



PLANNING BOARD AGENDA

Members:

Chairman: Stephen Upton (Town)

Vice-Chairman: Mark Lane (ETJ)

Doris Wallace (Town)

Ashley Spain (ETJ)

Michael Johnson (Town)

Alisa Bizzell (Town)

Sloan Stevens (Town Alt)

Debbie Howard (Town)

Stephen Wensman, AICP, ALA, Planning Director

Mark Helmer, AICP, CZO, Senior Planner

Julie Edmonds, Administrative Assistant

Meeting Date: Thursday, August 5, 2021

Meeting Time: 6:00 p.m.

Meeting Place: Council Chambers, Smithfield Town Hall

PLANNING BOARD AGENDA

FOR REGULAR MEETING

August 5, 2021

MEETING TIME: 6:00 PM

TOWN HALL COUNCIL CHAMBERS

Call to Order.

Identify voting members.

Approval of the agenda.

Approval of the minutes for July 8, 2021.

New Business.

CZ-21-06 Marin Woods Subdivision: The applicant is requesting to rezone one parcel of land totaling 31.56 acres from the R-8 (Residential) and R-20A (Residential-Agricultural) zoning district to the R-8 CZ (Residential-Conditional Zoning) district for the construction of a 143-lot residential subdivision. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

S-21-03 Marin Woods Subdivision: The applicant is requesting preliminary subdivision approval of a 31.56 acre tract of land for the creation of 143 residential lots to be located within an R-8 CZ (Residential-Conditional Zoning) district. The property considered for preliminary subdivision approval is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

RZ-21-02 Kimberly Gower Johnson: The applicant is requesting to rezone five parcels of land totaling 69.26 acres from the B-3(Highway Entrance Business) and R-20A (Residential-Agricultural) zoning district to the LI (Light-Industrial) zoning district. The properties considered for rezoning are located on the east and west side of US Hwy 70 Business West approximately 670 feet south of its intersection with Barbour Road. The properties are further identified as Johnston County Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A.

Old Business.

Adjournment.

DRAFT
Town of Smithfield
Planning Board Minutes
Thursday, July 8th, 2021
Town Hall
Council Chambers
6:00 PM

Members Present:

Chairman Stephen Upton
Vice Chairman Mark Lane
Debbie Howard
Doris Wallace
Sloan Stevens
Alisa Bizzell

Members Absent:

Ashley Spain
Michael Johnson

Staff Present:

Mark Helmer, Senior Planner
Director
Julie Edmonds, Administrative Assistant

Staff Absent:

Stephen Wensman, Planning

CALL TO ORDER

Chairman Stephen Upton suggested that the board vote to amend the agenda and hear CZ-21-04 third and move CZ-21-03 to the last item of the night. CZ-21-05 that's on the original agenda has been omitted.

AMENDED AGENDA

Mark Lane made a motion to approve the agenda as amended, seconded by Michael Johnson. Unanimously approved.

APPROVAL OF MINUTES from May 6, 2021

Debbie Howard made a motion, seconded by Sloan Stevens to approve the minutes as written. Unanimously approved

NEW BUSINESS:

RZ-21-01 Rhonda Miller: Rhonda Miller is requesting the rezoning of two properties consisting of Tract 2 (3.58 acres) and Tract 3 (6.579 acres) from B-3 to R-20A. The properties are located near the southwest corner of Hill Road and US 70 East Business. Tract 2 starts approximately 360 feet south of the intersection and Tract 3 is about 600 feet south of the intersection. The properties are not located within a floodplain. The parcels, Tract 2 and Tract 3, are split zoned between the B-3 and R 20A.

The applicant is planning to construct detached single-family homes on each lot and would like the properties to be zoned R-20A. The applicant also owns Tract 1 with a B-3 zoning and would

like to retain the existing zoning designation. She intends to use the property for an agriculture related retail business. The Comprehensive Growth Management Plan guides these properties for Rural Residential, including Tract 1 (not part of this application). The rezoning is consistent with the comprehensive plan. The tracts will be served with public water and on-site septic. Johnston County has water lines on Hill Road.

Planning Staff recommends the Planning Board approve RZ-21-01 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.

Debbie Howard made a motion to recommend approval of zoning map amendment, RZ-21-01, finding it consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and, in the public, interest, seconded by Doris Wallace. Unanimously approved

S-21-02 Spring Branch Commons: TerraEden Landscape and Design, LLC, is requesting 10-lot detached single-family residential preliminary plat of a 1.21-acre parcel in the R-8 CZ district. The property is located on the 600 block of East Johnston Street between South Seventh and South Sixth Street.

Mr. Helmer The site is currently vacant. Sometime before 2005, a +/- 1300 sq. ft. warehouse sat on the corner of S. Sixth and East Johnson along with 3 silo-type structures. That structure is gone, but about 290 feet of valley curb remain at the corner of S. Sixth and E Johnson Street adjacent to where the warehouse once stood. The curbing on the rest of the block is a B6- 12 type. Overhead electric utilities run along the right-of-way on S. Sixth Street. Streetlights attached to the power poles are located at both street corners. The property was rezoned to R8-CZ on May 4, 2021, with a master plan for a 10-detached single-family residential subdivision. The preliminary plat is consistent with the approved master plan.

Mr. Helmer stated the applicant is proposing a compact urban infill development in a semi-distressed part of Smithfield near downtown. The development supports walkability to downtown with a sidewalk along the street frontages and with attractive pedestrian scale architecture – one-story homes with porches and a fence along the public street frontage. Although the individual lots are small, the common open space provides usable amenities: playground, picnic shelter, picnic tables, trash receptacles, and landscaping that will create a mini-neighborhood within the greater downtown and Brooklyn neighborhoods.

To approve a preliminary plat, the Planning Board/Town Council shall make the following finding (staff's opinion in Bold/ Italic):

1. The plan is consistent with the adopted plans and policies of the town; **The plan is consistent with the adopted plans and policies of the town.**
2. The plan complies with all applicable requirements of this ordinance; **The plan complies with all applicable requirements of this ordinance and the R-8 Conditional Zoning District.**

3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed. **There is adequate infrastructure.**

4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses. **The plan will not be detrimental to the use or development of adjacent properties or another neighborhood uses.**

Staff recommends approval with the following conditions:

1. That the driveway aprons be constructed in accordance with the Town's Standard Specifications and Details.
2. That concrete pads for trash bins be shown on the master plan and construction plans.
3. That the valley curb in the public right-of-way be replaced with B6-12 curb.
4. That the Homeowner's Association be responsible for fences and landscaping.
5. That subdivision construction plans be submitted in accordance with the standards of the Unified Development Ordinance for Town Staff approval.

Doris Wallace made a motion to approve the Spring Branch Commons Preliminary Plat, S-21-02, with 5-conditions based on the finding of fact for preliminary subdivisions, seconded by Mark Lane. Unanimously approved.

CZ-21-04 ALA Charter School: Johnston CD, LLC (Jim Way) is requesting a conditional rezoning of 48.783 acres from Light Industrial to Office/Institutional Conditional Zone to construct American Leadership Academy Johnston (ALA Johnston), a K-12 charter school. The property is located about 2500 lineal feet north of the Swift Creek and US 70 Business west intersection and north of the Whitley Heights Subdivision. The site is currently used for agriculture. The site gently slopes from US 70 Business West to the east to the Poplar Branch. The floodway and flood zones of the Poplar Branch extend about 145' from the eastern property line. The industrial property to the north is buffered from the site by existing trees. There is an existing tree line between the farm field and the Whitley Heights subdivision.

Conditional Zoning is a rezoning with a master plan. The conditional zoning process allows a give and take approach to zoning regulations. In this case, the ALA Johnston Charter School is not requesting any deviations from the underlying Office/Institutional zoning district regulations. With the approval of the rezoning and master plan, the school is the only approved land use for the site. The property falls within the WS-IV-PA (Protected Area Watershed Overlay District) which imposes some additional stormwater regulations on the property. The development as a charter school will have less impervious than most residential or other non-residential uses and the watershed regulations will not have any significant impact on the proposal. The sketch plan - diagram shows a looped driveway with two access driveways onto US 70 Business West. The plans show two school buildings, an elementary school and a high school. Each school is shown to have its own play area/greenspace area and drop off areas. The schools share a common parking lot located south of the schools, a looped drive around the site and a shared bus drop-

off/service area. The plans show a large stadium area and stormwater management areas to the east of the schools.

The plans are still in a preliminary sketch plan phase and subject to change, however, the basic elements are all shown. The proposed development will have two driveway accesses onto US 70 Business West. An NCDOT driveway permit will be required for both driveways. A 5' wide public sidewalk will be required along the US 70 Business West right-of-way. The current plan is to serve the site with town water and sewer utilities with a master meters on a county line.

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

Consistency with the Comprehensive Growth Management Plan – schools are allowed in residential areas and the comprehensive plan guides the site for low density residential.

Consistency with the Unified Development Code – the property will be developed in conformance with the UDO conditional zoning provisions.

Compatibility with Surrounding Land Uses - The property considered for rezoning will be compatible with the surrounding land uses.

Planning Staff recommends the Planning Board recommend approval of CZ-21-04 with 1 condition:

The site plans/construction plans be submitted for review in accordance with the Town's Unified Development Ordinance; and with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

Mark Lane asked if in future this parcel of land is annexed into the Town of Smithfield city limits, would it affect our ETJ boundaries?

Mark Helmer said they are two different things but the applicant is in our ETJ so it's the Town's planning jurisdiction so we have plan approval authority on this piece of property here.

Mark Lane asked if satellite annexation had anything to do with the ETJ?

Mark Helmer said no it doesn't. But if Town Council chose to annex this property they could do so.

David Powlen of Little Diversified Architectural Consulting came forward. He showed the Planning Board an imagine of what the school is projected to look like. He said one building would be

grades K-6 and the second building would be grades 7-12. The projected student enrollment will be 1,925. Initial enrollment should be 1,425, by year 2 it should be 1,625 then by year 3 meeting the 1,925. They hope to be under construction by the end of this year. The school is expected to be open in the Fall of 2022.

Sloan Stevens asked what the American Leadership Academy was?

Dawn Carol of 902 E. Joyner Street Clayton, NC came forward on behalf of the American Leadership Academy. She is chairman of the board for Leadership Schools of Johnston County.

Dawn Carol stated as far as this board goes this is their first school opening. They are working with Charter Management Organization called Charter One. They have 12 charter schools similar to this one in Arizona. They are working with some charter schools here in North Carolina.

Mark Lane asked if the proposed charter school was a for profit school?

Dawn Carol said no it is not.

Doris Wallace asked how much tuition would be.

Dawn Carol said there is not any tuition.

Debbie Howard asked if bus transportation would be provided?

Dawn Carol said yes, within a 30-mile radius.

Mark Lane asked if lunch would be provided?

Dawn Carol said they intended to provide a cafeteria service that students could purchase meals from.

Mark Helmer asked how the admissions process worked?

Dawn Carol said it's done by using a lottery. It's an open application process that will likely start in the late Fall of this year. They have been through the full process with the State Board of Education and awarded the NC Access Grant which will give them quite a bit of funding to get started. They have received permission to open in the Fall of 2022 as long as they meet all of the requirements.

Sloan Stevens asked other than through grants, how is this project funded?

Dawn Carol said they lease the building from the development company and eventually will buy it back through a bond process. They also receive normal school state funding per student.

Doris Wallace made a motion to recommend approval of zoning map amendment, CZ-21-04, with 1 condition finding the rezoning to be consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be and other adopted plans, and that the amendment is reasonable and in the public interest, seconded by Sloan Stevens. Unanimously approved.

CZ-21-03 Floyd's Landing: CE Group Inc. is requesting a conditional rezoning request of 5 properties, 199.8-acres, from R-20A and B-3 to R-8 CZ with a master plan for a subdivision consisting of 118 detached single-family homes, 220 Townhomes and 360 apartment units (698 total number of dwelling units).

Mr. Helmer stated the property is located just north of the Smithfield Corporate Limits on the south side of US Highway 70 Bus W. The site is currently zoned R-20A except for a 500' strip along US Hwy 70 Bus W that is zoned B-3. The strip of B-3 was incorporated into the Town's zoning when the ETJ was created. All the major corridors have remnant strips of commercial along them. With the rezoning, the applicant is excluding a portion of the B-3 from rezoning to create a small commercial development. The applicant will petition for voluntarily annexation of the development into the Town of Smithfield prior to final plat approval. The applicant is proposing a master plan with a mix of detached single-family residential, townhomes and apartments.

Comprehensive Land Use Plan and Density. The Town's land use plan guides the site for low density (north) and medium density residential (south) and conservation (west) where there is floodplain. The overall development will have an average density of 3.5 units per acre.

- The property identified as Tract 4 is guided for low density residential (corresponds with R-10 zoning) and allows a density of up to 4.36 units per acre (97.79 acres x 4.35 = 425 single family units). The developer is proposing 118 detached single family and 155 townhomes (273 total units) About 44% of Tract 4 is within the floodplain and undevelopable. The proposed development is consistent with the low-density guidance of the comprehensive plan.
- The remainder of the development site is guided for medium density residential with a maximum allowed density of 9.68 units per acre, or 4500 sq. ft. per unit. About 50% of the remaining medium density area is within the floodplain and undevelopable.

Mr. Helmer stated the proposed land uses and densities match the Town's comprehensive plan and are consistent with R-8 zoning. The developer has excluded portions of the affected tracts of land from the rezoning and has chosen to retain the B-3 zoning that exists for future commercial uses along the main entrance to the development. Although the B-3 zoning is inconsistent with the Town's land use plan, the requested rezoning is consistent with the Town's land use plan.

The proposed development will access the highway in 3 locations where there are existing breaks in the median. The Amazon is under development across US Hwy 70 Bus West and will also access the highway at the two southernmost median breaks. A Traffic Impact Analysis (TIA) is being prepared for this development and one has been prepared for the Amazon development. It is likely that the middle access will be a right-in/right-out. Other highway improvements are likely

including right-turn deceleration lanes at each entrance to the development. The TIA will be available before the preliminary plat. All the roads within the development will be public with 60' right-of-way. The roads by the townhomes and detached single family homes are proposed as 27' wide back-to-back of curb. The entry roads and behind the commercial area are proposed as 35' back-to-back of curb. The Town's Standard Street Detail calls out a 34' wide road back-to-back of curb within a 60' right-of-way. The parking lot for the apartments and the overflow parking for the townhomes will be private.

Detached Single-family Lot Size and Dimensions

- Proposed minimum lot size is 4,829 sq. ft. for the detached single-family (R-10) Low density residential requires 10,000 sq. ft. R-8 is 8,000 sq. ft.).
- Average lot size will be 5,150 sq. ft.
- The typical lot will be 42' wide x 115' deep (R-10 min lot width is 75/ R-8 min lot width is 60')
- Homes will be 3 bedroom and will range in size from 1,600-2,100 sq. ft. townhomes.
- The developer is proposing 4–6-unit 1400-1600 sq. ft. townhomes.
- The typical townhouse lot will be 20' wide x 100' deep. As a comparison, the approved East River Triplexes had a minimum lot width of 25' and end lots were wider.

Apartments

- The property lines for the apartments are not yet defined.
- The apartments will be 1-3 bedrooms ranging from 800 sq. ft. to 1,500 sq. ft. in size:
 - o 1BD/1BA – 800sf-1,000sf
 - o 2BD/2BA – 1,050sf-1,250sf
 - o 3BD/2BA – 1,300sf-1,500sf

Garages

- 1-car garage will have a 9' wide garage door and will be 11'-6" wide x 19' deep.
- 2-car garage will have a 16' wide garage door and will be 18'-9" wide x 19'-6" deep.

Estimated Sales Price/Rental Price

- Single-family Home estimated sales price is the mid \$200,000s.
- Townhouses estimated sales price is between \$180,000-low \$200,000s.
- Apartment rental price will be:
 - o 1BD/1BA - \$850-\$1,050 per month
 - o 2BD/2BA - \$1,100-\$1,300 per month
 - o 3BD/2BA –\$1,400-\$1,600 per monthly

Building Heights, the proposed apartments will have a building height of 50 feet (35' max per R-8 standards).

Public Sidewalks. 5' wide public sidewalk will be constructed in the public right-of-way along both sides of all subdivision streets.

Public Trail. An 8' asphalt multi-purpose trail is proposed along the US Hwy 70 Business W. (5' sidewalk is required by UDO).

Parking. Two parking spaces are proposed for each single-family residential unit (Detached and attached) within an enclosed garage and driveway. Additional parking is provided in overflow parking areas. Multi-family parking will comply with the UDO requirements. There will be limited on-street parking within the townhouse developments given the separation between driveways. Within the townhome areas, there are estimated to be approximately 24 on-street parking spots in the larger area and 6 in the smaller because of the narrow street width and driveway locations.

Driveways to Intersections. Residential driveways are prohibited from being within 20' of an intersection corner. It's unclear whether the townhouse development complies with this requirement.

Recreational Amenities. The projects will have several private parks with playground structures and passive lawn areas for informal use.

Landscaping and Bufferyards. Adjacent to US Hwy 70 Business W a 50' buffer with berm and landscaping are proposed. Adjacent to the norther boundary of the site a 50' landscaped buffer is proposed. Adjacent to the southern boundary of the site a 100' landscaped buffer is proposed. Within the public right-of-way, street trees are proposed. The Townhouse and Apartment developments will be required to meet the landscape requirements of the Unified Development Ordinance (UDO).

Dumpster/Trash facilities. No dumpster or trash facilities are shown but will be required with the multi-family developments.

Stormwater Management. The development will comply with the Town's stormwater management ordinance utilizing a combination of water quality ponds, bioretention areas and other approved measures to treat and control stormwater runoff. As much as possible, the stormwater measures will be within the open space areas and positioned and landscaped to be an amenity for the project.

Signs. A master sign plan will be submitted with the future preliminary plat.

Town Wayfinding Monument Sign. The existing monument sign located at the south end of Tract is within the proposed 100' landscape buffer. There is no plan to move it with the development. With annexation the town's corporate limits will move further north. The developer is willing to allow the sign to be moved by the Town.

HOA. An HOA will provide common ownership and maintenance of the shared open space, stormwater SCMs and amenities.

Conditional Rezoning. The developer is seeking deviations from the UDO as part of the rezoning. The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO requirements:

Item	R-8/UDO	R-8 CZ
SF Min. lot size	10,000 sq. ft. (.23 ac.)	4,829 sq. ft. (.11 ac.)
SF Min. lot width	70 feet	42 feet
SF Min. front setback	30 feet	20 feet
SF Min. Side Setback	10 feet	5 feet
SF Min Rear Setback	25 feet	20 feet
TH Min. front setback	30 feet	20 feet
TH Min. Side Setback	10 feet	0 feet
TH Min Rear Setback	25 feet	10 feet
Max. Bldg. Height	35 feet	50 feet (3 story apartments)
Street	34' wide back-to- back with 5' utility strip at the back of curb, sidewalk on one side.	27' wide back-to-back with 5' utility strips and sidewalks on both sides of the street.
Sidewalks	1 side of each street and along US Hwy 70	2 sides of each street and an 8' trail along US Hwy 70
Multi-family storage Spaces	24 SF enclosed storage space per unit.	Storage may be included in garage units and be available for rent. Not shown on Master Plan.

Proposed Improvements Exceeding UDO requirements:

- 50-foot landscape buffer along north side
- 50-foot bermed landscape buffer along east side
- 100-foot landscaped buffer along south side

- 8' multi-use trail along US Hwy 70 W vs. 5' sidewalk
- Undisturbed open space within floodplain and common owned areas.

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

Consistency with the Comprehensive Growth Management Plan – the comprehensive plan supports flexibility in zoning regulations.

Consistency with the Unified Development Code – *the property will be developed in conformance with the UDO conditional zoning provisions.*

Compatibility with Surrounding Land Uses - *The property considered for rezoning will be compatible with the surrounding land uses.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-03 with the following conditions:

That the future preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, R-8 Zoning District, and UDO regulations with the following deviations:

Item	R-8 CZ
SF Min. lot size	4,829 sq. ft. (.11 ac.)
SF Min. lot width	42 feet
SF Min. front setback	20 feet
SF Min. Side Setback	5 feet
SF Min Rear Setback	20 feet
TH Min. front setback	20 feet
TH Min. Side Setback	0 feet
TH Min Rear Setback	10 feet
Max. Bldg. Height	50 feet (3 story apartments)
Street	27' wide back-to-back with 5' utility strips and sidewalks on both sides of the street.

Sidewalks	2 sides of each street and an 8' trail along US Hwy 70
Multi-family storage Spaces	Storage may be included in garage units and be available for rent. Not shown on Master Plan.

That the public street at the south end of the subdivision terminate with 96' diameter cul-de-sac bulbs to meet Fire Code.

Mark Ashness with the CE Group came forward. They are the planning and engineering firm for this project. He stated the earliest they would have any homes completed would be in late 2023.

Mark Lane asked when the projected timeframe would be for the project to be completed?

Mark Ashness said likely sometime 4 to 5 years after the first homes have been completed.

Sloan Stevens said he was a little concerned about the 5 feet in between homes.

Mark Lane stated that based on drawing presented that on-street parking will block driveways if permitted and recommended that no parking zones be declared.

Mark Ashness said that is becoming the standard across the board in the new developments. They do however offer a lot of open space. That's what the millennials and younger people today want. They prefer to live on a smaller lot and have parks and open space that they don't have to maintain.

Mark Helmer encouraged the board to feel free to make any recommendations on this project.

Stephen Upton asked recommended to the developer consider decorative street lighting and sign post?

Kirby LaForce of Carolina Land Group, LCC came forward to discuss the lamp post lighting. He said Duke Power offers a decorative lamp post option we can select. He said they were in agreement to work with Duke Power and Staff to meet the requested needs.

Stephen Upton asked if there was a way to provide an additional 10 feet of right-of-way on the street into the development to accommodate median landscape islands to be maintained by the HOA?

Kirby LaForce said a 10-foot decorative median on the entrance ways coming in subject to an approved entrance drive at the appropriate distance off into the commercial, could be worked in.

Stephen Upton stated the planning board is requesting landscaped subdivision signs at each entrance.

Kirby LaForce said that would not be a problem and is intended to submit a signage package with the preliminary plat.

Stephen Upton asked if they could provide landscape plans showing one tree per residential lot to be planted outside of the public right-of-way? All other areas of the development should contain 2 trees per 100 linear feet of street.

Kirby LaForce said on the single-family homes he doesn't see this as being a problem but on the townhomes it's too tight and maybe would need to use small trees.

Mark Helmer said the trees would need to be on private property and not within the public right-of-way.

Kirby LaForce said for single-family homes we'll plant street trees for every lot and for the townhomes there would be mid-size trees/shrubs between the units. All other areas of the development should contain 2 trees per 100 linear feet street.

Stephen Upton suggested an 8-foot-wide walking path adjacent to the Hwy 70 West made concrete.

Kirby LaForce said he had done numerous greenways; over time the concrete becomes bumpy and uneven.

Stephen Upton asked what he suggested be used in place of concrete?

Kirby LaForce said asphalt, it's the best material for a multi-use trail.

Debbie Howard asked if asphalt cracked as easily as concrete?

Kirby LaForce said it's more flexible and it can be resurfaced.

Stephen Upton said that concludes his questions. He would like it to be documented that each of those conditions have been accepted by the applicant.

Jeffery Hamilton of Rogers Lane came forward to speak. He has concerns about the first driveway going into the subdivision.

Kirby LaForce said per Ramey Kemp, that the main driveway will be signalized.

Jeffery Hamilton said he would like to suggest some fencing at the town homes as well as the berm that is proposed.

Mark Lane stated there was a need for a 100 foot wide planted berms on both ends of the project.

Kirby LaForce was in agreement with this condition.

Stephen Upton asked if anyone else had questions or concerns and no one did. He mentioned that he wanted any recommendations to be mentioned in the minutes and that the applicant had accepted them.

Debbie Howard made a motion to recommend approval of zoning map amendment, CZ-21-03 with the following recommended conditions from the board:

1. Decorative street lighting and decorative street signs be provided by the development throughout the site.
2. Provide an additional 10 feet of right-of-way on streets that serve as entrances into the development for the accommodation of landscaped medians to be installed by the developer and maintained by the HOA.
3. Provide subdivision signs made from robust material with landscaping equal to the area of the sign at all entrances into the development.
4. Provide a complete landscape plan showing one understory tree per residential lot to be planted adjacent to and outside of the public right-of-way.
5. Landscape buffers on the north and south ends of the development shall be 100 foot wide with planted berms.
6. All land held in common ownership that is adjacent to a public right-of-way shall be planted with a minimum of 2 shade trees per 100 feet linear feet of road frontage. These trees shall be planted adjacent to and outside of the public right-of-way and shall be maintained by the HOA.
7. Public right-of-way serving the townhouse portion of the development be declared a no parking zone.

The board finds the rezoning consistent Town of Smithfield Growth Management Plan and other adopted plans and that the amendment is reasonable and in the public interest, seconded by Doris Wallace. Unanimously approved.

OLD BUSINESS:

None

Adjournment

Being no further business, Doris Wallace made a motion seconded by Mark Lane to adjourn the meeting. Unanimously approved

Respectfully Submitted,

Julie Edmonds

Julie Edmonds
Administrative Support Specialist

DRAFT



Request for Planning Board Action

Agenda CZ-21-
Item: 06
Date: 8/5/21

Subject: Conditional Zoning Map Amendment
Department: Planning
Presented by: Mark Helmer, Senior Planner
Presentation: Business Item

Issue Statement

StrongRock Engineering PLLC is requesting a conditional rezoning request of 1 property, 31.56-acres, from R-20A and B-3 to R-8 CZ with a master plan for a subdivision consisting of 53 detached single-family homes and 90 Townhomes. (143 total number of dwelling units).

Financial Impact

The subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to review the conditional rezoning of properties from R-20A and R-8 to R-8 CZ and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommends the Planning Board recommend approval of CZ-21-03 with conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as to be amended and that the request is reasonable and in the public interest

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application
4. Master Plan



Staff Report

Agenda CZ-
Item: 21-03

REQUEST:

CE Group Inc. is requesting a conditional rezoning request of 1 property, 31.56-acres, from R-20A and R-8 to R-8 CZ with a master plan for a subdivision consisting of 53 detached single-family homes and 90 townhomes. (143 total number of dwelling units).

PROPERTY LOCATION:

The property is located on the north side of the NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive.

SITE DATA:

Subdivision Name:	Marin Woods
Tax ID#	15077008
Acreage:	31.56 acres
Present Zoning:	R-8 and R-20A
Proposed Zoning:	R-8 CZ
Existing Use:	Agriculture/Residential
Proposed Use:	Detached single-family, attached single-family (townhouses)
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ADJACENT ZONING AND LAND USES:

(see attached map)

	Zoning	Existing Land Uses
North	R-20A / R-10	Detached single-family residential and wetlands
South	R-20A / B-3	Detached single-family residential / agriculture
East	R-20A / Heavy Industrial	Agriculture / industrial
West	R-20A	Single-family / wetlands

EXISTING CONDITIONS/ENVIRONMENTAL:

The property considered for approval is located within the Neuse River Basin and within the floodplain of Swift Creek. The site considered for development is located on the high side of the property which is adjacent to NC Highway 210. As the property slopes away from NC Hwy 210, the elevation drops to below the base flood elevation (BFE) of the 100-year floodplain which is 124.7 feet above sea elevation. All finished grades for each lot will be at a minimum of 2 feet above the BFE. Encroachment into the 100-year floodplain by the stormwater management facility is proposed. The land is currently used for agriculture purposes and is a mix of open agricultural fields, wooded areas and marsh land.

CURRENT ZONING:

The site is currently zoned R-20A and R-8 and currently located within the corporate limits of the Town of Smithfield.

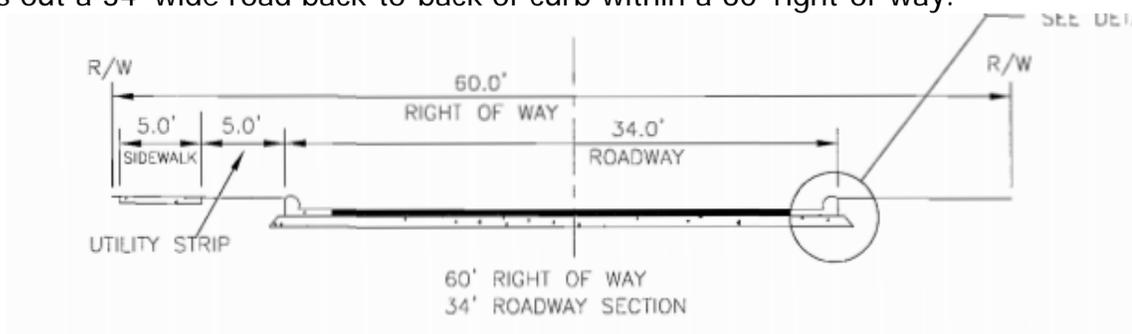
MASTER PLAN/ANALYSIS:

The applicant is proposing a master plan with a mix of detached single-family residential and townhomes.

Comprehensive Land Use Plan and Density. The Town's land use plan guides the site for medium density residential. The overall development will have an average density of 4.53 units per acre. The proposed land uses and densities match the Town's comprehensive plan and are consistent with R-8 zoning.

Highway Access. The proposed development will access the highway in 2 locations where there are existing breaks in the median.

Streets. All the roads within the development will be publicly maintained with 60' right-of-way and a 29' back-to-back of curb driving surface. The Town's Standard Street Detail calls out a 34' wide road back-to-back of curb within a 60' right-of-way.



The curbing is shown as B6-12 type matching the Town's Standard Detail.

Visitors parking for the townhouse section is not proposed by the developer at this time.

Open space. Approximately 8.31 acres or 26% of the site will remain undeveloped open space. This area will be comprised of streams, wetlands, ponds, flood plain and buffers.

Riparian Buffers. A protected stream with a 50' riparian buffer is shown of the plan. The proposed walking trail is shown crossing this buffer at two locations.

Lot Sizes.

LOT ACREAGE:

TOTAL NUMBER PROPOSED LOTS:	143
PROPOSED DENSITY:	4.53 DU/AC
MINIMUM ALLOWED LOT SIZE:	1,800 SF
MINIMUM PROPOSED LOT SIZE:	2,161 SF (LOT 123)
MAXIMUM PROPOSED LOT SIZE:	16,037 SF (LOT 8)
AVERAGE PROPOSED LOT SIZE:	4,400 SF
MINIMUM ALLOWABLE LOT WIDTH:	20'
MINIMUM PROPOSED LOT WIDTH:	20'
FRONT BUILDING SETBACK:	20'

Garages.

- 1-car garage will have a 9' wide garage door
- 2-car garage will have a 16' wide garage doors

Building Heights. All proposed structures will have a building height of 35 feet or less as permitted by R-8 zoning district standards.

Setbacks.

MINIMUM BUILDING SETBACKS:

FRONT YARD:	20'
SIDE YARD:	5' (SF); 0' (Townhome)
REAR YARD:	25'
CORNER YARD:	15' (SF); 10' (Townhome)
GARAGE:	20'

Public Sidewalks. 5' wide public sidewalk will be constructed in the public right-of-way along on side of all subdivision streets and along US Hwy 210.

Parking. Two parking spaces are proposed for each single-family residential unit (detached and attached) within an enclosed garage and driveway. Multi-family parking will comply with the UDO requirements. There will be limited on-street parking within the townhouse developments given the separation between driveways. Within the townhome areas, it is recommended that additional off-street parking be provided due to excessively narrow street and townhouse lots.

Driveways to Intersections. Residential driveways are prohibited from being within 20' of an intersection corner. It's unclear whether the townhouse development complies with this requirement.

Recreational Amenities. The project is proposing 1 tot lot and a natural area with a walking trail.

Landscaping and Bufferyard. The project is proposing a 10' landscaped buffer adjacent to US NC Hwy 210. Within the townhouse section, this 10' landscaped yard will leave the units with a usable back yard that's only 15 feet deep.

Dumpster/Trash facilities. No dumpster or trash facilities are shown on the plan. All lots can be served by roll out containers.

Stormwater Management. The development will comply with the Town's stormwater management ordinance.

Signs. Subdivision signs are recommended as part of the approved master plan and not preliminary subdivision approval.

HOA. An HOA will provide common ownership and maintenance of the shared open space, stormwater SCMs and amenities.

Conditional Rezoning. The developer is seeking deviations from the UDO as part of the rezoning. The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO Requirements:

- Requested lot dimensions

Item	R-8/UDO	R-8 CZ
SF Min. lot size	10,000 sq. ft. (.23 ac.)	2,161 sq. ft.
SF Min. lot width	70 feet	47 feet
SF Min. front setback	30 feet	20 feet
SF Min. Side Setback	10 feet	5 feet
SF Min Rear Setback	25 feet	25 feet
TH Min. front setback	30 feet	20 feet
TH Min. Side Setback	10 feet	0 feet
TH Min Rear Setback	25 feet	25 feet
Max. Bldg. Height	35 feet	35 feet

Street	34' wide back-to-back with 5' utility strip and sidewalk on one side.	29' wide back-to-back with 5' utility strips and sidewalks on one side.
Sidewalks	1 side of each street	1 side of each street.

- Proposed Improvements Exceeding UDO requirements:
 - Undisturbed open space except for walking trail.

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** – *the comprehensive plan supports flexibility in zoning regulations.*
- **Consistency with the Unified Development Code** – *the property will be developed in conformance with the UDO conditional zoning provisions.*
- **Compatibility with Surrounding Land Uses** - *The property considered for rezoning will be compatible with the surrounding land uses.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-21-03 with the following conditions:

1. That the future preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, R-8 Zoning District, and UDO regulations with the with sated deviations:

RECOMMENDED MOTION:

“move to recommend approval of zoning map amendment, CZ-21-06 with the stated conditions of approval and finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.”



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: _____ Acreage of Property: _____

Parcel ID Number: _____ Tax ID: _____

Deed Book: _____ Deed Page(s): _____

Address: _____

Location: _____

Existing Use: _____ Proposed Use: _____

Existing Zoning District: _____

Requested Zoning District _____

Is project within a Planned Development: Yes No

Planned Development District (if applicable): _____

Is project within an Overlay District: Yes No

Overlay District (if applicable): _____

FOR OFFICE USE ONLY

File Number: _____	Date Received: _____	Amount Paid: _____
--------------------	----------------------	--------------------

APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Print Name

Signature of Applicant

Date



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: _____

Submittal Date: _____

OWNERS AUTHORIZATION

I hereby give CONSENT to _____ (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Ralph Stewart
Signature of Owner

Ralph Stewart
Print Name

6-22-21
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Signature of Owner/Applicant

Print Name

Date

FOR OFFICE USE ONLY

File Number:	Date Received:	Parcel ID Number:
--------------	----------------	-------------------

Original Sent: 06/01/2021 via email

CONDITIONAL REZONING – DEVIATIONS AND PROPOSED ENHANCEMENTS

REQUESTED DEVIATIONS FROM CODE

R-8 Dimensional Requirements:

Standard	Required	Proposed
Minimum Lot Area	8,000 SF	1,800 SF (Town); 6,600 SF (Single Family)
Minimum Lot Frontage	70'	20' (Town); 55' (Single Family)
Front Yard Setback	30'	20'
Side Yard Setback	10'	5' (Single Family); 0' (Town)
Cul-de-sac Maximum Length	750'	800' (due to wetlands/topography)

ENHANCEMENTS ABOVE AND BEYOND

1) **Open Space Required:** Maximum requirement of 10,000 SF

Open Space Proposed: 361,870 SF

-Open Space Composition:	Passive/conservation open space:	334,979 SF
	Crusher Run Trail:	14,785 SF
	Playground:	1,360 SF
	Park area:	10,746 SF

2) Decorative Entry Signage (For Illustrative Purposes Only)



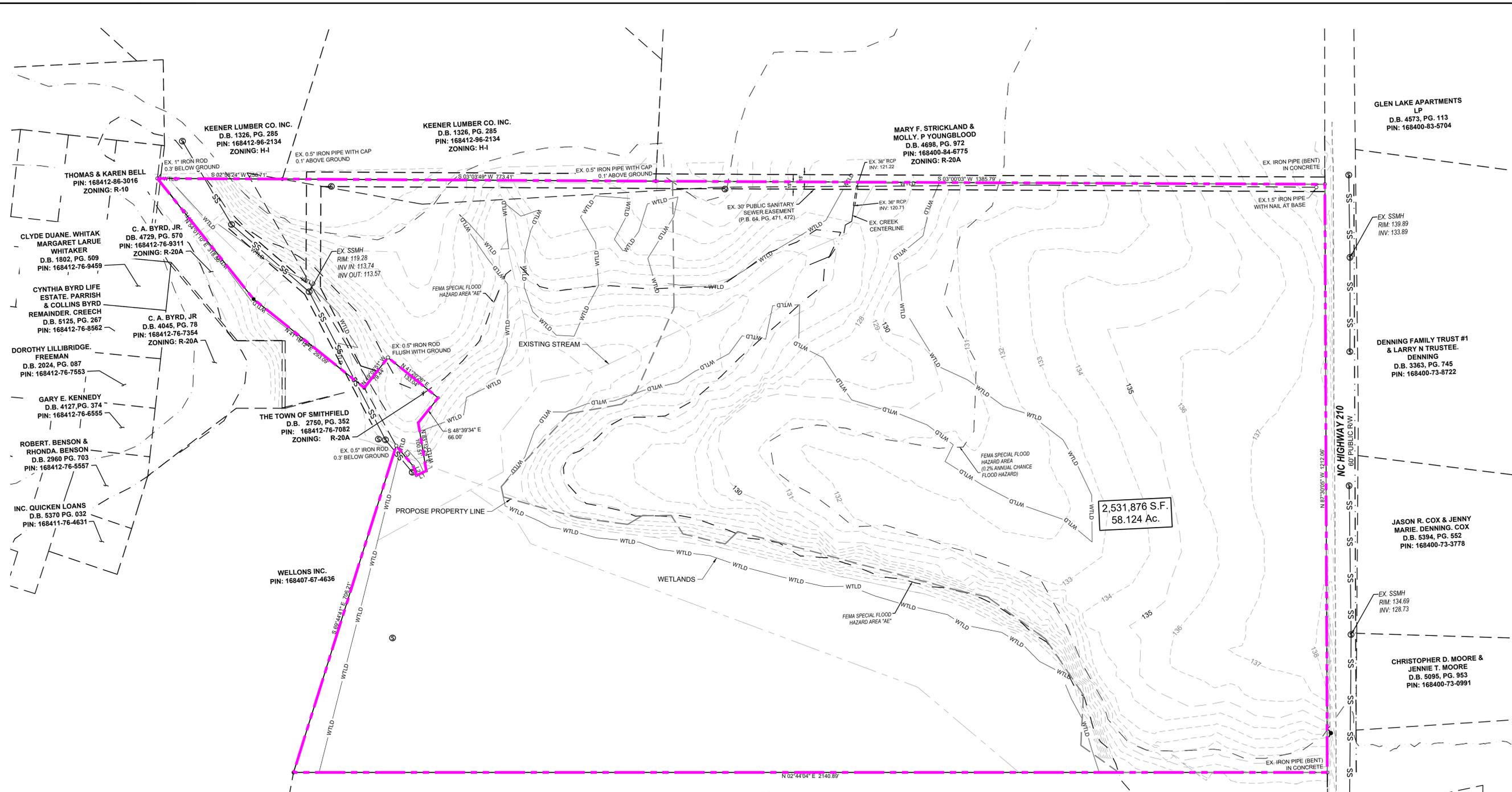
3) Decorative Street Signage (For Illustrative Purposes Only)



4) Architectural Standards

CONDITIONS OF APPROVAL

1. TOWNHOMES SHALL BE TWO-STORY HOMES WITH A MINIMUM WIDTH OF 20' WIDE, WITH A MINIMUM 1250 SQ FT HEATED AREA AND A MINIMUM ONE-CAR GARAGE
2. ALL HOMES SHALL HAVE A COMBINATION ON 2 OR MORE OF THE FOLLOWING MATERIALS ON THE FRONT FACADE: BRICK, STONE, LAP SIDING, SHAKES, OR BOARD AND BATTEN
3. ALL CORNER UNITS SHALL CONTAIN A WINDOW WITH DECORATIVE TRIM OR DOOR FOR EACH 30 FEET (OR FRACTION OF) OF CONTINUOUS SIDE ELEVATION. ANY SIDING BREAK ON THE SIDE OF THE HOME, SUCH AS FIREPLACE, SIDE PORCH, OR WALL OFFSETS MAY BE USED AS AN ALTERNATIVE TO WINDOWS.
4. ALL GARAGES SHALL HAVE WINDOWS OR DECORATIVE HARDWARE
5. ALL SINGLE FAMILY DETACHED HOMES SHALL HAVE A GARAGE, WITH A MINIMUM 80% HAVING A TWO-CAR GARAGE.
6. IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO ADJACENT HOME MAY USE THE SAME COLOR SIDING, AND FOR SINGLE FAMILY DETACHED HOMES NO FRONT ELEVATION SHALL BE CONSTRUCTED ADJACENT OR ACROSS FROM AN IDENTICAL ELEVATION. FOR CORNER LOTS, THIS SHALL APPLY TO THE LOTS CATTY-CORNERED ACROSS THE INTERSECTION.
7. A CONSISTENT COLOR PALETTE SHALL BE USED FOR BOTH THE TOWNHOMES AND SINGLE FAMILY HOMES



2,531,876 S.F.
58.124 Ac.

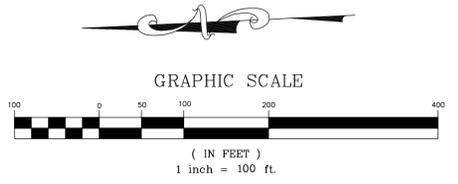
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 21°53'31" W	22.52'
L2	S 73°49'34" W	20.10'
L3	S 52°54'24" W	55.10'

LEGEND:

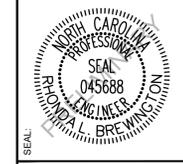
	MASTER PLAN BOUNDARY
	EXISTING ADJOINER PROPERTY LINE
	EXISTING STREAM
	10' CONTOUR
	2' CONTOUR
	EXISTING POND
	EXISTING OVERHEAD POWER
	EXISTING EDGE OF PAVEMENT
	EXISTING ROADWAY
	EXISTING POWER EASEMENT
	EXISTING BUFFER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT

GENERAL NOTES:

- BOUNDARY INFORMATION AND ALL JURISDICTIONAL STREAMS AND WETLANDS DELINEATED AND LOCATED BY SAGE ENVIRONMENTAL.
- FIELD TOPOGRAPHIC INFORMATION WAS PERFORMED BY TAYLOR LAND CONSULTANTS FROM A FIELD SURVEY PERFORMED IN AUGUST 2019.
- THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY TAYLOR LAND CONSULTANTS AND WAS NOT GENERATED OR VERIFIED BY THE ENGINEER.
- EXISTING CONDITIONS SHOWN DOES NOT IMPLY THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES THAT MAY NOT BE PRESENT ON THIS PROJECT AREA. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL UNDERGROUND PRIOR TO ANY CONSTRUCTION ACTIVITY ON PROJECT.



NO.	REVISIONS	DATE	BY

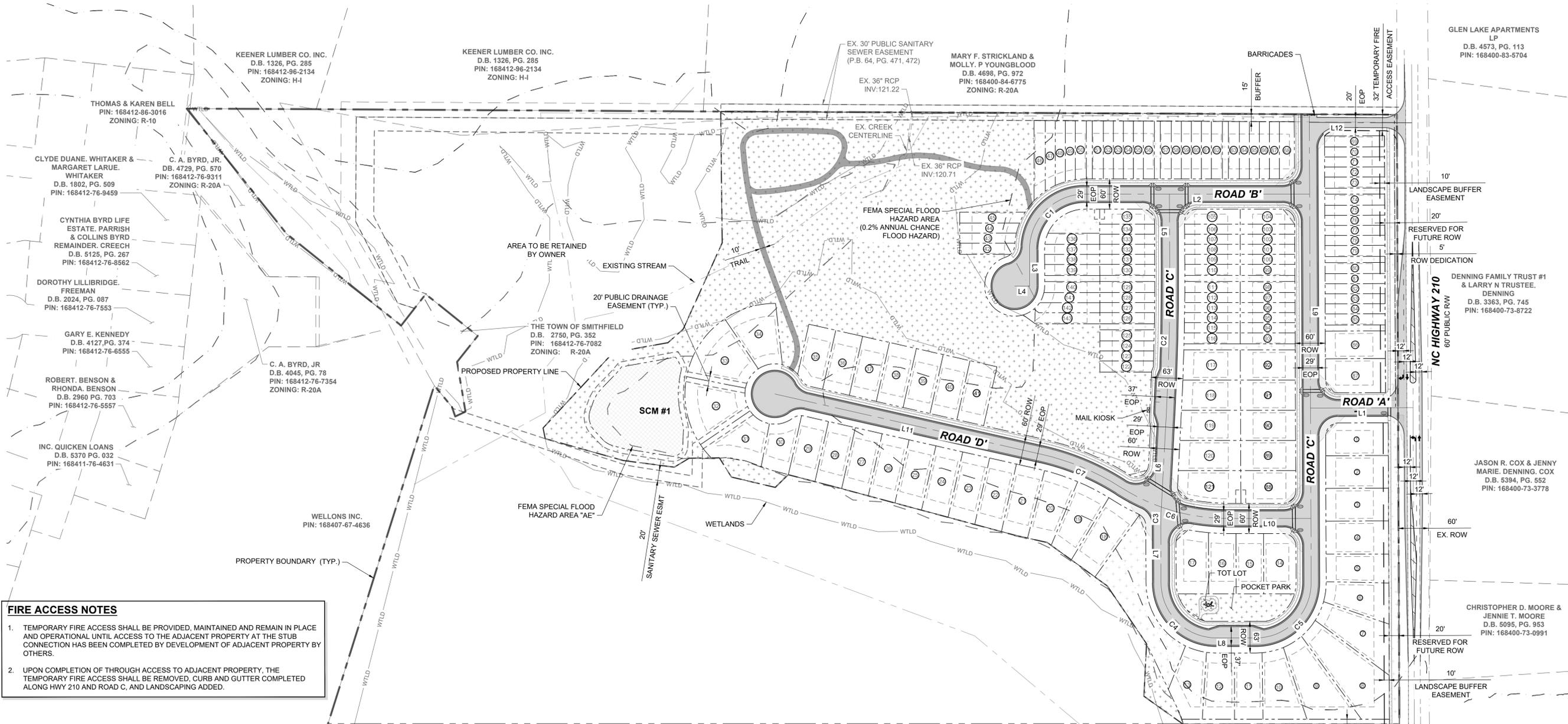


STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
6801 FALLS OF NEUSE RD., SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
EXISTING CONDITIONS PLAN



FIRE ACCESS NOTES

- TEMPORARY FIRE ACCESS SHALL BE PROVIDED, MAINTAINED AND REMAIN IN PLACE AND OPERATIONAL UNTIL ACCESS TO THE ADJACENT PROPERTY AT THE STUB CONNECTION HAS BEEN COMPLETED BY DEVELOPMENT OF ADJACENT PROPERTY BY OTHERS.
- UPON COMPLETION OF THROUGH ACCESS TO ADJACENT PROPERTY, THE TEMPORARY FIRE ACCESS SHALL BE REMOVED, CURB AND GUTTER COMPLETED ALONG HWY 210 AND ROAD C, AND LANDSCAPING ADDED.

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE PER TOWN OF SMITHFIELD & NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
 - PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
 - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS. ENTRY SIGNS WILL REQUIRE A SEPARATE SIGN PERMIT.
 - ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
 - COMMON OPEN SPACE SHALL BE OWNED & MAINTAINED BY HOMEOWNERS' ASSOCIATION.
 - ANY SPECIALITY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE TOWN OF SMITHFIELD FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAN OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
 - AREAS OF PARENT PARCEL THAT ARE NOT SUBDIVIDED TO CREATE SINGLE FAMILY RESIDENTIAL LOTS ARE TO REMAIN AS ONE PARCEL TO BE OWNED AND MAINTAINED BY THE HOME OWNERS' ASSOCIATION OF THE NEIGHBORHOOD.
 - ALL OPEN SPACE AREAS INCLUDING WALKING TRAILS WILL BE OPEN TO THE PUBLIC. COMMUNITY CENTER WILL BE RESTRICTED TO THOSE WHO LIVE IN THE NEIGHBORHOOD.
 - MAINTENANCE FOR AMENITY, OPEN SPACE, & WALKING TRAILS SHALL BE THE RESPONSIBILITY OF THE HOA.

LEGEND:

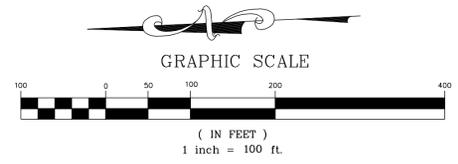
	EXISTING PROPERTY LINE
	STREET LIGHT
	SIGN
	STOP BAR
	WHEELCHAIR RAMP
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	VALLEY/ROLLED CURB & GUTTER
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	OPEN SPACE

LINE TABLE

NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	STREET A	205.00'	N2°29'55"E	10+00.00	12+05.00
L2	STREET B	449.59'	N2°42'53"E	10+00.00	14+49.59
L3	STREET B	72.67'	N87°30'05"W	16+22.80	16+95.46
L4	STREET B	30.01'	N3°49'26"E	16+95.47	17+25.47
L5	STREET C	150.44'	S87°30'05"E	29+78.82	31+29.26
L6	STREET C	197.77'	S84°15'28"E	24+98.00	26+95.77
L7	STREET C	113.64'	S87°30'05"E	23+56.06	24+69.69
L8	STREET C	80.00'	N2°42'53"E	21+03.69	21+83.68
L9	STREET C	930.48'	N87°30'05"W	10+00.00	19+30.48
L10	STREET D	166.02'	N2°42'53"E	10+00.00	11+66.02
L11	STREET D	546.24'	N15°25'12"E	15+63.81	21+10.05
L12	FIRE ACCESS	204.98'	N2°53'12"E	10+00.00	12+04.98

CURVE TABLE

NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION
C1	STREET B	110.00'	173.20'	155.86'	N42°23'36"W	14+49.59	16+22.79
C2	STREET C	5000.00'	283.04'	283.01'	S85°52'47"E	26+95.77	29+78.82
C3	STREET C	500.00'	28.30'	28.30'	S85°52'47"E	24+69.69	24+98.00
C4	STREET C	110.00'	172.37'	155.27'	N47°36'24"E	21+83.68	23+56.05
C5	STREET C	110.00'	173.20'	155.86'	N42°23'36"W	19+30.48	21+03.68
C6	STREET D	400.00'	226.07'	223.07'	N18°54'21"E	11+66.02	13+92.09
C7	STREET D	500.00'	171.71'	170.87'	N25°15'31"E	13+92.09	15+63.81



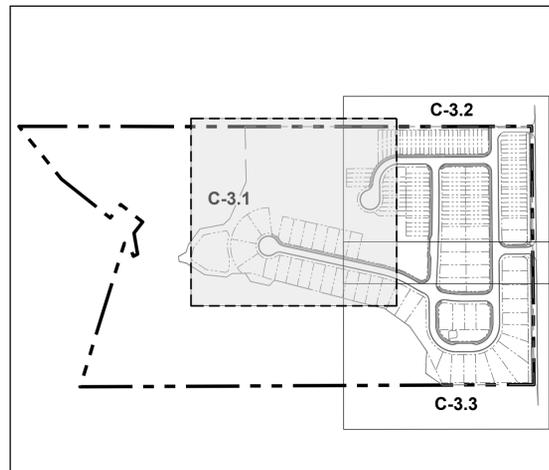
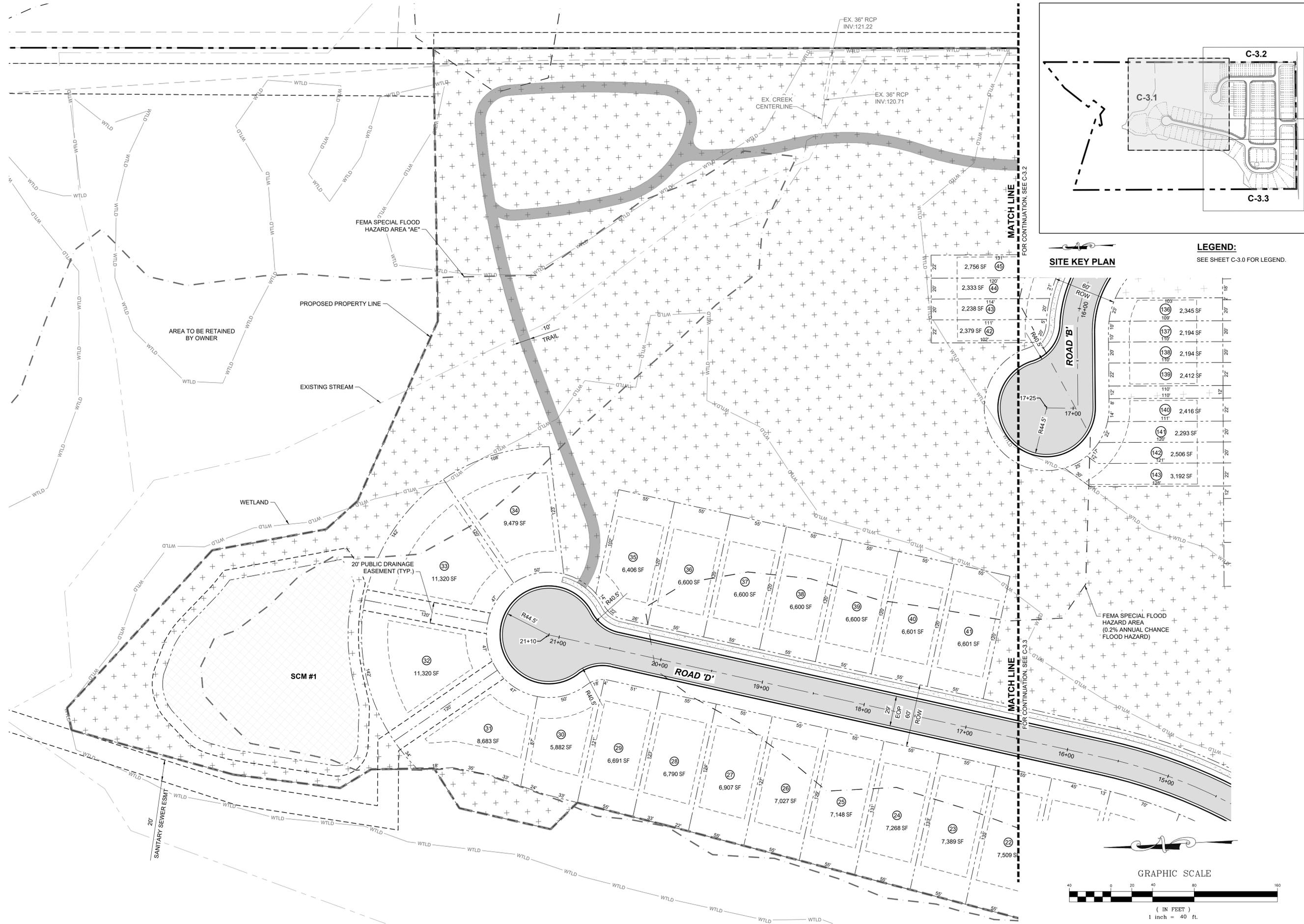
STRONGROCK ENGINEERING GROUP
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 6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

MARIN WOODS SUBDIVISION
 SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY MASTER PLAN
OVERALL SITE PLAN

DRAWING SHEET C-3.0

04 OF 47

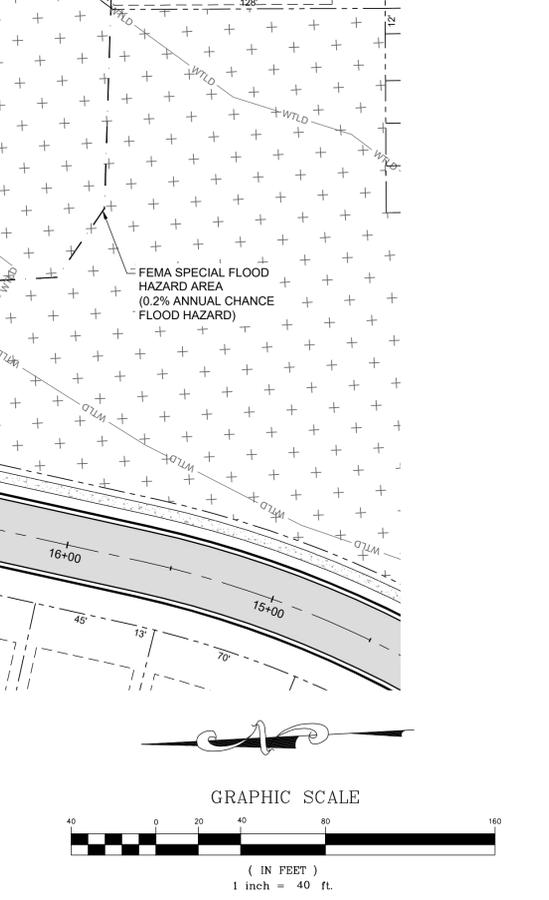
DATE: _____
 REVISIONS: _____
 BY: _____



SITE KEY PLAN
SEE SHEET C-3.0 FOR LEGEND.

LEGEND:
SEE SHEET C-3.0 FOR LEGEND.

136	2,345 SF
137	2,194 SF
138	2,194 SF
139	2,412 SF
140	2,416 SF
141	2,293 SF
142	2,506 SF
143	3,192 SF



NO.	REVISIONS	DATE	BY

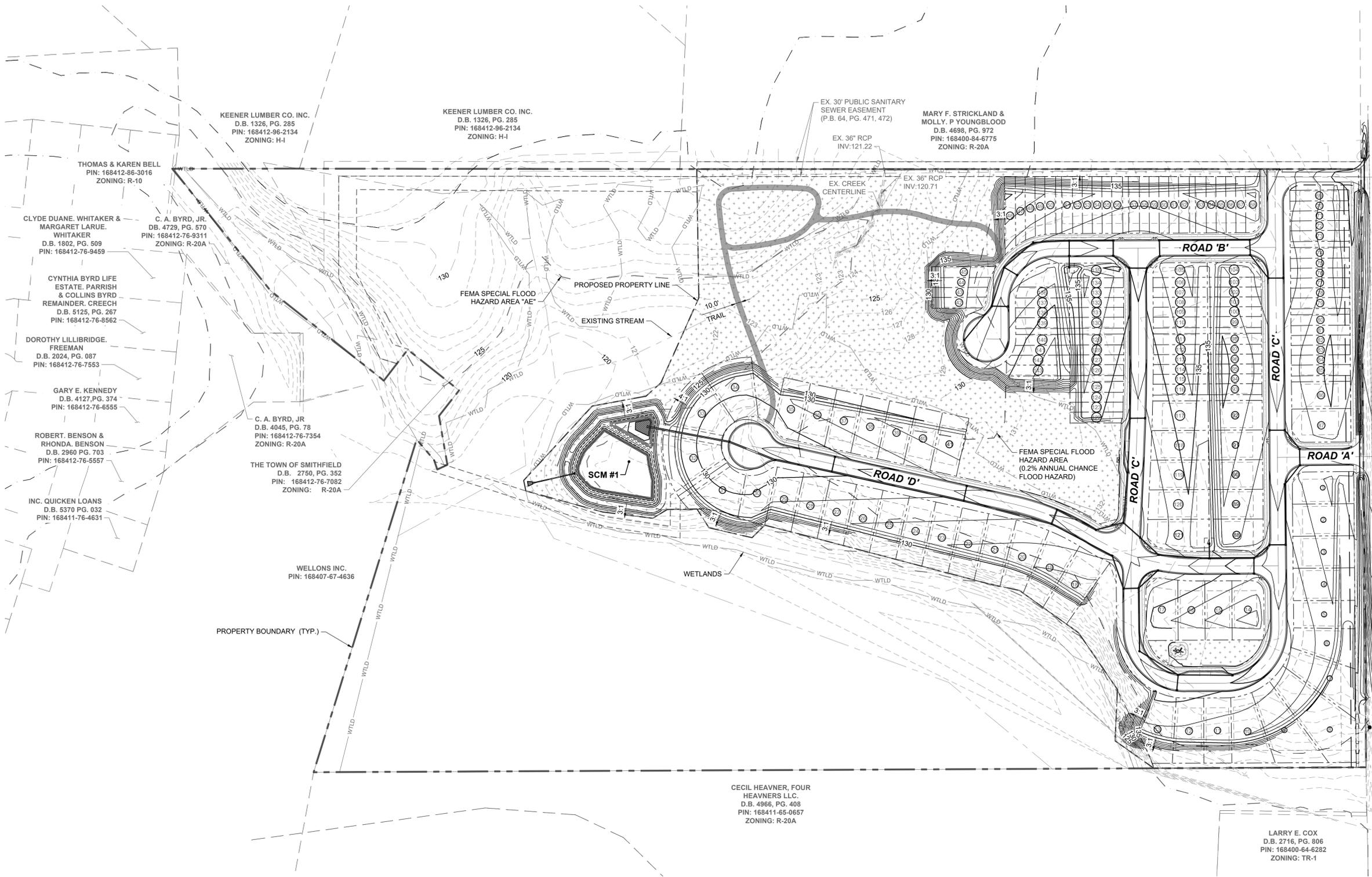


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6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	RLB	SRG	JWL
			DRAWN BY			
			CHECKED BY			

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
PARTIAL SITE LAYOUT I

DRAWING SHEET
C-3.1
05 OF 47



THOMAS & KAREN BELL
PIN: 168412-86-3016
ZONING: R-10

CLYDE DUANE, WHITAKER & MARGARET LARUE, WHITAKER
D.B. 1802, PG. 509
PIN: 168412-76-9459

CYNTHIA BYRD LIFE ESTATE, PARRISH & COLLINS BYRD REMAINDER, CREECH
D.B. 5125, PG. 267
PIN: 168412-76-8562

DOROTHY LILLIBRIDGE, FREEMAN
D.B. 2024, PG. 087
PIN: 168412-76-7553

GARY E. KENNEDY
D.B. 4127, PG. 374
PIN: 168412-76-6555

ROBERT, BENSON & RHONDA, BENSON
D.B. 2960, PG. 703
PIN: 168412-76-6557

INC. QUICKEN LOANS
D.B. 5370, PG. 032
PIN: 168411-76-4631

KEENER LUMBER CO. INC.
D.B. 1326, PG. 285
PIN: 168412-96-2134
ZONING: H-1

KEENER LUMBER CO. INC.
D.B. 1326, PG. 285
PIN: 168412-96-2134
ZONING: H-1

EX. 30" PUBLIC SANITARY SEWER EASEMENT (P.B. 64, PG. 471, 472)

MARY F. STRICKLAND & MOLLY, P. YOUNGBLOOD
D.B. 4698, PG. 972
PIN: 168400-84-6775
ZONING: R-20A

GLEN LAKE APARTMENTS LP
D.B. 4573, PG. 113
PIN: 168400-83-5704

C. A. BYRD, JR.
DB. 4729, PG. 570
PIN: 168412-76-9311
ZONING: R-20A

C. A. BYRD, JR.
D.B. 4045, PG. 78
PIN: 168412-76-7354
ZONING: R-20A

THE TOWN OF SMITHFIELD
D.B. 2750, PG. 352
PIN: 168412-76-7082
ZONING: R-20A

WELLONS INC.
PIN: 168407-67-4636

CECIL HEAVNER, FOUR HEAVNERS LLC
D.B. 4965, PG. 408
PIN: 168411-65-0657
ZONING: R-20A

LARRY E. COX
D.B. 2716, PG. 806
PIN: 168400-64-6282
ZONING: TR-1

TOWN OF SMITHFIELD
D.B. 5343, PG. 786
PIN: 168400-63-7807

NC HIGHWAY 210
60' PUBLIC RW

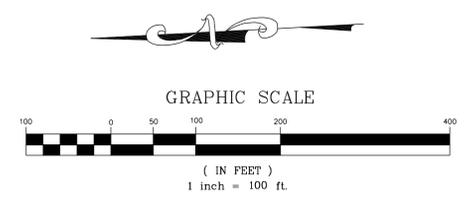
DENNING FAMILY TRUST #1 & LARRY N TRUSTEE, DENNING
D.B. 3363, PG. 745
PIN: 168400-73-8722

JASON R. COX & JENNY MARIE, DENNING, COX
D.B. 5394, PG. 552
PIN: 168400-73-3778

CHRISTOPHER D. MOORE & JENNIE T. MOORE
D.B. 5095, PG. 953
PIN: 168400-73-0991

LEGEND:

	STORM DRAIN LINE
	FLARED END SECTION
	YARD INLET
	CATCH BASIN
	STORM DRAIN MANHOLE
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS
	PROP. 1/2" CONTOURS



NO.	REVISIONS	DATE	BY

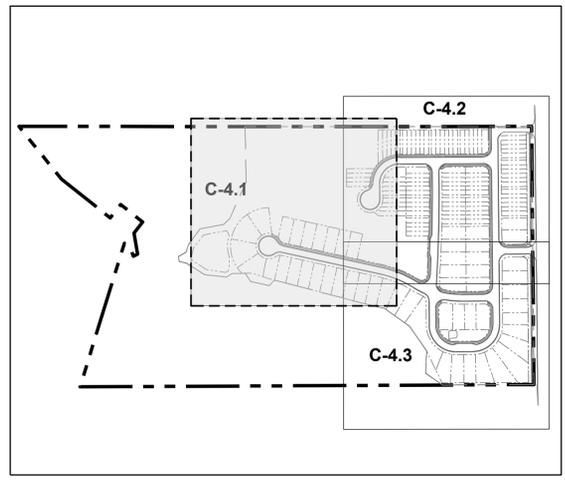
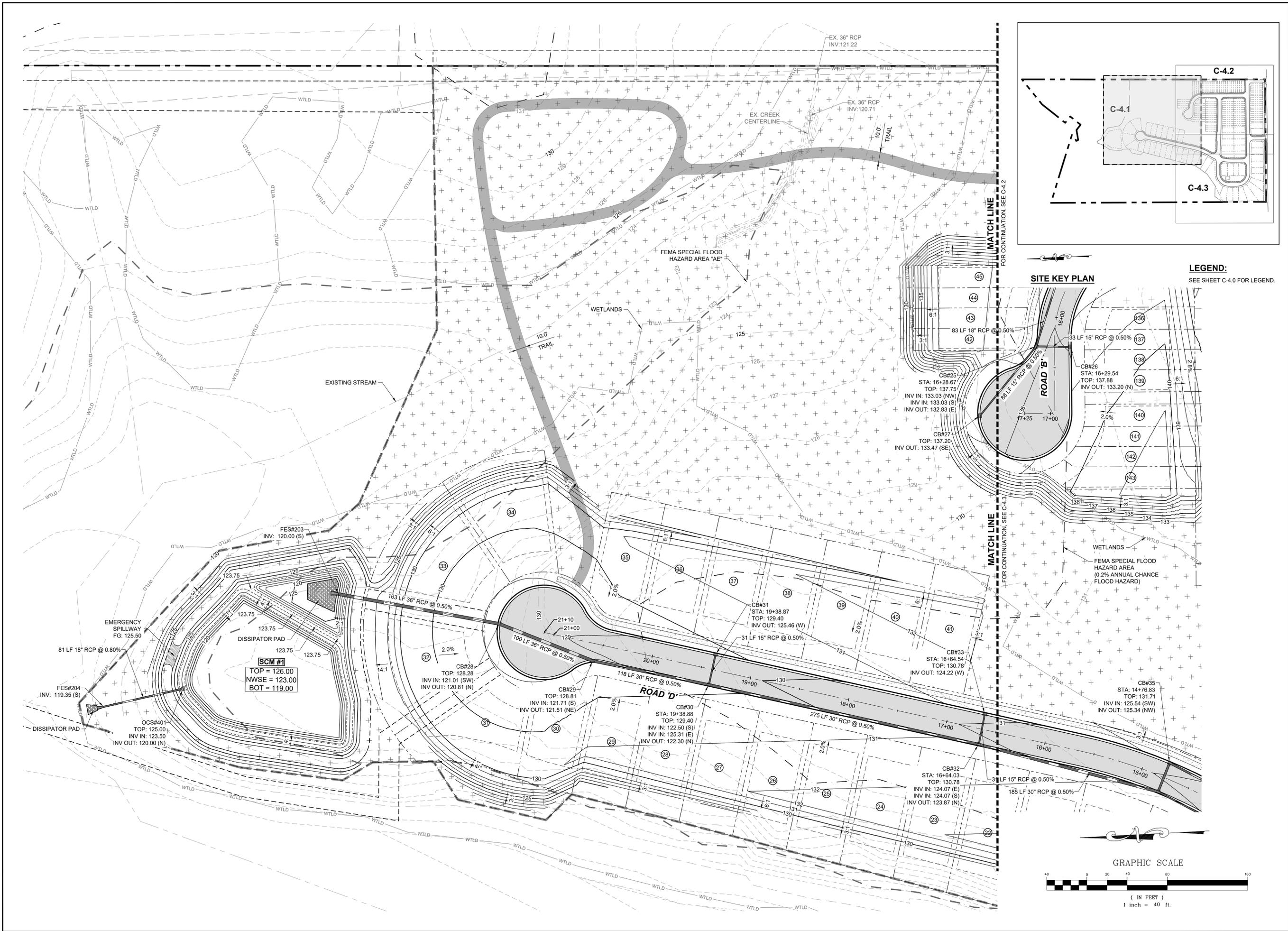


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6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

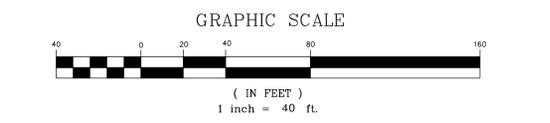
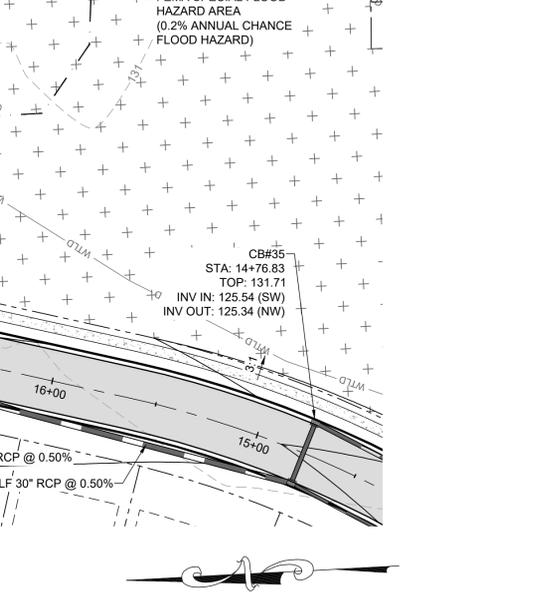
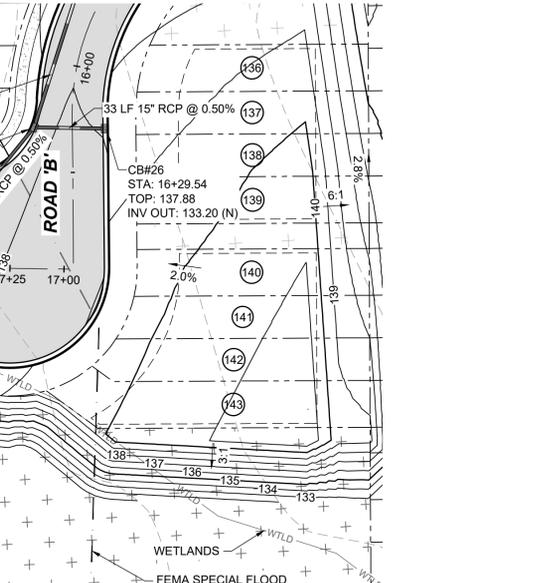
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRWN BY	CHECKED BY

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
OVERALL GRADING AND DRAINAGE PLAN

DRAWING SHEET
C-4.0



SITE KEY PLAN
SEE SHEET C-4.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY

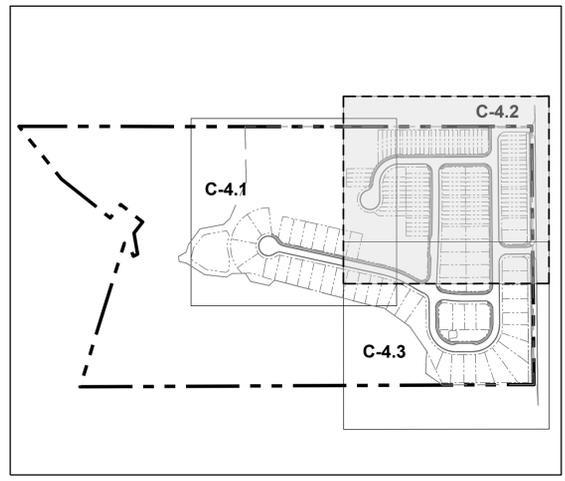
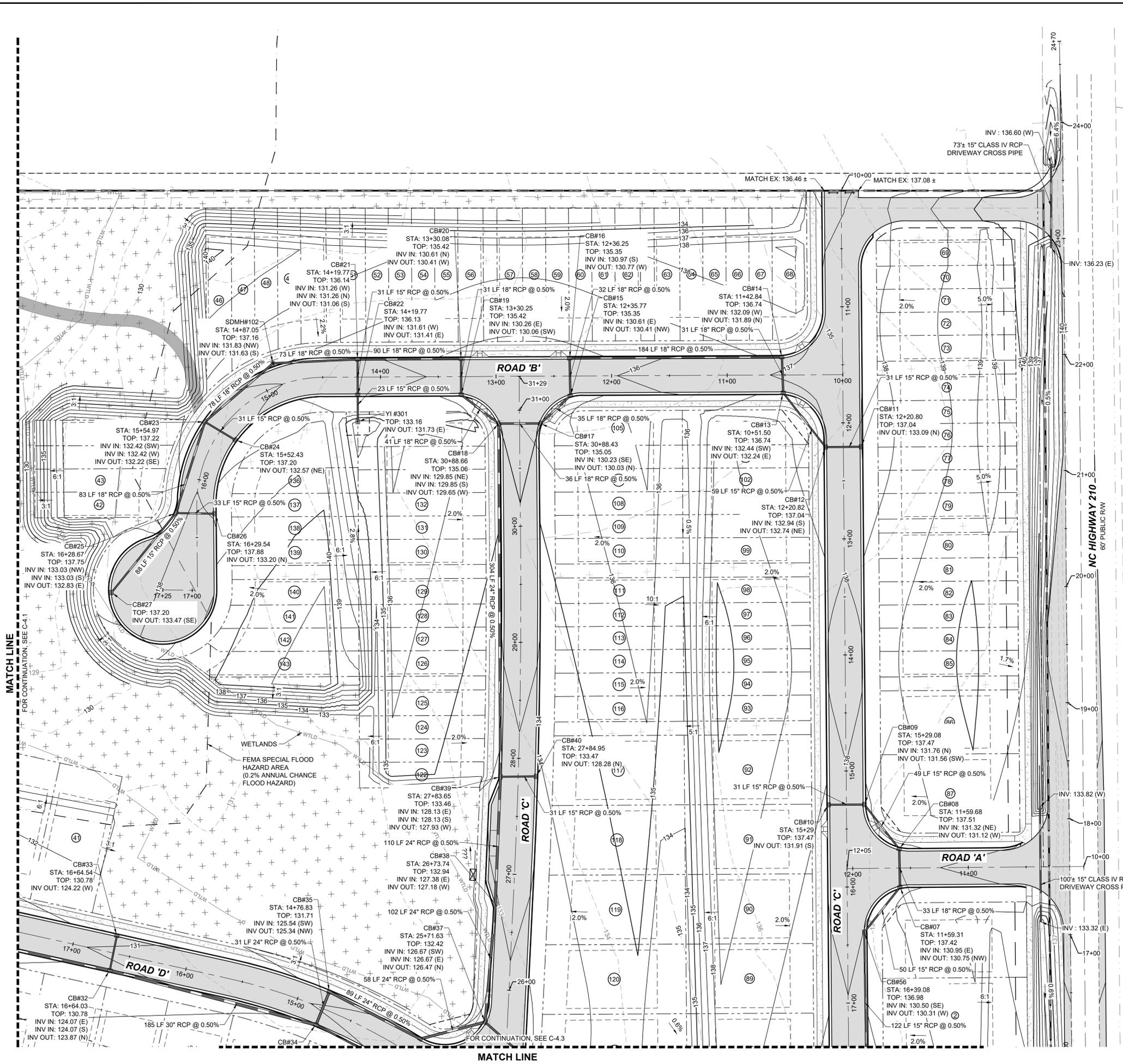


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STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRWN BY	CHECKED BY
NOT FOR CONSTRUCTION	AS SHOWN			

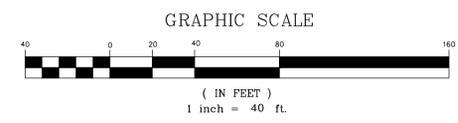
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
GRADING AND DRAINAGE PLAN I

DRAWING SHEET
C-4.1
09 OF 47



SITE KEY PLAN
 LEGEND:
 SEE SHEET C-4.0 FOR LEGEND.

DENNING FAMILY TRUST #1
 & LARRY N TRUSTEE.
 DENNING
 D.B. 3363, PG. 745
 PIN: 168400-73-8722



NO.	REVISIONS	DATE	BY

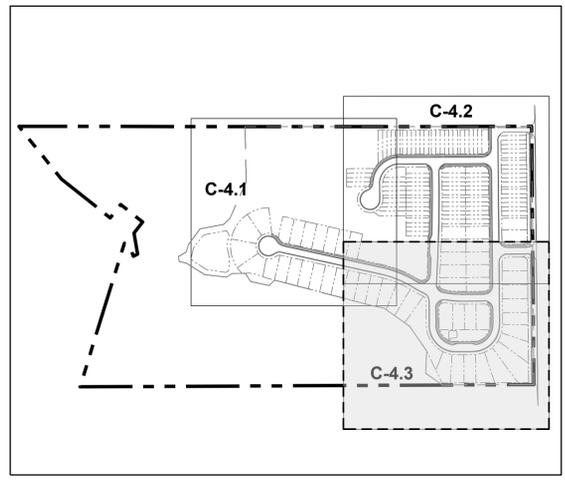
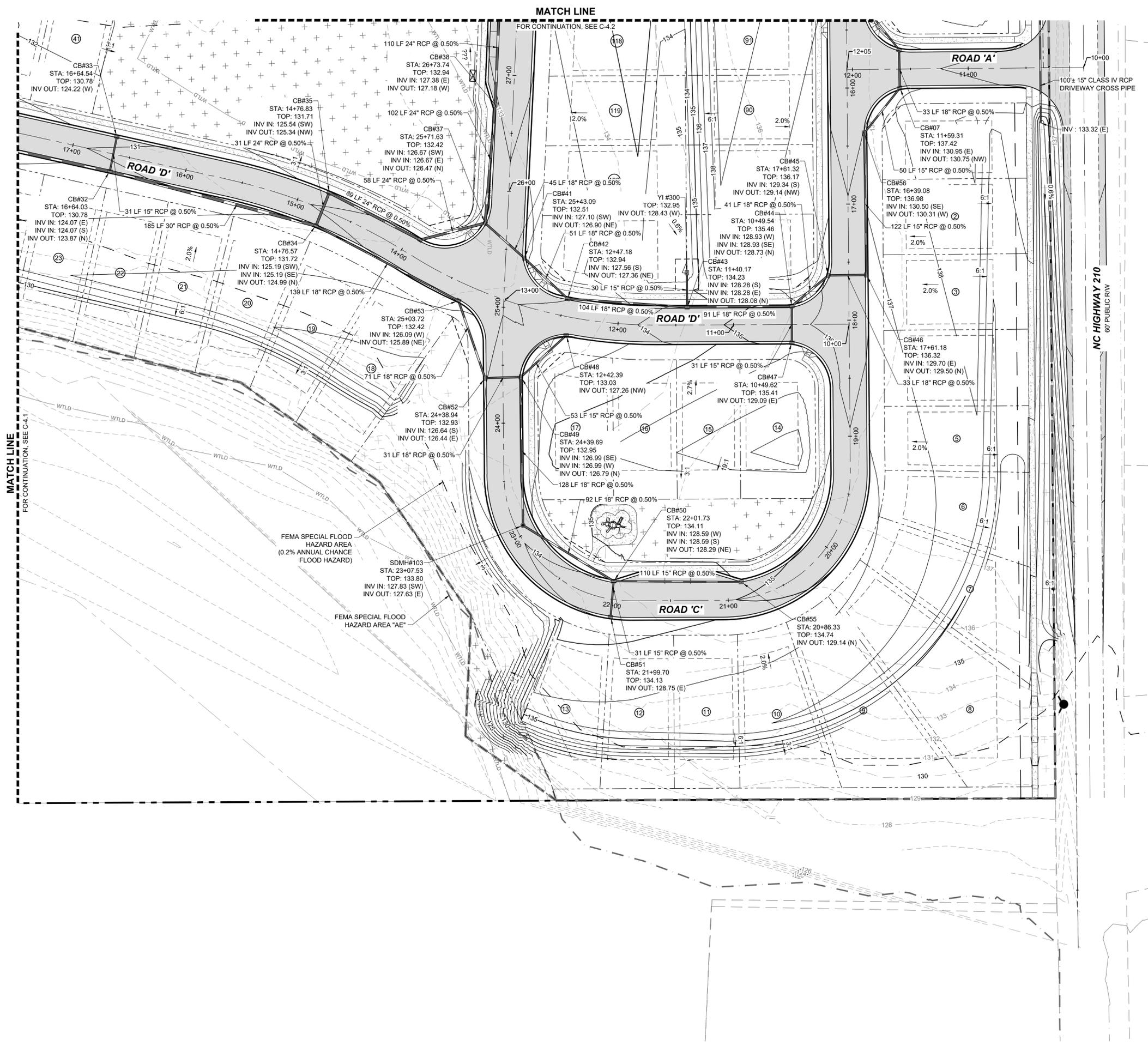


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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRWN BY	CHECKED BY

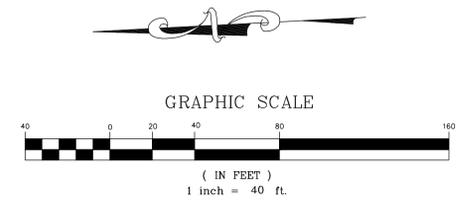
MARIN WOODS SUBDIVISION
 SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY MASTER PLAN
GRADING AND DRAINAGE PLAN II

DRAWING SHEET
C-4.2
 10 OF 47



LEGEND:
SEE SHEET C-4.0 FOR LEGEND.

CHRISTOPHER D. MOORE &
JENNIE T. MOORE
D.B. 5095, PG. 953
PIN: 168400-73-0991



NO.	REVISIONS	DATE	BY



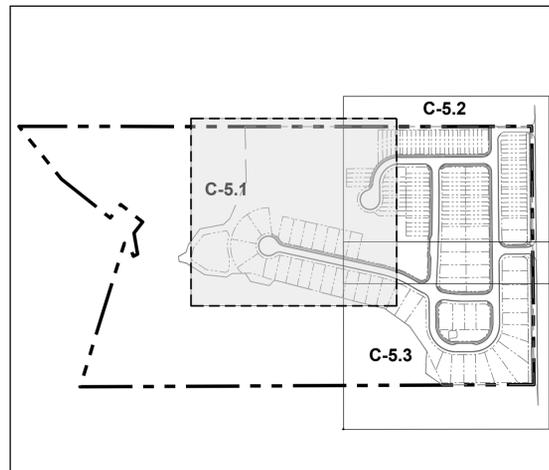
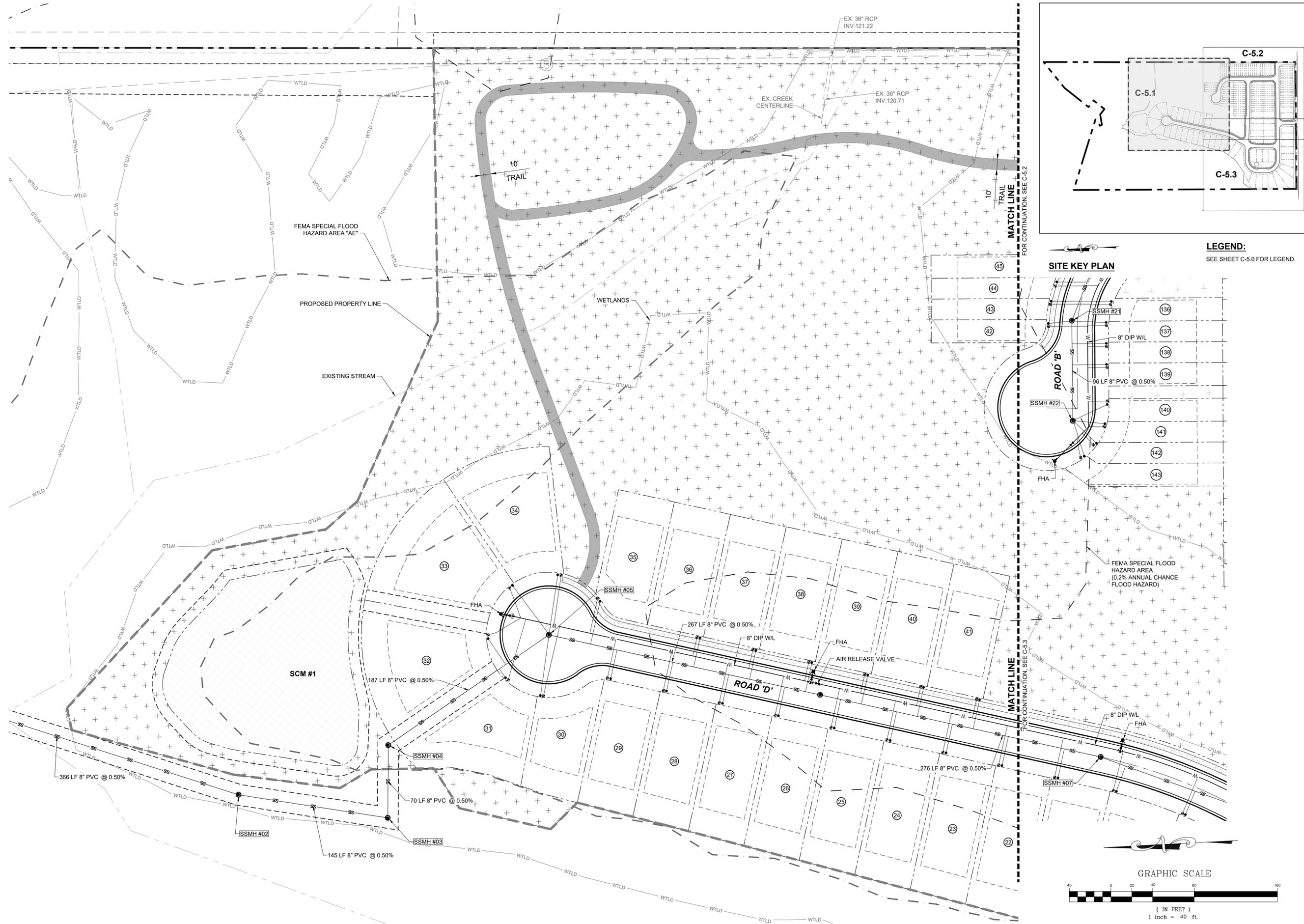
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY

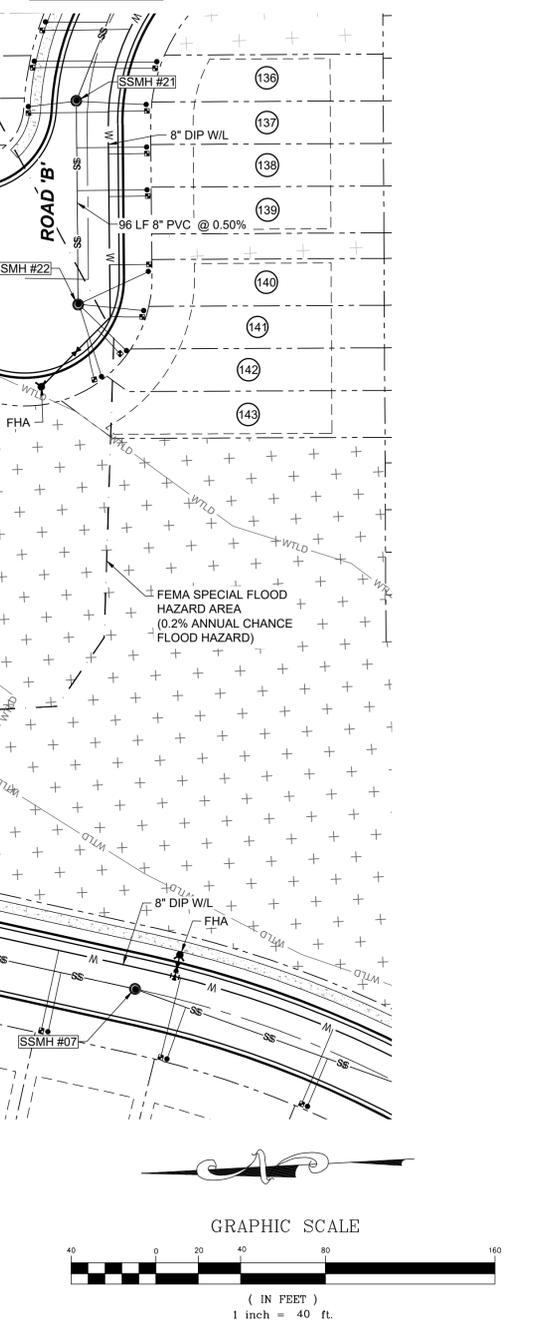
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
GRADING AND DRAINAGE PLAN III

DRAWING SHEET

C-4.3



LEGEND:
SEE SHEET C-5.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY



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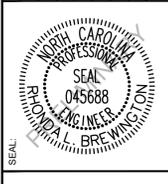
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	RUB	SRG	JWL

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
PARTIAL UTILITY LAYOUT I

DRAWING SHEET
C-5.1
13 OF 47



NO.	REVISIONS	DATE	BY

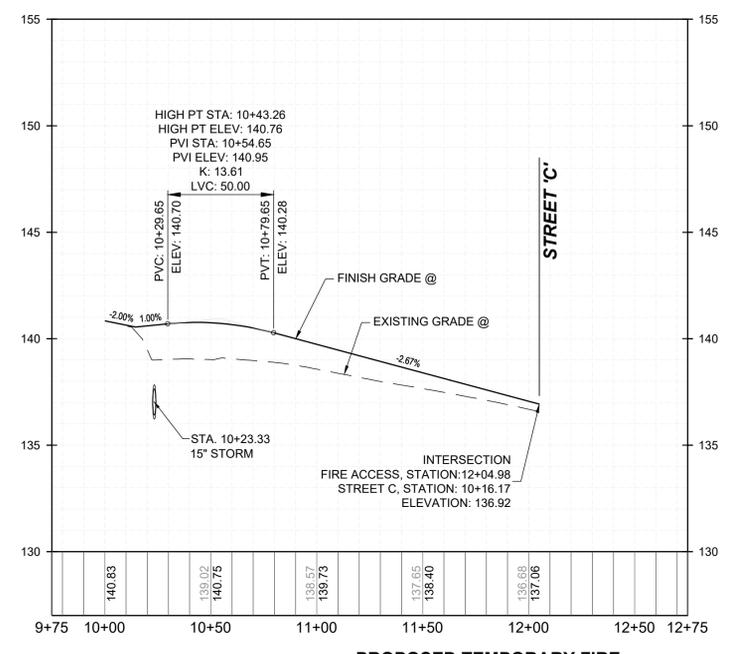
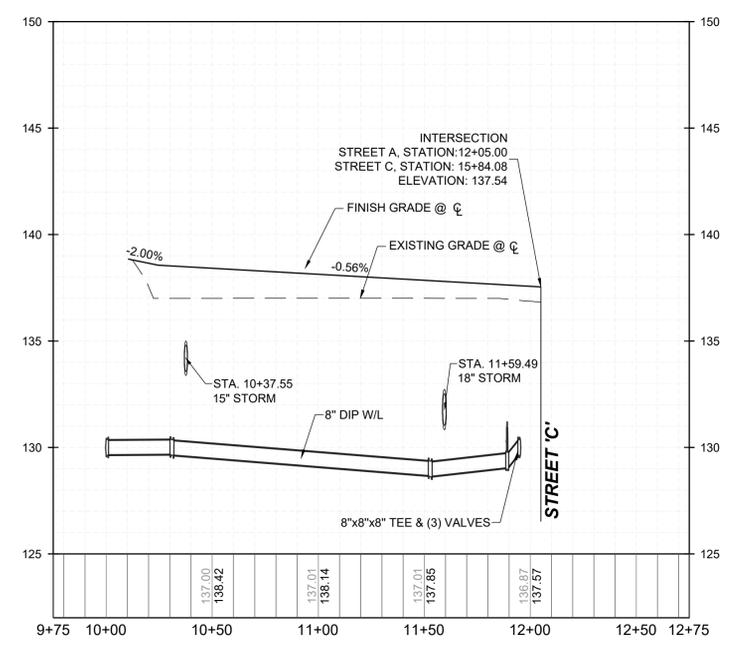
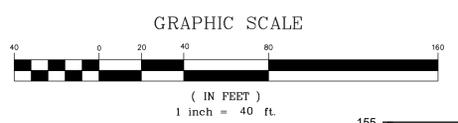
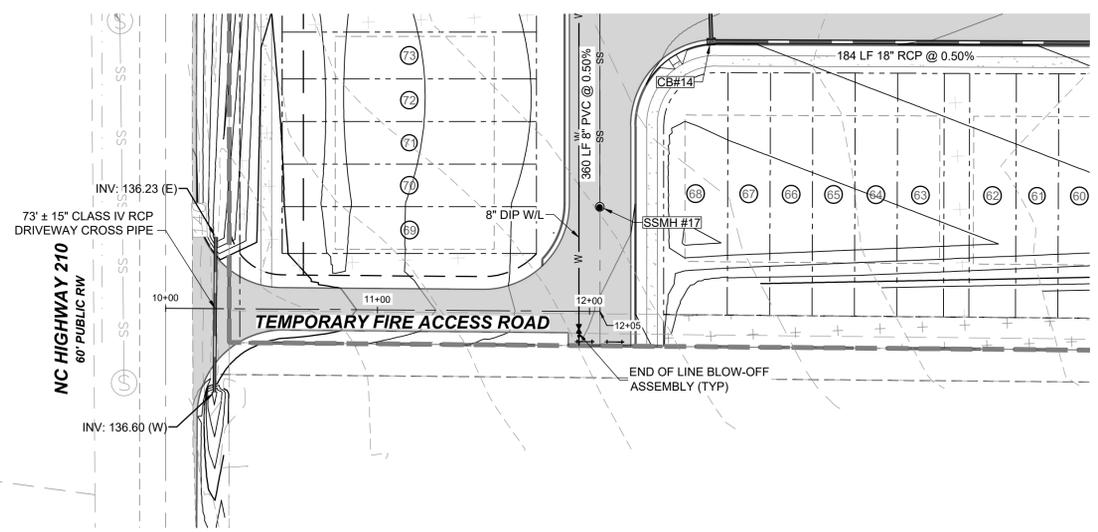
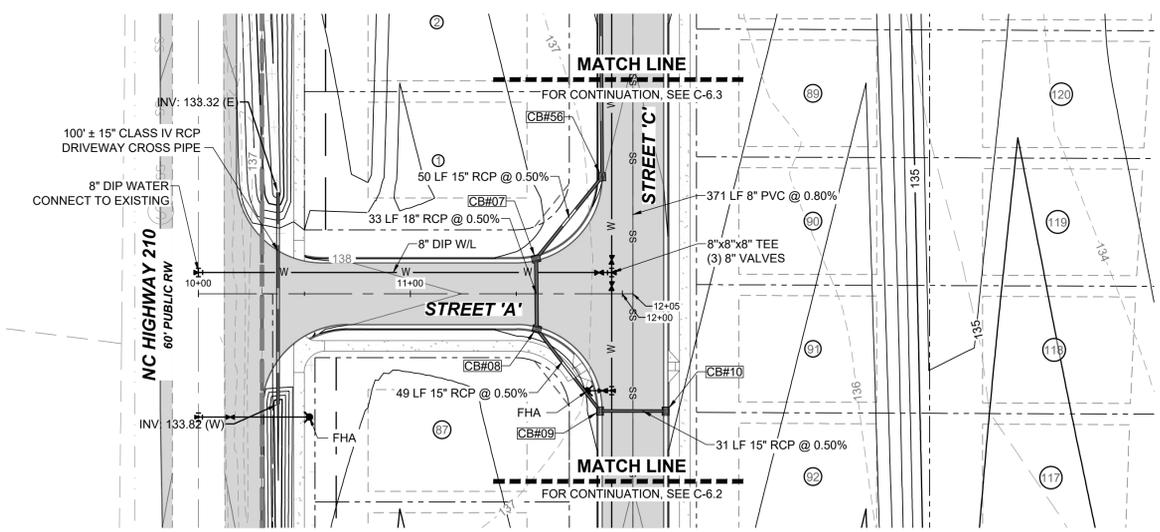


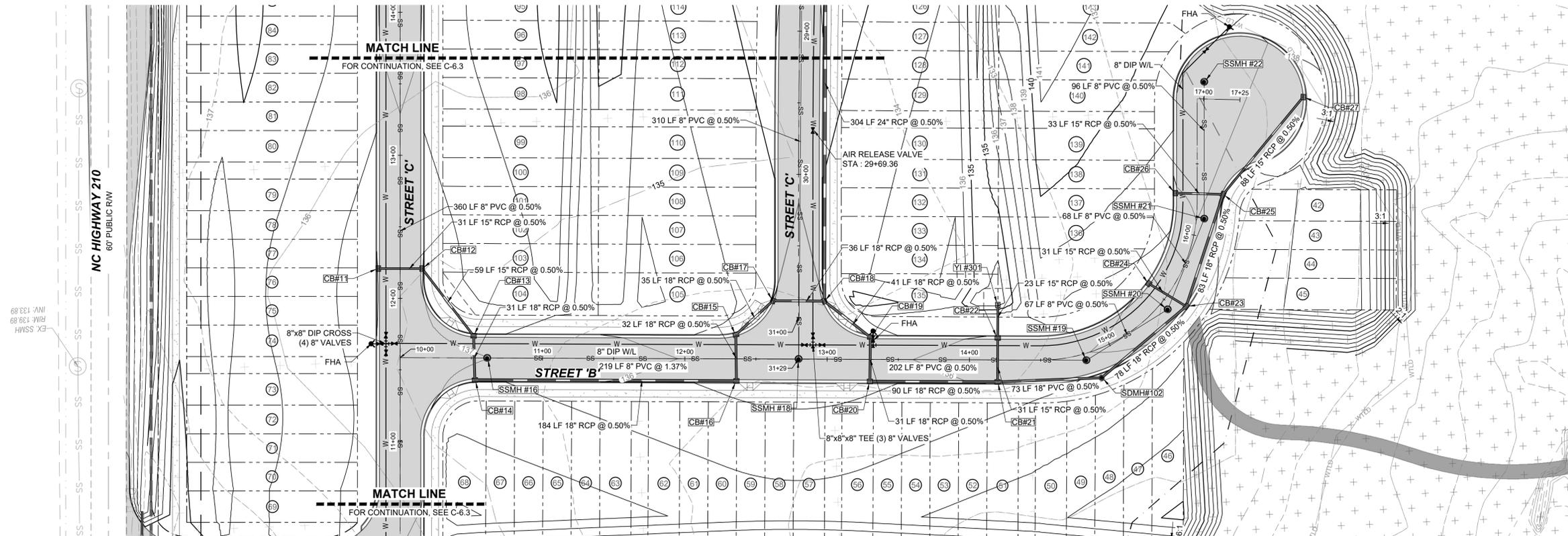
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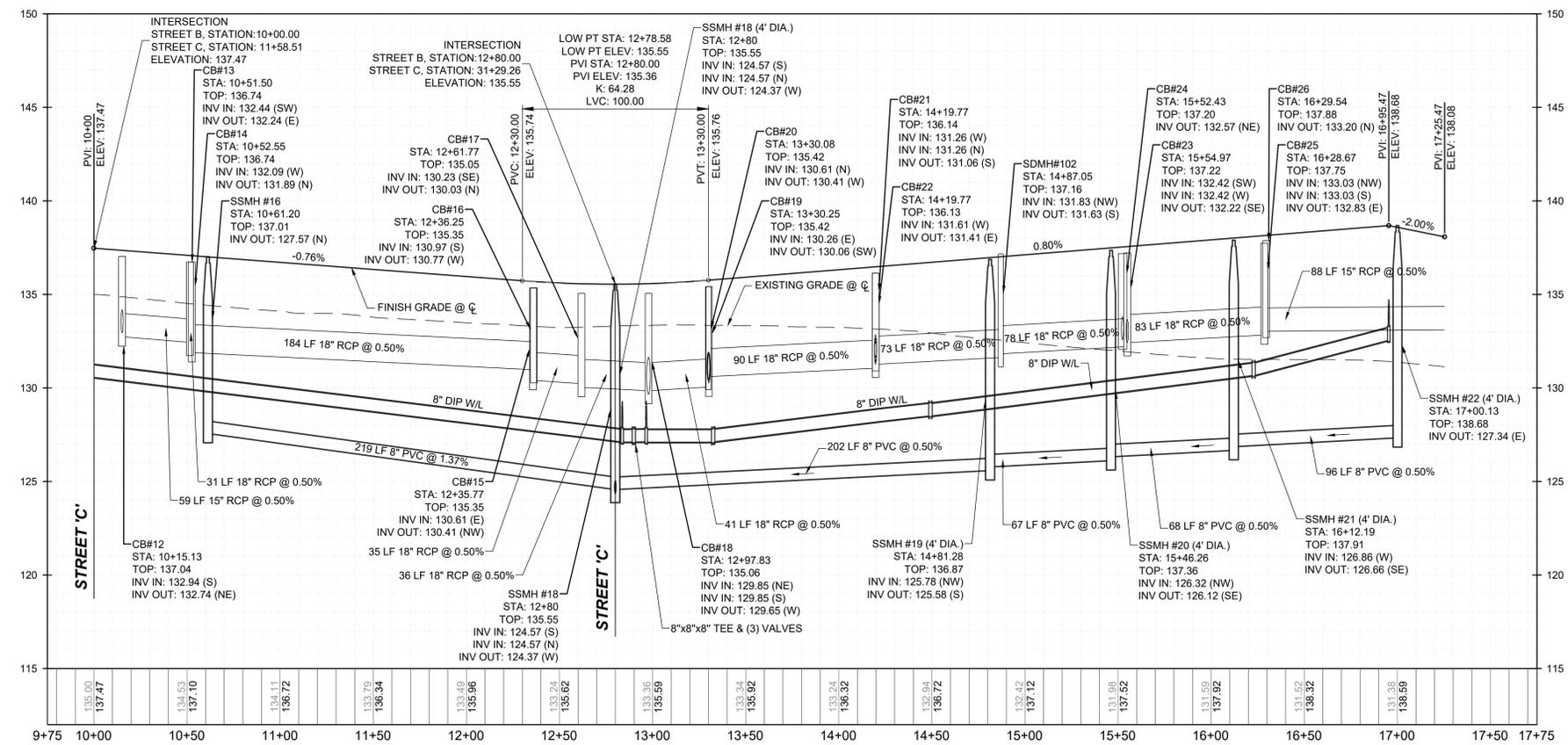
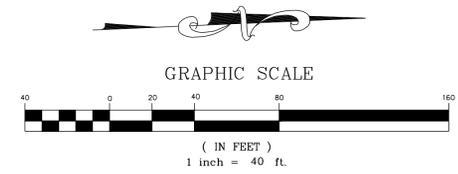
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
PROPOSED STREET A - PLAN & PROFILE

DRAWING SHEET
C-6.0





PROPOSED STREET 'B' - PLAN
HORIZONTAL: 1" = 40'



PROPOSED STREET 'B' - PROFILE
VERTICAL: 1" = 4'
HORIZONTAL: 1" = 40'

NO.	REVISIONS	DATE	BY

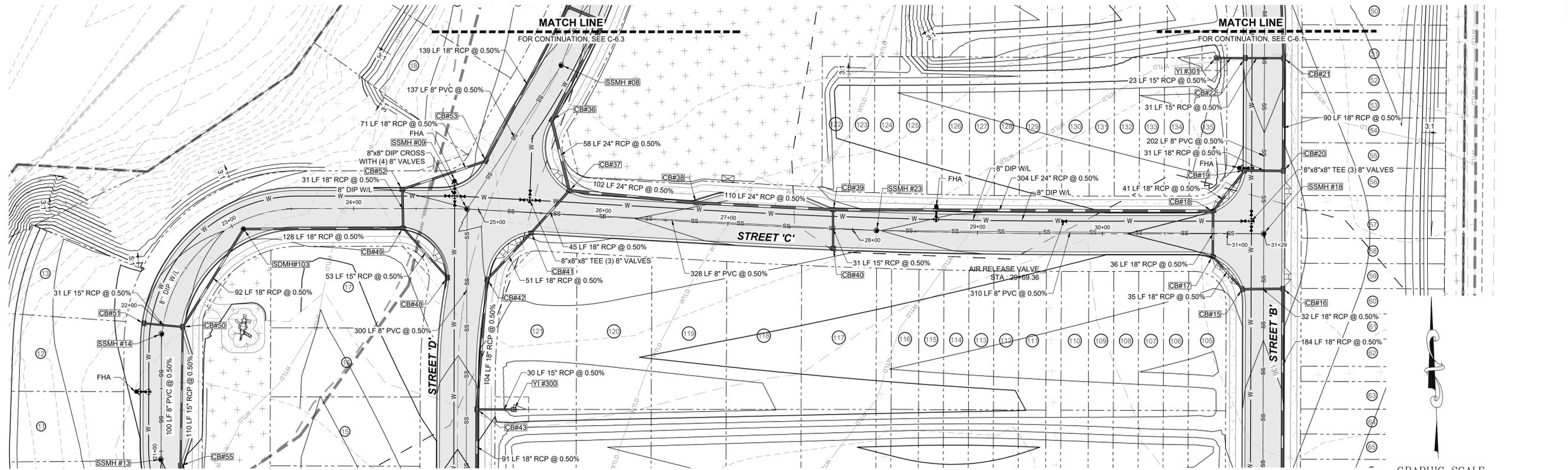


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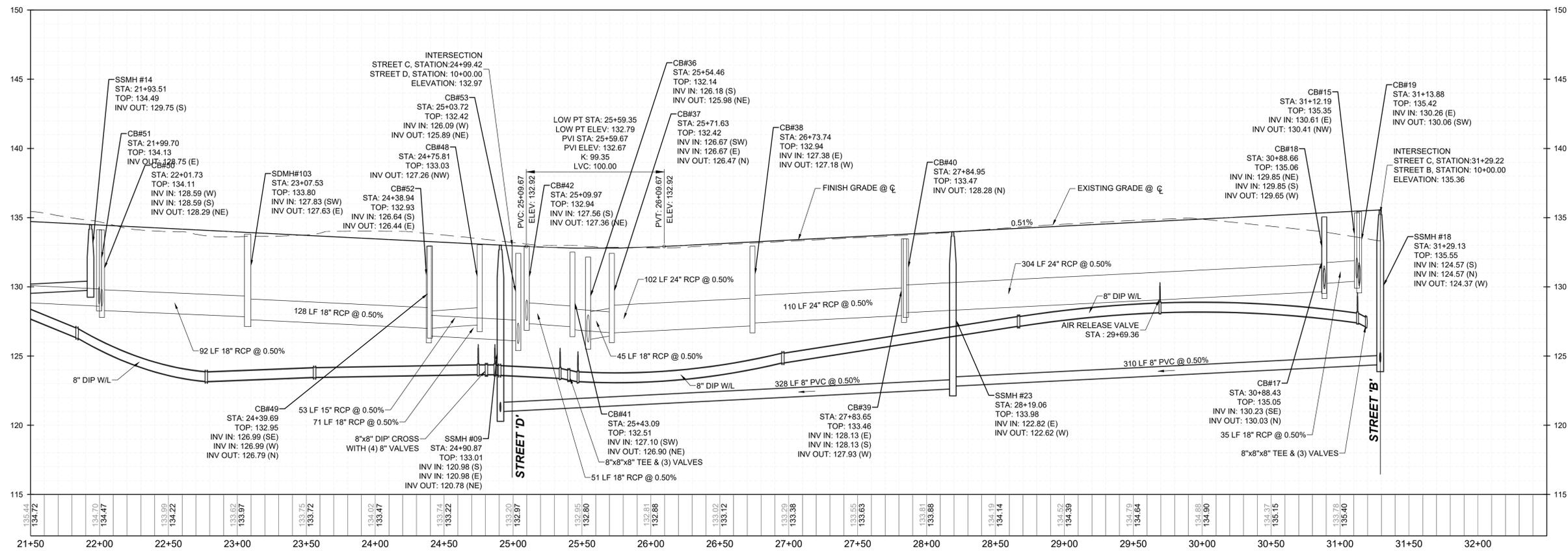
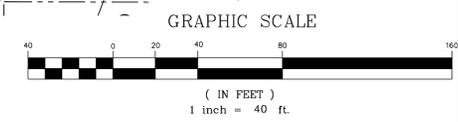
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	AS SHOWN	DESIGNED BY	DRWN BY	CHECKED BY

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
PROPOSED STREET B - PLAN & PROFILE

DRAWING SHEET
C-6.1



PROPOSED STREET 'C' - PLAN
HORIZONTAL: 1" = 40'



PROPOSED STREET 'C' - PROFILE
VERTICAL: 1" = 4'
HORIZONTAL: 1" = 40'

NO.	REVISIONS	DATE	BY

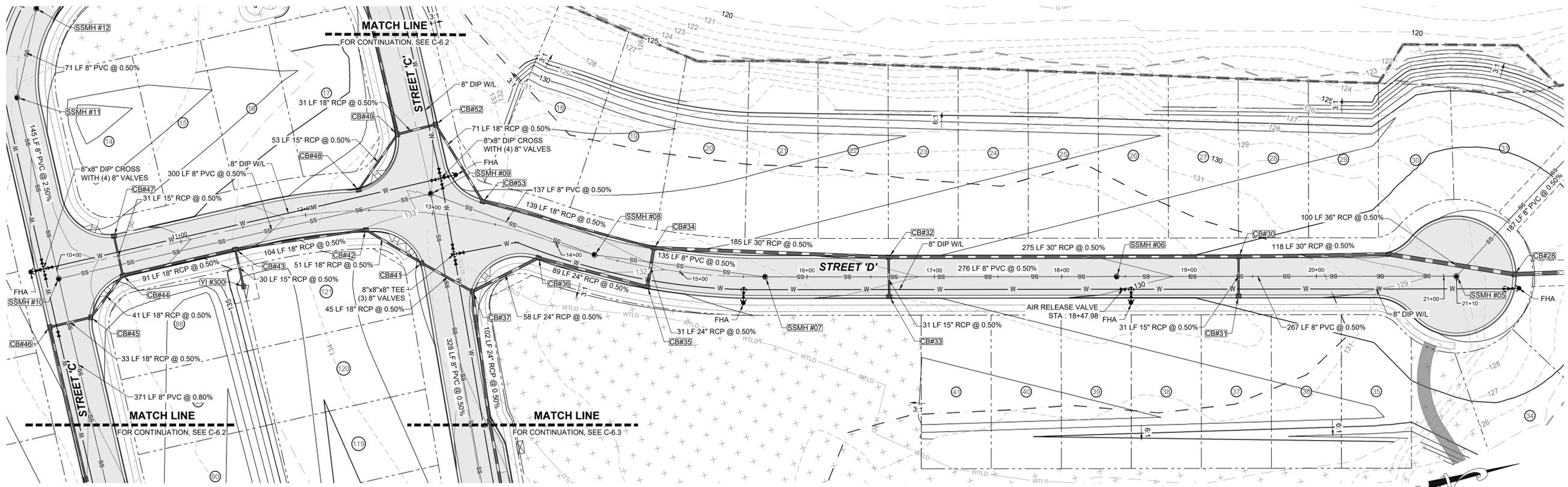


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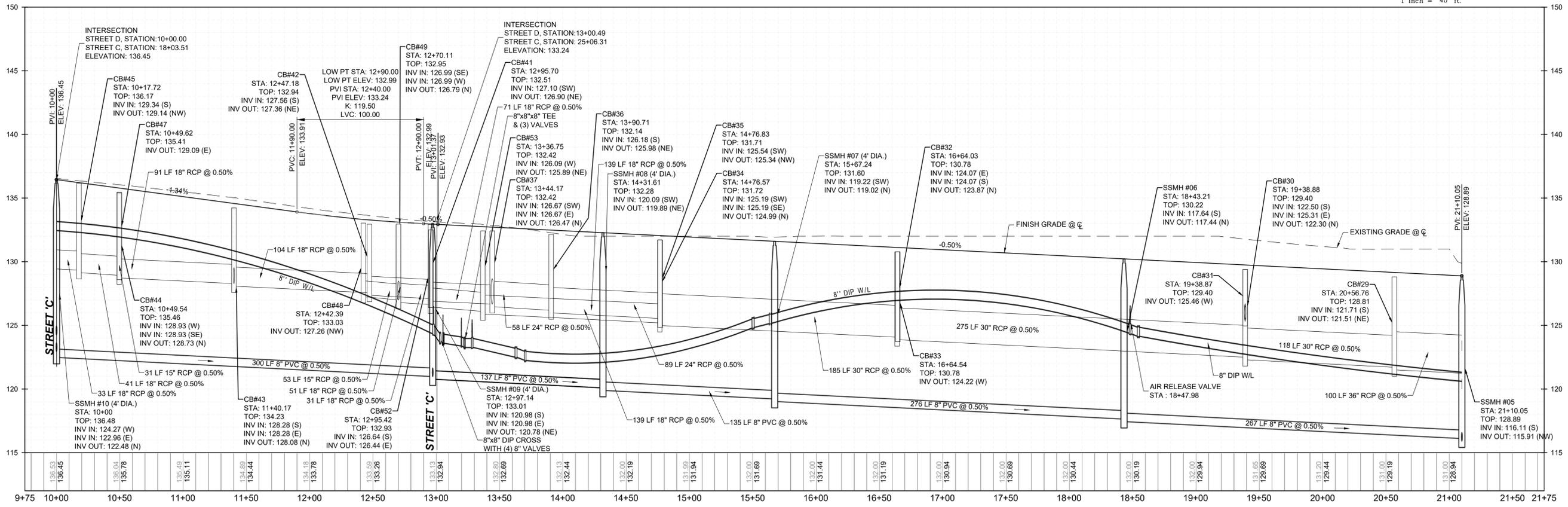
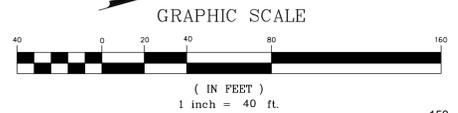
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	AS SHOWN	RLB	SRG	JWL

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
PROPOSED STREET C - PLAN & PROFILE

DRAWING SHEET
C-6.3



PROPOSED STREET 'D' - PLAN
HORIZONTAL: 1" = 40'



PROPOD STSEREEET 'D' - PROFILE
VERTICAL: 1" = 4'
HORIZONTAL: 1" = 40'

NO.	REVISIONS	DATE	BY



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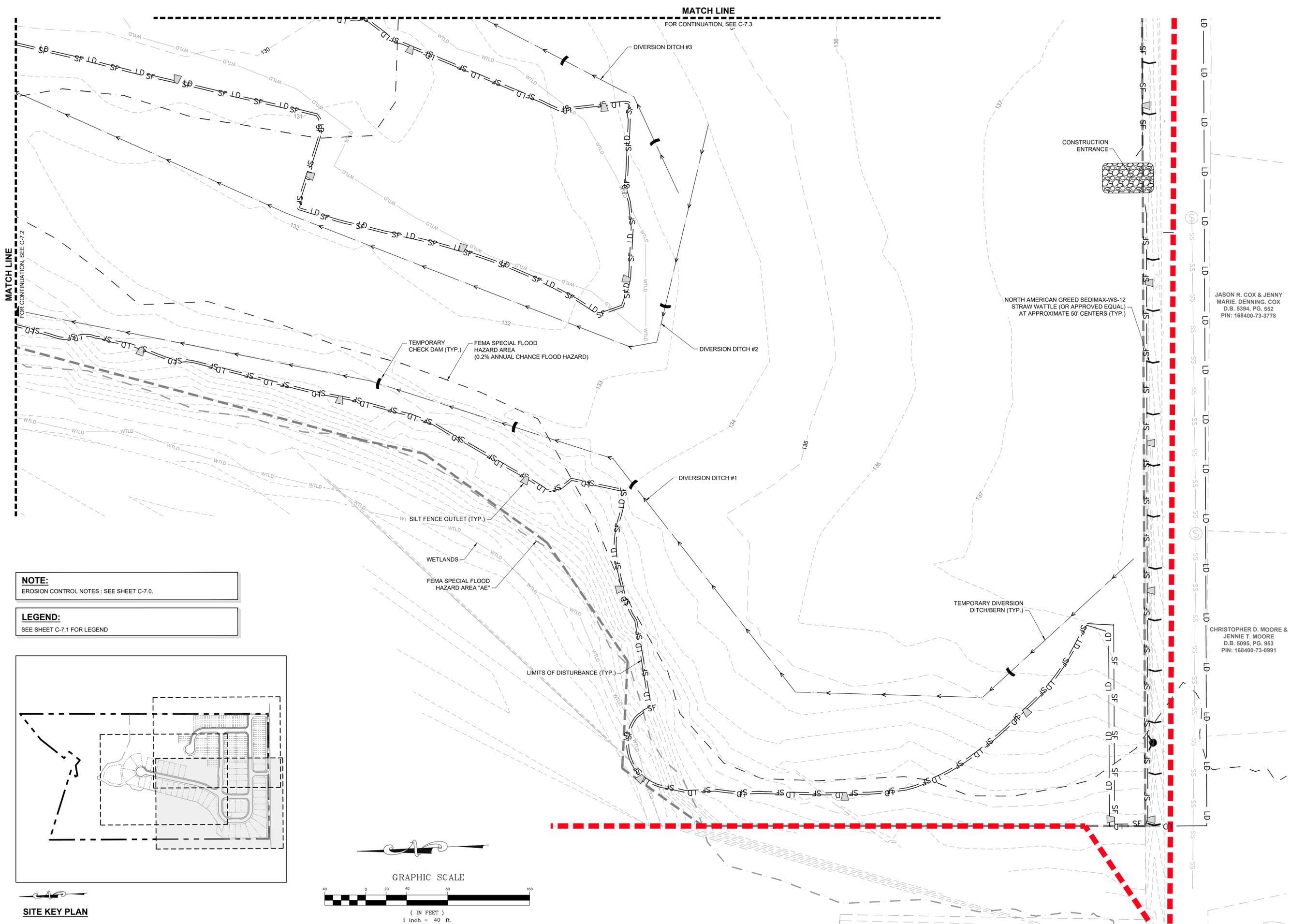
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRWN BY	CHECKED BY

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
PROPOSED STREET D - PLAN & PROFILE

DRAWING SHEET

C-6.4

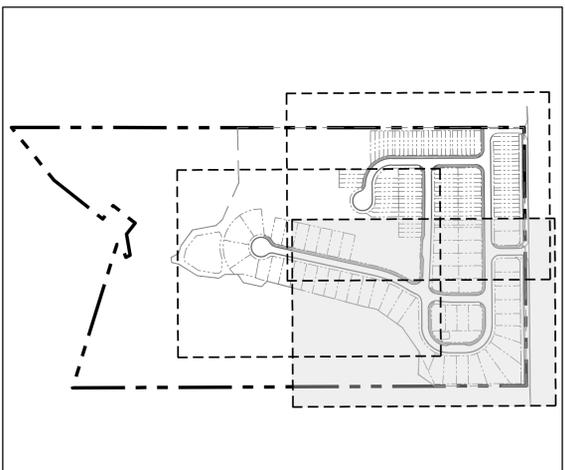
MATCH LINE
FOR CONTINUATION, SEE C-7.3



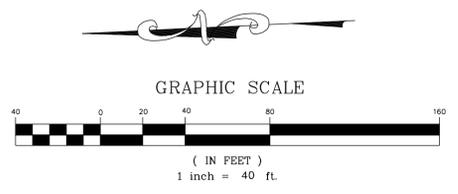
MATCH LINE
FOR CONTINUATION, SEE C-7.2

NOTE:
EROSION CONTROL NOTES : SEE SHEET C-7.0.

LEGEND:
SEE SHEET C-7.1 FOR LEGEND



SITE KEY PLAN



NORTH AMERICAN GREED SEDIMAX-WS-12
STRAW WATTLE (OR APPROVED EQUAL)
AT APPROXIMATE 50' CENTERS (TYP.)

JASON R. COX & JENNY
MARIE DENNING, COX
D.B. 5394, PG. 552
PIN: 168400-73-3778

CHRISTOPHER D. MOORE &
JENNIE T. MOORE
D.B. 5095, PG. 953
PIN: 168400-73-0991

NO.	REVISIONS	DATE	BY

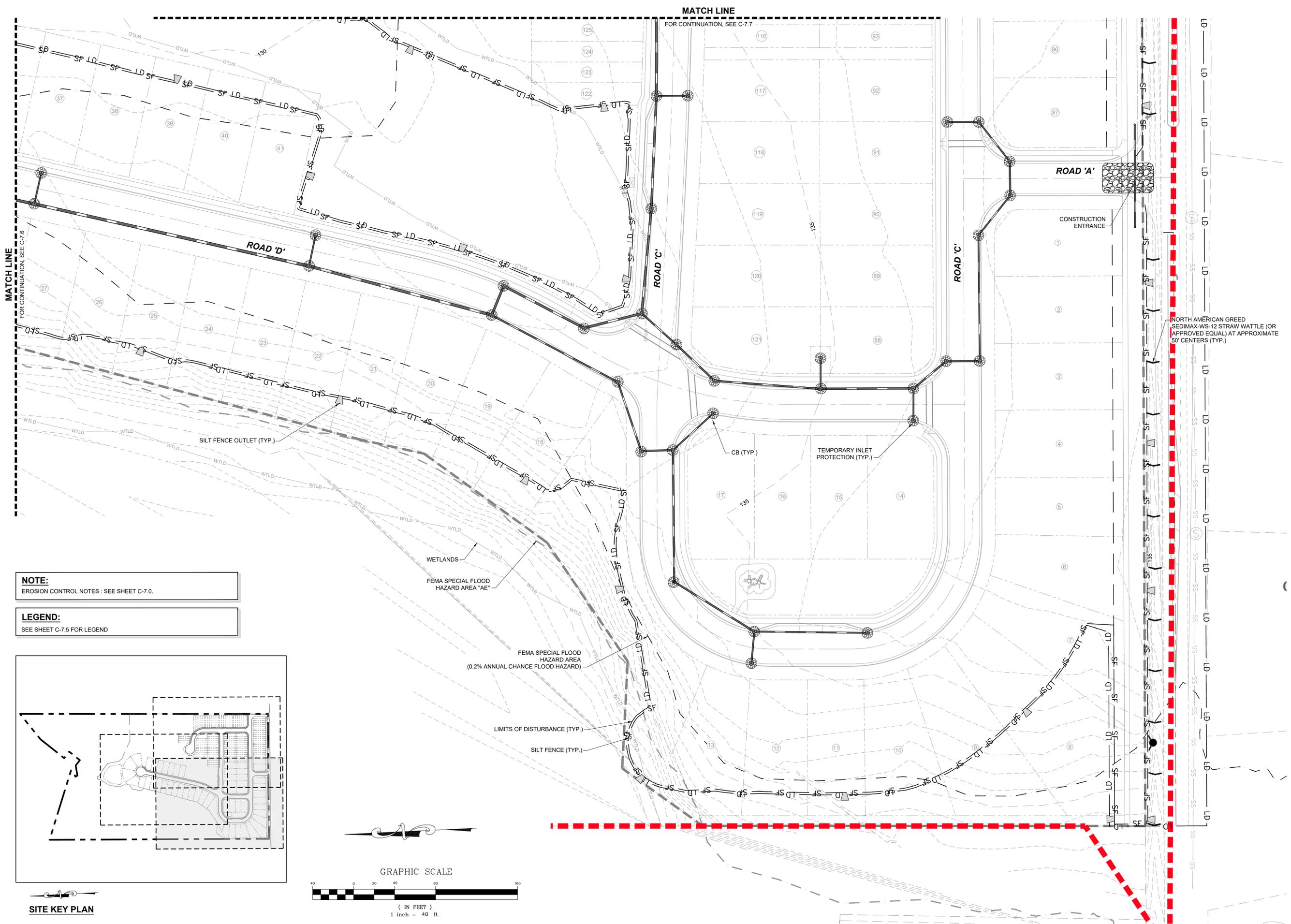


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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY RLB	DRAWN BY SRG	CHECKED BY JWL
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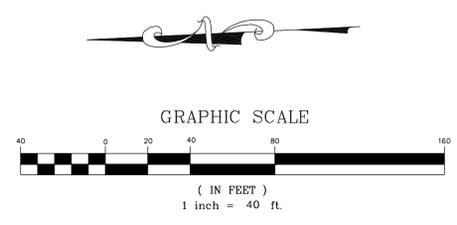
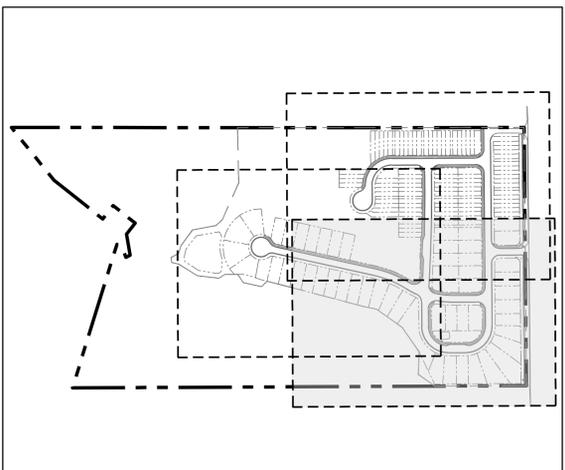
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
EROSION CONTROL PLAN - STAGE 1

DRAWING SHEET
C-7.4

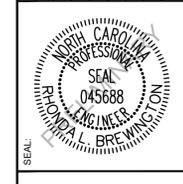


NOTE:
EROSION CONTROL NOTES : SEE SHEET C-7.0.

LEGEND:
SEE SHEET C-7.5 FOR LEGEND



NO.	REVISIONS	DATE	BY



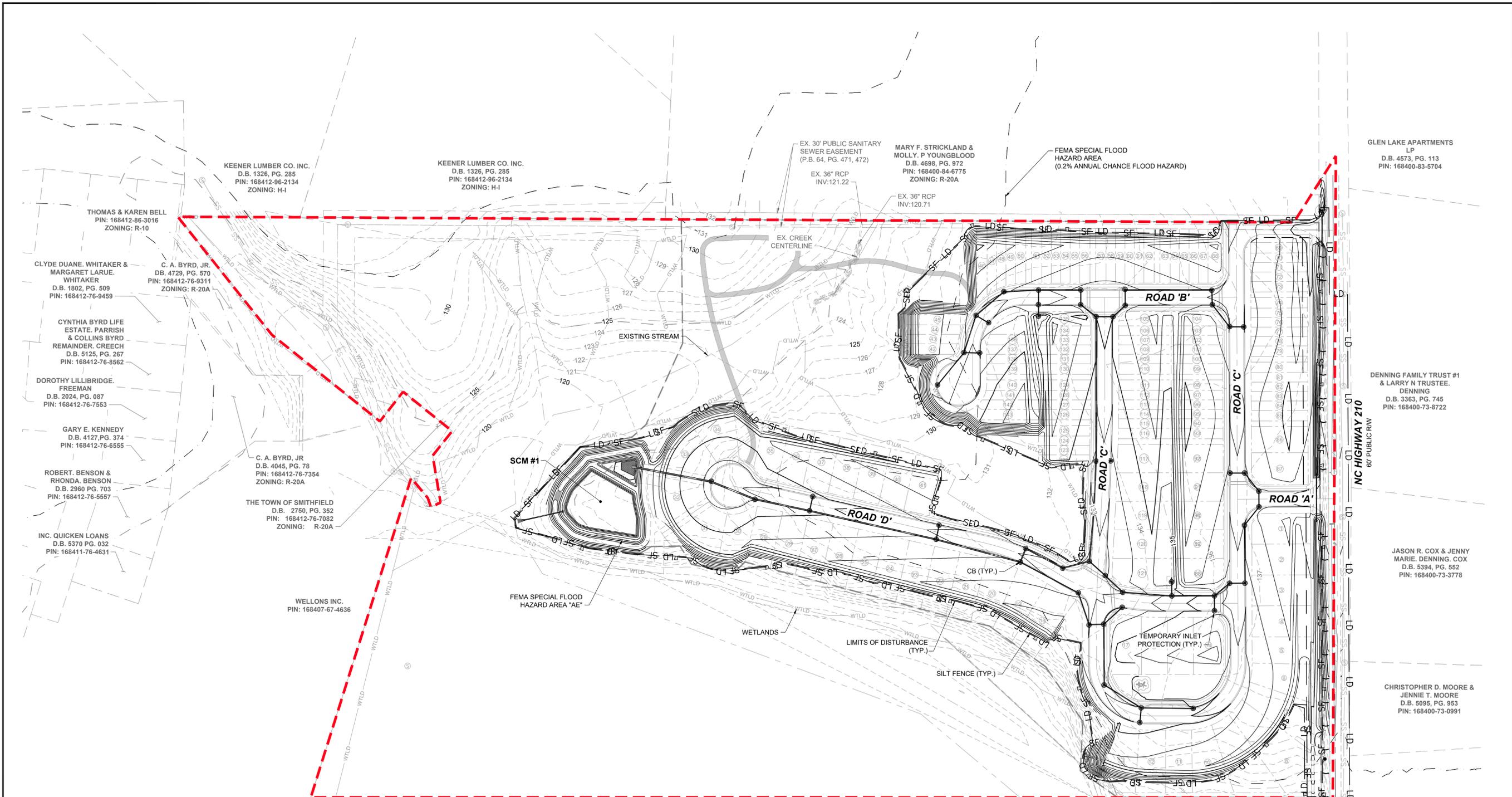
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
EROSION CONTROL PLAN - STAGE 2

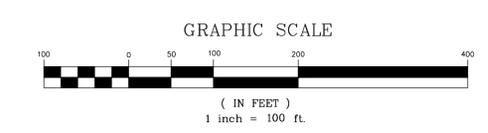
DRAWING SHEET
C-7.8



NOTE:
 EROSION CONTROL NOTES : SEE SHEET C-7.0.

LEGEND:

	EXISTING ADJOINER PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	VALLEY/ROLLED CURB & GUTTER
	STANDARD CURB & GUTTER
	PROPOSED STORM DRAIN LINE
	PROPOSED LOT LINE
	LIMITS OF DISTURBANCE
	SILT FENCE
	INLET PROTECTION
	PROPOSED FLARED AND SECTION
	SILT FENCE OUTLET
	WATTLE
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS



NO.	REVISIONS	DATE	BY

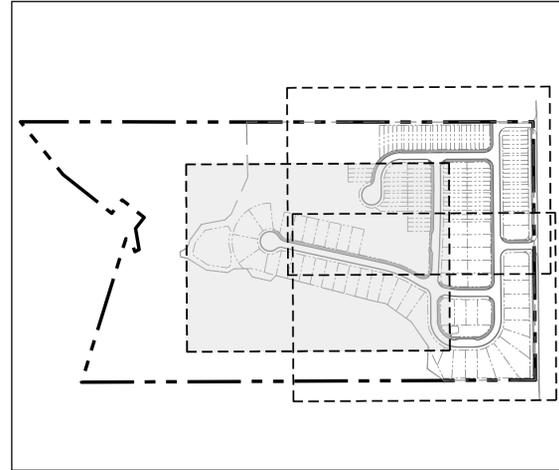
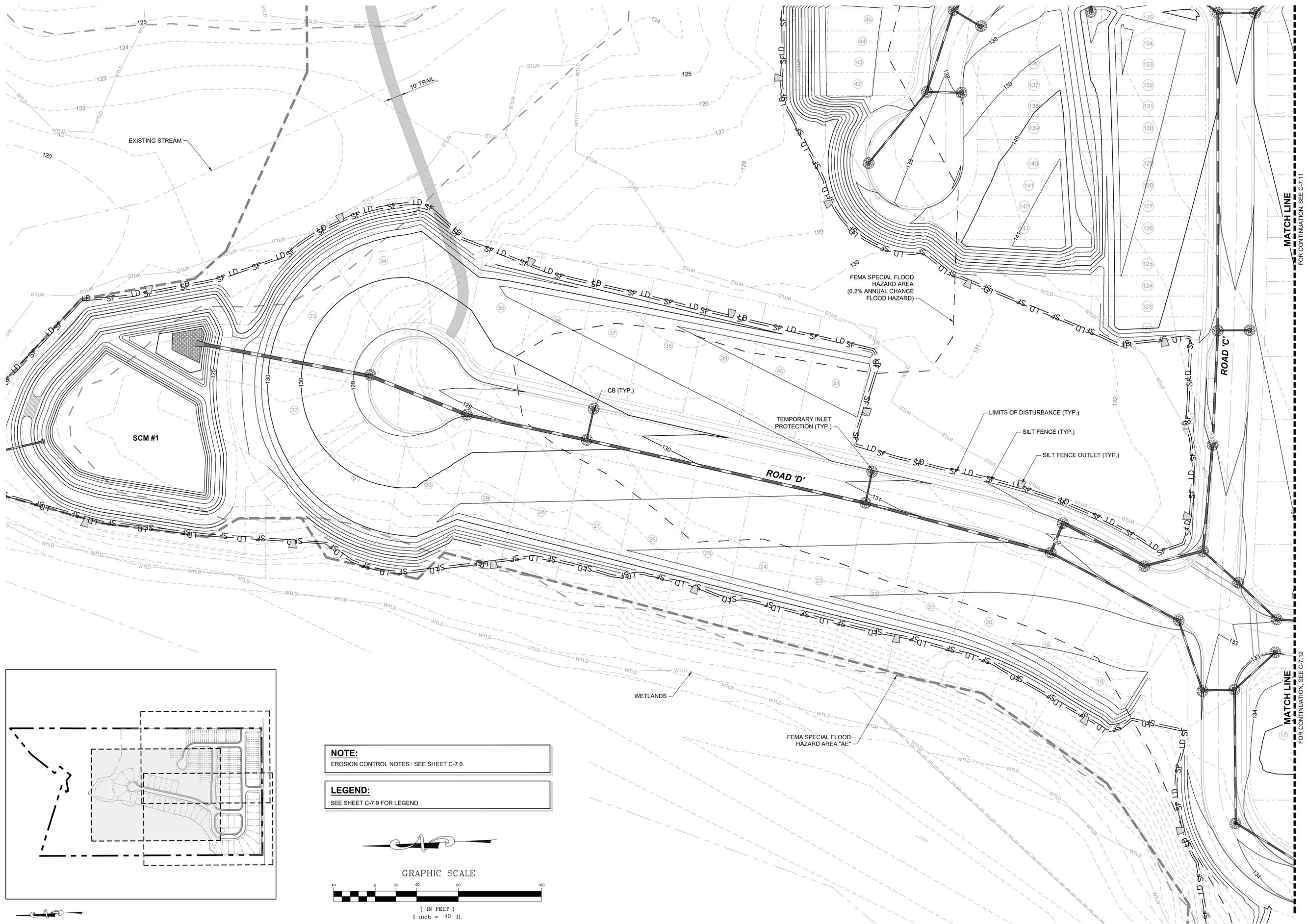


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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	RUB	SRG	JWL

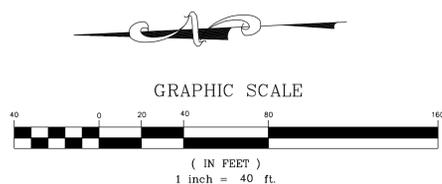
MARIN WOODS SUBDIVISION
 SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY MASTER PLAN
 EROSION CONTROL PLAN -
 OVERALL STAGE 3

DRAWING SHEET
C-7.9



NOTE:
EROSION CONTROL NOTES : SEE SHEET C-7.0.

LEGEND:
SEE SHEET C-7.9 FOR LEGEND



MATCH LINE
FOR CONTINUATION, SEE C-7.11

MATCH LINE
FOR CONTINUATION, SEE C-7.12

NO.	REVISIONS	DATE	BY

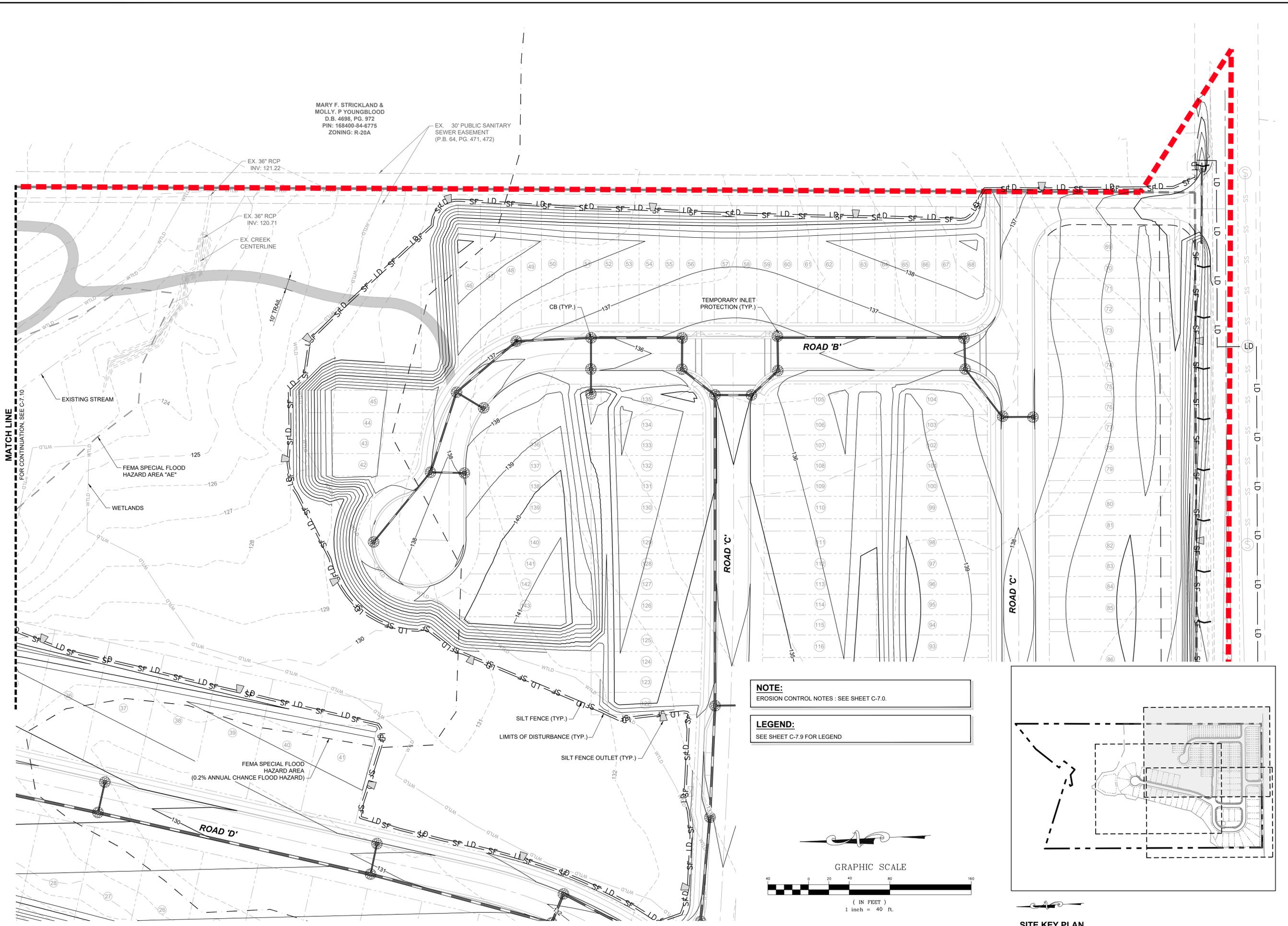


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STRONG ROCK PROJECT	STRONG ROCK PROJECT
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY RLB	DESIGNED BY RLB
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
EROSION CONTROL PLAN - STAGE 3

DRAWING SHEET
C-7.10



MARY F. STRICKLAND &
MOLLY P. YOUNGBLOOD
D.B. 4698, PG. 972
PIN: 168400-94-6775
ZONING: R-20A

EX. 30' PUBLIC SANITARY
SEWER EASEMENT
(P.B. 64, PG. 471, 472)

EX. 36" RCP
INV: 121.22

EX. 36" RCP
INV: 120.71

EX. CREEK
CENTERLINE

MATCH LINE
SEE C-7.10 FOR CONTINUATION

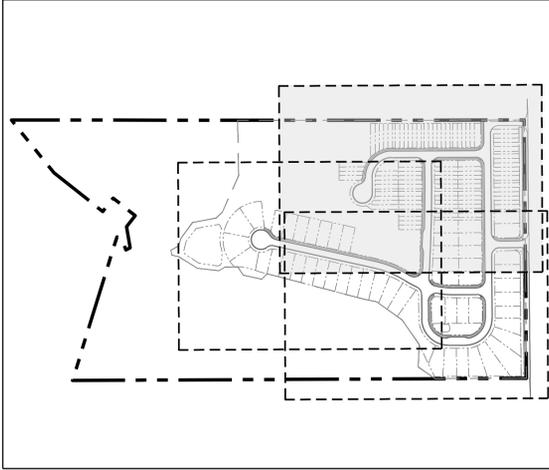
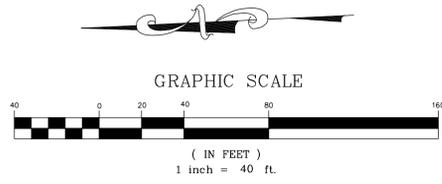
FEMA SPECIAL FLOOD
HAZARD AREA "AE"

WETLANDS

FEMA SPECIAL FLOOD
HAZARD AREA
(0.2% ANNUAL CHANCE FLOOD HAZARD)

NOTE:
EROSION CONTROL NOTES : SEE SHEET C-7.0.

LEGEND:
SEE SHEET C-7.9 FOR LEGEND



SITE KEY PLAN

NO.	REVISIONS	DATE	BY

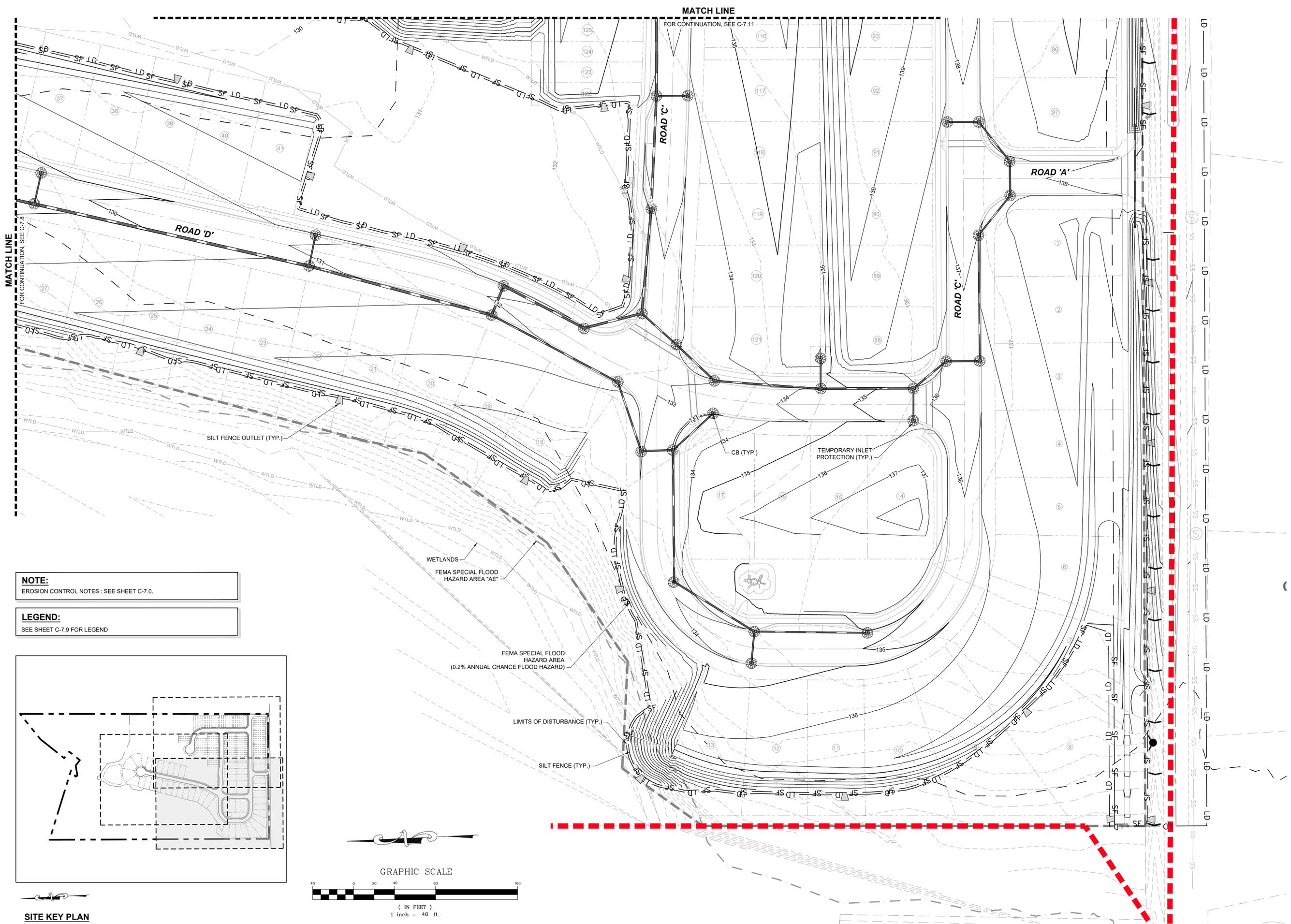


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8801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 / JOSH@STRONGROCKENGINEERING.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY RLB	DRAWN BY SRG	CHECKED BY JWL
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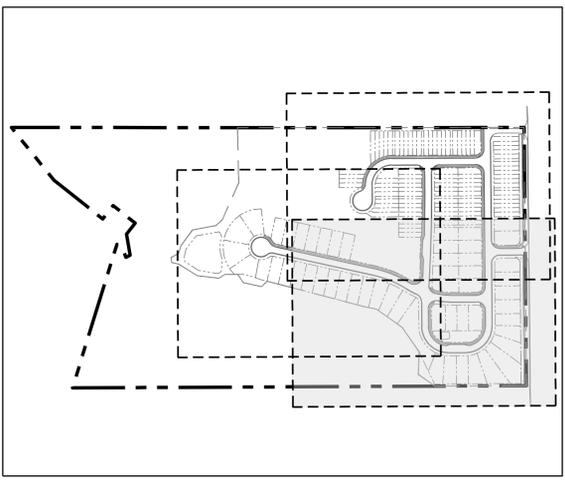
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
EROSION CONTROL PLAN - STAGE 3

DRAWING SHEET
C-7.11

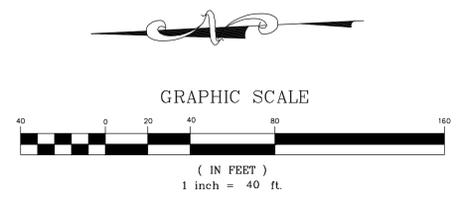


NOTE:
 EROSION CONTROL NOTES : SEE SHEET C-7.0.

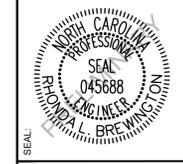
LEGEND:
 SEE SHEET C-7.9 FOR LEGEND



SITE KEY PLAN



NO.	REVISIONS	DATE	BY



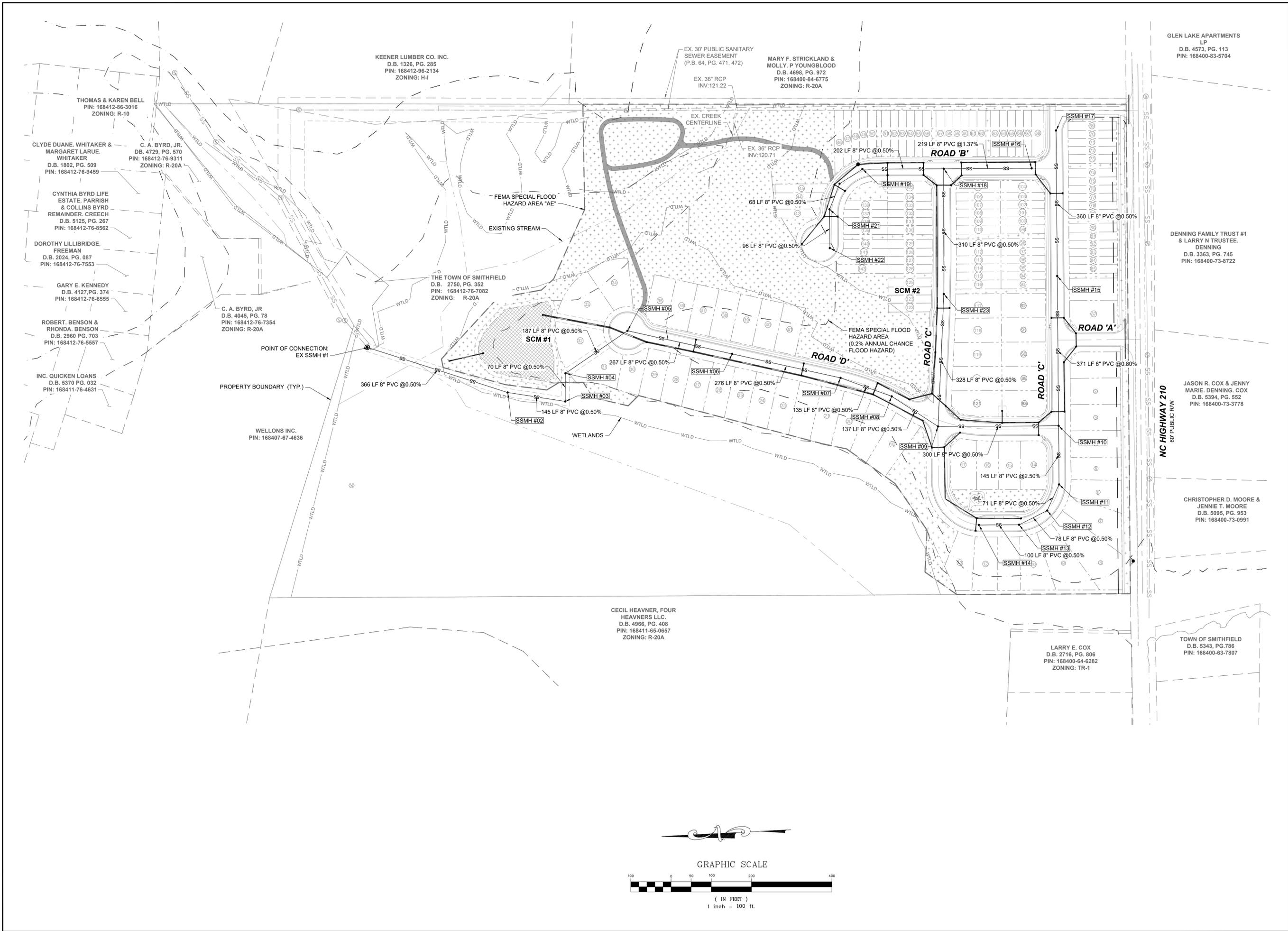
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY RLB	DRAWN BY SRG	CHECKED BY JWL
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MARIN WOODS SUBDIVISION
 SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY MASTER PLAN
EROSION CONTROL PLAN - STAGE 3

DRAWING SHEET
C-7.12



NO.	REVISIONS	DATE	BY



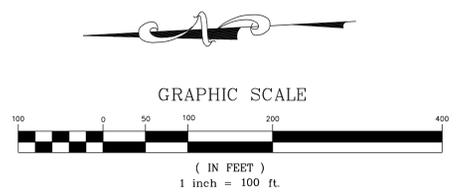
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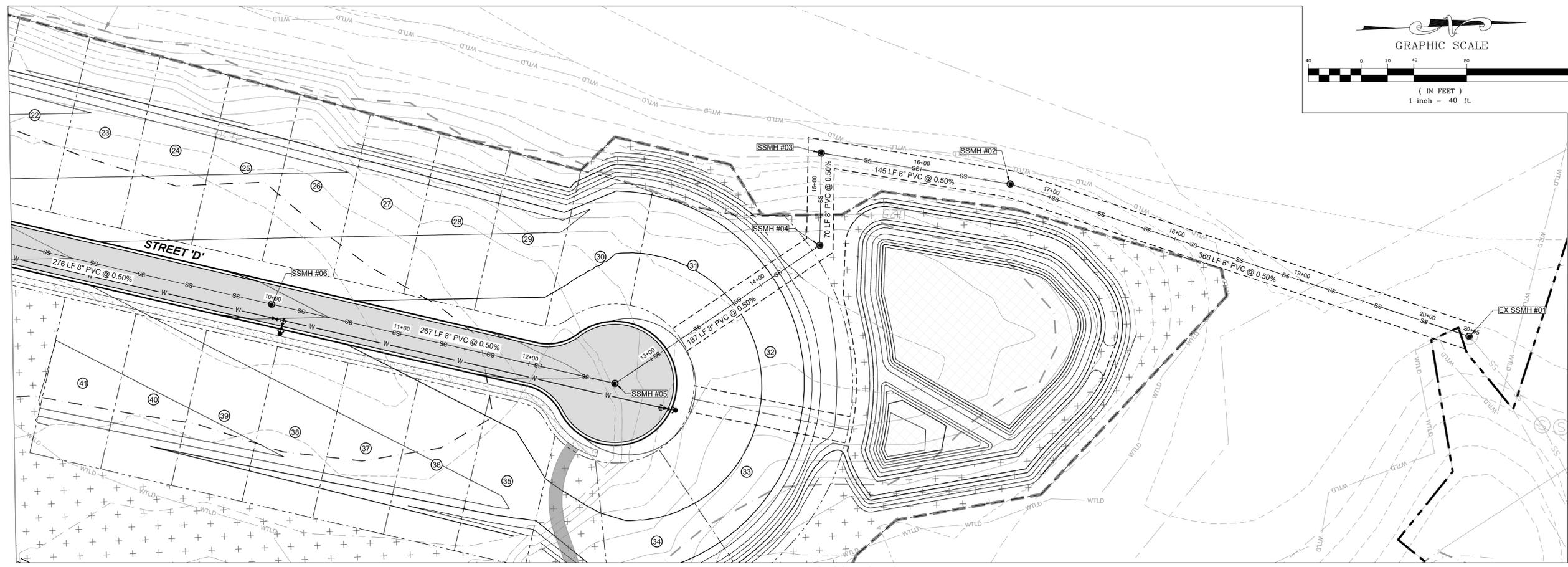
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY RLB	DRAWN BY SRG	CHECKED BY JWL
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MARIN WOODS SUBDIVISION
 SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY MASTER PLAN
ON-SITE SANITARY SEWER PLAN

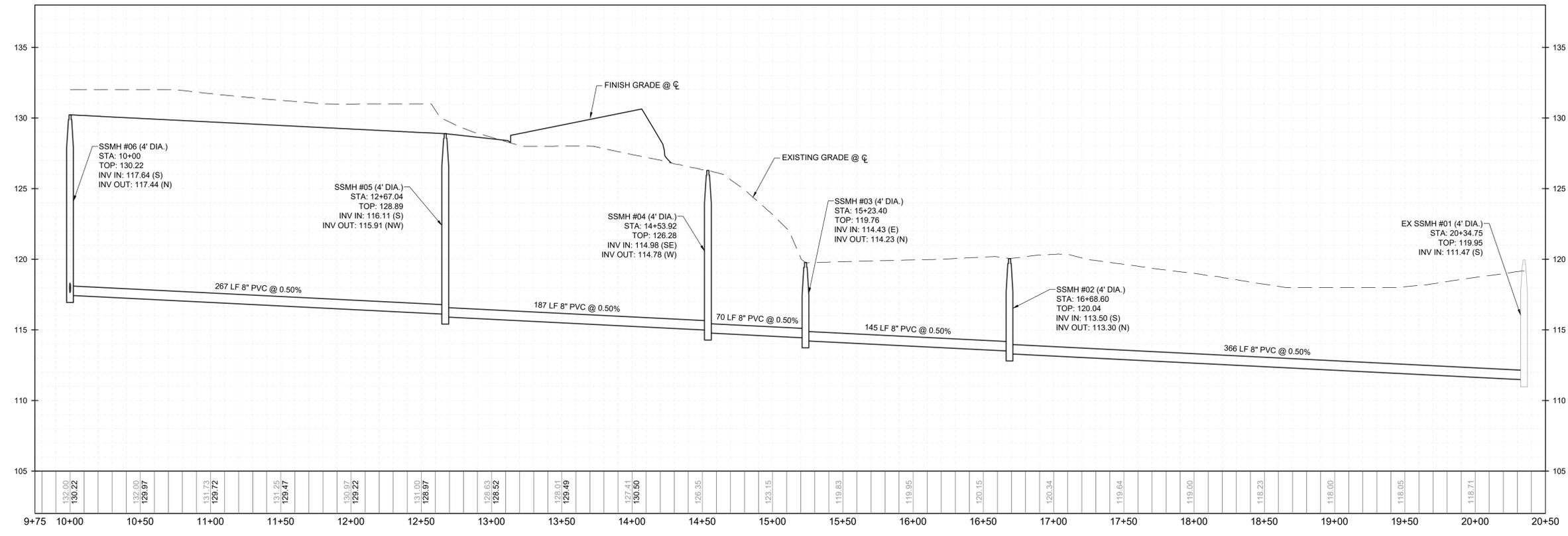
DRAWING SHEET
C-8.0

34 OF 47





**PROPOSED OFF-SITE
SANITARY SEWER - PLAN**
HORIZONTAL: 1" = 40'



**PROPOSED OFF-SITE SANITARY
SEWER - PROFILE**
VERTICAL: 1" = 4'
HORIZONTAL: 1" = 40'

NO.	REVISIONS	DATE	BY

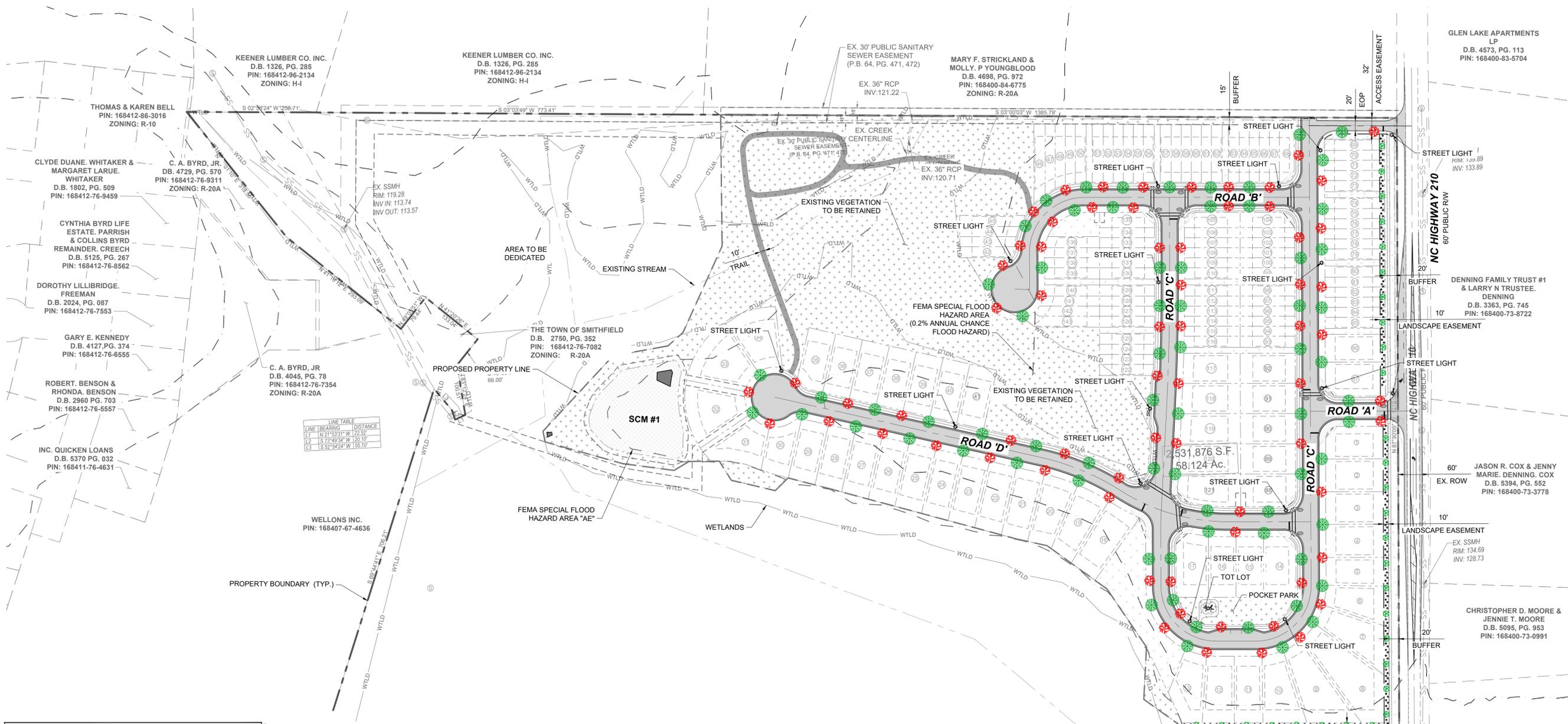


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MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
**ON-SITE SANITARY
SEWER PROFILE**

DRAWING SHEET
C-8.1



LINE TABLE

LINE	BEARING	DISTANCE
L1	N 21° 33' 11" W	122.92
L2	S 79° 49' 04" W	100.10
L3	S 52° 54' 24" W	155.10

LEGEND:

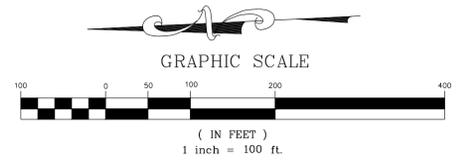
	EXISTING PROPERTY LINE
	STREET LIGHT
	SIGN
	STOP BAR
	WHEELCHAIR RAMP
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	VALLEY/ROLLED CURB & GUTTER
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	EXISTING VEGETATION TO BE RETAINED

TYPE OF TREE TABLE :

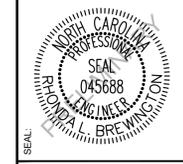
KEY	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	HEIGHT
UP	71	ULMUS PARVIFOLIA	LACEBARK ELM	B&B	2.5" CAL	10'
AS	68	ACER SCANLON	RED MAPLE SCANLON	B&B	2.5" GAL	10'
LI	30	LAGERSTROENIA INDICA	CREPE MYRTLE	B&B	1" CAL	6'
IV	15	ILEX VOMITORIA	YAUPOH HOLLY	GAL.	3 GAL	18"
LJ	105	LIGUSTRUM JAPONICOM	WAXLEAF LIGUSTRUM	GAL.	3 GAL	18"
IC	60	ILEX CORNUTA - NEEDLE POINT	NEEDLEPOINT HOLLY	GAL.	3 GAL	18"

LEGEND:

	ULMUS PARVIFOLIA (UP)
	RED MAPLE SCANLON (AS)
	WAXLEAF LIGUSTRUM (IV)
	YAUPOH HOLLY (IV)
	NEEDLEPOINT HOLLY (IC)
	CREPE MYRTLE (LI)



NO.	REVISIONS	DATE	BY

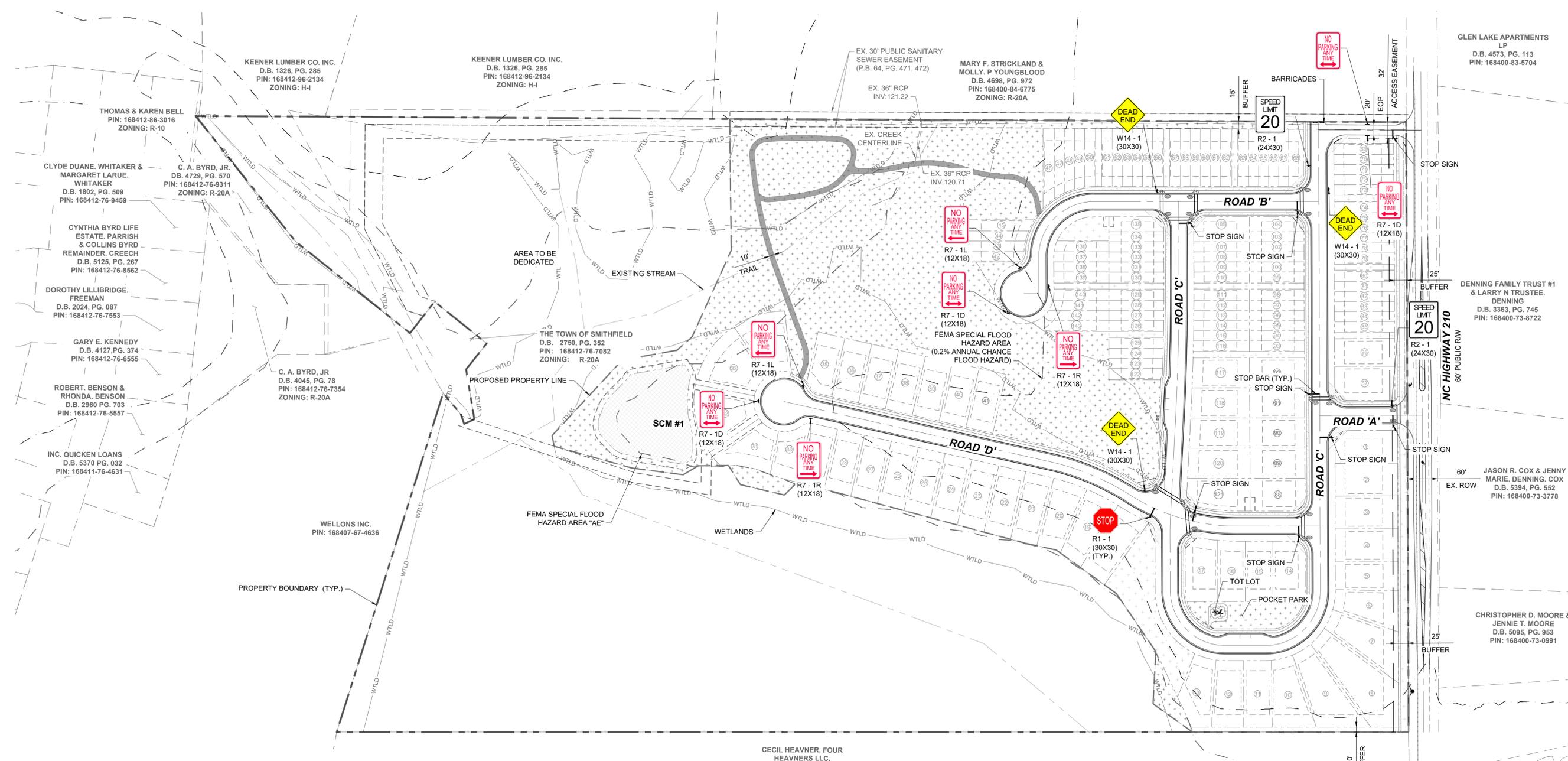


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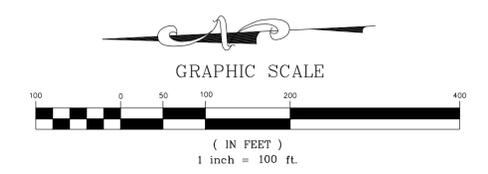
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
LIGHTING AND LANDSCAPE PLAN

DRAWING SHEET
C-9.0

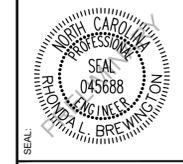


LEGEND:

	EXISTING PROPERTY LINE
	STREET LIGHT
	SIGN
	STOP BAR
	WHEELCHAIR RAMP
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	VALLEY/ROLLED CURB & GUTTER
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	OPEN SPACE



NO.	REVISIONS	DATE	BY



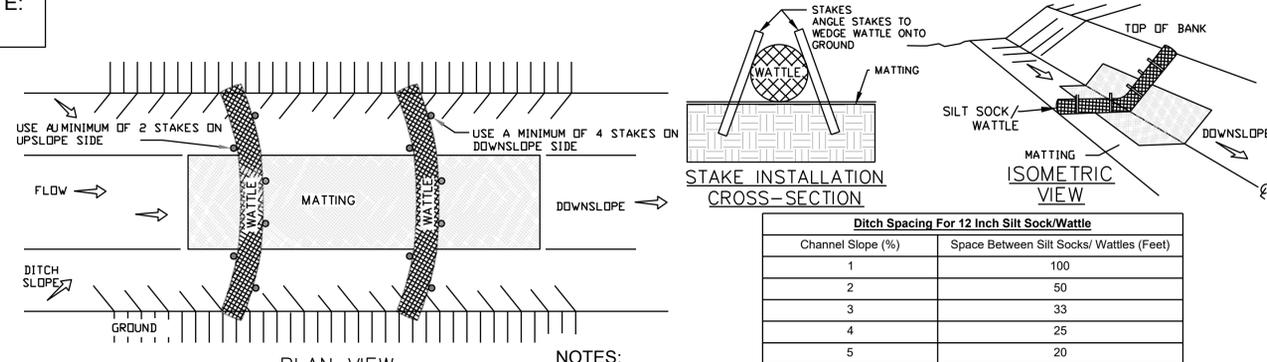
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SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
SIGNAGE PLAN

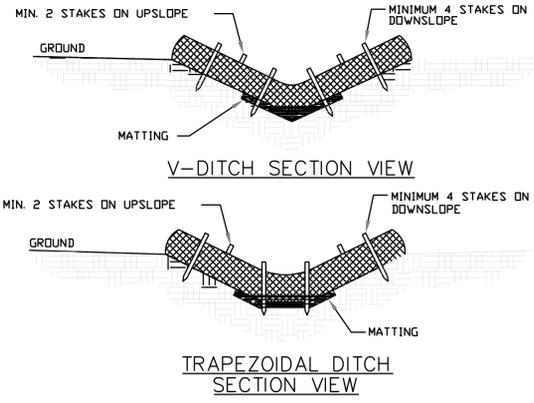
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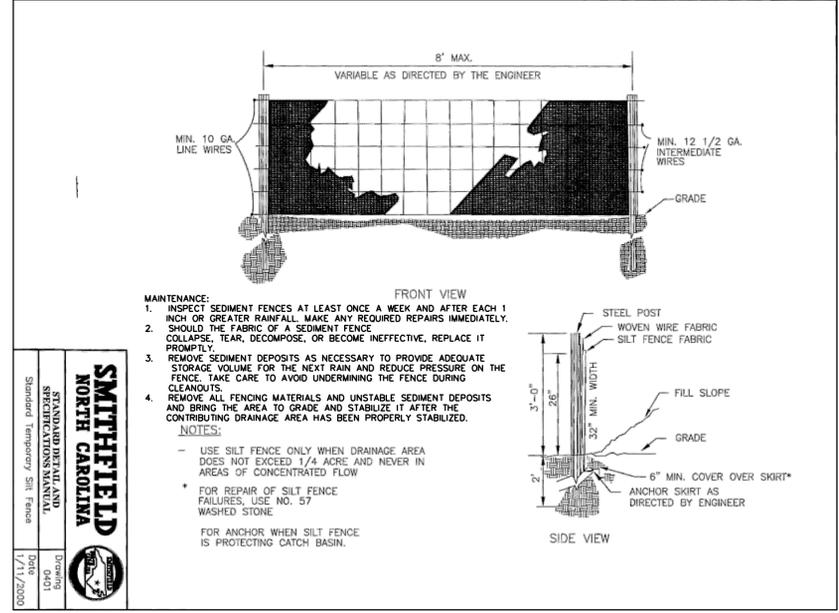


Channel Slope (%)	Space Between Silt Socks/ Wattles (Feet)
1	100
2	50
3	33
4	25
5	20

- NOTES:**
- Other materials providing equivalent protection against erosive velocities may be substituted for use in silt socks or wattles.
 - Use a minimum 12 inch diameter silt sock/wattle.
 - Fill silt sock/wattle netting uniformly to the desired length such that logs do not deform.
 - Use 24 inch long wooden stakes with a 2 inch x 2 inch nominal cross section.
 - Install silt sock/wattle(s) to a height on slope so flow will not wash around silt sock/wattle and scour slopes, or as directed.
 - Install a minimum of two upslope stakes and four downslope stakes at an angle to wedge silt sock/wattle to ground at bottom ditch.
 - The use of Polyacrylamide (PAM) is recommended. Apply 2-3 ounces of anionic PAM on top of sock/wattle. Apply 1-2 ounces to matting on either side of sock/wattle. Reapply after each 1.0 inch rainfall.
- MAINTENANCE:**
- Inspect silt sock/wattle(s) weekly and after each rain of 1 inch or greater. Remove accumulated sediment and any debris.
 - Silt sock/Wattle(s) must be replaced if clogged or torn.
 - If ponding becomes excessive, the silt sock/wattle may need to be replaced with a larger diameter or a different measure.
 - Reinstall if damaged or dislodged.
 - Silt socks/Wattles shall be inspected until land disturbance is complete and the area above the measure is permanently stabilized.



SILT SOCK / WATTLE FOR CHECK DAM



- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH 1 INCH OR GREATER RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUTS.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- NOTES:**
- USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW
 - FOR REPAIR OF SILT FENCE FAILURES, USE NO. 57 WASHED STONE
 - FOR ANCHOR WHEN SILT FENCE IS PROTECTING CATCH BASIN.

SMITHFIELD NORTH CAROLINA

STANDARD MATERIAL AND METHOD SPECIFICATIONS FOR SILT SOCKS/WATTLES

DATE: 1/11/2008

NO.	REVISIONS	DATE	BY



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	TOP WIDTH (FT)	TOP LENGTH (FT)	DEPTH (FT)	SIDESLOPE RATIO	DRAINAGE AREA (AC)	PEAK FLOW (CFS)	SKIMMER	ORIFICE	REQ. VOLUME (CF)	PROVIDED VOLUME (CF)	REQUIRED SURFACE AREA (SF)	PROVIDED SURFACE AREA (SF)	TOP ELEVATION	DEWATERING TIME (DAYS)
TSB-1	160	160	4	3	8.13	35.22	3	2	14634	87808	15341	25600	126	3.17

	TOP WIDTH (FT)	TOP LENGTH (FT)	DEPTH (FT)	SIDESLOPE RATIO	DRAINAGE AREA (AC)	PEAK FLOW (CFS)	SKIMMER	ORIFICE	REQ. VOLUME (CF)	PROVIDED VOLUME (CF)	REQUIRED SURFACE AREA (SF)	PROVIDED SURFACE AREA (SF)	TOP ELEVATION	WEIR LENGTH (FT)	WEIR ELEVATION	DEWATERING TIME (DAYS)
SB-2	70	140	3	3	7.79	28.12	2.5	2	14015	24054	9135	9800	133	30	132.5	3.33

- NOTES:**
- SKIMMER OUTLET PIPES SHALL BE 4" PVC PIPE AND
 - OUTLET PIPE SHALL DISCHARGE TO A 2' X 3' DISIPATOR PAD.
 - FOR OUTLET SLOPES BETWEEN 0-11%, USE 15" THICK CLASS A STONE AND BETWEEN 11-17%, USE 18" THICK CLASS B STONE.
 - SKIMMER BASIN WEIRS SHALL BE COVERED WITH NORTH AMERICAN GREEN C700BN OR APPROVED EQUAL.

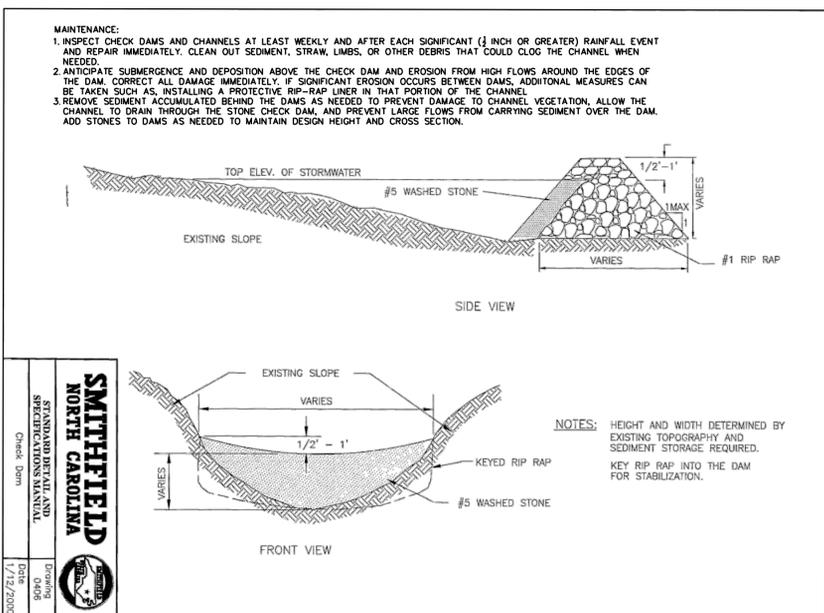
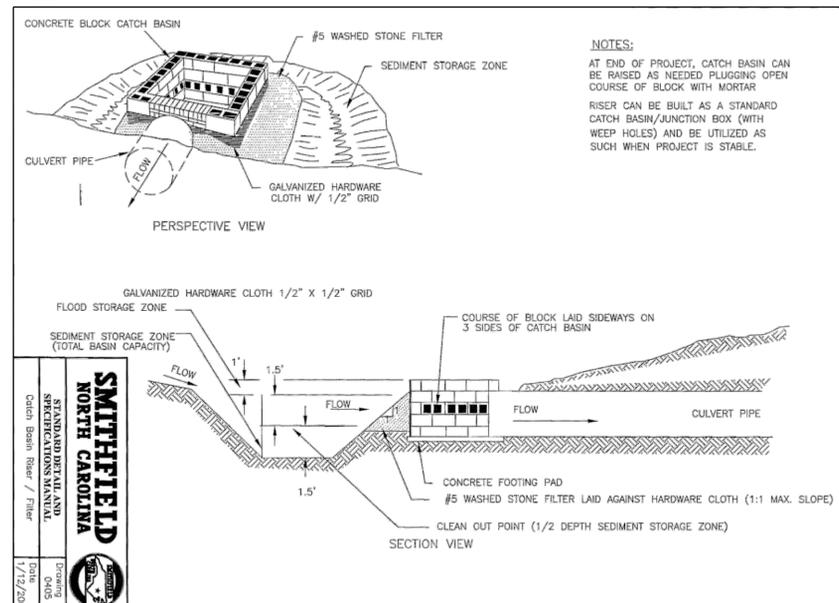
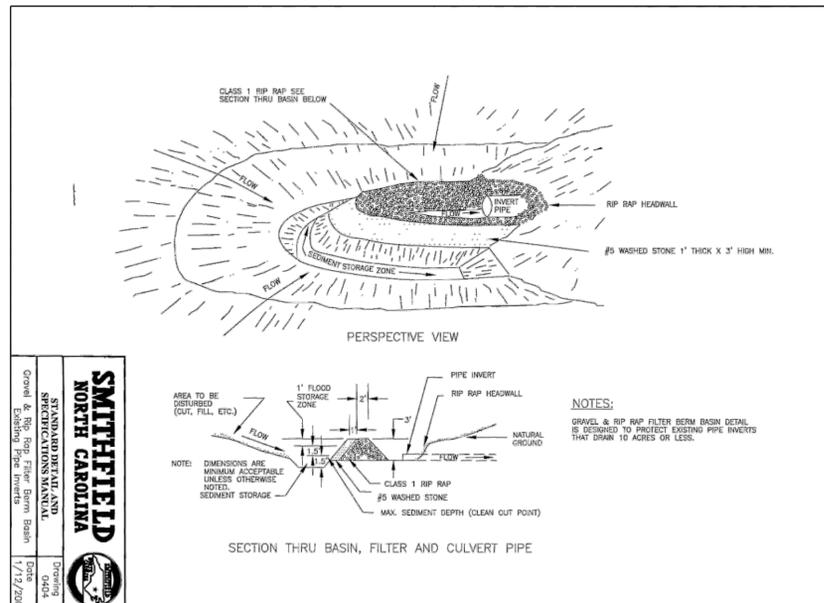
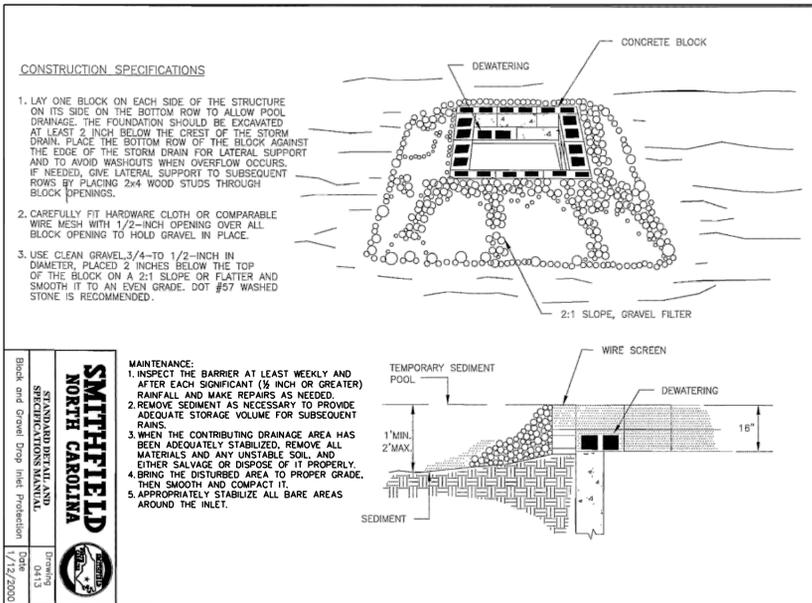
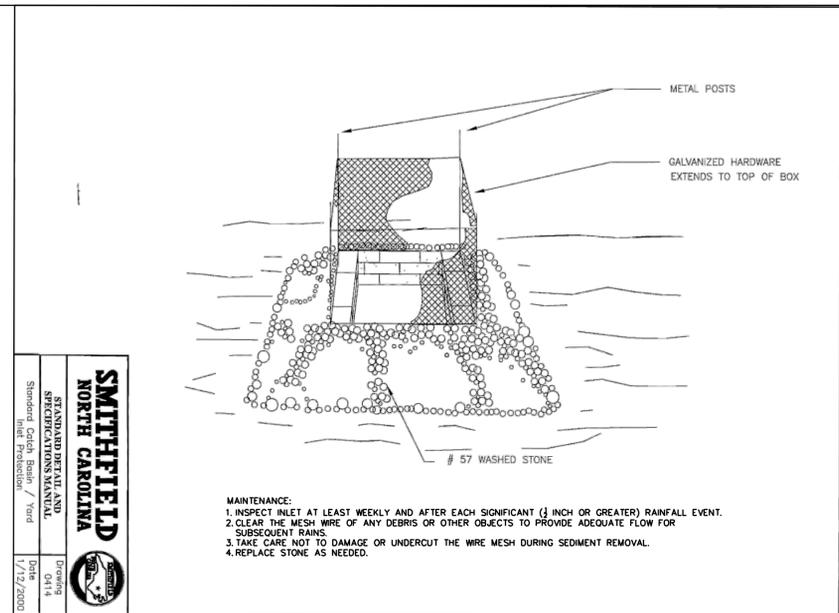
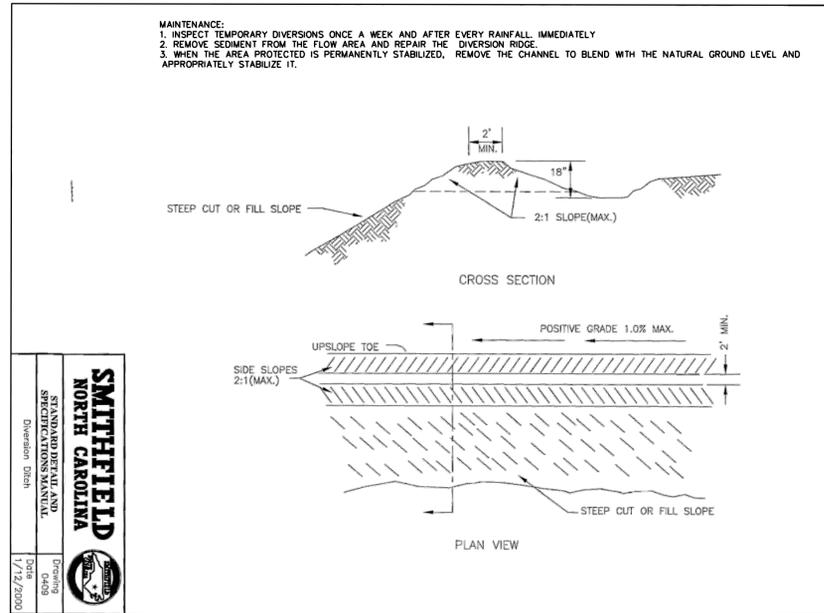
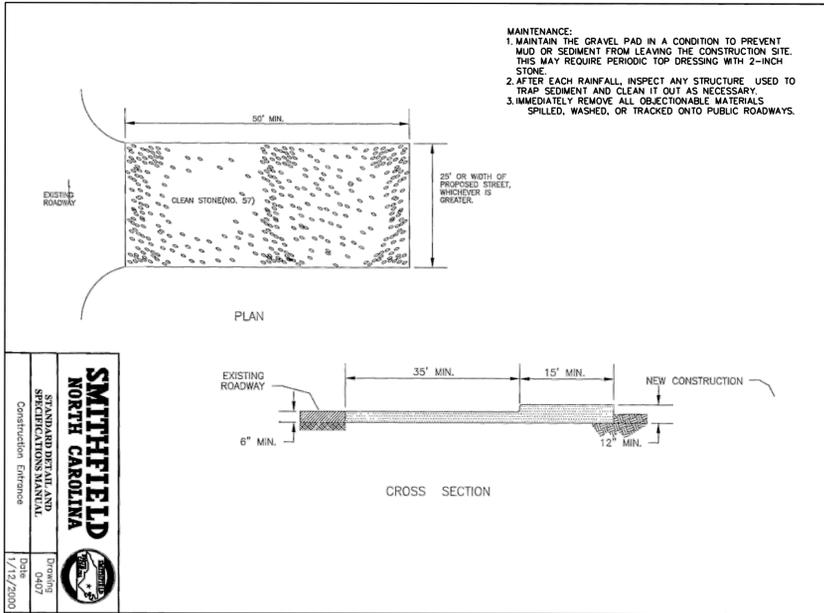
	DRAINAGE AREA (AC)	FLOW (Q)	FLOW DEPTH (FT)	SLOPE (FT/FT)	LENGTH (FT)	BEGIN ELEVATION	END ELEVATION	BOTTOM WIDTH (FT)	TOP WIDTH (FT)	DEPTH (FT)	SIDE SLOPE (Z:1)	VELOCITY (FT/S)	TRACTION FORCE (#/SQ FT)	LINING
DD-1	3.23	14.79	0.85	0.008	1596	138	126	2	6	1	2	4.26	0.4	JUTE NET
DD-2	4.9	2.43	1	0.007	1220	134	124	2	8	1	2	5.12	0.48	SINGLE FIBERGLASS ROVING
DD-3	3.24	14.83	0.95	0.005	486	133.5	131	2	9	1.5	2	4.4	0.3	JUTE NET
DD-4	5.58	25.55	1.1	0.008	830	137.5	131	2	8	1.5	2	5.43	0.54	SINGLE FIBERGLASS ROVING

	PIPE DIAMETER (IN)	PIPE LENGTH (FT)	DISSIPATOR LENGTH (FT)	DISSIPATOR WIDTH (FT)	DISSIPATOR DEPTH (IN)	STONE
SD-1	18	35	12	7	18	CLASS B
SD-2	24	35	12	7	18	CLASS B
SD-3	18	32	9	5	18	CLASS B
SD-4	24	32	12	7	18	CLASS B

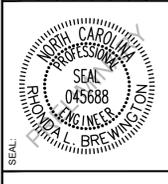
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	RLB	SRG	CHECKED BY	JWL
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MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
EROSION CONTROL DETAILS

DRAWING SHEET
D-1.2



NO.	REVISIONS	DATE	BY

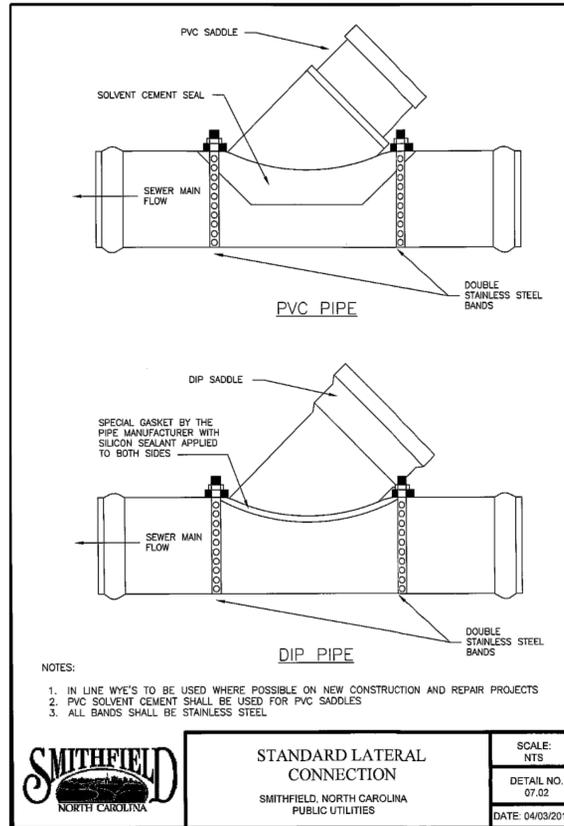


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			DRAWN BY			
			CHECKED BY			

MARIN WOODS SUBDIVISION
 SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
 PRELIMINARY MASTER PLAN
 EROSION CONTROL DETAILS

DRAWING SHEET
D-1.3
 41 OF 47

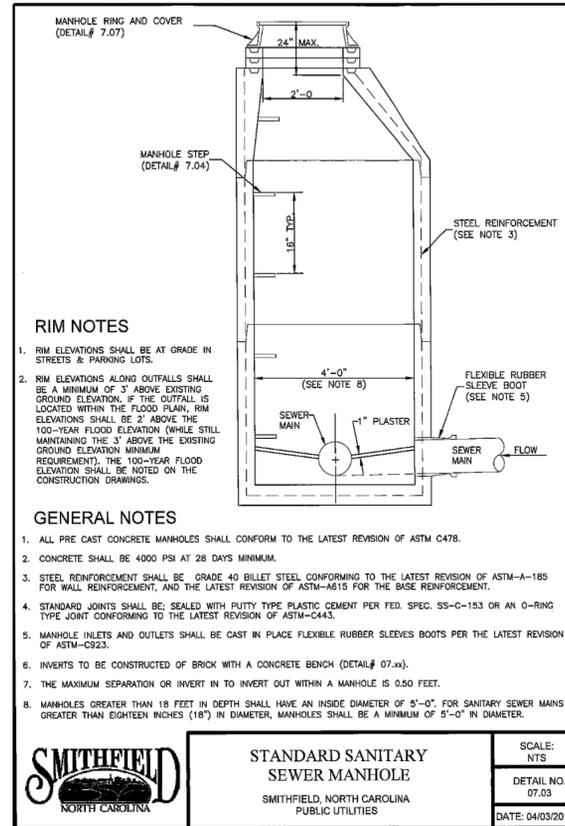


SMITHFIELD NORTH CAROLINA

STANDARD LATERAL CONNECTION

SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 07.02
DATE: 04/03/2018

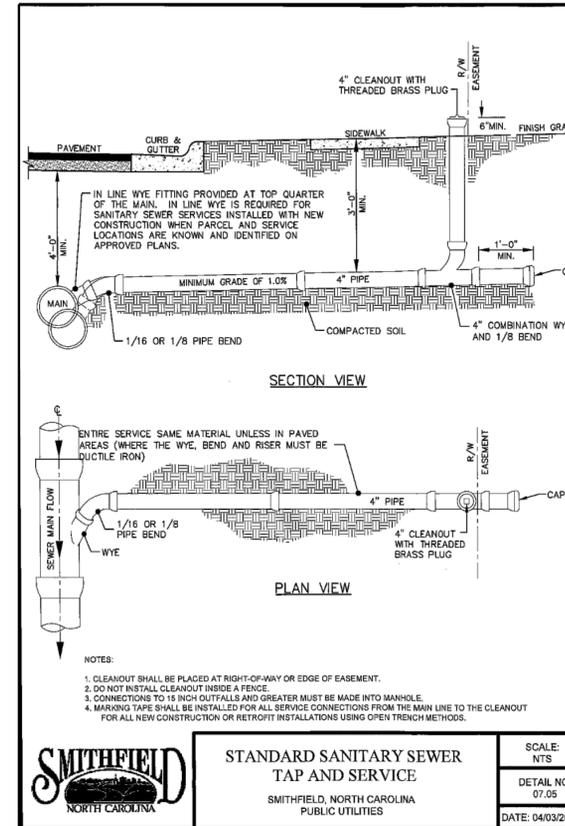


SMITHFIELD NORTH CAROLINA

STANDARD SANITARY SEWER MANHOLE

SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 07.03
DATE: 04/03/2018

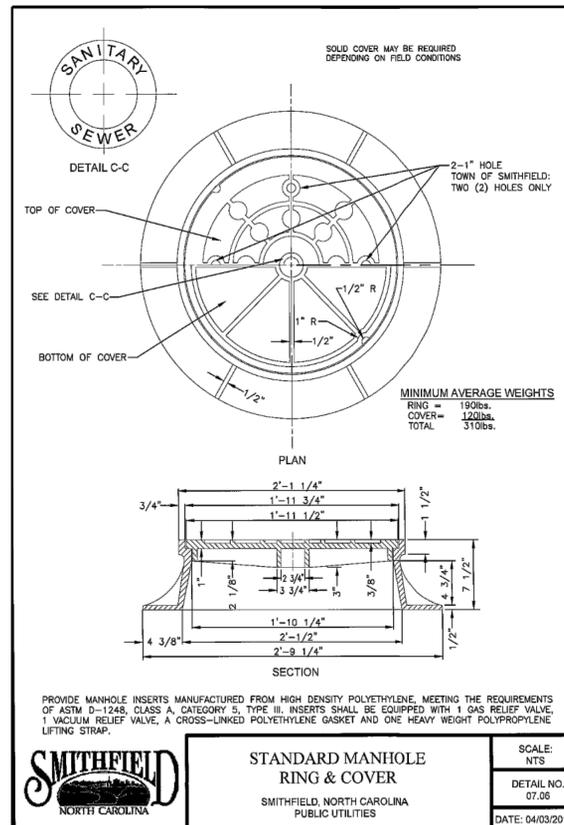


SMITHFIELD NORTH CAROLINA

STANDARD SANITARY SEWER TAP AND SERVICE

SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 07.05
DATE: 04/03/2018

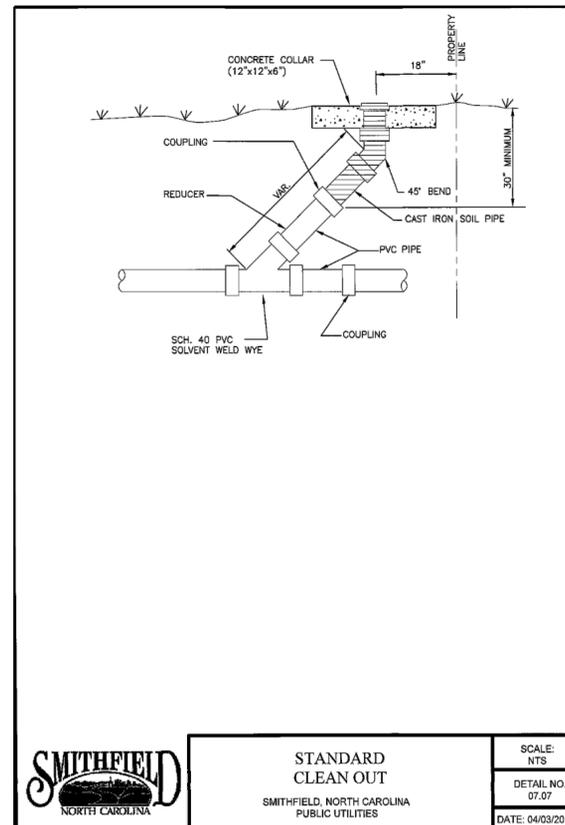


SMITHFIELD NORTH CAROLINA

STANDARD MANHOLE RING & COVER

SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 07.06
DATE: 04/03/2018

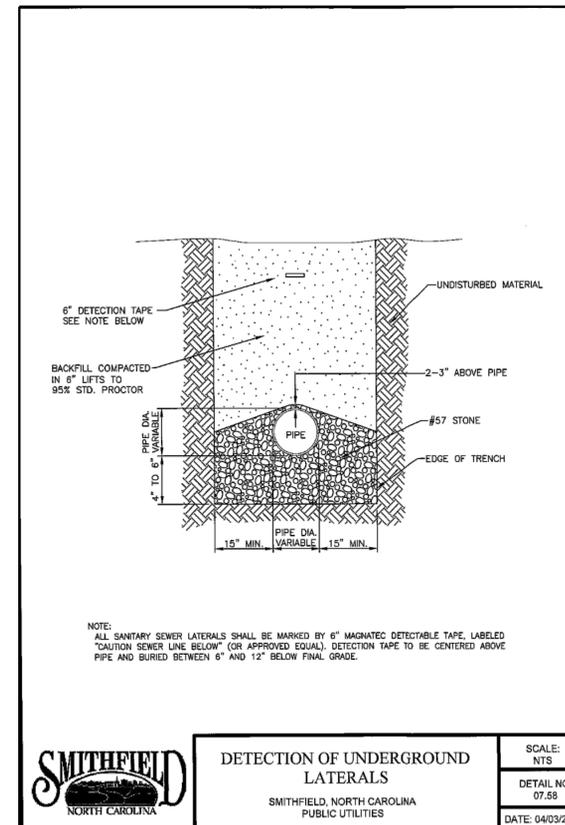


SMITHFIELD NORTH CAROLINA

STANDARD CLEAN OUT

SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 07.07
DATE: 04/03/2018



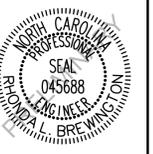
SMITHFIELD NORTH CAROLINA

DETECTION OF UNDERGROUND LATERALS

SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 07.58
DATE: 04/03/2018

NO.	REVISIONS	DATE	BY



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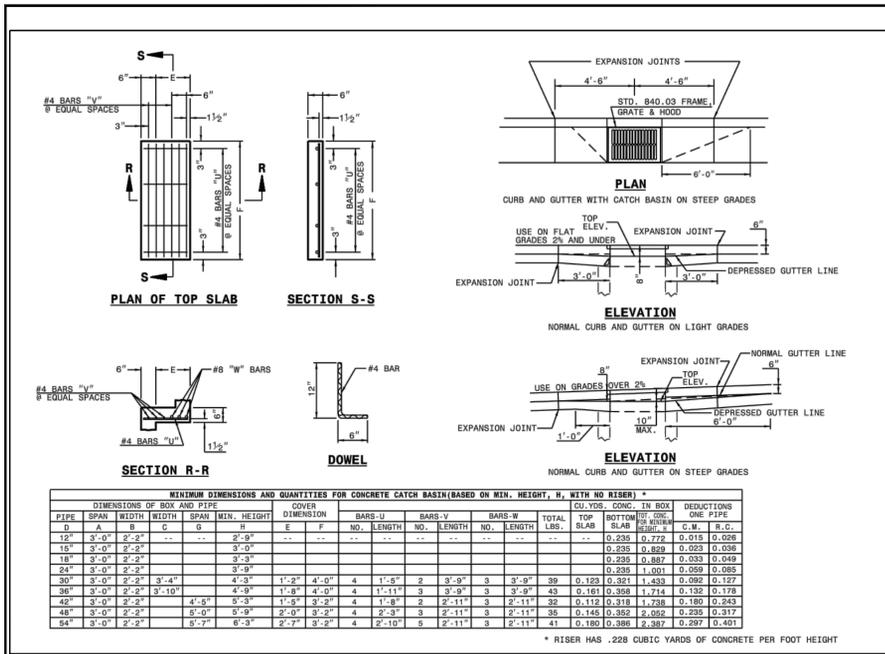
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PRELIMINARY MASTER PLAN
SANITARY SEWER DETAILS

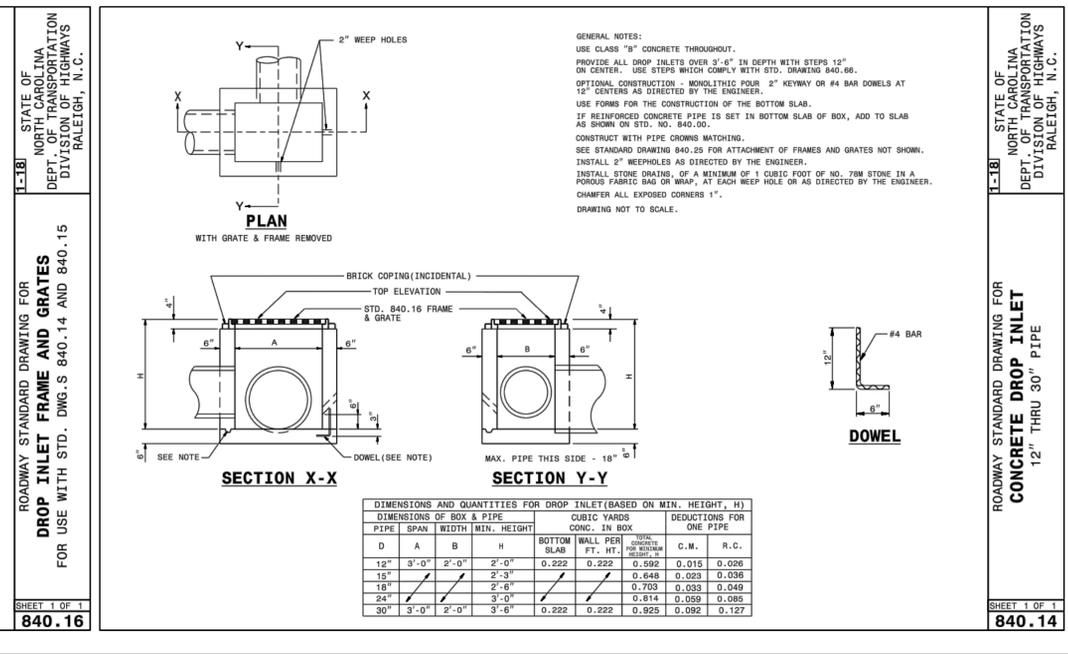
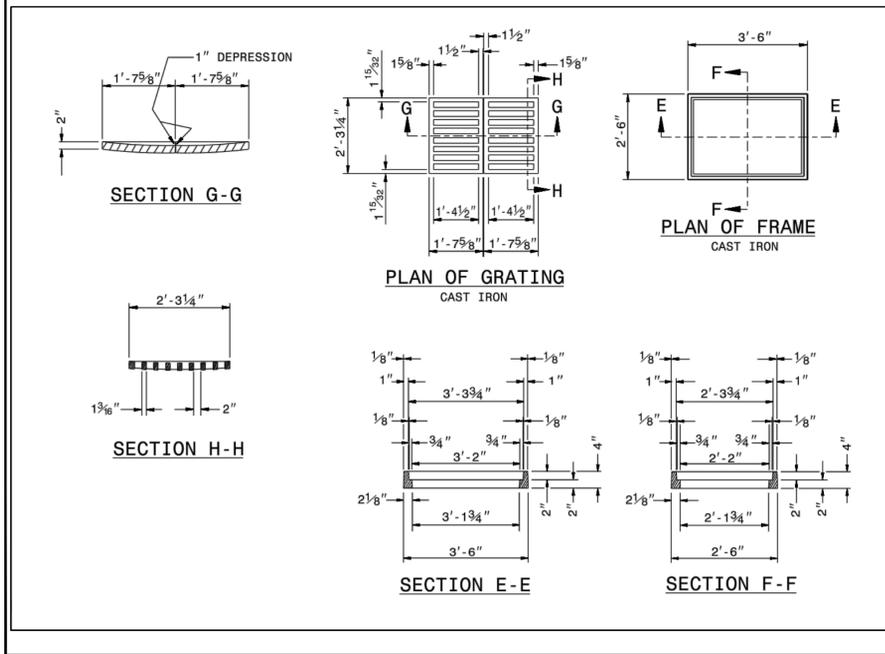
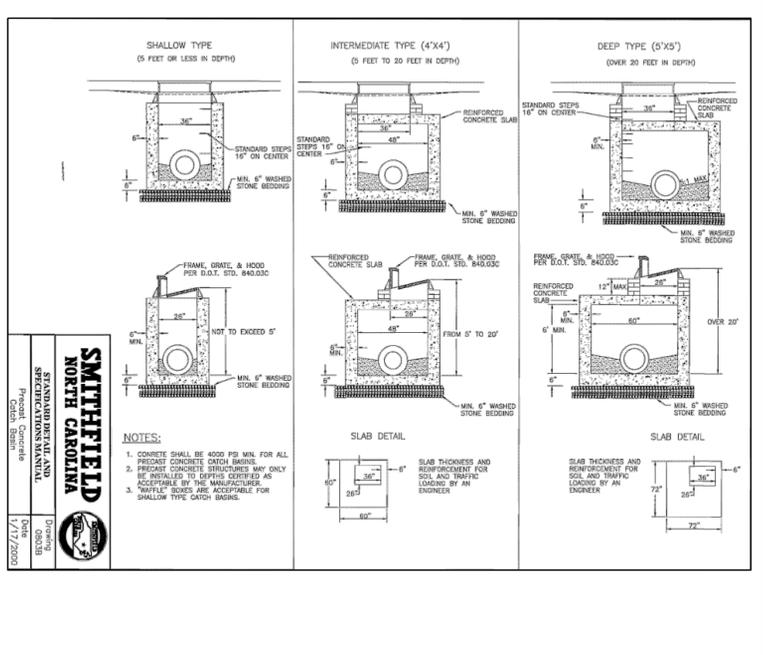
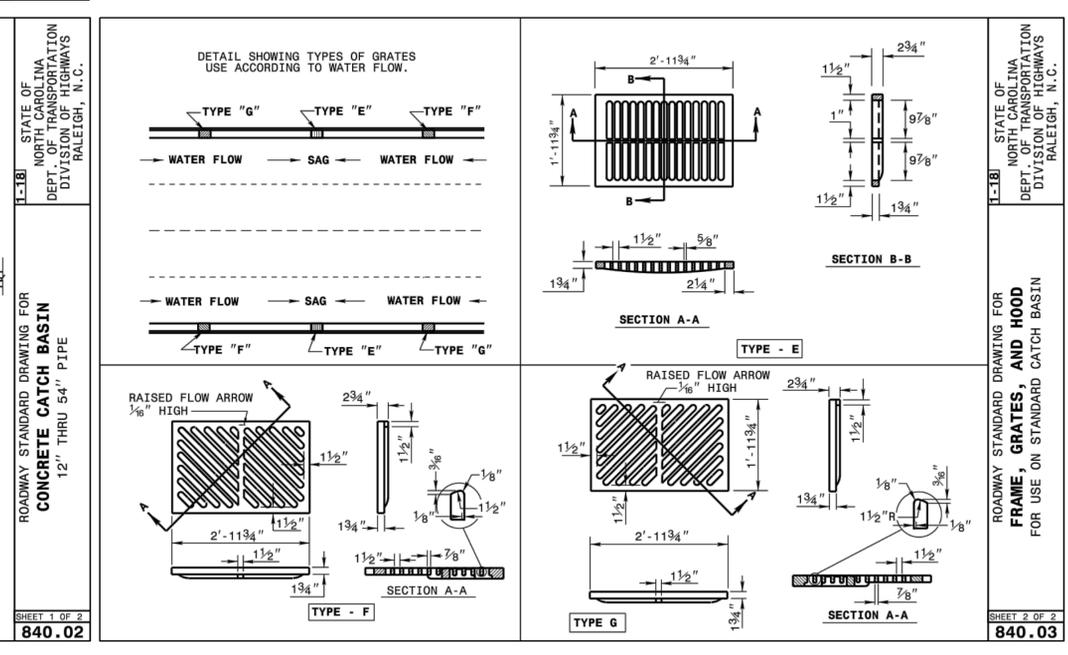
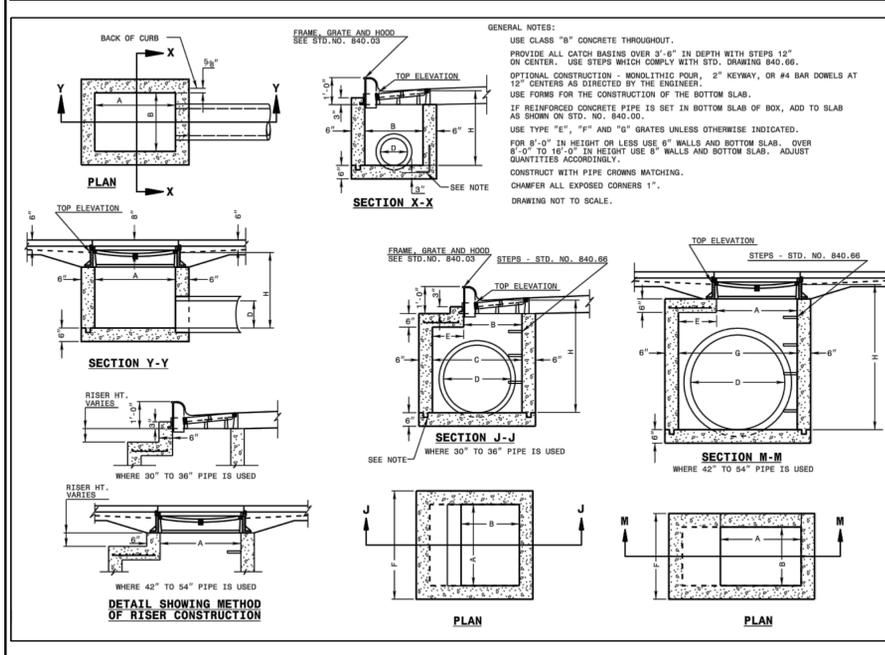
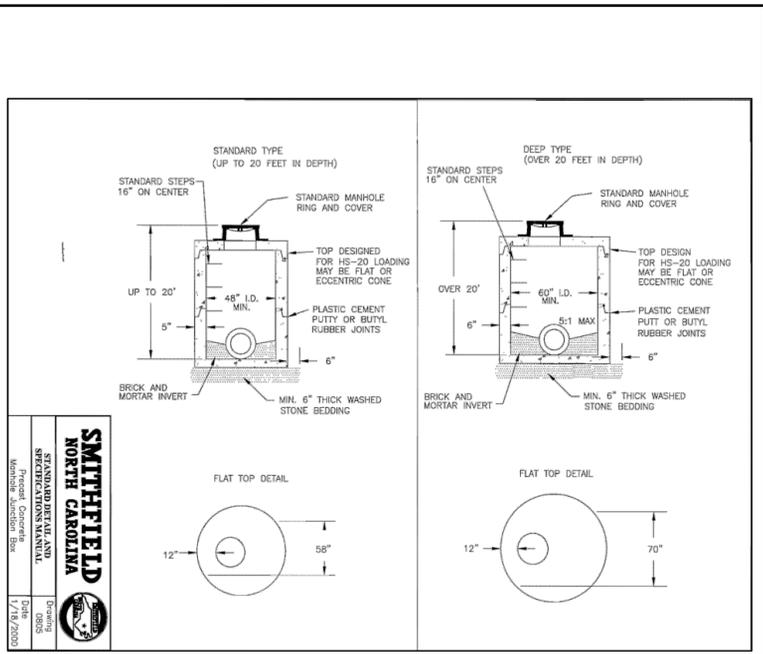
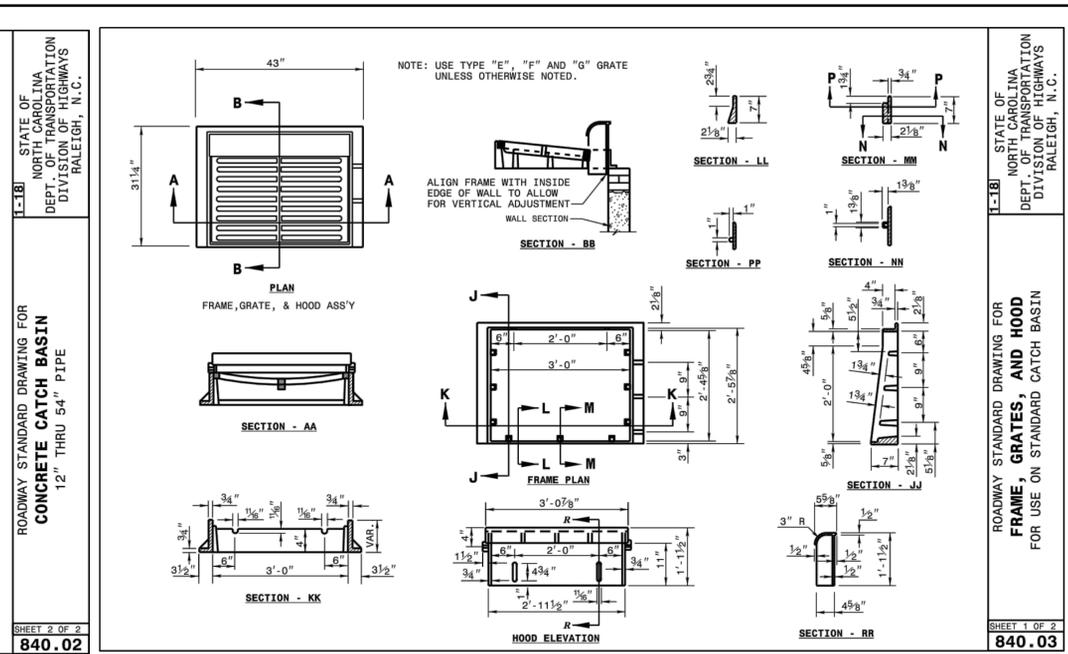
DRAWING SHEET

D-2.0



MINIMUM DIMENSIONS AND QUANTITIES FOR CONCRETE CATCH BASIN (BASED ON MIN. HEIGHT, H, WITH NO RISER) *																
PIPE D	DIMENSIONS OF BOX & PIPE				COVER DIMENSION	BARS-U			BARS-V			TOTAL CONCRETE IN BOX ONE PIPE				
	SPAN	WIDTH	DEPTH	SPRAY		NO.	LENGTH	NO.	LENGTH	NO.	LENGTH		C.M.	R.C.		
12"	3'-0"	2'-0"	2'-0"	2'-0"	2'-0"	4	1'-5"	2	3'-9"	3	3'-9"	0.235	0.272	0.015	0.026	
15"	3'-0"	2'-2"	2'-0"	3'-0"	3'-0"	4	1'-5"	2	3'-9"	3	3'-9"	0.235	0.289	0.033	0.036	
18"	3'-0"	2'-2"	2'-0"	3'-3"	3'-3"	4	1'-5"	2	3'-9"	3	3'-9"	0.235	0.287	0.033	0.049	
24"	3'-0"	2'-2"	2'-0"	3'-3"	3'-3"	4	1'-5"	2	3'-9"	3	3'-9"	0.235	0.287	0.033	0.049	
30"	3'-0"	2'-2"	3'-4"	4'-3"	4'-3"	4	1'-11"	3	3'-9"	3	3'-9"	0.123	0.351	1.433	0.092	0.127
36"	3'-0"	2'-2"	3'-10"	4'-9"	4'-9"	4	1'-11"	3	3'-9"	3	3'-9"	0.161	0.358	1.714	0.132	0.178
42"	3'-0"	2'-2"	4'-6"	5'-3"	5'-3"	4	1'-11"	3	2'-11"	3	2'-11"	0.112	0.318	1.738	0.180	0.243
48"	3'-0"	2'-2"	5'-0"	5'-7"	5'-7"	4	2'-2"	3	2'-11"	3	2'-11"	0.145	0.352	2.050	0.230	0.317
54"	3'-0"	2'-2"	5'-7"	6'-3"	6'-3"	4	2'-10"	5	2'-11"	3	2'-11"	0.180	0.386	2.387	0.297	0.401

* RISER HAS .228 CUBIC YARDS OF CONCRETE PER FOOT HEIGHT



DIMENSIONS AND QUANTITIES FOR DROP INLET (BASED ON MIN. HEIGHT, H)											
PIPE D	DIMENSIONS OF BOX & PIPE				BOTTOM SLAB	WALL PER FT. HT.	CONCRETE IN BOX PER PIPE	DEDUCTIONS FOR ONE PIPE			
	SPAN	WIDTH	MIN. HEIGHT	DEPTH				C.M.	R.C.		
12"	3'-0"	2'-0"	2'-0"	2'-0"	0.222	0.222	0.592	0.015	0.026		
15"	3'-0"	2'-0"	2'-0"	2'-3"	0.222	0.222	0.648	0.023	0.036		
18"	3'-0"	2'-0"	2'-0"	2'-6"	0.222	0.222	0.703	0.033	0.049		
24"	3'-0"	2'-0"	2'-0"	3'-0"	0.222	0.222	0.814	0.059	0.065		
30"	3'-0"	2'-0"	2'-0"	3'-6"	0.222	0.222	0.925	0.092	0.127		

SMITHFIELD NORTH CAROLINA

STRONGROCK ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

REVISIONS

NO.	DATE	BY

STRONG ROCK PROJECT

NOT FOR CONSTRUCTION

SCALE AS SHOWN

DESIGNED BY RLB

DRAWN BY SRG

CHECKED BY JWL

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN

STORM DRAINAGE DETAILS

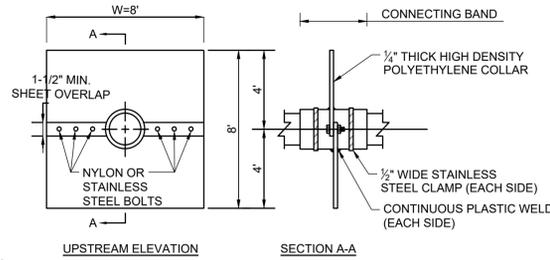
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43 OF 47

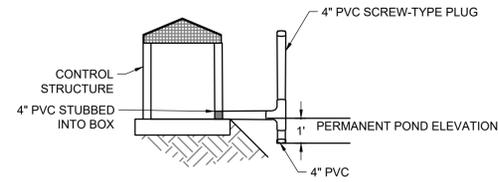
PERMANENT DETENTION BASIN NOTES:

1. ALL FILL SOILS FOR BERM SECTION SHALL BE CLEAN, IMPERMEABLE MATERIAL AND COMPACTED TO AT LEAST 98% STANDARD PROCTOR MAXIMUM DRY DENSITY, AT OPTIMUM MOISTURE CONTENT. NO BLASTED MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXHIBIT SIGNIFICANT SHRINK/SWELL OR DISPERSIVE CHARACTERISTICS. ON-SITE GEOTECHNICAL ENGINEER SHALL APPROVE THE SOILS FOR PLACEMENT WITHIN THE BERM SECTION. THE GEOTECHNICAL ENGINEER SHALL ALSO SPECIFY THE METHODS TO BE USED FOR PLACEMENT OF FILL. IF ADDITIONAL USES PLANNED UPON THE BERM SECTION (BUILDINGS, ETC.), THE GEOTECHNICAL ENGINEER SHALL SPECIFY SOILS SUITABLE FOR THAT ADDITIONAL USE. OF FILL.
2. IN ALL FILL AREAS OF THE BERM, A SOILS COMPACTION TEST SHALL BE CONDUCTED EACH 2500 SQUARE FEET PER VERTICAL FOOT
3. A KEY TRENCH IS TO BE PROVIDED IN ALL FILL AREAS. TRENCH TO EXTEND A MINIMUM OF FIVE FEET BELOW EXISTING GRADE. SOILS AND COMPACTION FOR KEY TRENCH SHALL MEET ALL REQUIREMENTS OF #1 ABOVE.
4. NO TREES OF ANY TYPE MAY BE LOCATED ON THE BERM SECTION.
5. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8' LIFT. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
6. ANY FILL REQUIRING HAND COMPACTION, INCLUDING FILL AROUND PIPES, SHALL BE CONDUCTED IN 4" LIFTS.
7. CONTRACTOR IS RESPONSIBLE TO CLEAN OUT SEDIMENT BASIN PRIOR TO CONVERTING TO PERMANENT STORMWATER BMP.



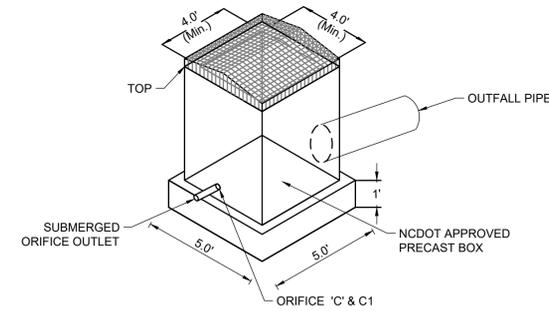
- NOTES:**
1. THE PIPE, CONNECTING BAND, AND SEAM COATING CAN BE EITHER SILICON CAULKING (RECOMMENDED), TAR OR MASTIC.
 2. APPLY SILICON CAULK, TAR, OR MASTIC TO THE CONNECTING BAND AND LAY THE PIPE ON IT. APPLY SILICON CAULK, TAR, OR MASTIC TO THE OTHER HALF OF THE CONNECTING BAND AND SET IT IN PLACE, LINING UP THE BOLT HOLES.
 3. INSTALL THE STAINLESS STEEL CLAMPS ON THE SPLIT HALVES OF THE CONNECTING BANDS AND TIGHTEN THE BOLTS AND CLAMPS.
 4. APPLY SILICON CAULK, TAR, OR MASTIC ON THE SEAMS AS NEEDED TO INSURE A GOOD SEAL SO THAT THE COMPLETED INSTALLATION IS WATERTIGHT.

WET POND ANTI-SEEP COLLAR DETAIL



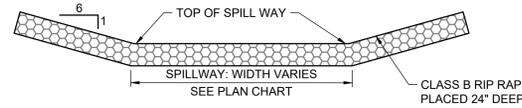
- NOTES:**
1. THE RISER SHOULD BE PLACED IN OR AT THE FACE OF THE EMBANKMENT.

WET POND SUBMERGED ORIFICE OUTLET DETAIL
NOT TO SCALE



WET POND STORMWATER CONTROL BOX
NOT TO SCALE

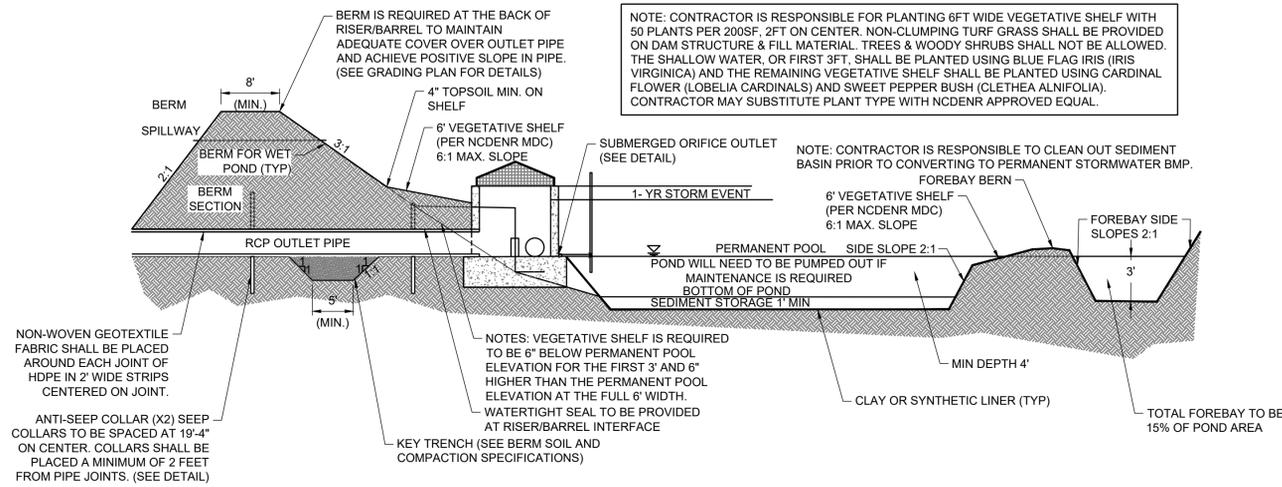
SCM#	TOP	NWSE	2.5" WQ ORIFICE	WQ ORIFICE SIZE	OUTLET INVERT	OUTLET	OUTLET SLOPE
1	126	123	123	2.5"	121	18" RCP	0.8%



INCLUDE SUBLAYER OF FILTER FABRIC OR FS-2 FILTER STONE WITH A BEDDING THICKNESS OF 6".

POND EMERGENCY SPILLWAY
NOT TO SCALE

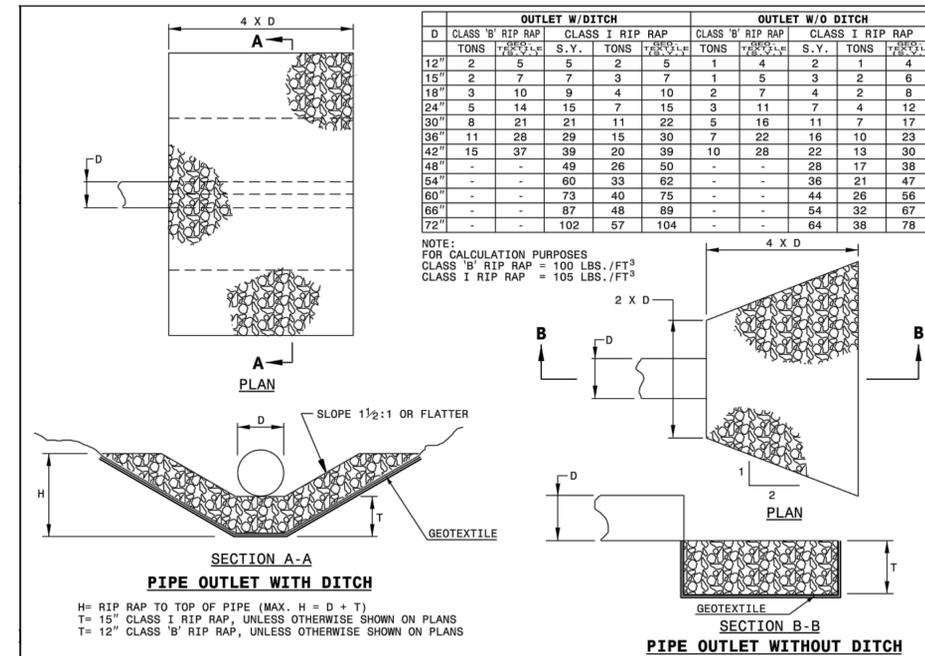
SCM#	TOP	WIDTH
1	125.5	30'



WET DETENTION POND DETAIL
NOT TO SCALE

STORMWATER CONTROL MEASURE DISSIPATOR PADS						
	PIPE DIAMETER (IN)	PIPE SLOPE (%)	DISSIPATOR LENGTH (FT)	DISSIPATOR TOP WIDTH (FT)	DISSIPATOR BOTTOM WIDTH	DISSIPATOR DEPTH (IN)
FES-203	36	0.5	29	32	15	18
FES-204	18	0.8	9	5	10	18

NOTE: DISSIPATOR PAD LENGTH A AND WIDTH ARE MINIMUM SIZE REQUIRED.



D	OUTLET W/ DITCH				OUTLET W/O DITCH			
	CLASS B' RIP RAP	CLASS I RIP RAP	CLASS B' RIP RAP	CLASS I RIP RAP	CLASS B' RIP RAP	CLASS I RIP RAP	CLASS B' RIP RAP	CLASS I RIP RAP
12"	2	5	2	5	1	4	2	4
15"	2	7	3	7	1	5	2	6
18"	3	10	4	10	2	7	4	8
24"	5	14	7	15	3	11	7	12
30"	8	21	11	22	5	16	11	17
36"	11	28	15	30	7	22	16	23
42"	15	37	20	39	10	28	22	30
48"	-	-	26	50	-	-	28	38
54"	-	-	33	62	-	-	36	47
60"	-	-	40	75	-	-	44	56
66"	-	-	48	89	-	-	54	67
72"	-	-	57	104	-	-	64	78

NOTE:
FOR CALCULATION PURPOSES
CLASS B' RIP RAP = 100 LBS./FT³
CLASS I RIP RAP = 105 LBS./FT³

H = RIP RAP TO TOP OF PIPE (MAX. H = D + T)
T = 15" CLASS I RIP RAP, UNLESS OTHERWISE SHOWN ON PLANS
T = 12" CLASS B' RIP RAP, UNLESS OTHERWISE SHOWN ON PLANS

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR
GUIDE FOR RIP RAP AT PIPE OUTLETS

SHEET 1 OF 1
876.02

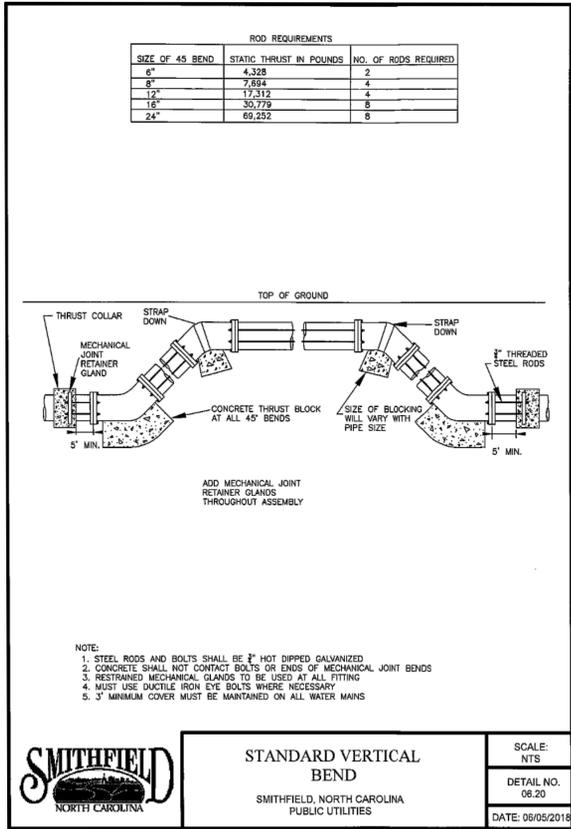
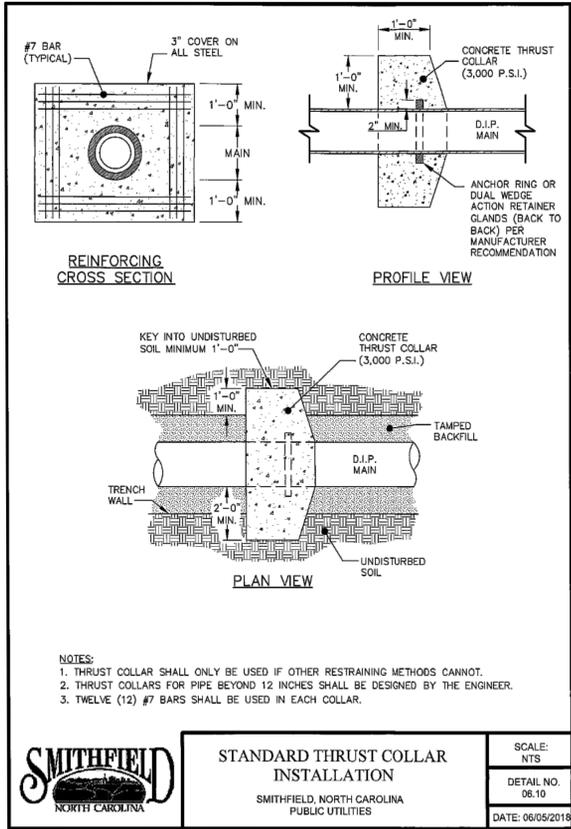
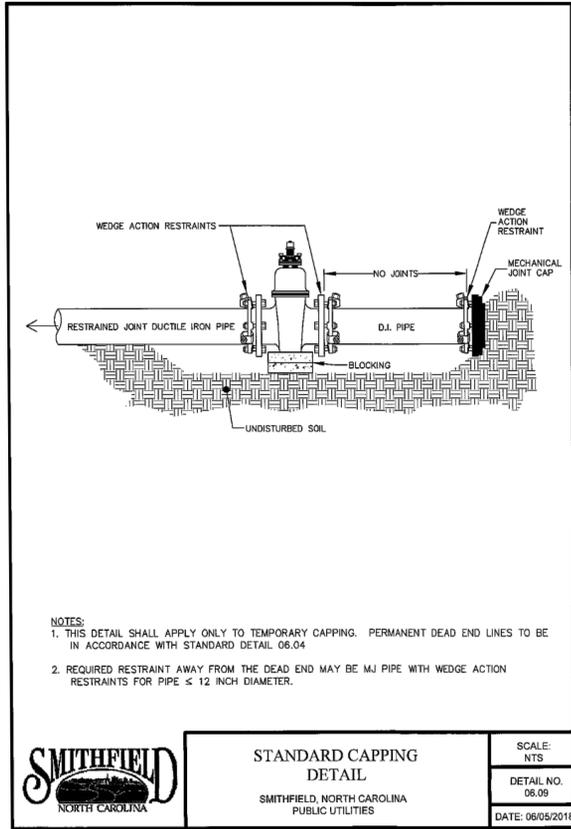
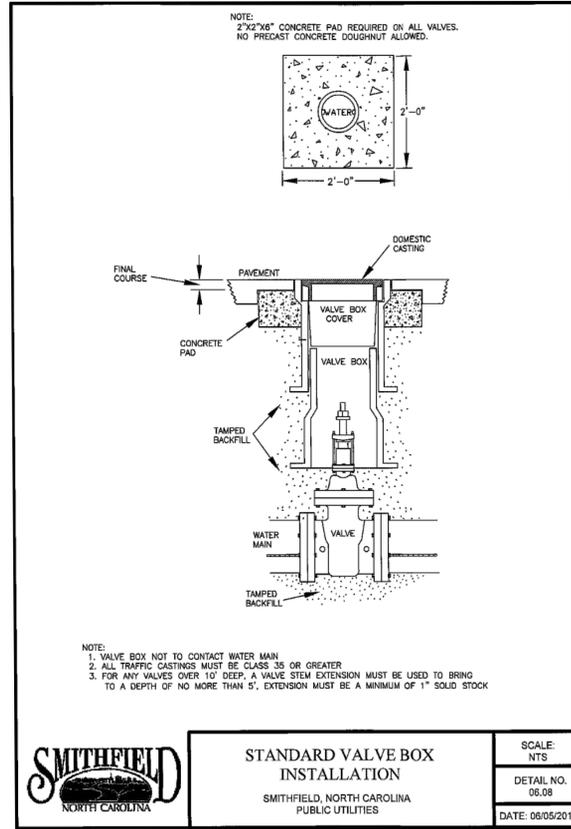
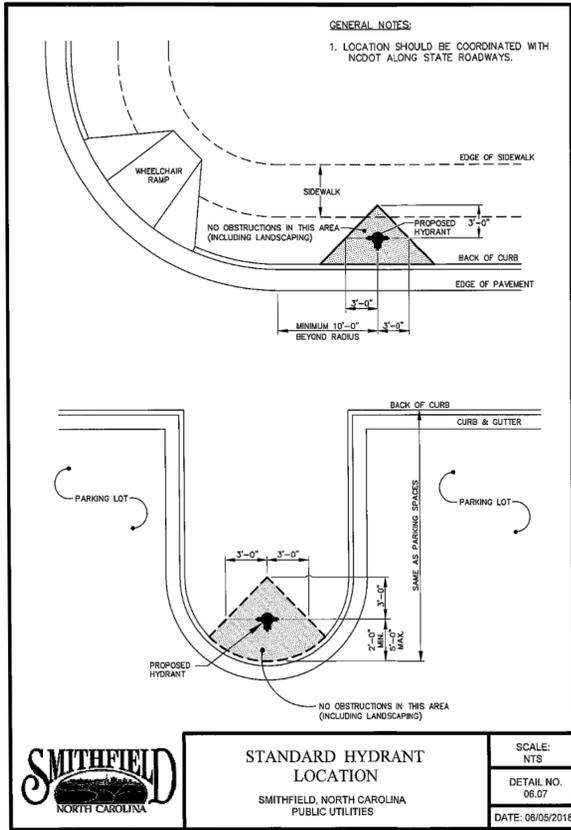
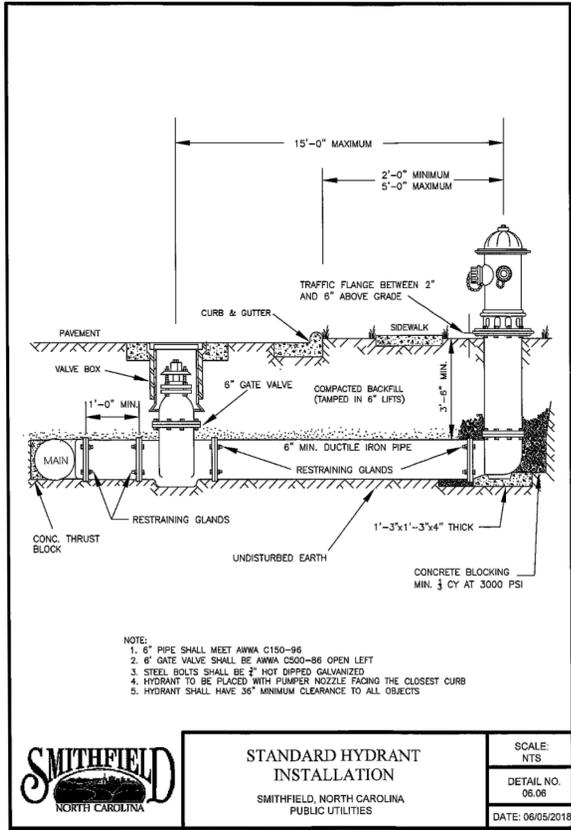
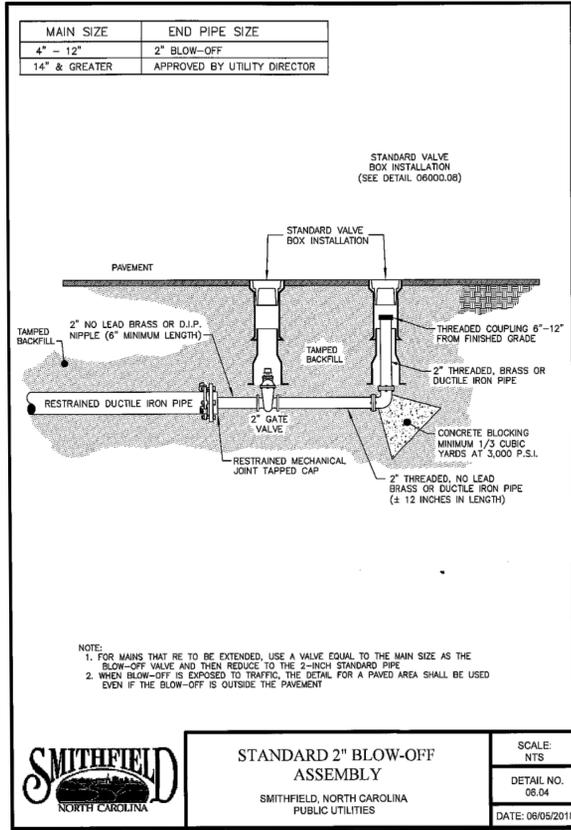
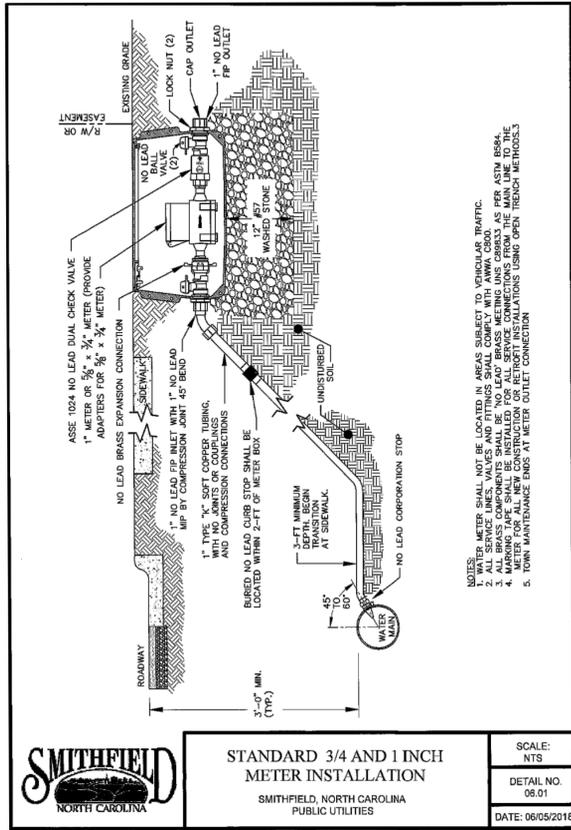
NO.	REVISIONS	DATE	BY



STRONGROCK
ENGINEERING GROUP
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRWN BY	CHECKED BY

MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
STORM DRAINAGE DETAILS



NO.	REVISIONS	DATE	BY



STRONGROCK ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY RLB	DRAWN BY SRG	CHECKED BY JWL
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MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
WATER DETAILS

DRAWING SHEET

D-4.0



FRONT-LOADED SINGLE FAMILY #1



FRONT-LOADED SINGLE FAMILY #2



FRONT-LOADED SINGLE FAMILY #3



FRONT-LOADED SINGLE FAMILY #4



FRONT-LOADED TOWNHOMES



FRONT-LOADED SINGLE FAMILY #5

*FOR ILLUSTRATIVE PURPOSES ONLY; FINAL PRODUCT TO BE DETERMINED BY END USER.

NO.	REVISIONS	DATE	BY



STRONGROCK
ENGINEERING GROUP
STRONG ROCK ENGINEERING GROUP, PLLC / COMPANY LICENSE # P-2166
6801 FALLS OF NEUSE RD. SUITE 108 RALEIGH, NC 27615 | JOSH@STRONGROCKENGINEERING.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	AS SHOWN				

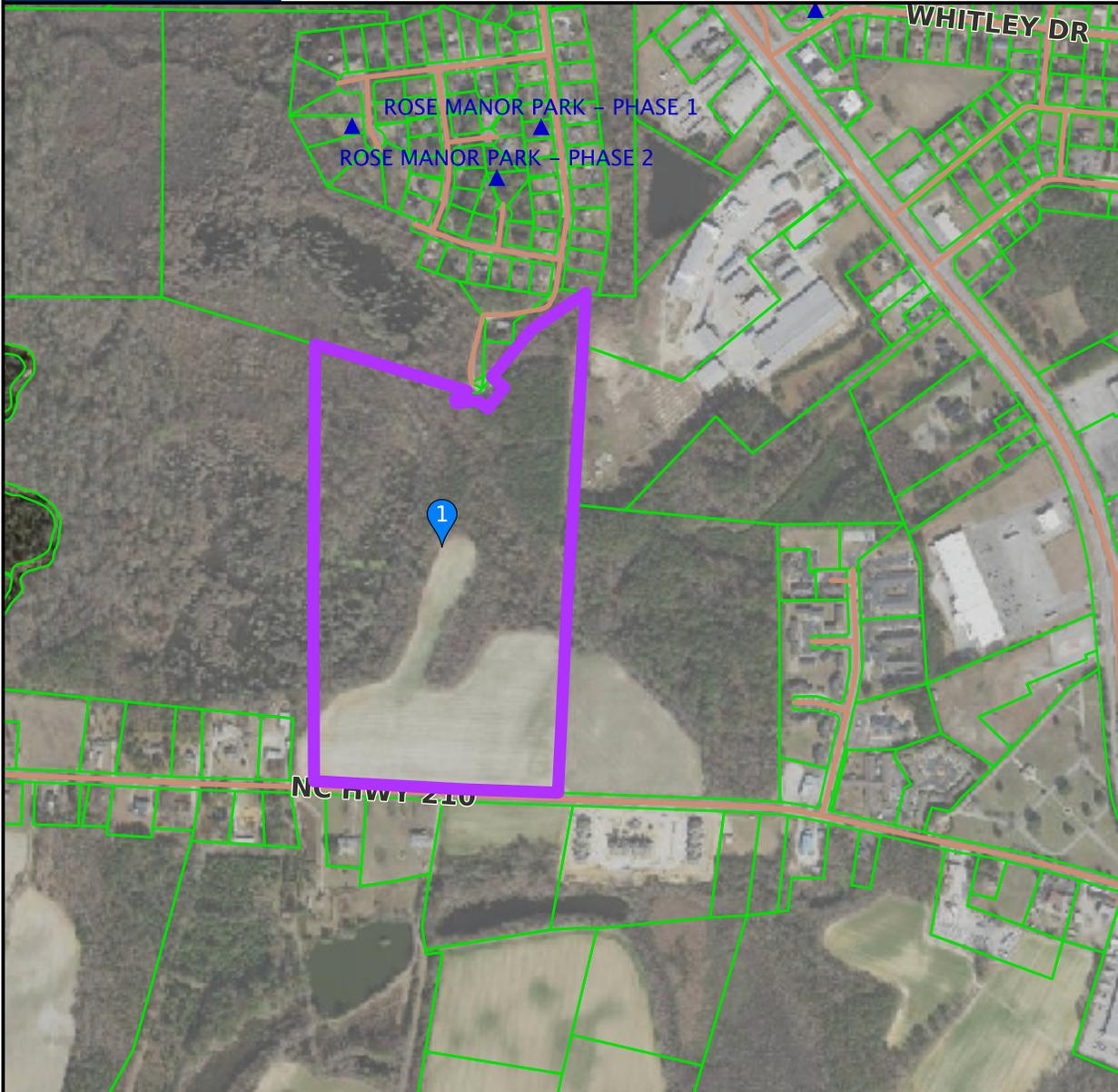
MARIN WOODS SUBDIVISION
SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA
PRELIMINARY MASTER PLAN
RESIDENTIAL PRODUCT

DRAWING SHEET
E-1.0



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 15077008
Tag: 15077008
NCPin: 168400-74-4498
Mapsheet No: 1684
Owner Name 1: KEENER LUMBER CO INC
Owner Name 2:
Mail Address 1: 1209 W MARKET ST
Mail Address 2: P O BOX 2323
Mail Address 3: SMITHFIELD, NC 27577-2323
Site Address 1:
Site Address 2:
Book: 01573
Page: 0254
Market Value: 241750
Assessed Acreage: 57.840
Calc. Acreage: 58.760
Sales Price: 275000
Sale Date: 1997-01-30



Scale: 1:10060 - 1 in. = 838.33 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Adjacent Property Owners of
CZ-21-06

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15076011C	168400-61-5956	KINKADE, REBECCA BOYETTE	3029 NC HIGHWAY 57	H	NC	27278-8219
15099003C	168412-76-9311	BYRD, C A JR	3777 US HIGHWAY 70 BUS W	CLAYTON	NC	27520-0000
15077008B	168412-76-7082	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15077028J	168412-76-7037	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15099003M	168412-76-7079	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15077008	168400-74-4498	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077022A	168412-96-2134	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077007	168411-65-0657	HEAVNER, CECIL B.	PO BOX 2346	SMITHFIELD	NC	27577-2346
15076010	168400-73-3778	COX, JASON R.	559 NC HIGHWAY 210	SMITHFIELD	NC	27577-9152
15076011B	168400-73-0991	MOORE, CHRISTOPHER D.	619 NC HIGHWAY 210	SMITHFIELD	NC	27577-9154
15076012B	168400-83-5704	GLEN LAKE APARTMENTS LP	3924 BROWNING PL	RALEIGH	NC	27609-6509
15077028H	168407-67-4636	WELLONS INC	P O BOX 52328	DURHAM	NC	27717-2328
15076012A	168400-73-8722	DENNING FAMILY TRUST #1	PO BOX 1058	BEACH	NC	28428-3606
15077009	168400-84-6775	STRICKLAND, MARY F.	5864 HULMAN LINKS CT	JACKSONVILLE	FL	32222-1396
15078019C	168500-43-7994	LEE, NELL WOOD	579 LEE FARM LN	SMITHFIELD	NC	27577-9318
15079001	168510-26-7218	AUTH	3146 SWIFT CREEK RD	SMITHFIELD	NC	27577-9803
15079014	168500-41-0730	BATTEN, ELIZABETH G	87 WATER ST	AURORA	NC	27806-9223
15079003A	168510-35-7869	GOWER, STEVEN HOWARD	1707 WINDSOR RD	KINSTON	NC	28504-0000



PLANNING DEPARTMENT
Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, **Mark E. Helmer**, hereby certify that the property owner and adjacent property owners of the following petition, **CZ-21-06**, were notified by First Class Mail on **7-16-21**.



Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

16th day of July, 2021



Notary Public Signature

Julianne Edmonds

Notary Public Name

My Commission expires on January 15, 2023
(Seal)





Request for Planning Board Action

Agenda
Item: S-21-03
Date: 8/5/21

Subject: Marin Woods Preliminary Plat
Department: Planning
Presented by: Mark Helmer, Senior Planner
Presentation: Business Item

Issue Statement

StrongRock Engineering PLLC is requesting a preliminary plat approval of a 143 lot subdivision on property located within a R-8 CZ zoning district.

Financial Impact

The 143 lot subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the preliminary plat and to decide whether to recommend approval, approval with conditions, or denial of the request.

Recommendation

Planning Staff recommend approval of S-21-02 with the stated conditions and based on finding of fact for subdivisions.

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application
4. Master Plan



Staff Report

REQUEST:

CE Group Inc. is requesting a preliminary plat approval of a 143 lot lot subdivision on property located within a R-8 CZ zoning district.

PROPERTY LOCATION:

The property is located on the north side of the NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive.

SITE DATA:

Subdivision Name:	Marin Woods
Tax ID#	15077008
Acreage:	57.84 acres
Present Zoning:	R-8 Cz
Existing Use:	Agriculture/Residential
Proposed Use:	Detached single-family, Attached single-family (townhouses)
Fire District:	Town of Smithfield
School Impacts:	Potential students
Parks and Recreation:	Park Dedication Fee In Lieu
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Duke

ADJACENT ZONING AND LAND USES:
(see attached map)

	Zoning	Existing Land Uses
North	R-20A / R-10	Detached single-family residential and wetlands
South	R-20A / B-3	Detached single-family residential / agriculture
East	R-20A / Heavy Industrial	Agriculture / industrial
West	R-20A	Single-family / wetlands

EXISTING CONDITIONS/ENVIRONMENTAL:

The property considered for approval is located within the Neuse River Basin and within the floodplain of Swift Creek. The site considered for development is located on the high side of the property which is adjacent to NC Highway 210. As the property slopes away from NC Hwy 210, the elevation drops to below the base flood elevation (BFE) of the 100-year floodplain which is 124.7 feet above sea elevation. All finished grades for each lot will be at a minimum of 2 feet above the BFE. Encroachment into the 100-year floodplain by the stormwater management facility is proposed. The land is currently used for agriculture purposes and is a mix of open agricultural fields, wooded areas and marsh land.

MASTER PLAN/ANALYSIS:

The applicant had the property rezoned to R-8 CZ on September 7, 2021, with a master plan for a 53-lot detached single-family residential lots and 90 townhouse lots. The preliminary plat is consistent with the approved master plan. The masterplan and plat consist of the following:

Comprehensive Land Use Plan and Density. The Town's land use plan guides the site for medium density residential. The overall development will have an average density of 4.53 units per acre. The proposed land uses and densities match the Town's comprehensive plan and are consistent with R-8 zoning.

Highway Access. The proposed development will one permanent access point on and one emergency entrance on NC Hwy 210. NCDOT road improvements will include a left turn lane and a deceleration lane within the existing right-of-way.

Streets. All the roads within the development will be publicly maintained with 60' right-of-way and a 29' back-to-back of curb driving surface. The Town's Standard Street Detail calls out a 34' wide road back-to-back of curb within a 60' right-of-way.

The curbing is shown as B6-12 type matching the Town's Standard Detail. Visitors parking for the townhouse section is not proposed by the developer at this time.

Open space. Approximately 8.31 acres or 26% of the site will remain undeveloped open space. This area will be comprised of streams, wetlands, ponds, flood plain and buffers.

Riparian Buffers. A protected stream with a 50' riparian buffer is shown of the plan. The proposed walking trail is shown crossing this buffer at two locations.

Lot Sizes.

LOT ACREAGE:

TOTAL NUMBER PROPOSED LOTS:	143
PROPOSED DENSITY:	4.53 DU/AC
MINIMUM ALLOWED LOT SIZE:	1,800 SF
MINIMUM PROPOSED LOT SIZE:	2,161 SF (LOT 123)
MAXIMUM PROPOSED LOT SIZE:	16,037 SF (LOT 8)
AVERAGE PROPOSED LOT SIZE:	4,400 SF
MINIMUM ALLOWABLE LOT WIDTH:	20'
MINIMUM PROPOSED LOT WIDTH:	20'
FRONT BUILDING SETBACK:	20'

Building Heights. All proposed structures will have a building height of 35 feet or less as permitted by R-8 zoning district standards.

Setbacks.

MINIMUM BUILDING SETBACKS:

FRONT YARD:	20'
SIDE YARD:	5' (SF); 0' (Townhome)
REAR YARD:	25'
CORNER YARD:	15' (SF); 10' (Townhome)
GARAGE:	20'

Public Sidewalks. 5' wide public sidewalk will be constructed in the public right-of-way along on side of all subdivision streets and along US Hwy 210.

Parking. Two parking spaces are proposed for each single-family residential unit (detached and attached) within an enclosed garage and driveway. Multi-family parking will comply with the UDO requirements. There will be limited on-street parking within the townhouse developments given the separation between driveways. Within the townhome areas, it is recommended that additional off-street parking be provided due to excessively narrow street and townhouse lots.

Driveways to Intersections. Residential driveways are prohibited from being within 20' of an intersection corner. It's unclear whether the townhouse development complies with this requirement.

Recreational Amenities. The project is proposing 1 tot lot and a natural area with a walking trail.

Landscaping and Bufferyard. The project is proposing a 10' landscaped buffer adjacent to US NC Hwy 210. Within the townhouse section, this 10' landscape yard will leave the units with a usable back yard that's only 15 feet deep.

Dumpster/Trash facilities. No dumpster or trash facilities are shown on the plan. All lots can be served by roll out containers.

Stormwater Management. The development will comply with the Town’s stormwater management ordinance.

HOA. An HOA will provide common ownership and maintenance of the shared open space, stormwater SCMs and amenities.

Utilities. All Lots will be served by public water, sewer and electric.

R-8 CZ STANDARDS:

With the approval of the rezoning master plan, the development shall comply with the standards of the R-8 zoning district except for the following:

- Requested lot dimensions

Item	R-8/UDO	R-8 CZ
SF Min. lot size	10,000 sq. ft. (.23 ac.)	2,161 sq. ft.
SF Min. lot width	70 feet	47 feet
SF Min. front setback	30 feet	20 feet
SF Min. Side Setback	10 feet	5 feet
SF Min Rear Setback	25 feet	25 feet
TH Min. front setback	30 feet	20 feet
TH Min. Side Setback	10 feet	0 feet
TH Min Rear Setback	25 feet	25 feet
Max. Bldg. Height	35 feet	35 feet
Street	34’ wide back-to-back with 5’ utility	29’ wide back-to-back with 5’ utility strips and sidewalks on one side.
Sidewalks	1 side of each street	1 side of each street.

FINDING OF FACT (Staff Opinion):

To approve a preliminary plat, the Planning Board/Town Council shall make the following finding (*staff's opinion in Bold/Italic*):

1. The plan is consistent with the adopted plans and policies of the town; *The plan is consistent with the adopted plans and policies of the town.*
2. The plan complies with all applicable requirements of this ordinance; *The plan complies with all applicable requirements of this ordinance and the R-8 Conditional Zoning District.*
3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed. *There is adequate infrastructure.*
4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses. *The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses.*

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of S-21-03 with the following conditions:

1. That the preliminary plat and development plans for the subdivision be in accordance with the approved Master Plan, R-8 Zoning District, and UDO regulations with stated deviations and conditions:

RECOMMENDED MOTION:

“move to recommend approval of zoning map amendment, S-21-03 with the stated conditions of approval and finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.”

**Town of Smithfield
Preliminary Plat
Finding of Fact / Approval Criteria**

Application Number: S-21-03 **Project Name:** Marin Woods Subdivision

Request: The applicant seeks a preliminary plat of Marin Woods subdivision located within the R-8 CZ zoning district. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

In approving an application for a preliminary plat in accordance with the principles, conditions, safeguards, and procedures specified herein, the Town Council may impose reasonable and appropriate conditions and safeguards upon the approval. The petitioner will have a reasonable opportunity to consider and respond to any additional requirements prior to approval or denial by the Town Council. The Town Council shall include in its comments a statement as to the consistency of the application with the Town's currently adopted Comprehensive Plan. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which the below requires.

The Town Council shall issue a preliminary plat if it has evaluated an application through a quasi-judicial process and determined that:

1. The plan is consistent with the adopted plans and policies of the town;
2. The plan complies with all applicable requirements of this ordinance;
3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed; and
4. The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: *Based upon satisfactory compliance with the above stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative, I move to approve Preliminary Plat Application # S-21-03 with the following conditions:*

1. xxx

Motion to Deny: *Based upon failure to meet all of the above stated findings and for reasons stated therein, I move to deny Preliminary Plat Application # S-21-03 for the following stated reason:*

Record of Decision:

Based on a motion and majority vote of the Town of Smithfield Town Council for the Preliminary Plat Application # S-21-03 is hereby:

_____ approved upon acceptance and conformity with the following conditions:

1. xx

_____ denied for the noted reasons.

Decision made this 7th day of September 2021 while in regular session.

M. Andy Moore, Mayor

ATTEST:

Shannan L. Parrish, Town Clerk



Town of Smithfield

Planning Department

350 E. Market St Smithfield, NC 27577

P.O. Box 761, Smithfield, NC 27577

Phone 919-934-2116

Fax: 919-934-1134

Preliminary Subdivision Application
General Information

Development Name Marin Woods

Proposed Use

Property Address(es) 0 Highway 210

Johnston County Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN# 168400-74-4498

TAX ID# 15077008

Project type? [X] Single Family [X] Townhouse [] Multi-Family [] Non-Residential [] Planned Unit Development (PUD)

OWNER/DEVELOPER INFORMATION

Company Name Owner/Developer Name

Address

Phone Email Fax

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name StrongRock Engineering PLLC Contact Name Chris Record

Address 6801 Falls of Neuse Rd, Raleigh, NC 27615

Phone 984-200-1932 Email chris@strongrockgroup.com

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) CD-R8

If more than one district, provide the acreage of each:

Overlay District? [] Yes [X] No

Inside City Limits? [X] Yes [] No

FOR OFFICE USE ONLY

File Number: Date Submitted: Date Received: Amount Paid:

Project Narrative

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;

b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);

c) A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;

d) A narrative explaining the intent of the project and/or your original or revised vision for the finished product;

e) A statement showing the proposed density of the project with the method of calculating said density shown;

f) Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision;

g) A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);

h) A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;

i) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;

j) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;

k) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).

STORMWATER INFORMATION

Existing Impervious Surface 0/0 acres/sf	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 11.8 AC/514,008 SF	Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Watershed protection Area Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

If in a Flood Hazard Area, provide the FEMA Map Panel # and Base Flood Elevation

NUMBER OF LOTS AND DENSITY

Total # of Single Family Lots 53	Overall Unit(s)/Acre Densities Per Zoning Districts 4.53
Total # of Townhouse Lots 90	Acreage in active open space 0.62
Total # of All Lots 143	Acreage in passive open space 7.70

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the Town.

I hereby designate Strong Rock Engineering to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature Zachary Anderson Date 25 May 2021

Signature _____ Date _____

REVIEW FEES

- Major Subdivision (Submit 7 paper copies & **1 Digital copy on CD**) \$500.00 + \$5.00 a lot
- Minor Subdivision (Submit 4 paper copies & **1 Digital copy on CD**) \$100.00 + \$5.00 a lot
- Recombination Plat (Submit 2 paper copies & **1 Digital copy on CD**) \$50.00

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: _____

Submittal Date: _____

OWNERS AUTHORIZATION

I hereby give CONSENT to _____ (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Ralph Stewart
Signature of Owner

Ralph Stewart
Print Name

6-22-21
Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

Signature of Owner/Applicant

Print Name

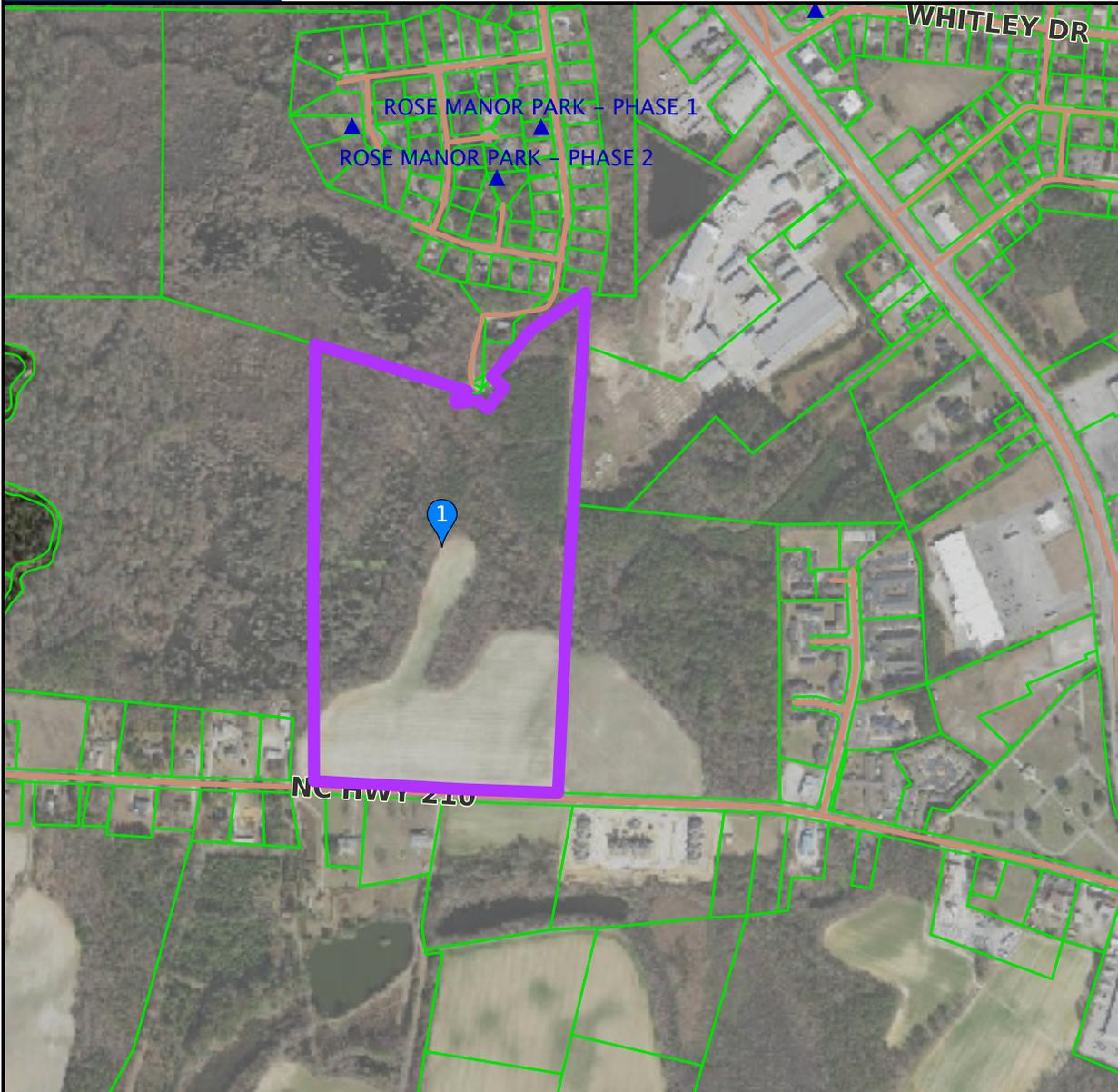
Date

FOR OFFICE USE ONLY

File Number:	Date Received:	Parcel ID Number:
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*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 15077008
Tag: 15077008
NCPin: 168400-74-4498
Mapsheet No: 1684
Owner Name 1: KEENER LUMBER CO INC
Owner Name 2:
Mail Address 1: 1209 W MARKET ST
Mail Address 2: P O BOX 2323
Mail Address 3: SMITHFIELD, NC 27577-2323
Site Address 1:
Site Address 2:
Book: 01573
Page: 0254
Market Value: 241750
Assessed Acreage: 57.840
Calc. Acreage: 58.760
Sales Price: 275000
Sale Date: 1997-01-30



Scale: 1:10060 - 1 in. = 838.33 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Adjacent Property Owners of
S-21-03

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15076011C	168400-61-5956	KINKADE, REBECCA BOYETTE	3029 NC HIGHWAY 57	H	NC	27278-8219
15099003C	168412-76-9311	BYRD, C A JR	3777 US HIGHWAY 70 BUS W	CLAYTON	NC	27520-0000
15077008B	168412-76-7082	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15077028J	168412-76-7037	TOWN OF SMITHFIELD	P O BOX 761	SMITHFIELD	NC	27577-0000
15099003M	168412-76-7079	TOWN OF SMITHFIELD	PO BOX 761	SMITHFIELD	NC	27577-0000
15077008	168400-74-4498	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077022A	168412-96-2134	KEENER LUMBER CO INC	1209 W MARKET ST	SMITHFIELD	NC	27577-2323
15077007	168411-65-0657	HEAVNER, CECIL B.	PO BOX 2346	SMITHFIELD	NC	27577-2346
15076010	168400-73-3778	COX, JASON R.	559 NC HIGHWAY 210	SMITHFIELD	NC	27577-9152
15076011B	168400-73-0991	MOORE, CHRISTOPHER D.	619 NC HIGHWAY 210	SMITHFIELD	NC	27577-9154
15076012B	168400-83-5704	GLEN LAKE APARTMENTS LP	3924 BROWNING PL	RALEIGH	NC	27609-6509
15077028H	168407-67-4636	WELLONS INC	P O BOX 52328	DURHAM	NC	27717-2328
15076012A	168400-73-8722	DENNING FAMILY TRUST #1	PO BOX 1058	BEACH	NC	28428-3606
15077009	168400-84-6775	STRICKLAND, MARY F.	5864 HULMAN LINKS CT	JACKSONVILLE	FL	32222-1396
15078019C	168500-43-7994	LEE, NELL WOOD	579 LEE FARM LN	SMITHFIELD	NC	27577-9318
15079001	168510-26-7218	AUTH	3146 SWIFT CREEK RD	SMITHFIELD	NC	27577-9803
15079014	168500-41-0730	BATTEN, ELIZABETH G	87 WATER ST	AURORA	NC	27806-9223
15079003A	168510-35-7869	GOWER, STEVEN HOWARD	1707 WINDSOR RD	KINSTON	NC	28504-0000



PLANNING DEPARTMENT

Mark E. Helmer, AICP
Senior Planner

Notice of Public Meeting

Notice is hereby given that a public meeting will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, August 5, 2021 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following requests:

CZ-21-06 Marin Woods Subdivision: The applicant is requesting to rezone one parcel of land totaling 31.56 acres from the R-8 (Residential) and R-20A (Residential-Agricultural) zoning district to the R-8 CZ (Residential-Conditional Zoning) district for the construction of a 143-lot residential subdivision. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

S-21-03 Marin Woods Subdivision: The applicant is requesting preliminary subdivision approval of a 31.56 acre tract of land for the creation of 143 residential lots to be located within an R-8 CZ (Residential-Conditional Zoning) district. The property considered for preliminary subdivision approval is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

RZ-21-02 Kimberly Gower Johnson: The applicant is requesting to rezone five parcels of land totaling 69.26 acres from the B-3(Highway Entrance Business) and R-20A (Residential-Agricultural) zoning district to the LI (Light-Industrial) zoning district. The properties considered for rezoning are located on the east and west side of US Hwy 70 Business West approximately 670 feet south of its intersection with Barbour Road. The properties are further identified as Johnston County Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Smithfield Planning Department at (919) 934-2116 or online at www.smithfield-nc.com.

Run Legal ad in the Johnstonian News on July 28, 2021.



Request for Planning Board Action

Agenda RZ-21-
Item: 02
Date: 8/5/21

Subject: Zoning Map Amendment
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Business Item

Issue Statement

Chris Johnson is requesting a zoning map amendment to rezone 5 properties, +/- 64-acres of land, from Highway Entranceway Business (B-3) and Residential-Agriculture (R-20A) to Light Industrial (LI).

Financial Impact

None.

Action Needed

The Planning Board is respectfully requested to review the rezoning and to decide whether to recommend approval or denial of the request.

Recommendation

Planning Staff recommends approval of the rezoning RZ-21-02 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the action is reasonable and in the public interest.

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application and Statement of Justification



Staff Report

Agenda RZ-
Item: 21-02

REQUEST:

Chris Johnson is requesting a zoning map amendment to rezone 5 properties, +/- 64-acres of land, from Highway Entranceway Business (B-3) and Residential-Agriculture (R-20A) to Light Industrial (LI).

PROPERTY LOCATION:

The properties are located south of the Johnston County Airport and north of the future Amazon site on both sides of US Highway 70 Business West .

SITE DATA:

Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A
Acreage: 27.041, 12.877, 5.059, 17.828 and 1.465 respectively (64.27 acres)
Present Zoning: The parcels are split zoned B-3 and R-20A except for the 1.465 acre parcel is zoned B-3 only.
Proposed Zoning: Light Industrial (LI)
Existing Use: Agriculture/Residential
Proposed Use: Industrial
Fire District: Wilsons Mills
School Impacts: None
Parks and Recreation: None
Water Provider: Town of Smithfield
Sewer Provider: Town of Smithfield
Electric Provider: Duke

ENVIRONMENTAL:

The properties are not located within a floodplain. A blue line stream forms the southern boundary of parcel 4.

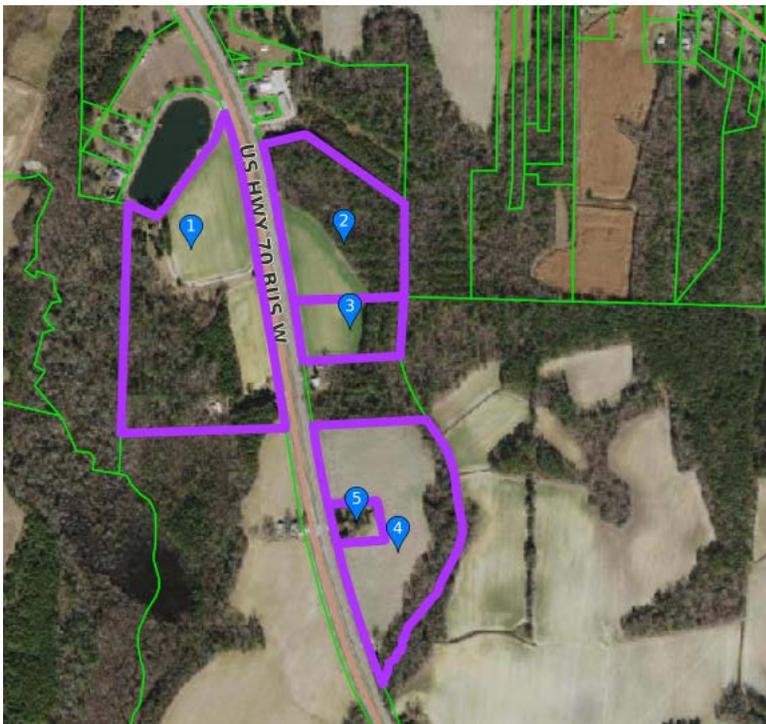
ADJACENT ZONING AND LAND USES: (see attached map for complete listing)

	Zoning	Existing Land Uses
North	B-3 & R-20A	Agriculture/Residential
South	R-20A	Agricultural
East	B-3, R-20A, and LI	Agriculture
West	HI	Industrial (Airport)

ANALYSIS:

All the parcels are split zoned with the area within 500 feet of US Highway 70 Business W zoned B-3 and the remainder zoned R-20A, except for parcel 5 which is fully within the B-3 zoning district.

The rezoning is mostly consistent with the Comprehensive Growth Management Plan which guides parcels 2-5 as industrial, however it guides parcel 1 as low density residential. Approval of the rezoning of parcel 1 to Light Industrial would simultaneously amend the comprehensive plan.



The industrial zoning in West Smithfield has been part of a long term economic development initiative that created certified industrial sites and the Amazon development site. The rezoning of parcels 2-5 is a further step towards the realization of a larger industrial area (industrial park) as envisioned in the comprehensive plan.

Parcel 1 was not included in that vision and it was guided for low density residential in the comprehensive plan. The properties to the north and south of parcel 1 are guided and zoned for low density residential. There are 3 existing residential parcels to the north of parcel 1 that would be surrounded by industrial zoning if the map amendment is approved. These properties are buffered from the airport by existing forest and would be buffered from industrial parcel 1 by a man-made pond. The parcels to the south of parcel 1 are currently planned for a residential development.

The Johnston County Regional Airport has a long term vision to develop the south side of the runway with supportive industrial uses. The rezoning of parcel 1 to industrial would support this vision by providing a southern entrance to the airport property.

UTILITIES:

The parcels proposed for rezoning are within the Town's ETJ and the Town has first rights to serve them with the Town's water and sewer utilities. Johnston County currently provides water and sewer utilities to the airport and the industrial properties off of Citation Lane. The properties are within Duke's electric service area.

CONSISTENCY STATEMENT (Staff Opinion):

With approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** - *The Comprehensive Plan guides Parcels 2-5 as Industrial and the rezoning is consistent with the Comprehensive Plan. The Rezoning of Parcel 1 to Light Industrial is not consistent with the Comprehensive Plan and the approval of the rezoning would simultaneously result in an amendment to the Plan.*
- **Consistency with the Unified Development Code** – *the properties will be developed in conformance with the UDO.*
- **Compatibility with Surrounding Land Uses** - *The properties considered for rezoning are or will be compatible with the land uses surrounding the parcels. There are or will be natural and planted buffers between the industrial and low density residential areas.*

RECOMMENDATION:

Planning Staff recommends the Planning Board approve RZ-21-02 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan as being amended and other adopted plans, and that the amendment is reasonable and in the public interest.

RECOMMENDED MOTION:

Staff recommends the following motion:

“move to recommend approval of zoning map amendment, RZ-21-02, finding it consistent with the Town of Smithfield Comprehensive Growth Management Plan as being amended and other adopted plans, and that the amendment is reasonable and in the public interest.”

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
RZ-21-02**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE IS ADOPTED,

That the final action regarding zoning map amendment RZ-21-02 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public meeting; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public meeting. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO APPROVE THE ORDINANCE FAILS,

That the final action regarding zoning map amendment RZ-21-02 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

REZONING APPLICATION

Pursuant to Article 4, Section 4-1 of the Unified Development Ordinance, proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. Rezoning applications must be accompanied by nine (9) sets of the application, nine (9) sets of required plans, an Owner's Consent Form (attached), (1) electronic submittal and the application fee.

Name of Project: Gower - Johnson Rezoning Acreage of Property: Approximately 64+/-
Parcel ID Number: Multipule (See Attached) Tax ID: Multipule (See Attached)
Deed Book: Multipule (See Attached) Deed Page(s): Multipule (See Attached)
Address: US Hwy 70 Business West - Smithfield
Location: _____

Existing Use: Residential / Farm Proposed Use: Residential and Farm until determined
Existing Zoning District: B3 and R-20A
Requested Zoning District: Light Industrial
Is project within a Planned Development: Yes No
Planned Development District (if applicable): N/A
Is project within an Overlay District: Yes No
Overlay District (if applicable): Commerical Business

FOR OFFICE USE ONLY

File Number: _____	Date Received: _____	Amount Paid: _____
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APPLICANT AFFIDAVIT

I/We, the undersigned, do hereby make application and petition to the Town Council of the Town of Smithfield to approve the subject zoning map amendment. I hereby certify that I have full legal right to request such action and that the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

CHRIS JOHNSON
Print Name


Signature of Applicant

6/20/21
Date



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

OWNER'S CONSENT FORM

Name of Project: Gower-Johnson Farm Submittal Date: 6/28/21

OWNERS AUTHORIZATION

I hereby give CONSENT to Chris Johnson (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Kimberly Johnson KIMBERLY JOHNSON 6/28/21
 Signature of Owner Print Name Date

CERTIFICATION OF APPLICANT AND/OR PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Smithfield, North Carolina, and will not be returned.

[Signature] CHRIS JOHNSON 6/28/21
 Signature of Owner/Applicant Print Name Date

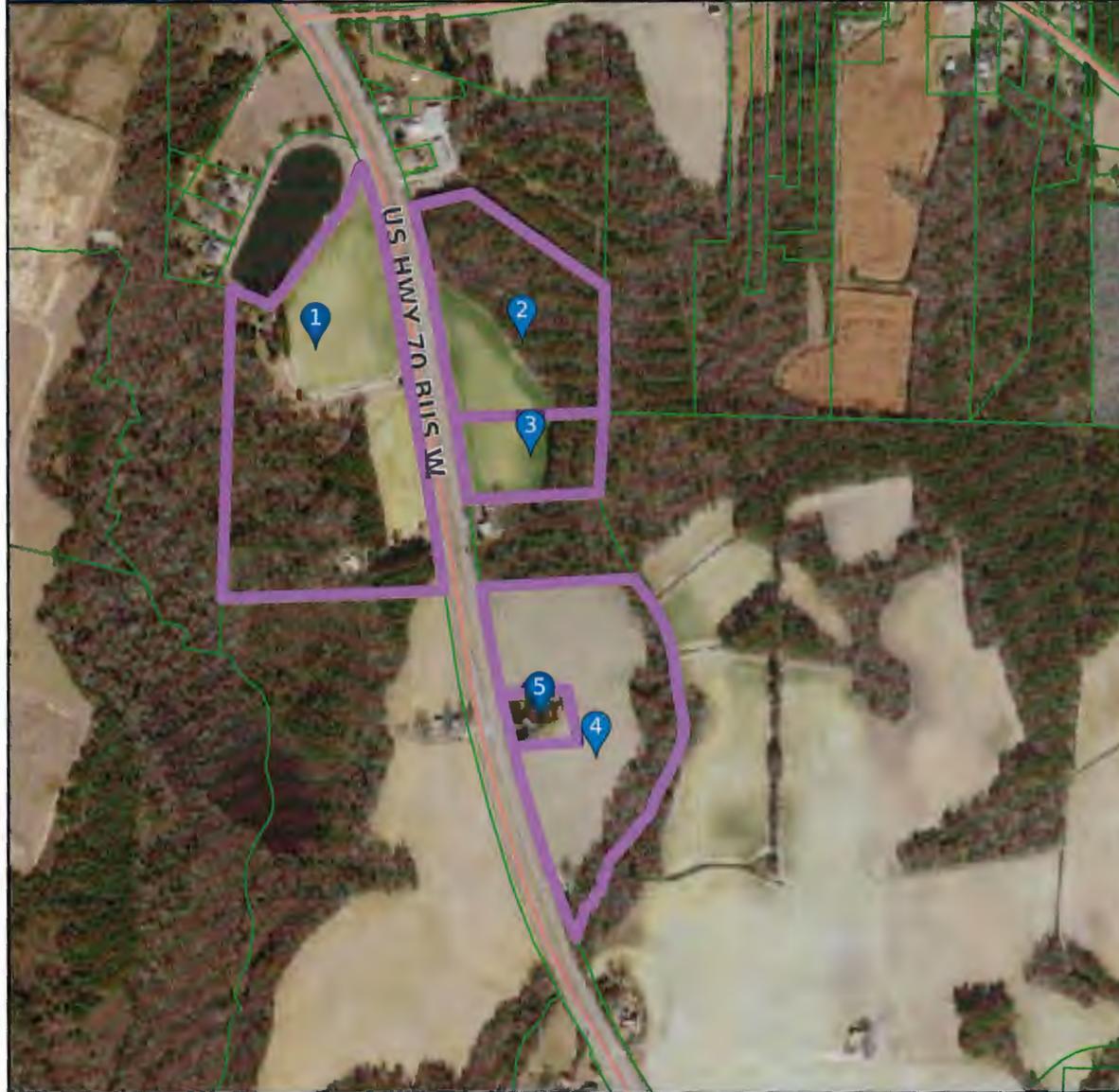
FOR OFFICE USE ONLY

File Number: Date Received: Parcel ID Number:



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.



Result 1

id: 15078019A
Tag: 15078019A
NCPin: 168500-34-9527
Mapsheet No: 1685
Owner Name 1: JOHNSON, KIMBERLY GOWER
Owner Name 2:
Mail Address 1: 516 S 4TH ST
Mail Address 2:
Mail Address 3: SMITHFIELD, NC 27577-4454
Site Address 1: 3063 US HWY 70
Site Address 2: SMITHFIELD, NC 27577-
Book: 04222
Page: 0500
Market Value: 454420
Assessed Acreage: 24.780
Calc. Acreage: 27.041
Sales Price: 0
Sale Date: 2012-12-20



Scale: 1:8865 - 1 in. = 738.76 feet

(The scale is only accurate when printed landscape on a 8 1/2 x 11 size sheet with no page scaling.)

Johnston County GIS
June 25, 2021



*** DISCLAIMER ***

Johnston County assumes no legal responsibility for the information represented here.

Result 2

id: 15078019D
Tag: 15078019D
NCPin: 168500-44-7903
Mapsheet No: 1685
Owner Name 1: JOHNSON, KIMBERLY GOWER
Owner Name 2:
Mail Address 1: 516 S 4TH ST
Mail Address 2:
Mail Address 3: SMITHFIELD, NC 27577-4454
Site Address 1:
Site Address 2:
Book: 03628
Page: 0932
Market Value: 246100
Assessed Acreage: 12.910
Calc. Acreage: 12.877
Sales Price: 0
Sale Date: 2008-12-01

Result 3

id: 15078019F
Tag: 15078019F
NCPin: 168500-44-7360
Mapsheet No: 1685
Owner Name 1: JOHNSON, KIMBERLY GOWER
Owner Name 2:
Mail Address 1: 516 S 4TH ST
Mail Address 2:
Mail Address 3: SMITHFIELD, NC 27577-4454
Site Address 1:
Site Address 2:
Book: 03628
Page: 0932
Market Value: 192120
Assessed Acreage: 5.030
Calc. Acreage: 5.059
Sales Price: 0
Sale Date: 2008-12-01

Result 4

id: 15078020
Tag: 15078020
NCPin: 168500-43-9522
Mapsheet No: 1685
Owner Name 1: JOHNSON, KIMBERLY GOWER
Owner Name 2:
Mail Address 1: 516 S 4TH ST
Mail Address 2:
Mail Address 3: SMITHFIELD, NC 27577-4454
Site Address 1:
Site Address 2:
Book: 03628
Page: 0932
Market Value: 403280
Assessed Acreage: 16.850
Calc. Acreage: 17.828
Sales Price: 0
Sale Date: 2008-12-01

Result 5

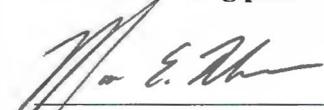
id: 15078020A
Tag: 15078020A
NCPin: 168500-43-8117
Mapsheet No: 1685
Owner Name 1: JOHNSON, KIMBERLY G
Owner Name 2:
Mail Address 1: 516 S FOURTH ST
Mail Address 2:
Mail Address 3: SMITHFIELD, NC 27577-0000
Site Address 1: 2354 US HWY 70 BUS
Site Address 2: SMITHFIELD, NC 27577-
Book: 02003
Page: 0900
Market Value: 87030
Assessed Acreage: 1.440
Calc. Acreage: 1.465
Sales Price: 0
Sale Date: 2001-01-03



PLANNING DEPARTMENT
Mark E. Helmer, AICP, Senior Planner

ADJOINING PROPERTY OWNERS CERTIFICATION

I, Mark E. Helmer, hereby certify that the property owner and adjacent property owners of the following petition, RZ-21-02, were notified by First Class Mail on 7-16-21.

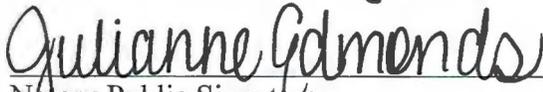


Signature

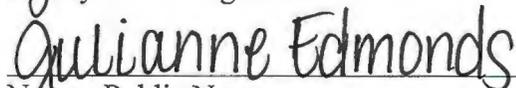
Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Mark E. Helmer personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

16th day of July, 2021

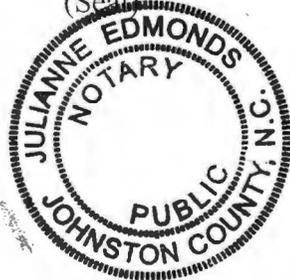


Notary Public Signature



Notary Public Name

My Commission expires on January 15, 2023
(Seal)



Adjacent Property Owners of
RZ-21-02

TAG	PIN	NAME1	ADDRESS1	CITY	STATE	ZIPCODE
15079013A	168510-45-2587	JOHNSTON COUNTY				00000-0000
15078019B	168510-45-2930	PRINCE HOLDINGS LLC	951 CRANBERRY DR	LEWISVILLE	NC	27023-9823
15078019	168510-45-7613	PRINCE HOLDINGS LLC	951 CRANBERRY DR	LEWISVILLE	NC	27023-9823
15078012A	168519-52-2147	ASP SMITHFIELD LLC	102	GREENSBORO	NC	27409-9316
15078011	168500-63-4559	ASP SMITHFIELD LLC	102	GREENSBORO	NC	27409-9316
15079006	168511-46-9039	WOOD, ANN U.	286 LITTLE CREEK CHURCH RD	CLAYTON	NC	27520-6834
15079011	168510-35-7343	GOWER, STEVEN H	516 SOUTH 4th ST	SMITHFIELD	NC	27577
15078020A	168500-43-8117	JOHNSON, KIMBERLY G	516 S FOURTH ST	SMITHFIELD	NC	27577-0000
15079012	168510-35-3135	HARE, GREGORY T	PO BOX 2841	SMITHFIELD	NC	27577-0000
15079012A	168510-35-5531	HARE, GREGORY T	PO BOX 2841	SMITHFIELD	NC	27577-2841
15078019D	168500-44-7903	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15079012B	168510-35-4470	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078019F	168500-44-7360	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078020	168500-43-9522	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078019A	168500-34-9527	JOHNSON, KIMBERLY GOWER	516 S 4TH ST	SMITHFIELD	NC	27577-4454
15078019C	168500-43-7994	LEE, NELL WOOD	579 LEE FARM LN	SMITHFIELD	NC	27577-9318
15079001	168510-26-7218	JOHNSTON COUNTY AIRPORT AUTH	3146 SWIFT CREEK RD	SMITHFIELD	NC	27577-9803
15079014	168500-41-0730	BATTEN, ELIZABETH G	87 WATER ST	AURORA	NC	27806-9223
15079003A	168510-35-7869	GOWER, STEVEN HOWARD	1707 WINDSOR RD	KINSTON	NC	28504-0000



PLANNING DEPARTMENT

Mark E. Helmer, AICP
Senior Planner

Notice of Public Meeting

Notice is hereby given that a public meeting will be held before the Planning Board of the Town of Smithfield, N.C., on Thursday, August 5, 2021 at 6:00 P.M., in the Town Hall Council Chambers located at 350 East Market Street to consider the following requests:

CZ-21-06 Marin Woods Subdivision: The applicant is requesting to rezone one parcel of land totaling 31.56 acres from the R-8 (Residential) and R-20A (Residential-Agricultural) zoning district to the R-8 CZ (Residential-Conditional Zoning) district for the construction of a 143-lot residential subdivision. The property considered for rezoning is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

S-21-03 Marin Woods Subdivision: The applicant is requesting preliminary subdivision approval of a 31.56 acre tract of land for the creation of 143 residential lots to be located within an R-8 CZ (Residential-Conditional Zoning) district. The property considered for preliminary subdivision approval is located on the north side of NC Hwy 210 approximately 1,300 feet west of its intersection with Skyland Drive. The property is further identified as Johnston County Tax ID# 15077008.

RZ-21-02 Kimberly Gower Johnson: The applicant is requesting to rezone five parcels of land totaling 69.26 acres from the B-3(Highway Entrance Business) and R-20A (Residential-Agricultural) zoning district to the LI (Light-Industrial) zoning district. The properties considered for rezoning are located on the east and west side of US Hwy 70 Business West approximately 670 feet south of its intersection with Barbour Road. The properties are furth identified as Johnston County Tax ID# 15078019A, 15078019D, 15078019F, 15078020 and 15078020A.

All interested persons are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the town office if you need assistance. Further inquiries regarding this matter may be directed to the Smithfield Planning Department at (919) 934-2116 or online at www.smithfield-nc.com.

Run Legal ad in the Johnstonian News on July 28, 2021.