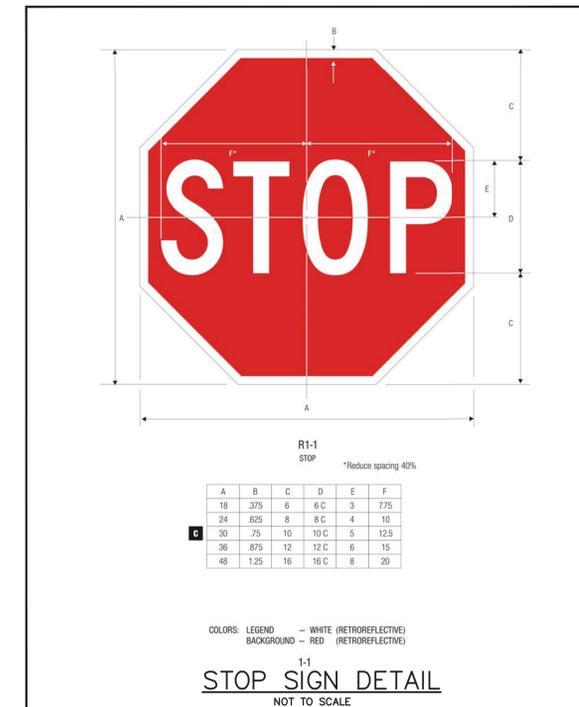
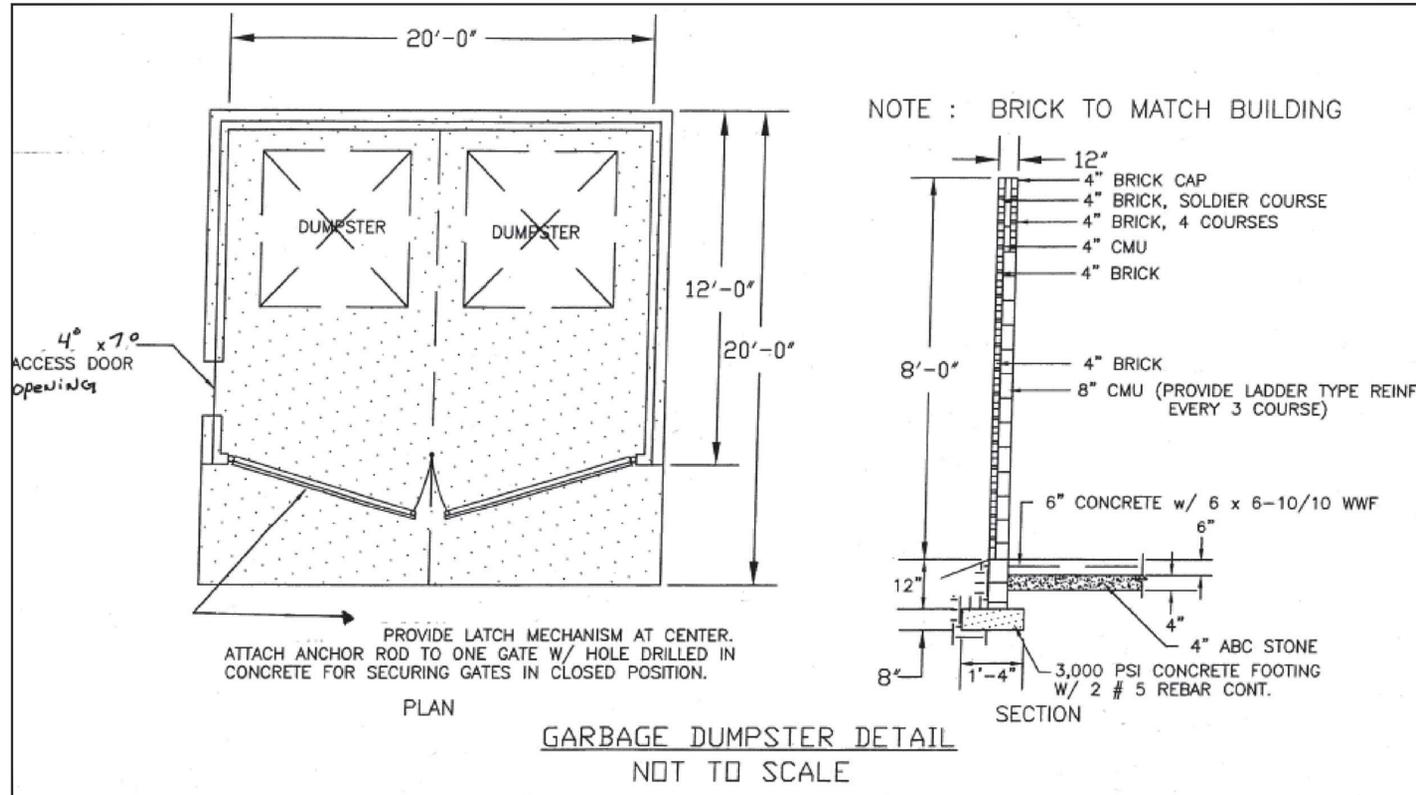
LEGEND	
PROPOSED	
2" WL	— 2" WL —
6" WL	— 6" WL —
BLOWOFF	— BLOWOFF —
HYDRANT	— HYDRANT —
VALVE	— VALVE —
REDUCER	— REDUCER —
METER	— METER —
STORM DRAINAGE	— STORM DRAINAGE —
2" FORCEMAIN	— 2" FM —
SANITARY SEWER	— SS —



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- NOTES:
1. Detectable warnings shall contrast visually with adjoining surfaces, either light on dark or dark on light.
 2. The material used to provide contrast shall be an integral part of the walking surface.
 3. Dimensions assume sidewalk is parallel to street and perpendicular to curb.
 4. Concrete shall be tinted battleship gray. Painted surface will not be acceptable.
 5. Domes are not required for handicap ramps located in single family developments.
 6. Handicap ramps are not required until such time as sidewalk is connected to return. Otherwise contractors are required to depress curb to the minimum dimensions shown for future ramp construction.
 7. Single handicap ramps at the center of the return are not permitted.

TYPICAL WHEELCHAIR RAMP
NOT TO SCALE

CONTINUOUS LINES	10'-30'/SP SKIP LINE	2'-6'/SP MINI-SKIP LINE	STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
<p>EDGE LINE YELLOW OR WHITE 4" / 6"</p> <p>LANE LINE WHITE 4" / 6"</p> <p>CENTER LINE YELLOW 4" / 6"</p> <p>GORE LINE WHITE 8" / 12"</p> <p>DIAGONAL LINE YELLOW OR WHITE 12" 45 MPH OR HIGHER 8" LESS THAN 45 MPH</p> <p>CROSSWALK LINE WHITE 8" TRANSVERSE 24" LONGITUDINAL</p> <p>RxR LINE WHITE 16"</p> <p>STOP OR TRANSVERSE BAR WHITE 24"</p>	<p>UNLESS OTHERWISE SHOWN, USE 10'-30'/SP SKIPS FOR SKIP LINE LINES AND SKIP CENTER LINES.</p> <p>YELLOW OR WHITE 4" / 6"</p>	<p>UNLESS OTHERWISE SHOWN, USE 2'-6'/SP MINI-SKIPS FOR LANE LINE EXTENSIONS THROUGH INTERSECTIONS, EDGE LINE EXTENSIONS THROUGH INTERSECTIONS AND MINI-SKIPS USED FOR BICYCLE LANE LINES.</p> <p>YELLOW OR WHITE 4" / 6"</p>	
	<p>3'-3'/SP MINI-SKIP LINE UNLESS OTHERWISE SHOWN, USE 3'-3'/SP MINI-SKIPS FOR THE WHITE EDGE LINE EXTENSIONS AT ROUNDABOUTS.</p> <p>WHITE 8" / 12"</p>	<p>3'-9'/SP MINI-SKIP LINE UNLESS OTHERWISE SHOWN, USE 3'-9'/SP MINI-SKIPS FOR MINI-SKIP LANE LINES AND LINE EXTENSIONS THROUGH TAPERS.</p> <p>WHITE 4" / 6"</p>	
<p>GENERAL NOTES:</p> <ol style="list-style-type: none"> 1. USE 6" LANE, EDGE, AND CENTER LINES ON ALL FULL CONTROL OF ACCESS FACILITIES AND OTHER ROUTES AS DIRECTED BY THE ENGINEER. 2. LANE LINES INDICATED AS "WIDE" ON THE ROADWAY STANDARD DRAWINGS SHALL BE AT LEAST TWICE THE WIDTH OF THE NORMAL LINE. 3. GORE LINES SHALL BE TWICE THE WIDTH OF THE NORMAL LINE. 			

ROADWAY STANDARD DRAWING FOR
PAVEMENT MARKINGS
LINE TYPES AND OFFSETS

SHEET 1 OF 2
1205.01

NCDOT PAVEMENT MARKINGS
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SEEDBED PREPARATION

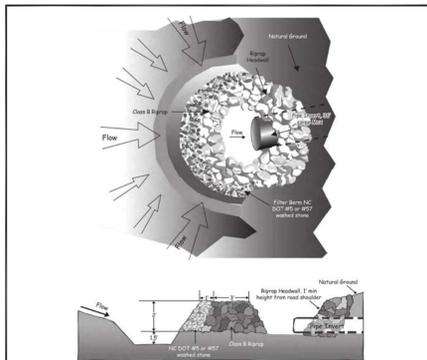
1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO 6 INCH DEPTH.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW).
5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
6. SEED (150 LBS/ACRE) ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND IS OVER 80% DAMAGED, RE-ESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

SOIL PREPARATION

- * AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS IN CLAY SOIL)
- * FERTILIZER - 1,000 LBS/ACRE - 10/10/10
- * SUPERPHOSPHATE - 500 LBS/ACRE - 20% ANALYSIS
- * MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW
- * ANCHOR - ASPHALT EMULSION @ 400 GALS/ACRE

SEEDING SPECIFICATIONS

1. TEMPORARY SEEDING
SEE TABLES BELOW.
2. PERMANENT SEEDING
* TALL FESCUE - 100 LBS/ACRE
* SERICEA LESPEDEZA - 15 LBS/ACRE

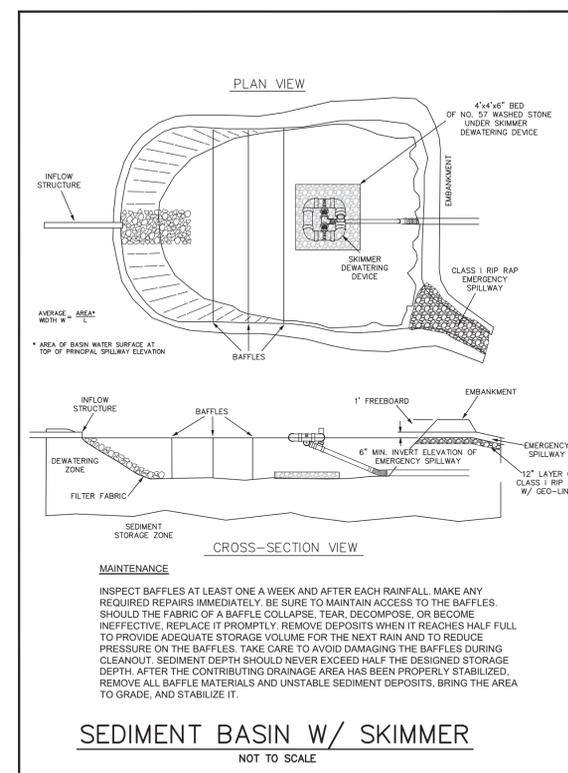
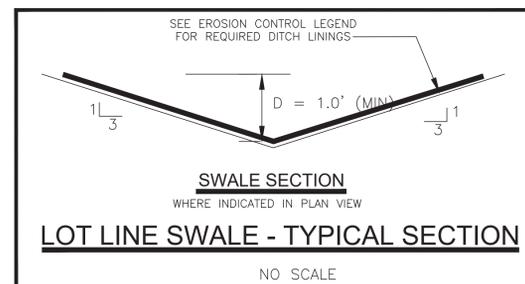


MAINTENANCE

INSPECT WIRE AND WASHED STONE INLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME (APPROX 50% OUTLET COVERAGE) FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE INLET DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ARC INLET PROTECTION

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SEDIMENT BASIN W/ SKIMMER

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Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120
Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

Seeding dates
Mountains—Above 2500 feet: Feb. 15 - May 15
Below 2500 feet: Feb. 1 - May 1
Piedmont—Jan. 1 - May 1
Coastal Plain—Dec. 1 - Apr. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. **APPLY ASPHALT TACK AT A RATE OF 400 GALLONS PER ACRE.**

Maintenance
Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

Seeding mixture Species	Rate (lb/acre)
German millet	40

In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.

Seeding dates
Mountains—May 15 - Aug. 15
Piedmont—May 1 - Aug. 15
Coastal Plain—Apr. 15 - Aug. 15

Soil amendments
Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. **APPLY ASPHALT TACK AT A RATE OF 400 GALLONS PER ACRE.**

Maintenance
Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120

Seeding dates
Mountains—Aug. 15 - Dec. 15
Coastal Plain and Piedmont—Aug. 15 - Dec. 30

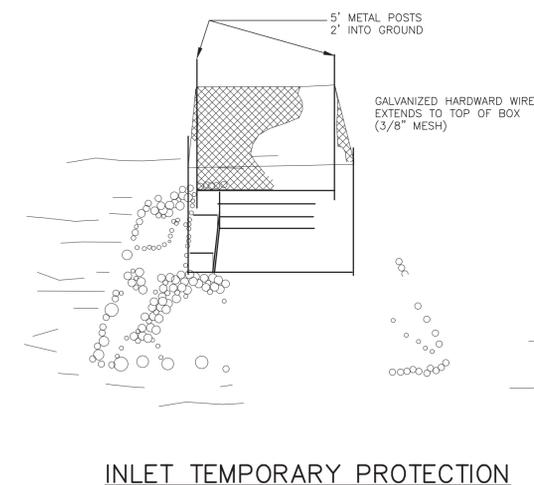
Soil amendments
Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

Mulch
Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool. **APPLY ASPHALT TACK AT A RATE OF 400 GALLONS PER ACRE.**

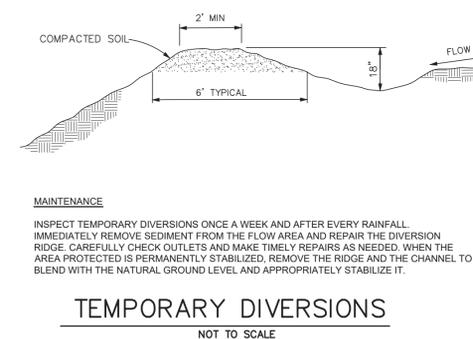
Maintenance
Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extent temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.

EROSION CONTROL SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. THIS PROJECT IS DIVIDED INTO TWO STAGES. STAGE 1 EROSION CONTROL - CLEARING & GRUBBING SITE. STAGE 2 EROSION CONTROL - SITE GRADING AND CONSTRUCTION.
3. BEFORE BEGINNING ANY LAND DISTURBING ACTIVITY THE CONTRACTOR SHALL CONTACT NCDEQ TO SET UP AND ATTEND A PRE-CONSTRUCTION MEETING.
4. BEGIN STAGE 1 EROSION CONTROL.
5. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE, SILT FENCING, INLET PROTECTION, TEMPORARY DIVERSIONS, CLEAN WATER DIVERSIONS, TREE PROTECTION FENCING, WIRE & WASHED STONE OUTLETS IN SILT FENCE. INSTALL SKIMMER BASINS AND TEMPORARY SLOPE DRAIN TO SKIMMER BASINS AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
6. WET POND IS CURRENTLY BEING UTILIZED AS SKIMMER BASIN AND SHALL REMAIN SO DURING CONSTRUCTION AND GRADING SHALL BE FINISHED AND CONVERTED TO WET POND AFTER 75% OF UPSTREAM CONSTRUCTION IS COMPLETE.
7. CALL NCDEQ FOR ON SITE INSPECTION AND CERTIFICATE OF COMPLIANCE. (SEE NOTE #3 ABOVE)
7. BEGIN STAGE 2 EROSION CONTROL.
8. BEGIN TO CLEAR AND GRUB SITE. DURING THE INITIAL CLEARING AND ROUGH GRADING STAGE, ENSURE THAT STORMWATER IS ROUTED TO EXISTING BASINS UNTIL THE PROPOSED DRAINAGE PATTERNS ARE ESTABLISHED. MAINTAIN DEVICES AS NEEDED.
9. GROUND COVER MUST BE APPLIED TO DISTURBED AREAS ACCORDING TO THE "GROUND STABILIZATION" TABLE OR EC DETAIL SHEET DT1.04 (PER THE NEW STORMWATER RULES). STABILIZE SITE AS AREAS ARE BROUGHT UP TO GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC.
10. WHEN MATERIAL IN CONCRETE WASHOUT REACHES APPROXIMATE HEIGHT OF THE HAY BALES, CONTRACTOR SHALL REMOVE MATERIAL FROM CONCRETE WASHOUT AND DISPOSE OF IT AT AN APPROVED LANDFILL. CONCRETE WASHOUT SHALL THEN BE RESTORED TO CONDITIONS PER DETAIL DT1.03.
11. CONTRACTOR SHALL USE THE SELF-INSPECTION PROGRAM AS DETAILED ON SHEET DT1.05 ON A WEEKLY BASIS.
12. WHEN CONSTRUCTION IS COMPLETE, AND ALL AREAS ARE PERMANENTLY STABILIZED COMPLETELY WITH THICK VEGETATION, CALL FOR INSPECTION (SEE NOTE #3 ABOVE).
13. IF SITE IS APPROVED, REMOVE SILT FENCING, REMOVE TEMPORARY DIVERSIONS, THEN SEED & MULCH OR PAVE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES SUCH AS VELOCITY DISSIPATORS SHOULD BE INSTALLED NOW. REMOVE ANY ACCUMULATED SILT FROM WET POND AND COMPLETE ANY FINAL GRADING, PLANTING, ETC. TO BRING POND TO DESIGN SPECIFICATIONS.
14. WHEN THICK VEGETATION HAS BECOME PERMANENTLY ESTABLISHED, CALL FOR FINAL SITE INSPECTION (SEE NOTE #3 ABOVE).



INLET TEMPORARY PROTECTION



TEMPORARY DIVERSIONS

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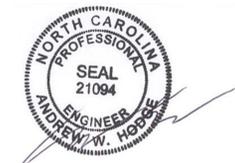
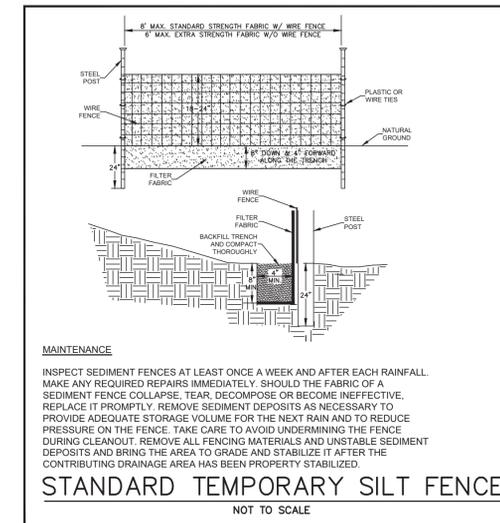
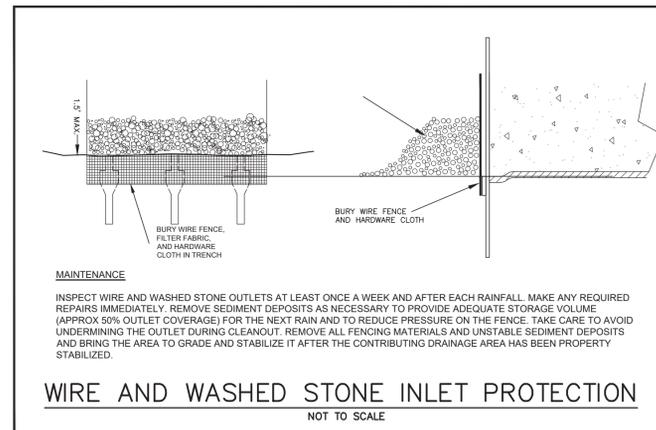
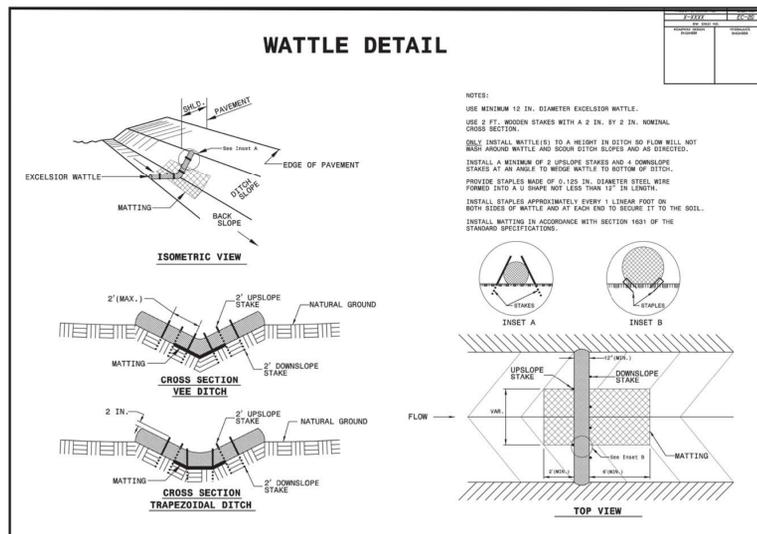
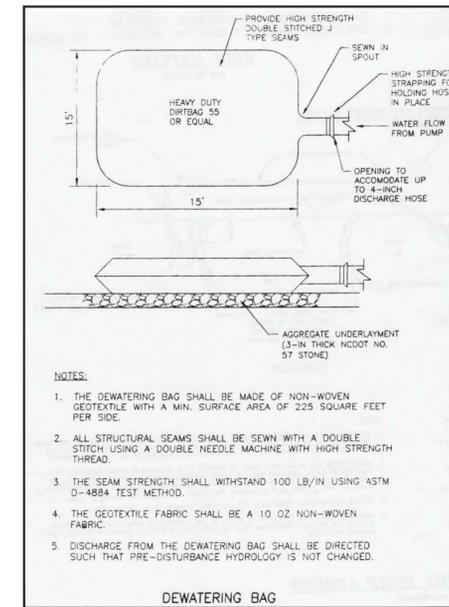
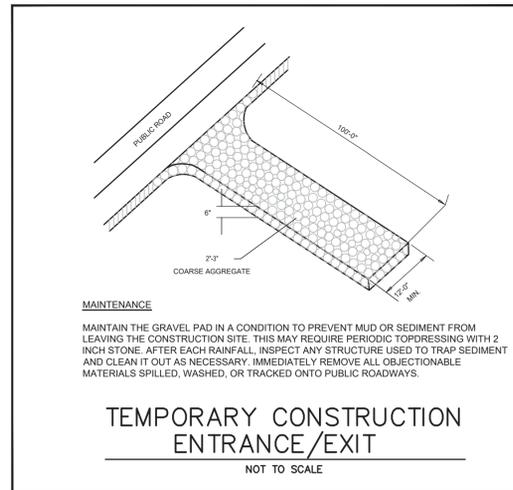
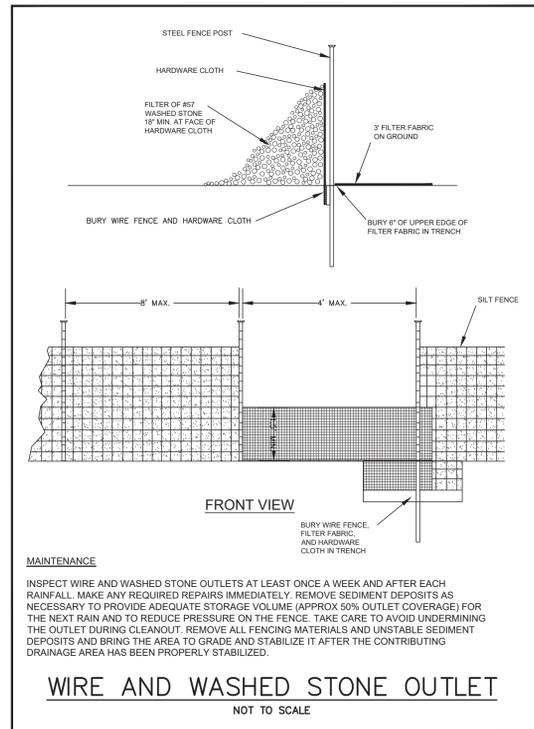
ADAMS & HODGE
ENGINEERING, PC

OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

EROSION CONTROL
DETAILS 1

DESIGN
DRAWN
CHECKED
HORIZONTAL SCALE
SEE GRAPHIC SCALE
VERTICAL SCALE
N/A
DATE
10/04/2019
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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

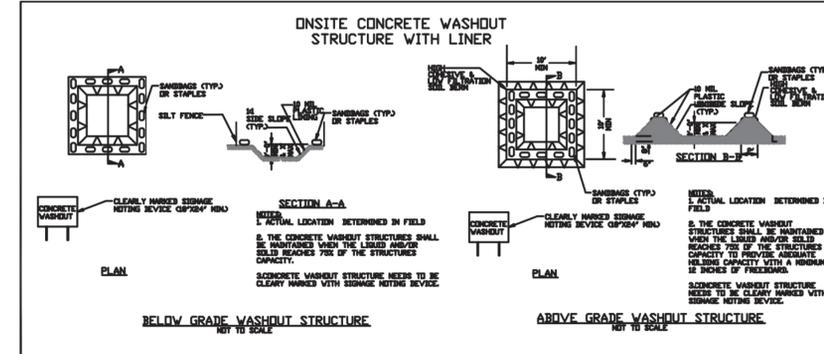
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

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CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- (c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that must be reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- (c) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). • Division staff may waive the requirement for a written report on a case-by-case basis.

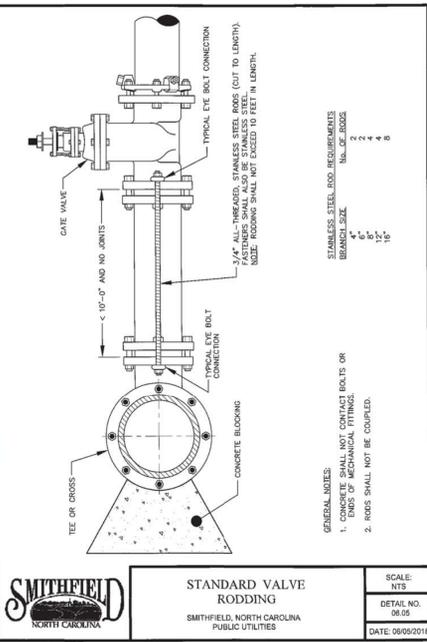
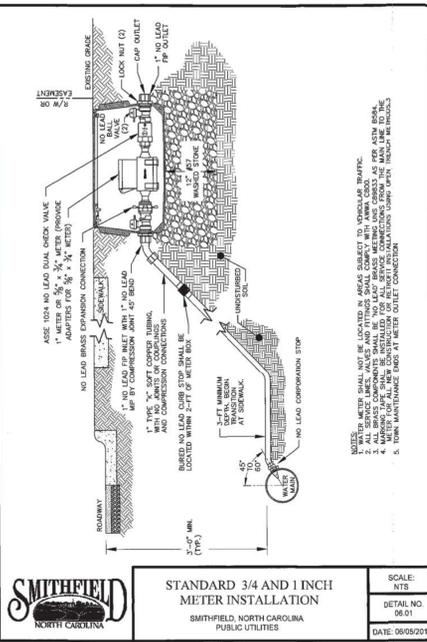
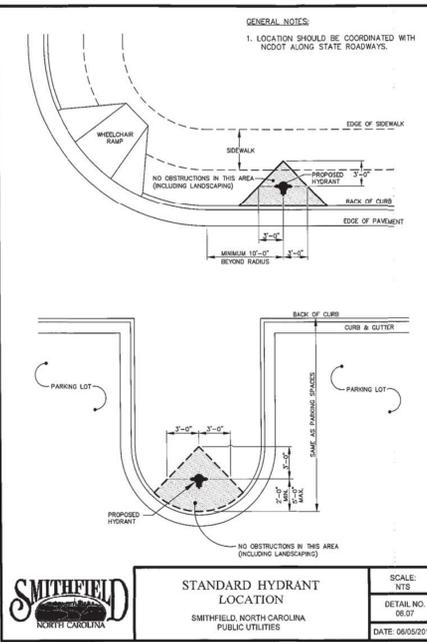
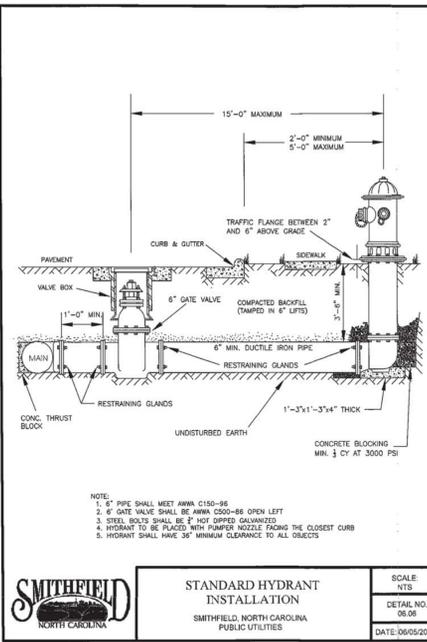


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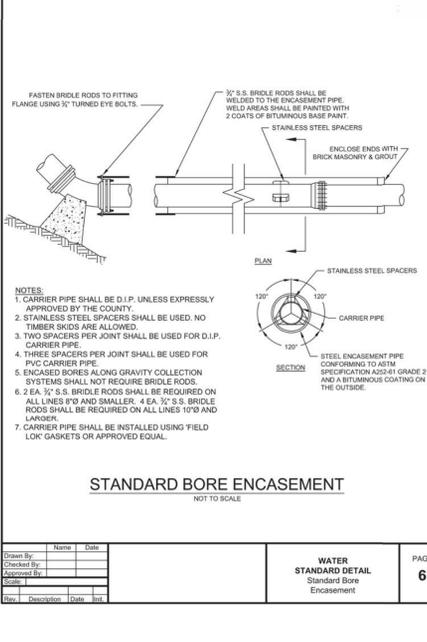
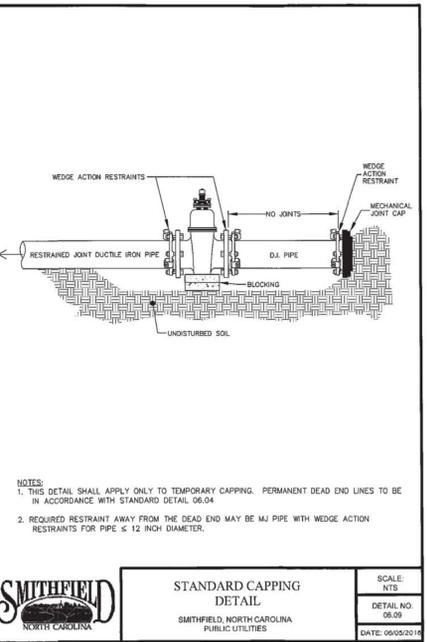
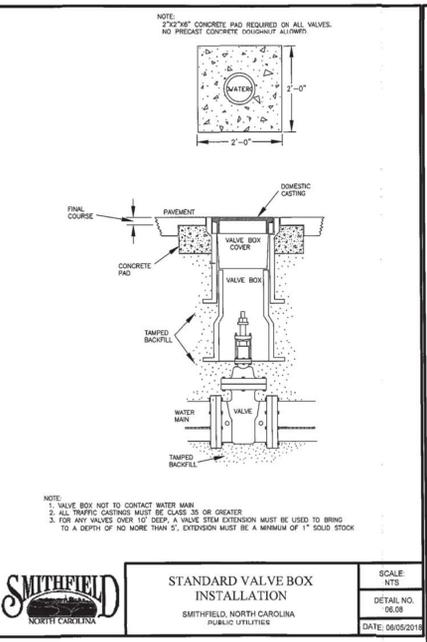
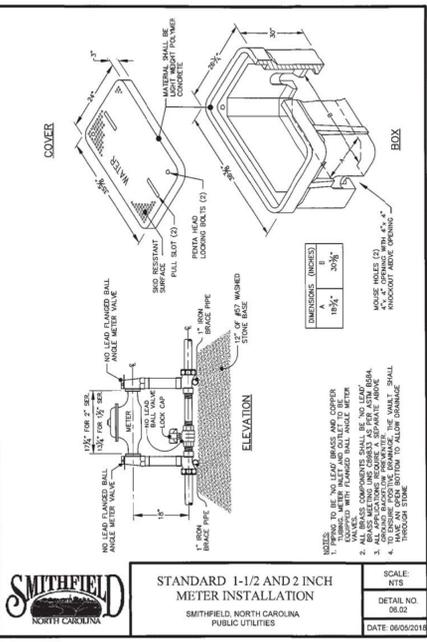
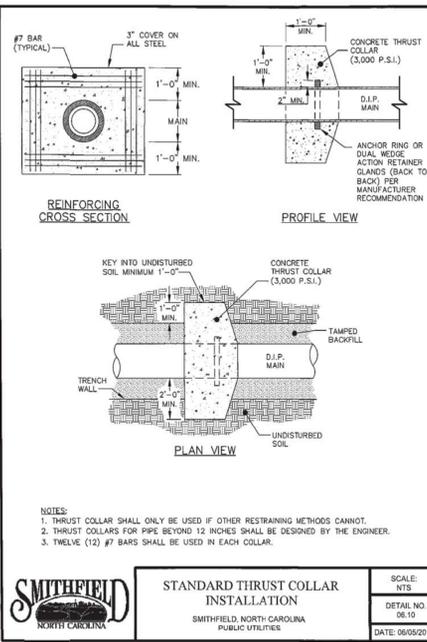
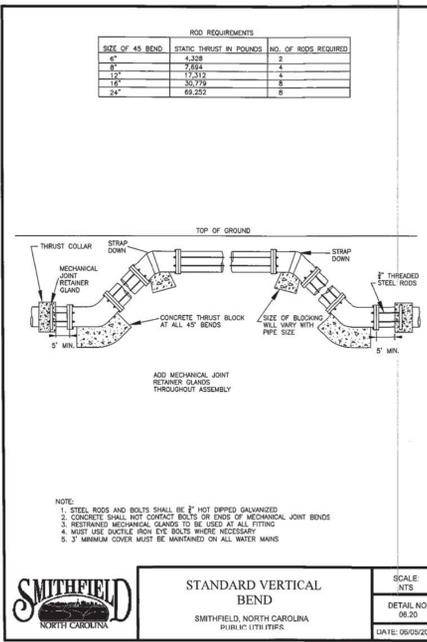
NOT RELEASED FOR
CONSTRUCTION

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



NOMINAL PIPE DIAMETER INCHES	MINIMUM CONCRETE BLOCKING (C.Y.)				
	TEES & DEAD ENDS	90° BEND	45° BEND	22½° BEND	11¼° BEND
4	1/2	1/2	1/2	1/2	1/2
6	1/2	1/2	1/2	1/2	1/2
8	1/2	1/2	1/2	1/2	1/2
10	3/4	3/4	3/4	3/4	3/4
12	1.0	1.0	1.0	1.0	1.0



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CONSTRUCTION

Drawn By:	Name:	Date:
Checked By:		
Approved By:		
Scale:		
Rev:	Description:	Date:

WATER
STANDARD DETAIL
Standard Bore
Encasement

PAGE
6

314 EAST MAIN STREET
CLAYTON, NC 27520
info@ash-engineering.com
919.243.1333
FIRM # C-1187

ADAMS & HODGE
ENGINEERING, PC



OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

WATER DETAILS

DESIGN	
DRAWN	
CHECKED	
HORIZONTAL SCALE	SEE GRAPHIC SCALE
VERTICAL SCALE	N/A
DATE	10/04/2019
JOB NO.	
SHEET	

DT1.06

LANDSCAPE WORK SPECIFICATIONS

SCOPE OF WORK: FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK OF THIS SECTION INCLUDING INSTALLATION OF TREES, SHRUBS, GROUND COVERS, PERENNIALS, SOD, SEEDING, MULCH, AND APPURTENANCES.

JOB CONDITIONS: ATTENTION SHALL BE DIRECTED TO THE LOCATION OF ACTIVE UTILITIES WITHIN THE LIMITS OF WORK. BEFORE COMMENCING ANY WORK REQUIRED BY THE CONTRACT, THE CONTRACTOR SHALL LOCATE ALL UTILITIES, SUBSURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM THE WORK COVERED BY THE CONTRACT.

MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER OR HIS AGENT. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AT ANY STAGE OF THE OPERATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.

PLANT MATERIALS: ALL MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IF FIELD GROWN, NATURALLY SHAPED, AND WELL-BRANCHED, FULL-FOLIAGED WHEN IN LEAF WITH HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS FURNISHED SHALL BE FREE OF ANY INSECT INFESTATIONS OR THEIR EGGS, AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT LOCALITY. ALL PLANTS SHALL BE TRUE TO SPECIES AND VARIETY.

PLANT SIZE: SPECIFIED SIZES INDICATE MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND SIZE ARE INDICATED FOR A SINGLE SPECIES, BOTH REQUIREMENTS MUST BE MET.

PLANT HANDLING & STORAGE: PLANTS AND THEIR ROOT SYSTEMS SHALL BE ADEQUATELY PROTECTED FROM DRYING OUT AT ALL TIMES. PLANT MATERIALS SHALL BE WATERED PRIOR TO TRANSPORT AND KEPT MOIST PRIOR TO PLANTING. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE KEPT IN THE SHADE AND WELL-WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN THREE DAYS AFTER DELIVERY.

BALLED & BURLAPPED PLANTS SHALL BE LIFTED FROM THE BOTTOM ONLY, NOT BY STEMS OR TRUNKS.

CARE SHALL BE TAKEN WHEN REMOVING THE CONTAINER FROM CONTAINER-GROWN PLANTS SO AS NOT TO INJURE THE PLANT'S ROOTS.

SUBSTITUTIONS: IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IS NOT AVAILABLE, A WRITTEN PROPOSAL FOR USE OF A SIMILARLY-SIZED AND TYPE OF PLANT AND CORRESPONDING COST ADJUSTMENT WILL BE CONSIDERED. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

BACKFILL MATERIAL: NATIVE SOIL SHALL NOT BE USED FOR BACKFILL BUT IS ACCEPTABLE FOR CONSTRUCTION OF REQUIRED SAUCERS AROUND PLANTS. THE REMAINDER OF UNUSED NATIVE SOIL SHALL BE HAULED AWAY FROM THE SITE. BACKFILL MATERIAL SHALL BE A BLENDED SOIL MATERIAL AND SHALL BE CONSIST OF 40% COMPOST, 35% SAND, AND 25% CLAY. THE COMPOST SHALL BE A TURKEY COMPOST BEARING THE U.S. COUNCIL SEAL OF ASSURANCE. THE SAND SHALL BE OBTAINED FROM A SAND QUARRY AND FREE OF ALL VIABLE WEED SEED. OTHER CONDITIONS OF THE BACKFILL SHALL BE AS FOLLOWS:

MAXIMUM SOLUBLE SALTS: 350 PPM
RELATIVE DENSITY: 25%-50%, LOOSE
RELATIVE PERMEABILITY: 2.5-10 IN./HR.
PLASTIC INDEX: 4-10
PH RANGE: 6.0-6.8

BACKFILL MATERIAL SHALL BE TESTED AND TEST RESULTS SHALL BE FURNISHED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO USE.

PLANT FERTILIZER: SHALL BE A COMPLETE FERTILIZER, OF WHICH 50% OF THE NITROGEN IS DERIVED FROM NATURAL ORGANIC SOURCES OR UREAFORM. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 10% NITROGEN, 10% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

WATER: SHALL BE FURNISHED BY THE OWNER.

PLANT MATERIAL INSTALLATION: MATERIALS SHALL ONLY BE PLANTED DURING PERIODS OF SUITABLE WEATHER CONDITIONS.

THE OWNER SHALL BE NOTIFIED OF SUBSURFACE CONDITIONS THAT WOULD PROVE DETRIMENTAL TO PLANT SURVIVAL OR GROWTH. ALTERNATE LOCATIONS FOR MATERIAL SHALL BE DETERMINED BY THE CONTRACTOR AND LANDSCAPE ARCHITECT.

ALL TREES AND SHRUBS SHALL BE PLANTED IN INDIVIDUAL HOLES. THE SIDES AND BOTTOM OF HOLES SHALL BE SCARIFIED PRIOR TO PLANTING. BACKFILL WITH THE SOIL MIXTURE SPECIFIED ON THE DRAWINGS. BACKFILLING SHALL BE ACCOMPLISHED IN LIFTS TO ENSURE ELIMINATION OF ALL AIR POCKETS. ALL PLANTS SHALL BE POSITIONED TO PLACE MOST ATTRACTIVE SIDE TO VIEW AND IN A PLUMB POSITION.

INSTALL 6 FT. DIAMETER SAUCERS MADE OF SOIL AROUND LARGE TREES AND 4 FT. DIAMETER SAUCERS AROUND SMALL TREES.

IMMEDIATELY FOLLOWING PLANTING, PLANTS SHALL BE MULCHED. WHERE PLANTS ARE PLANTED IN GROUPS, THE AREA ABOUT THE PLANT AS WELL AS THE AREA BETWEEN PLANTS SHALL BE COVERED WITH MULCH. PLANTS SHALL BE THOROUGHLY WATERED FOLLOWING MULCHING.

STAKE ALL TREES IN ACCORDANCE WITH THE DRAWINGS.

PRUNING SHALL BE LIMITED TO THE REMOVAL OF INJURED BRANCHES AND TWIGS. USE CLEAN AND SHARP PRUNING TOOLS.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN DURING PROGRESS OF INSTALLATION WORK.

PLANTING BEHIND SEGMENTAL RETAINING WALLS: CONTRACTOR SHALL EXERCISE EXTREME CARE IN THE INSTALLATION OF PROPOSED TREES AND SHRUBS BEHIND SEGMENTAL RETAINING WALLS. CONTRACTOR SHALL PROCEED WITH CAUTION WHEN EXCAVATING SO AS NOT TO TEAR OR REMOVE SECTIONS OF THE GEOTRID FABRIC THAT IS TYPICALLY LOCATED 18 TO 24 INCHES BELOW FINISHED GRADE. PENETRATION OF THE GEOTRID IS PERMITTED TO PLANT INDIVIDUAL TREES OR LARGE SHRUBS AS NECESSARY; HOWEVER, EXCAVATION OF THE PLANTING HOLE AND PERFORATION OF THE GEOTRID FABRIC SHALL BE ACCOMPLISHED USING AN AUGER OR BY HAND-CUTTING THE FABRIC FOLLOWING EXCAVATION BY A BACKHOE WITH A SMOOTH-EDGE BUCKET.

MAINTENANCE OF PLANT MATERIALS: PLANT MATERIALS SHALL BE MAINTAINED FOLLOWING PLANTING AND UNTIL FINAL ACCEPTANCE IS GRANTED BY THE OWNER. MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, PRUNING, MULCHING, ADJUSTMENT OF GUYING, RESTORATION OF PLANT POSITION OR SAUCERS, AND SPRAYING IF NECESSARY. FINAL ACCEPTANCE FOR SEGMENTS OF THE CONTRACT WORK MAY BE GRANTED BY THE OWNER.

THE CONTRACTOR SHALL PROTECT PLANTED AREAS WITH STAKES AND FLAGGING TO LIMIT DAMAGE.

SIDEWALKS AND PAVEMENTS SHALL BE KEPT CLEAN WHEN MAINTENANCE OPERATIONS ARE IN PROGRESS.

ALL INSTALLED MATERIALS SHALL BE IN ACCEPTABLE CONDITION WHEN CONTRACTOR APPLIES FOR PAYMENT.

INSPECTION AND ACCEPTANCE OF WORK: UPON 48 HOURS ADVANCE NOTICE, THE LANDSCAPE ARCHITECT SHALL INSPECT ALL WORK FOR ACCEPTANCE. THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE SHALL TERMINATE AT THE DATE OF ACCEPTANCE OF EACH SEGMENT OF WORK. UPON THE DATE OF ACCEPTANCE, THE GUARANTEE PERIOD SHALL COMMENCE.

GUARANTEE: THE CONTRACTOR SHALL GUARANTEE TO PROVIDE TO THE OWNER THRIVING PLANT MATERIALS TO INCLUDE TREES, SHRUBS, AND GROUND COVERS FOR A PERIOD OF ONE YEAR FOLLOWING FINAL ACCEPTANCE. ADDITIONALLY, THE CONTRACTOR SHALL GUARANTEE TO THE OWNER THRIVING PERENNIALS, ANNUALS, WELL-ESTABLISHED SEEDED AREAS, AND WELL-ROOTED SODDED AREAS FOR A PERIOD OF 90 DAYS FOLLOWING FINAL ACCEPTANCE. THE GUARANTEES ARE SUBJECT TO THE FOLLOWING CONDITIONS:

THE OWNER IS RESPONSIBLE FOR PROPER WATERING OF PLANT MATERIALS, SEEDED AREAS, AND SODDED AREAS FOLLOWING FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE TO THE OWNER WRITTEN INSTRUCTIONS SPECIFYING THE RATES AND EXTENT OF WATERING REQUIRED. THE CONTRACTOR SHALL MAKE MONTHLY INSPECTIONS FOR A PERIOD OF (1) YEAR AT NO EXTRA COST TO THE OWNER, TO DETERMINE WHAT CHANGES, IF ANY, SHOULD BE MADE TO THE WATERING PROGRAM. ANY RECOMMENDATIONS SHALL BE SUBMITTED TO THE OWNER IN WRITING.

DAMAGE CAUSED TO PLANT MATERIALS FROM ACTS OF NATURE, VANDALISM, EROSION, OR MALICIOUS ACTS WILL VOID THE GUARANTEE FOR ANY EFFECTED MATERIALS.

DAMAGE TO PLANT MATERIALS CAUSED BY DISEASE INCLUDING BROWN PATCH IN TURF GRASSES EXCLUDE ANY EFFECTED MATERIALS FROM THE GUARANTEE.

PLANT MATERIAL REPLACEMENT: THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL PLANTS NOT IN THRIVING CONDITION AS DETERMINED BY THE OWNER DURING AND AT THE END OF THE GUARANTEE PERIOD. THE GUARANTEE FOR ALL REPLACED PLANTS SHALL EXTEND FOR AN ADDITIONAL 30 CALENDAR DAYS.

TURF MATERIALS: MATERIALS REQUIRED FOR SEEDING AND OR SODDING SHALL CONFORM TO THE FOLLOWING:

FERTILIZER: SHALL BE A TURFGRADE, HIGH PHOSPHORUS FERTILIZER, IN WHICH 1/2 TO 3/4 OF THE NITROGEN IS SLOWLY AVAILABLE. IT SHALL CONTAIN BY PERCENTAGE THE FOLLOWING: 16% NITROGEN, 24% PHOSPHORIC ACID, AND 10% POTASH. IT SHALL BE DELIVERED IN UNOPENED, LABELED CONTAINERS AND STORED IN A WEATHERPROOF PLACE.

LIME: SHALL BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES WITH A MINIMUM OF 30% MAGNESIUM CARBONATES IN A PELLETED FORM.

ANTI-EROSION MULCH: SHALL BE CLEAN, SEED-FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY.

GRASS SEED: SHALL BE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE TYPE OR MIXTURE COMPOSED OF SPECIES AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.

SOD: SHALL BE FRESHLY CUT, DROUGHT-RESISTANT SOD, FREE OF OBJECTIONABLE BROADLEAF OR GRASSY WEEDS. PROVIDE TYPE AS SPECIFIED BELOW.

PREPARATION OF TURF AREAS: PRIOR TO SEEDING OR SOD INSTALLATION, VERIFY THAT ALL TRENCHING AND OTHER LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED.

ALL DISTURBED AREAS SHALL BE DRESSED TO TYPICAL SECTIONS AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS. REMOVE FROM THE SITE ALL TEMPORARY SEEDING OR STABILIZATION MEASURES.

ALL AREAS TO RECEIVE SEED OR SOD SHALL BE PREPARED ACCORDING TO THE FOLLOWING PROCEDURE:

REMOVE ANY UNDESIRABLE VEGETATION OR DEBRIS.

APPLY LIMESTONE ACCORDING TO SOIL TEST RECOMMENDATION OR AT A RATE OF 4000 LBS. PER ACRE.

RIP THE AREA TO A MINIMUM DEPTH OF 4 TO 6 INCHES.

REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER DEBRIS AND PULVERIZE THE TOP 2 INCHES OF LOOSENED SOIL TO PROVIDE A SMOOTH AND UNIFORM SURFACE.

APPLY TURFGRADE FERTILIZER IN A MANNER THAT ENSURES UNIFORM DISTRIBUTION. FERTILIZER SHALL BE APPLIED AT A RATE THAT PROVIDES 5 LBS. OF PHOSPHORUS PER 1000 S.F. LIGHTLY MIX WITH SOIL AND SMOOTH SURFACE.

SODDING: APPLY DROUGHT-RESISTANT, TURF-TYPE FESCUE SOD (E.G. "REBEL III", "BONANZA", "CONFEDERATE", ETC.) IN THE FOLLOWING MANNER:

SOD SHALL BE PLACED ON A SMOOTH, EVEN SURFACE CONFORMING TO FINISH GRADE REQUIREMENTS. FINISH GRADE SHALL BE 1 INCH BELOW SURFACES OF ADJACENT SIDEWALKS AND CURBING. SOIL SHALL BE WATERED BEFORE SOD IS LAID. ALL SOD SHALL BE CUT BY AN APPROVED MECHANICAL SOD CUTTER. UNDER NO CIRCUMSTANCES SHALL ANY SODDING WORK BE DONE UNLESS WEATHER AND SOIL CONDITIONS ARE SUITABLE.

HANDLING OF SOD SHALL BE DONE IN A MANNER AS TO PREVENT TEARING, BREAKING, DRYING, OR OTHER DAMAGE.

SOD SHALL BE INSTALLED ON-SITE IN NOT MORE THAN 72 HOURS AFTER CUTTING. IF THE SOD IS NOT INSTALLED WITHIN 48 HOURS AFTER CUTTING, IT SHALL BE UNSTACKED OR UNROLLED, PLACED IN SHADE, AND KEPT MOIST UNTIL INSTALLATION.

LAY SOD PARALLEL TO THE DIRECTION OF THE SLOPE AND IN A MANNER WHICH WILL PERMIT JOINTS TO ALTERNATE.

FIT SOD PIECES TOGETHER TIGHTLY SO THAT NO JOINT IS VISIBLE, AND TAMP SOD FIRMLY AND EVENLY BY HAND.

AFTER SODDING IS COMPLETE AND APPROVED BY LANDSCAPE ARCHITECT, SODDED AREAS SHALL BE ROLLED WITH A 200 LB. ROLLER.

WATER SODDED AREAS IMMEDIATELY AFTER FINAL ROLLING WITH A FINE SPRAY TO A DEPTH OF 4 INCHES. KEEP ALL SODDED AREAS CONTINUOUSLY MOIST THEREAFTER UNTIL 30 CALENDAR DAYS FOLLOWING INSTALLATION. USE FINE SPRAY NOZZLES ONLY.

INSPECT AND MAINTAIN SODDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 50% OR MORE OF SODDED AREAS FAIL TO BECOME ROOTED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS WITH NEW SOD MATERIALS.

SEEDING: APPLY TURF-TYPE SEED MIXTURE (E.G. "CONFEDERATE" FESCUE MIXTURE, "TRI-BLEND", ETC.) AT A RATE OF 6 LBS. PER 1000 S.F. KENTUCKY 31 TALL FESCUE IS UNACCEPTABLE.

CULTIPACK SEEDED AREAS AND APPLY ANTI-EROSION MULCH AT A RATE OF 2 TONS PER ACRE.

INSPECT AND MAINTAIN SEEDED AREAS AND MAKE NECESSARY REPAIRS DURING THE SPECIFIED GUARANTEE PERIOD. IF 50% OR MORE OF SEEDED AREAS FAIL TO BECOME ESTABLISHED, THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, WILL REPEAT THE ENTIRE PROCESS FOR ESTABLISHMENT OF A SUITABLE TURFGRASS.

LANDSCAPE WORK SPECIFICATIONS
SCALE: NTS

6

IRRIGATION DIRECTIVES

- A. THE GENERAL CONTRACTOR SHALL SUBCONTRACT THE IRRIGATION WORK TO A FIRM OF HIS CHOICE, OR HAVE THE PLANTING CONTRACTOR SUBCONTRACT THE IRRIGATION WORK TO A FIRM OF HIS CHOICE
- B. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO SPRAY THE LAWNS AND PLANT BEDS SEPARATELY AS SHOWN ON THE PLAN IN OUTLYING AREAS ISLANDS OF SHRUBS SHALL BE OVERSPRAYED WITH THE LAWN HEADS OR, PER PLAN, MAY HAVE SHRUB HEADS ON THE ADJACENT LAWN ZONE
- C. PROVIDE ADEQUATE ZONES TO INDIVIDUALLY CONTROL IRRIGATION FOR ALL THE DIFFERENT EXPOSURES AND SLOPES AT LEAST AS INDICATED ON THE PLANS AS WELL AS TO BE ABLE TO BEST MATCH THE WATER AVAILABLE TO THE SYSTEM
- D. SUBMIT HEAD LAYOUT AND ROUTING PLAN TO THE LANDSCAPE ARCHITECT FOR APPROVAL OF THE LAYOUT AND ZONE DESIGN
- E. IN MUNICIPAL AREAS PROVIDE THE OWNER A (DOLLAR) CHOICE TO SET A SEPARATE METER FOR THE IRRIGATION, OR TO USE THE EXISTING METERED SOURCE FOR THE IRRIGATION
- F. METERS ARE PROVIDED FOR IRRIGATIONS; CONTRACTOR TO PROVIDE BACKFLOW PREVENTION
- G. PROVIDE THE OWNER A PLASTIC COVERED COLOR CODED PLAN TO PLACE NEAR THE CONTROLLER
- H. PROVIDE (3) THREE COPIES OF "AS-BUILT" LAYOUT AND OPERATING INSTRUCTIONS TO THE OWNER.

IRRIGATION NOTES

- NOTICE TO IRRIGATION CONTRACTOR:** MANY GOVERNMENTAL UNITS ARE CURRENTLY REVISING THEIR ORDINANCES AND REGULATIONS REGARDING IRRIGATION SYSTEMS. BEFORE THIS PROJECT IS BID OR INSTALLED, THE CONTRACTOR SHALL VERIFY WITH THE RULING GOVERNMENTAL UNIT THAT THE PROPOSED SYSTEM MEETS ALL LOCAL REGULATIONS. AREAS OF SPECIAL CONCERN INCLUDE:
1. RIGHT-OF-WAY EASEMENT AGREEMENTS FOR PLACEMENT OF IRRIGATION WITHIN STREET/ROAD RIGHT-OF-WAYS
 2. BACKFLOW PREVENTION DEVICES, WHETHER THESE ARE REQUIRED AND IF SO, WHAT TYPES ARE APPROVED.
 3. CERTIFICATION/LICENSE TO INSTALL BACKFLOW PREVENTER DEVICES AND METERS.
 4. "WINTER SERVICE" REQUIREMENTS FOR BACKFLOW PREVENTER DEVICES.
 5. USE OF A SECOND METER FOR IRRIGATION USE ONLY
 6. WATER RATION DAYS IN WHICH IRRIGATION SYSTEM CANNOT BE USED.
 7. ALL OTHER REGULATIONS NOT MENTIONED HEREIN.

SHOULD THE BID/CONSTRUCTION DOCUMENTS BE INCONSISTANT WITH CURRENT LOCAL REGULATIONS, THE CONTRACTOR SHALL PRESENT THE OWNER WITH A QUOTE/CONTRACT THAT INCLUDES MODIFICATIONS TO MAKE THE SYSTEM COMPLIANT WITH ALL THE LOCAL CODES.

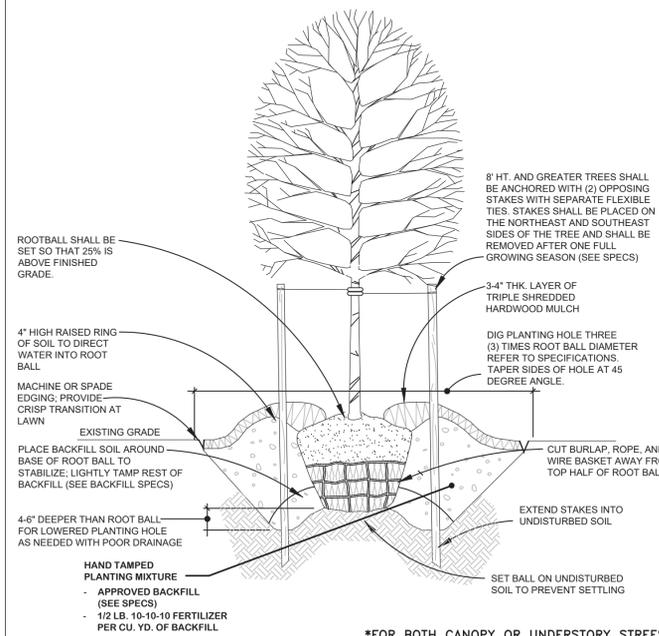
PERMITS, FEES: THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO INSTALL THE SYSTEM AND HE SHALL PAY ANY ASSOCIATED FEES. COST FOR THESE ITEMS SHALL BE INCLUDED IN THE QUOTE/CONTRACT FOR THE IRRIGATION SYSTEM.

IRRIGATION DIRECTIVES AND NOTES
SCALE: NTS

5

NOTES

1. THE PLANTING PROCES IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
2. FOR SINGLE STEM TREES, DO NOT SUPPLY TREES WITH MULTIPLE LEADERS. ONLY PROVIDE TREES WITH A SINGLE LEADER. DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS AND TO INSURE COMPLIANCE WITH SIGHT DISTANCE STANDARDS.
3. MARK THE NORTH SIDE OF THE TREE AT THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
4. WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 6" TO 8" OVER THE ENTIRE BED AREA.
5. FOR CONTAINER-GROWN TREES, SET THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
6. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
7. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAKING DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.

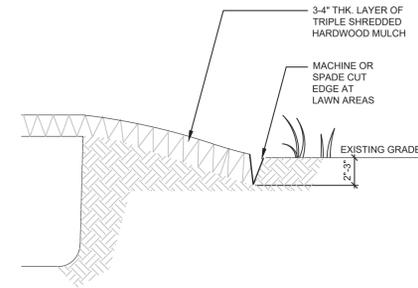


*** TYPICAL TREE INSTALLATION**
SCALE: NTS

4

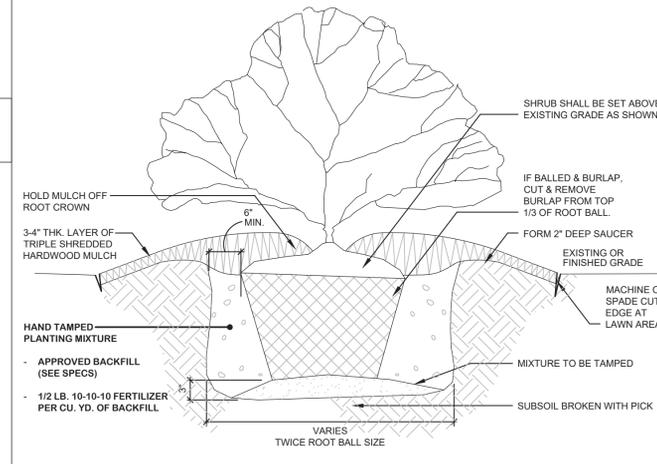
REVISED
3:23 pm, Oct 04, 2019

NOT RELEASED FOR CONSTRUCTION



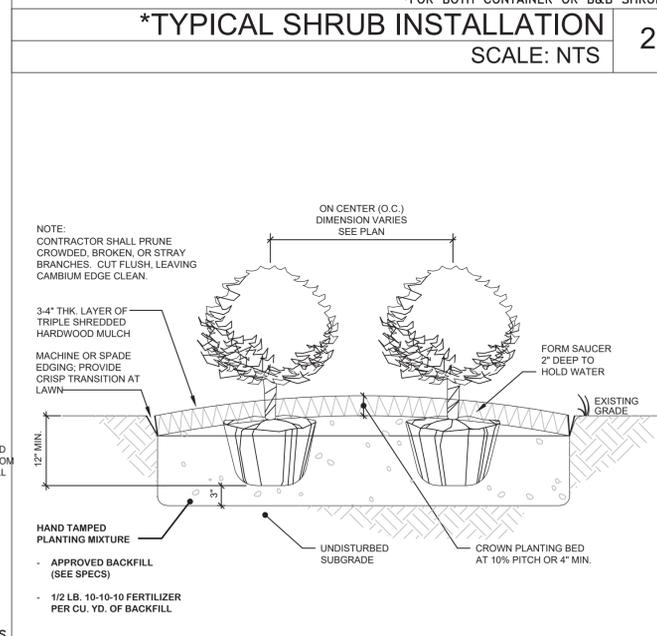
BED EDGING
SCALE: NTS

1



***TYPICAL SHRUB INSTALLATION**
SCALE: NTS

2



MASSING PLANT INSTALLATION
SCALE: NTS

3

314 EAST MAIN STREET
CLAYTON, NC 27520
info@asheng.com
919.243.1333
FIRM # C-1187

ADAMS & HODGE
ENGINEERING, PC

OAKFIELD TOWNS
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

LANDSCAPE DETAILS

DESIGN
DRAWN
CHECKED
HORIZONTAL SCALE
SEE GRAPHIC SCALE
VERTICAL SCALE
N/A
DATE
10/04/2019
JOB NO.
SHEET

DT1.08



① SOUTH ELEVATION
1/4" = 1'-0"

SECOND FLOOR
PLAN
10' - 8"

FIRST FLOOR
PLAN
0' - 0"



② EAST ELEVATION
1/4" = 1'-0"

REVISIONS	

HIGHWAY 301 TOWNHOMES

919-550-7717
TONY@TONYJOHNSONARCHITECT.COM
104 N. LOMBARD ST.
CLAYTON, NC 27520
TONYJOHNSONARCHITECT.COM



PRELIMINARY-NOT FOR CONSTRUCTION

DATE 08.07.2019

SHEET
A-1



① NORTH ELEVATION
1/4" = 1'-0"

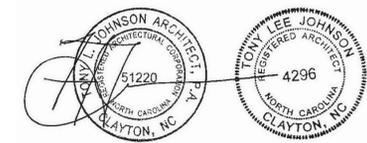


② WEST ELEVATION
1/4" = 1'-0"

ROOF PLAN
18' - 8"

SECOND FLOOR
PLAN
10' - 8"

FIRST FLOOR
PLAN
0' - 0"



PRELIMINARY-NOT FOR CONSTRUCTION

REVISIONS	

HIGHWAY 301 TOWNHOMES

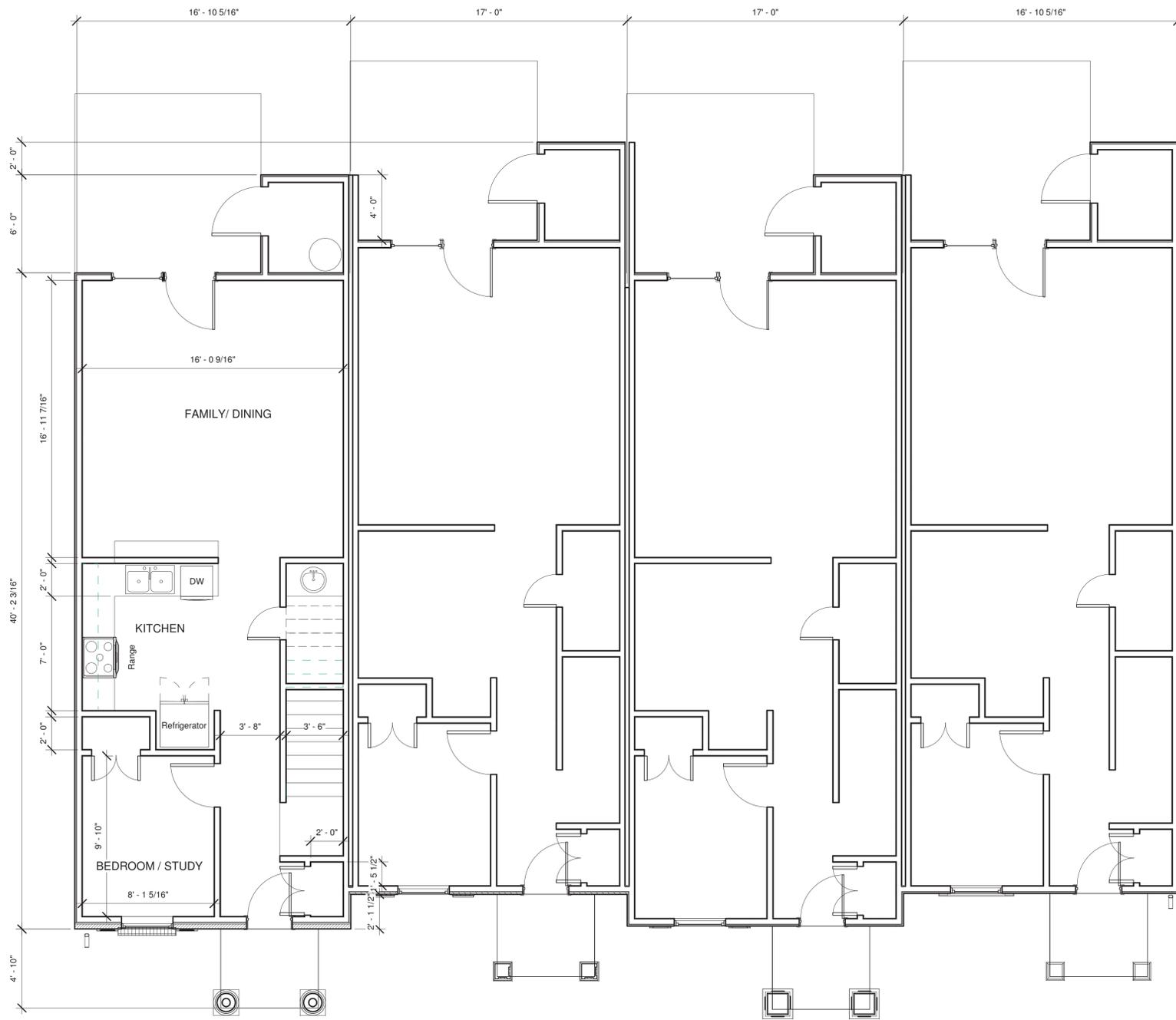
919-550-7717
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104 N. LOMBARD ST.
CLAYTON, NC 27520
TONYJOHNSONARCHITECT.COM



DATE 08.07.2019

SHEET

A-2



① FIRST FLOOR PLAN
1/4" = 1'-0"

REVISIONS	

HIGHWAY 301 TOWNHOMES

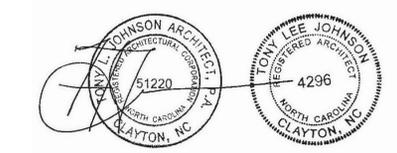
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CLAYTON, NC 27520
TONYJOHNSONARCHITECT.COM



DATE 08.07.2019

SHEET

A-3



PRELIMINARY-NOT FOR CONSTRUCTION



Planning Department Development Report

Tuesday, October 29, 2019

Project Name: **Oakfield Towns**

Request: 18 lot Preliminary Subdivision

Location South Brightleaf Boulevard

Tax ID#: 15J10032D PIN#: 168206-48-5825

Project Status First Review Complete

Notes:

Subdivision 2019-02	
Submittal Date:	10/4/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	12/3/2019
Approval Date:	

Project Name: **Oakfield Towns**

Request: Rezone from R-20 to B-3

Location South Brightleaf Boulevard

Tax ID#: 15J10032D PIN#: 168206-48-5825

Project Status First Review Complete

Notes:

Map Amendment 2019-02	
Submittal Date:	10/4/2019
Planning Board Review:	11/7/2019
Board of Adjustment Review:	
Town Council Hearing Date:	12/3/2019
Approval Date:	

Project Name: **Oakfield Towns**

Request: 17 Unit Townhouse Development

Location South Brightleaf Boulevard

Tax ID#: 15J10032D PIN#: 168206-48-5825

Project Status First Review Complete

Notes:

Special Use 2019-11	
Submittal Date:	10/4/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	12/3/2019
Approval Date:	

Project Name: **Oritz Tires**

Request: Tire Dealer and Service

Location 116 South Brightleaf Boulevard

Tax ID#: 15027004 PIN#: 169419-60-2220

Project Status Scheduled for Public Hearing

Notes:

Special Use 2019-12	
Submittal Date:	10/4/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	11/12/2019
Approval Date:	

Project Name: **Dr. Laura Godwin DDS**
Request: Medical office
Location 121 Kellie Drive
Tax ID#: 14075021R PIN#: 260405-09-8153
Project Status **Approved**
Notes: Under Construction

Site Plan 2019-08	
Submittal Date:	9/4/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	9/24/2019

Project Name: **Amends Article 3,4,6,& 7**
Request: Adds a conditional zoning process
Location
Tax ID#: PIN:
Project Status **In Second Review**
Notes: Tabled

Text Amendment 2019-04	
Submittal Date:	7/5/2019
Planning Board Review:	10/3/2019
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	

Project Name: **Saint Ann Parking Lot Expansion**
Request: 96 Additional Parking Spaces
Location 4079 West US 70 Highway
Tax ID#: 17Q99003 PIN#: 168617-01-1829
Project Status **Approved**
Notes: Under Construction

Site Plan 2019-07	
Submittal Date:	6/28/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	7/2/2019

Project Name: **Amends Article 10.15.4**
Request: Amends Article 10.15.4
Location
Tax ID#: PIN:
Project Status **Scheduled for Public Hearing**
Notes: Tabled

Text Amendment 2019-03	
Submittal Date:	6/7/2019
Planning Board Review:	10/3/2019
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	

Project Name: **Johnston Regional Airport FBO**
Request: FBO Hanger Addition
Location 3149 Swift Creek Road
Tax ID#: 15079017D PIN#: 168500-12-1015
Project Status **Approved**

Notes:

Site Plan 2019-04	
Submittal Date:	5/22/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	8/22/2019

Project Name: **The Wash House**
Request: Coin Laundry
Location 1131 North Brightleaf Boulevard
Tax ID#: 14L10010B PIN#: 260411-65-5790
Project Status **Approved**

Notes: Under Construction

Site Plan 2019-03	
Submittal Date:	5/6/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	6/19/2019

Project Name: **American Pride Carwash**
Request: Auto Wash
Location 1205 North Brightleaf Boulevard
Tax ID#: 14074001 PIN#: 260414-34-8508
Project Status **Approved**

Notes: NCDOT approval required

Site Plan 2019-01	
Submittal Date:	4/27/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	7/22/2019

Project Name: **Kamdon Ranch**
Request: 110 Lot Division
Location Swift Creek Road
Tax ID#: 15I08020 PIN#: 167400-55-9495
Project Status **Approved**

Notes:

Subdivision 2019-02	
Submittal Date:	4/5/2019
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	6/27/2019

Project Name: **College Plaza**
Request: Retail Center
Location 1547 East Market Street
Tax ID#: 15K10023L PIN#: 169308-99-5886
Project Status **Approved**
Notes: Under Construction

Site Plan 2018-10	
Submittal Date:	8/9/2018
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	2/19/2019

Project Name: **Hampton Inn**
Request: Free Standing Hotel
Location 160 Towne Centre Place
Tax ID#: 15L11001G PIN#: 260305-08-5727
Project Status **Approved**
Notes: Under Construction

Site Plan 2018-08	
Submittal Date:	8/7/2018
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	3/28/2019

Project Name: **Amend Art 5**
Request: Requires notice for preliminary sub'd
Location
Tax ID#: PIN:
Project Status
Notes: Tabled

Text Amendment 2018-06	
Submittal Date:	6/1/2018
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	

Project Name: **Amends Art 9**
Request: Prohibits BOA use variances
Location
Tax ID#: PIN:
Project Status
Notes: Tabled

Text Amendment 2018-07	
Submittal Date:	6/1/2018
Planning Board Review:	
Board of Adjustment Review:	
Town Council Hearing Date:	
Approval Date:	

Project Name: **Amends Art 3**

Request: HPC Ord to UDO and adds permitted work chart

Location

Tax ID#: PIN#:

Project Status

Notes: **Tabled**

Text Amendment 2018-08

Submittal Date: 6/1/2018

Planning Board Review:

Board of Adjustment Review:

Town Council Hearing Date:

Approval Date:

Project Name: **Tires and Wheels**

Request: Auto Repair

Location 2134 South Brightleaf Boulevard

Tax ID#: 15A61047D PIN#: 168320-91-1779

Project Status **Approved**

Notes: **Under Construction**

Site Plan 2017-09

Submittal Date: 8/8/2017

Planning Board Review:

Board of Adjustment Review:

Town Council Hearing Date:

Approval Date: 3/8/2018