



Mayor

M. Andy Moore

Mayor Pro-Tem

Roger A. Wood

Council Members

Marlon Lee

Sloan Stevens

Travis Scott

David Barbour

John A. Dunn

Stephen Rabil

Town Attorney

Robert Spence, Jr.

Town Manager

Michael L. Scott

Finance Director

Andrew Harris

Town Clerk

Elaine Andrews

Town Council

Agenda

Packet

Meeting Date: Tuesday, February 4, 2025

Meeting Time: 7:00 p.m.

Meeting Place: Town Hall Council Chambers

350 East Market Street

Smithfield, NC 27577



**TOWN OF SMITHFIELD
TOWN COUNCIL AGENDA
REGULAR MEETING February 4, 2025
7:00 PM**

Call to Order

Invocation

Pledge of Allegiance

Approval of Agenda

Presentations:

Page

- 1. Proclamation – Proclaiming February as “All in Red” Month in the Town of Smithfield**
(Mayor – M. Andy Moore) See attached information.....1

- 2. Administering the Oath of Office to Seven Newly Hired Police Officers**
(Mayor – M. Andy Moore) See attached information.....2

- 3. Spring Branch Resiliency Study:** This presentation identifies the additional stormwater related capital improvement projects and development of a greenway concept connecting the Eva Ennis/Smith-Collins trails to the Buffalo Creek Greenway along the Neuse River.
(Planning Director – Stephen Wensman) See attached information.....5

- 4. East Coast Greenway Study:** Johnston County Parks is presenting the East Coast Greenway Study
(Planning Director – Stephen Wensman) See attached information.....7

Citizens Comments:

Consent Agenda Items:

- 1. Approval of Minutes**
December 17, 2024 – Regular Session.....10

2. Consideration and request for approval to promote one officer from the rank of Master Police Officer II (MPO) to Police Sergeant
(Police Chief – Pete Hedrick) See attached information.....29

3. Consideration and request for approval to promote one officer from the rank of Police Detective to Police Sergeant
(Police Chief – Pete Hedrick) See attached information.....31

4. Consideration and request for approval to purchase three used vehicles for the Police Department fleet
(Police Chief – Pete Hedrick) See attached information.....33

5. Consideration and request for approval to award contract for designing water line extension: The Town desires to hire an engineering consultant to design the extension of the potable water line across I-95 and to extend the water line to the intersection of Brogden Road and Whitley Farm Road.
(Public Utilities Director – Ted Credle) See attached information.....38

6. Consideration and request for approval to award contract to analyze water intrusion: The Town desires to hire an Engineering consulting firm to perform engineering consulting services for the purposes of analyzing the infiltration & Intrusion of the Town of Smithfield’s sanitary sewer collection system.
(Public Utilities Director – Ted Credle) See attached information.....63

7. Board Reappointments:

- a. Sarah Edwards has submitted an application for reappointment to the Board of Adjustments as an ETJ Member
- b. Mark Lane has submitted an application for reappointment to the Planning Board
- c. Alisa Bizzell has submitted an application for reappointment to the Planning Board and the Parks and Recreation Board

(Town Clerk – Elaine Andrews) See attached information.....75

8. New Hire Report
(HR Director – Shannan Parrish) See attached information.....83

Business Items:

None.

Public Hearings:

- 1. S-24-07 Buffalo Road Subdivision:** Vesta Enterprises, Inc. is requesting a preliminary subdivision of 138.63 acres of land with R-8 CZ designation into 117 detached single-family residential lots. The property considered for approval is located at 1176 and 1200 Buffalo Road
(Planning Director – Stephen Wensman) See attached information.....84

- 2. ANX-24-02 Local 70 Annexation:** Smithfield Growth LLC has submitted a petition to voluntarily annex 85.85 acres to the Town of Smithfield. This is located at M. Durwood Stephenson Parkway and Booker Dairy Road and also known as Local 70 Subdivision.
(Planning Director – Stephen Wensman) See attached information.....139
- 3. S-24-08 Local 70 Subdivision:** Smithfield Growth, LLC is requesting a preliminary subdivision with 303 lots (209 single family homes and 94 townhomes) and 324 apartment units, for a total of 627 residential dwelling units. The properties considered for approval are located along M. Durwood Stephenson Parkway east of Eden Woods and north of Walmart.
(Planning Director – Stephen Wensman) See attached information.....151

Councilmember’s Comments

Town Manager’s Report:

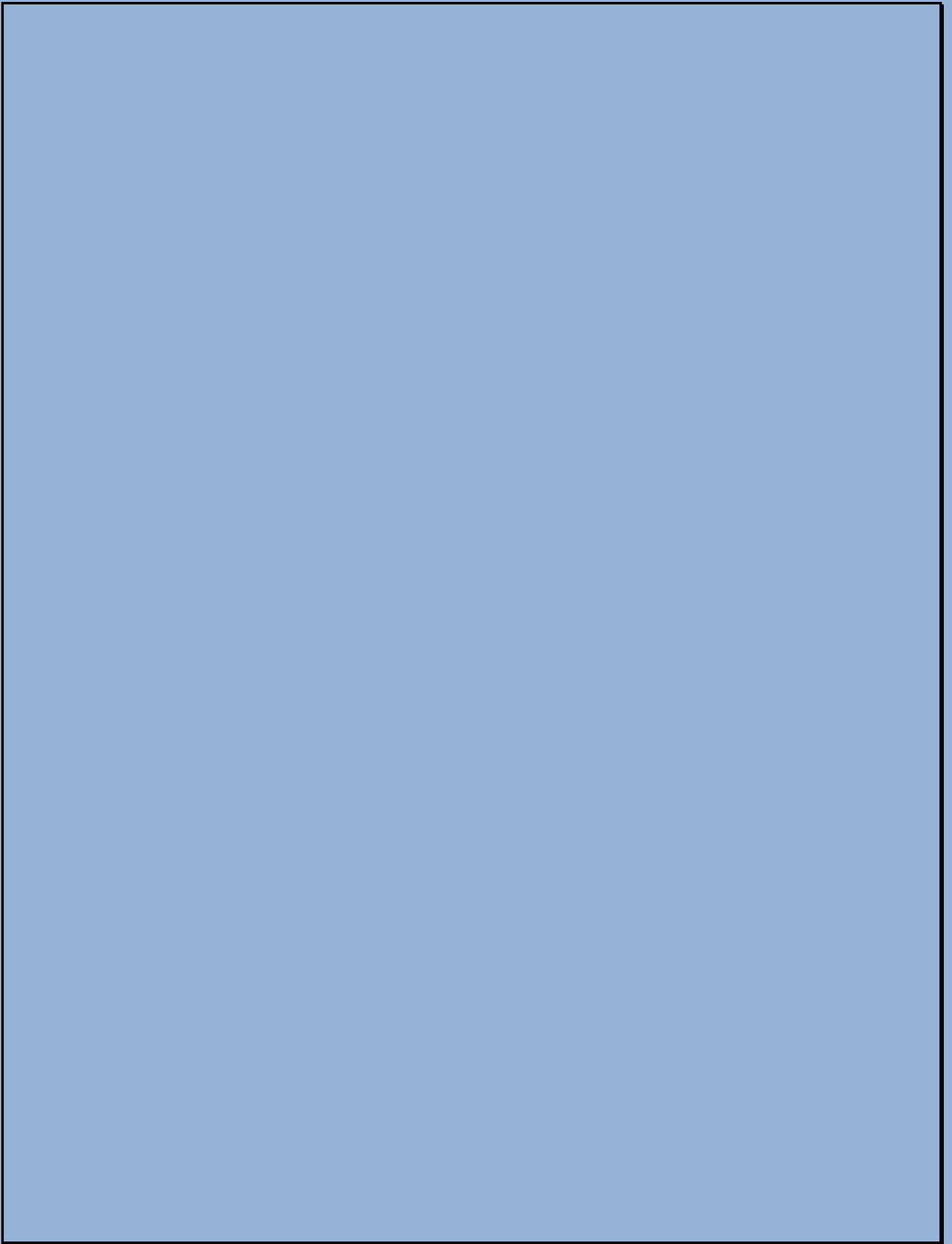
- Financial Report.....236
- Department Reports.....242
- Manager’s Report (Will be provided at the Meeting)

Closed Session NCGS 143-318 (a) (5)

Reconvene in Open Session

Adjourn

Presentations



PROCLAMATION
Recognizing February as “All in Red Month”
In the Town of Smithfield

WHEREAS, the well-being of our community is of paramount importance, and maintaining excellent health among our citizens remains a top priority; February marks the month-long, county-wide heart health awareness campaign entitled “*ALL IN RED*”, organized by UNC Health Johnston and the Johnston Health Foundation; and

WHEREAS, in the United States, North Carolina, and Johnston County, heart disease is a leading cause of death among both men and women; and

WHEREAS, according to the Centers for Disease Control and Prevention (CDC), up to 80% of premature deaths from heart disease and stroke could be prevented through increased physical activity, improved diet, education, and proper management of medical conditions such as high blood pressure, high cholesterol, and diabetes; and

WHEREAS, *ALL IN RED* provides an opportunity to raise awareness about heart health while addressing the growing needs of local cardiology patients; and

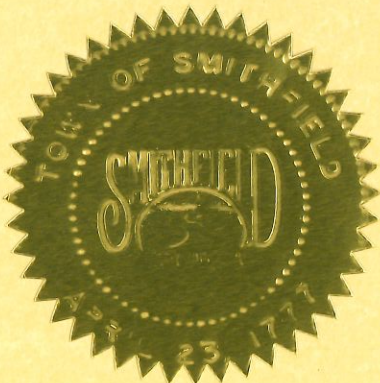
WHEREAS, the *ALL IN RED* campaign encourages all Johnston County residents, business owners, and visitors to participate in this initiative by wearing red on **February 7, 2025**, *National Wear Red Day*, and/or **running a RED promo or fundraiser throughout February**; and

WHEREAS, recognizing the financial challenges faced by heart patients, all funds raised during this campaign will benefit local heart patients through the Johnston Health Foundation’s Heart Fund; and

WHEREAS, on this day, we recognize heart disease and stroke survivors, those battling the disease, their families who are their source of love and encouragement, and applaud the efforts of our medical professionals who provide quality care;

NOW, THEREFORE, I, M. Andy Moore, Mayor of the Town of Smithfield along with members of the Town Council do hereby proclaim **February 2025** as “*ALL IN RED MONTH*” and encourage businesses, industries, and citizens in our community to support and participate in this event.

Duly proclaimed this 4th day of February 2025, while in regular session.



M. Andy Moore, Mayor



Request for Town Council Action

Presentation: Oath of
Office –
Police
Officers
Date: 2/4/25

Subject: Swearing in of seven new officers
Department: Police Department
Presented by: Police Chief - Pete Hedrick
Presentation: Oath of Office

Issue Statement

The Police Chief is requesting to swear in 7 new police officers

Financial Impact

N/A

Action Needed

Mayor Moore to administer the Oath of Office to seven newly hired Police Officers

Recommendation

Administer the Oath of Office to newly hired Police Officers and welcome them to the Town of Smithfield

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report



Staff Report

Presentation: Oath of
Office
Date: 2/4/25

The Police Chief is recommending the swearing in of 7 new police officers:

New Officers:

Officer Alysha Jones

Officer Michael Lashley

Officer Glendale Daniels

Officer Ian Landon

Officer Shahzeb Hameed

Officer Alexander Watts

Officer David Sholes

OATH OF OFFICE

SMITHFIELD POLICE DEPARTMENT

"I, _____, do solemnly swear or affirm that I will support the Constitution of the United States; that I will faithfully and bear true allegiance to the State of North Carolina and to the Constitutional powers and authorities which are, or may be established for the government thereof; that I will endeavor to support, maintain and defend the Constitution of said State, not inconsistent with the Constitution of the United States; that I will be alert and vigilant to enforce the criminal laws of this state; that I will not be influenced in any manner on account of personal bias or prejudice; and that I will faithfully and impartially execute the duties of my office as Police Lieutenant according to the best of my skill, abilities and judgment, so help me God."

Signature

Date

Mayor



Request for Town Council Action

Presentation Spring
Branch -
Resiliency
Study
Date: 2/4/25

Subject: Spring Branch Resiliency Project Report
Department: Planning Department
Presented by: Planning Director - Stephen Wensman
Presentation: Presentation

Issue Statement

Presentation of the Spring Branch Resiliency Project Report

Financial Impact

Received a NCLWF grant for the Spring Branch Resiliency project in the amount of \$95,000 to be used to secure additional funding in the watershed.

Action Needed

None

Recommendation

None

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report
2. Spring Branch Resiliency Project Report Final Report (**Separate Attachment**)



Staff Report

Presentation Spring
Branch -
Resiliency
Study
Date: 2/4/25

Overview:

In January 2022, the Town Council authorized McCormick Taylor to prepare grant applications to the NCLWF to conduct the study. The grant in the amount of \$95,000 was received to help fund the study.

The project identifies additional stormwater related capital improvement projects and development of a greenway concept connecting the Eva Ennis/Smith-Collins trails to the Buffalo Creek Greenway along the Neuse River. The Town received stormwater grant funding from NCDEQ for the 2nd and 4th Street Bridge project which is in the planning phase currently. Data from this study is being used by Withers Ravenel in their project.



Request for Town Council Action

**East
Coast
Greenway
Presentation
Date: 02/4/25**

Subject: Feasibility Study Johnston County East Coast Greenway
Department: Planning Department
Presented by: Adrian O'Neil, Johnston County Parks and Open Space
Coordinator
Presentation: Presentation

Issue Statement

Presentation of the Feasibility Study for the Johnston County East Coast Greenway

Financial Impact

N/A

Action Needed

None

Recommendation

None

Approved: Town Manager Town Attorney

Attachments:

1. Action Form
2. Project Summary and Map
3. Study Presentation Document (**Separate Attachment**)



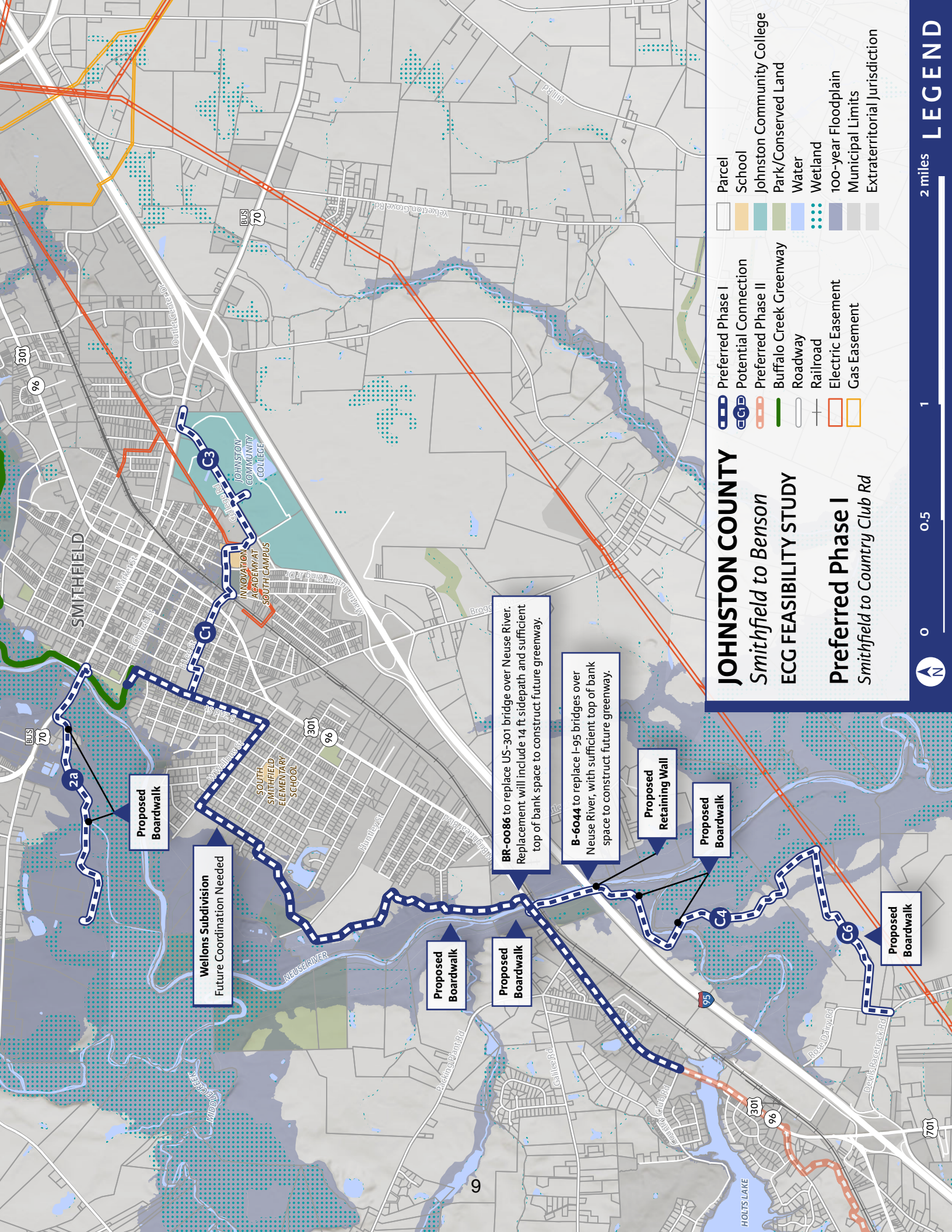
Staff Report

**East
Coast
Greenway
Presentation
Date: 02/4/25**

Overview:

Johnston County Parks and Open Space has been working on a feasibility study for the East Coast Greenway between Smithfield and Benson to the Harnett County line. The study involved stakeholders from the region to develop route options and then a preferred alignment with potential connector routes to reach additional destinations in the County.

The preferred route has an approximate length of 23 miles with 24% of that mileage being on greenways and 76% on sidepaths. A preliminary construction cost estimate was completed including a 30% cost contingency, and the expected construction estimate came to \$44,921,000 in 2024 dollars.



JOHNSTON COUNTY

Smithfield to Benson

ECG FEASIBILITY STUDY

Preferred Phase I

Smithfield to Country Club Rd

- Parcel
- School
- Johnston Community College
- Park/Conserved Land
- Water
- Wetland
- 100-year Floodplain
- Municipal Limits
- Extraterritorial Jurisdiction
- Preferred Phase I
- Potential Connection
- Preferred Phase II
- Buffalo Creek Greenway
- Roadway
- Railroad
- Electric Easement
- Gas Easement

0 0.5 1 2 miles

LEGEND

Proposed Boardwalk

Wellons Subdivision
Future Coordination Needed

Proposed Boardwalk

Proposed Boardwalk

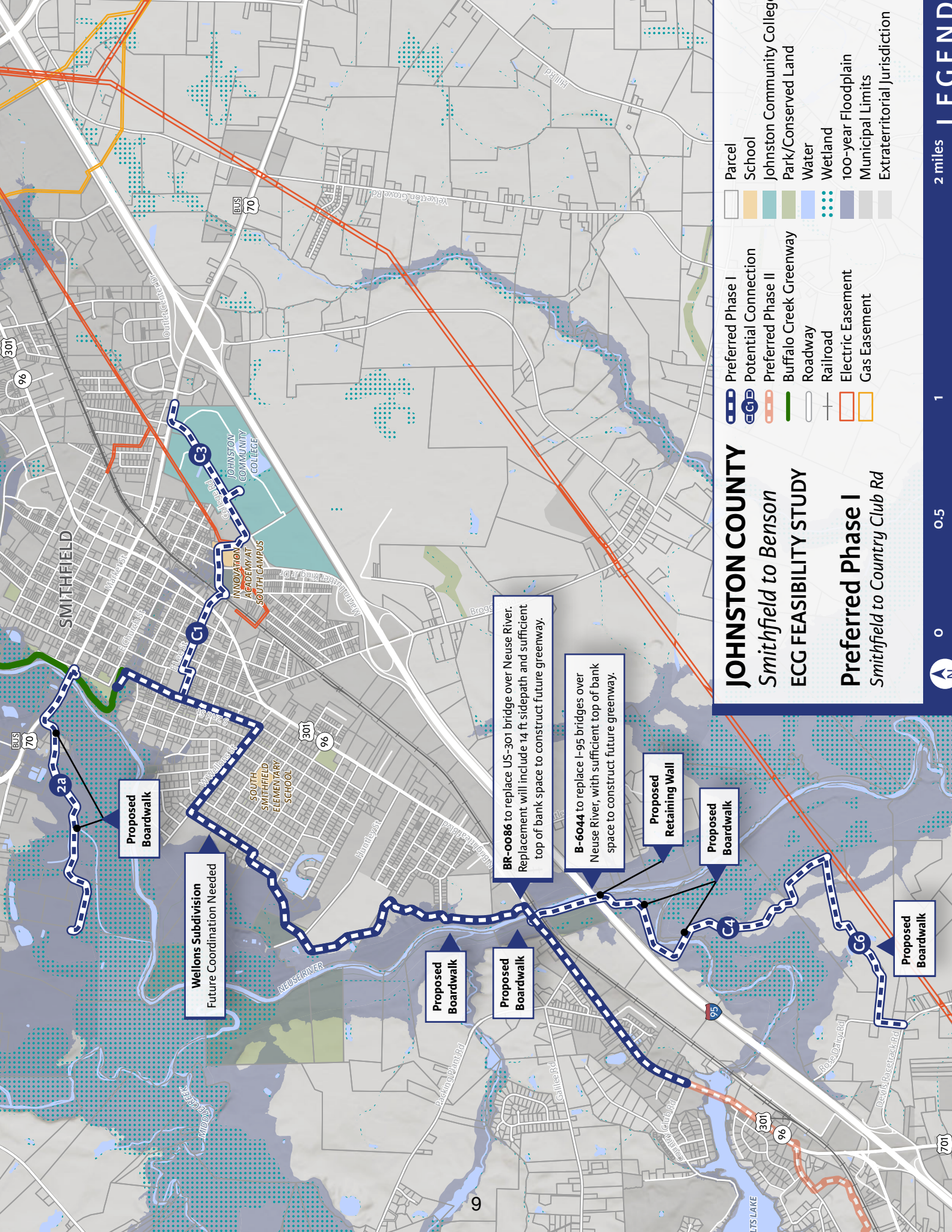
BR-0086 to replace US-301 bridge over Neuse River. Replacement will include 14 ft sidewalk and sufficient top of bank space to construct future greenway.

B-6044 to replace I-95 bridges over Neuse River, with sufficient top of bank space to construct future greenway.

Proposed Retaining Wall

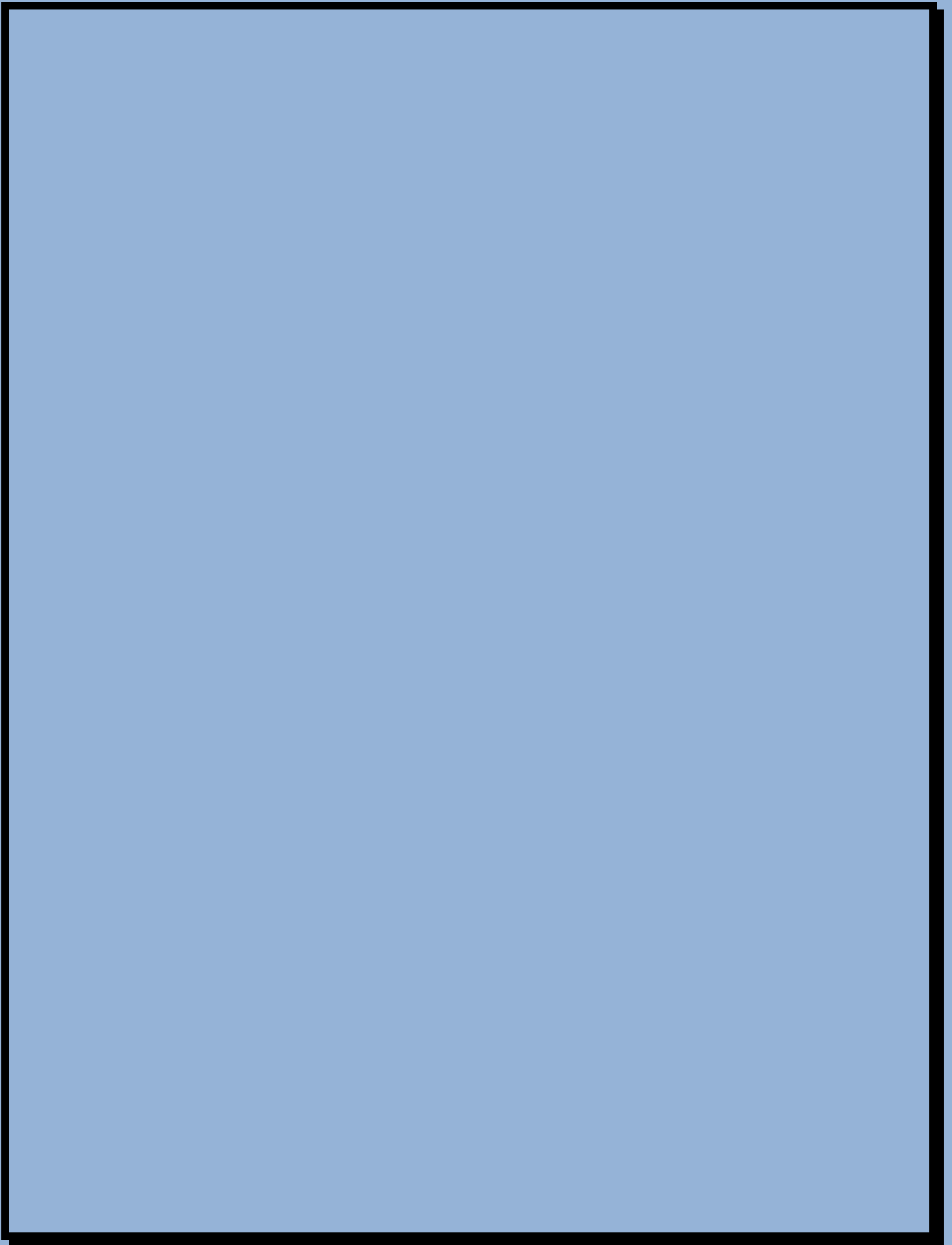
Proposed Boardwalk

Proposed Boardwalk



Consent

Agenda Items



The Smithfield Town Council met in regular session on Tuesday, December 17, 2024 at 7:00 p.m. in the Council Chambers of the Smithfield Town Hall, Mayor M. Andy Moore presided.

Councilmen Present:
Roger Wood, Mayor Pro-Tem
Marlon Lee, District 1
Sloan Stevens, District 2
Travis Scott, District 3
John Dunn, At-Large
Stephen Rabil, At-Large
Dr. David Barbour, District 4

Councilmen Absent

Administrative Staff Present
Michael Scott, Town Manager
Elaine Andrews, Town Clerk
Ted Credle, Public Utilities Director
Jeremey Daughtry, Fire Chief
Lawrence Davis, Public Works Director
Andrew Harris, Finance Director
Pete Hedrick, Chief of Police
Gary Johnson, Parks & Rec Director
Shannan Parrish, HR Director
Stephen Wensman, Planning Director

Also Present
Robert Spence, Jr., Town Attorney

Administrative Staff Absent

CALL TO ORDER

Mayor Moore called the meeting to order at 7:00 pm.

INVOCATION

The invocation was given by Councilman David Barbour, followed by the Pledge of Allegiance.

APPROVAL OF AGENDA:

Mayor Pro Tem, Roger Wood made a motion, seconded by Councilman John Dunn, to approve the agenda, with a change to re-open the public hearing for the first business item, SUP-24-02, Heritage Townes at Waddell. Unanimously approved.

Citizens Comments: None.

Consent Agenda Items:

Councilman David Barbour made a motion, seconded by Councilman John Dunn, to approve the following items as listed on the consent agenda. Unanimously approved.

1. **Three Way Stop Request – North 2nd Street and Hancock Street**
2. **Resolution 760 (21-2024) and Budget Ordinance – Grant Funds Aged Sanitary Sewer Infrastructure Improvements SRP-D-134-0012**

**TOWN OF SMITHFIELD
RESOLUTION NO. 760 (21-2024)**

WHEREAS, the Town of Smithfield has received a Directed Projects grant for the Replace Aged Sanitary Sewer Infrastructure & PS#11 and Outfall Improvements – Phase II Project (SRP-W-134-0012) from the 2023 Appropriations Act, Session Law 2023-134, administered through the Drinking Water Reserve and Wastewater Reserve to assist eligible units of government with meeting their wastewater infrastructure needs, and

WHEREAS, the North Carolina Department of Environmental Quality has offered 2023 Appropriations Act funding in the amount of \$2,500,000 to perform work detailed in the submitted applications, and

WHEREAS, the Town of Smithfield intends to perform said project in accordance with the agreed scope of work.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SMITHFIELD:

That the Town of Smithfield does hereby accept the 2023 Appropriations Act Directed Projects Grant offer of \$2,500,000; and

That the Town of Smithfield does hereby give assurance to the North Carolina Department of Environmental Quality that any Conditions or Assurances contained in the Award Offer will be adhered to; and

That the Town Manager, and successors so titled, is hereby authorized and directed to furnish such information as the appropriate State agency may request in connection with this project; to make the assurances as contained above; and to execute such other documents as may be required by the Division of Water Infrastructure.

Adopted this the 17th day of December, 2024 in Smithfield, North Carolina.

M. Andy Moore, Mayor

ATTEST:

Elaine S. Andrews, Town Clerk

Ordinance #CP-12-2024

Capital Project Ordinance for the Town of Smithfield Sanitary Sewer Infrastructure & PS #11 and Outfall Improvements Project (Project #SRP-W-134-0012)

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF SMITHFIELD, NORTH CAROLINA that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project ordinance is hereby adopted:

SECTION 1: This ordinance is to establish a budget for a project to be funded by the North Carolina Department of Environmental Quality (“NCDEQ”) Division of Water Infrastructure Drinking Water / Wastewater Reserve. The project authorized is the construction of water infrastructure to be financed by state grants and reserves. These funds may be used for the following categories of expenditures, to the extent authorized by state law.

1. Pump Station #11 pumps wastewater under Interstate 95 and empties into a manhole on the opposite side. Previous funding has allowed the upsizing & improvements of the pump station and the first 500 feet of downstream gravity sewer line. This phase will complete the downstream improvements, all the way to the terminus point, in a separate Town pump station. These improvements will create sewer access for new developments east of I-95, where sewer access does not currently exist.
2. Town citizens residing between Holding Street & Stevens Street; bounded by Second Street to the south and Crescent Drive to the north get their sanitary sewer service from the alley ways located between the residences, in the rear of the yard. This infrastructure has been a “hot spot” of trouble – in need of frequent maintenance over the last few years. Field investigation shows that the bulk of the sewer main is in a state of disrepair and needs replacing. To this end, this project will replace the aged sewer infrastructure (including service lines) in that area of the Town.

SECTION 2: The officers of the Town are hereby directed to proceed with the capital project within the terms of the resolution and budget contained herein.

SECTION 3: The following amounts are appropriated for the project and authorized for expenditures:

Engineering costs	\$ 416,550
Construction costs	<u>2,083,450</u>
Total	<u>\$ 2,500,000</u>

SECTION 4: The following revenues are anticipated to be available to complete the project:

NC Department of Environmental Quality Division of Water Infrastructure Drinking Water / Wastewater Reserve	<u>\$ 2,500,000</u>
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SECTION 5: The Town intends to complete the project in accordance with the Drinking Water / Wastewater State Reserve, Session Law (S.L.) 2023-134. The Town's scope of work is a complete and concise scope of goods or services supported by this agreement and consistent with language in S.L. 2023-134. The Town agrees to use the funds in the amounts allocated for the budget cost items set forth in the Town's budget.

SECTION 6: The Finance Officer is hereby directed to maintain sufficient specific detailed accounting records to satisfy the requirements of the grantor agency, grant agreements, and federal regulations. The Town's accounting and fiscal records shall be maintained during the completion of the project, and these records shall be retained and made available for a period of at least three (3) years following completion of the project.

SECTION 7: Funds may be advanced from the General Fund for the purpose of making payments as due. Disbursement requests should be made to the grantor agency in an orderly and timely manner.

SECTION 8: The Finance Officer is hereby directed to report the financial status of the project to the governing board the appropriations and the total grant / loan revenues received or claimed.

SECTION 9: The Budget Officer is directed to include a detailed analysis of past and future costs and revenues on this grant project in every budget submission made to this board.

SECTION 10: Copies of this grant project ordinance shall be furnished to the Budget Officer, the Finance Officer and to the Clerk to Town Council five (5) days after adoption.

SECTION 11: This grant project ordinance is effective as of December 17, 2024, and expires when all the NCDEQ funds have been obligated and expended by the Town, whichever occurs sooner.

M. Andy Moore, Mayor

ATTEST:

Elaine S. Andrews, Town Clerk

3. Resolution 762 (23-2024) and Budget Ordinance – Acceptance of Grant Funds SRP-W-ARP-0063 Aged Sanitary Sewer Infrastructure Improvements

TOWN OF SMITHFIELD
RESOLUTION NO. 762 (23-2024)

WHEREAS, the Town of Smithfield has received an earmark for the American Rescue Plan (ARP) funded from the State Fiscal Recovery Fund established in S.L. 2021-180 to assist eligible units of government with meeting their water/wastewater infrastructure needs (SRP-W-ARP-0063), and

WHEREAS, the North Carolina Department of Environmental Quality has offered American Rescue Plan (ARP) funding in the amount of \$3,000,000 to perform work detailed in the submitted application, and

WHEREAS, the Town of Smithfield intends to perform said project in accordance with the agreed scope of work,

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SMITHFIELD:

That Town of Smithfield does hereby accept the American Rescue Plan Grant offer of \$3,000,000.

That the Town of Smithfield does hereby give assurance to the North Carolina Department of Environmental Quality that any Conditions or Assurances contained in the Award Offer will be adhered to.

That the Town Manager, and successors so titled, is hereby authorized and directed to furnish such information as the appropriate State agency may request in connection with this project; to make the assurances as contained above; and to execute such other documents as may be required by the Division of Water Infrastructure.

Adopted this the 17th day of December, 2024 in Smithfield, North Carolina.

M. Andy Moore, Mayor

ATTEST:

Elaine, S. Andrews, Town Clerk

Ordinance #CP-13-2024

Capital Project Ordinance for the Town of Smithfield PS #11 Outfall and PS #1 System Upgrades and D Stephenson Force Main Improvements Project (Project #SRP-W-ARP-0063)

BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF SMITHFIELD, NORTH CAROLINA that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project ordinance is hereby adopted:

SECTION 1: This ordinance is to establish a budget for a project to be funded by the American Rescue Plan (ARP) from the State Fiscal Recovery Fund in the amount of \$3,000,000. This offer was made by the NC Department of Environmental Quality Division of Water Infrastructure (DWI). These funds may be used for the following categories of expenditures, to the extent authorized by federal and state law.

1. System Improvements to PS #11 Outfall, PS #1 System Upgrades and D Stephenson Force Main

SECTION 2: The officers of the Town are hereby directed to proceed with the capital project within the terms of the resolution and budget contained herein.

SECTION 3: The following amounts are appropriated for the project and authorized for expenditures:

Engineering and construction costs	\$ 3,000,000
Total	<u>\$ 3,000,000</u>

SECTION 4: The following revenues are anticipated to be available to complete the project:

NC Department of Environmental Quality Division of Water Infrastructure via State Fiscal Recovery Fund	<u>\$ 3,000,000</u>
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SECTION 5: The Town intends to complete the project in accordance with the State Fiscal Recovery Funds established in Session Law (S.L.) 2021-180. The Town's scope of work is a complete and concise scope of goods or services supported by this agreement and consistent with language in federal laws associated with American Rescue Plan (ARP) and S.L. 2021-180. The Town agrees to use the funds in the amounts allocated for the budget cost items set forth in the Town's budget.

SECTION 6: The Finance Officer is hereby directed to maintain sufficient specific detailed accounting records to satisfy the requirements of the grantor agency, grant agreements, and federal regulations. The Town's accounting and fiscal records shall be maintained during the completion of the project, and these records shall be retained and made available for a period of at least five (5) years following completion of the project.

SECTION 7: Funds may be advanced from the General Fund for the purpose of making payments as due. Disbursement requests should be made to the grantor agency in an orderly and timely manner.

SECTION 8: The Finance Officer is hereby directed to report the financial status of the project to the governing board the appropriations and the total grant / loan revenues received or claimed.

SECTION 9: The Budget Officer is directed to include a detailed analysis of past and future costs and revenues on this grant project in every budget submission made to this board.

SECTION 10: Copies of this grant project ordinance shall be furnished to the Budget Officer, the Finance Officer and to the Clerk to Town Council five (5) days after adoption.

SECTION 11: This grant project ordinance is effective as of December 17, 2024, and expires when all the NCDEQ funds have been obligated and expended by the Town, whichever occurs sooner.

ATTEST:

Elaine, S. Andrews, Town Clerk

Business Item:

1. Special Use Permit Request – (SUP-24-02) Heritage Townes at Waddell - Samuel O'Brien (Shovel Ready Johnson, Inc.) is requesting a special use permit for Heritage Townes at Waddell, a 17-unit townhouse development on 1.88 acres of land in the R-8 Zoning District.

Mayor Andy Moore reminded the Board that this issue was tabled from the November 19th meeting for traffic and road questions. He asked if the Council agreed to re-open the public hearing on the matter, as there were parties present who may wish to speak to this matter, and answer any questions.

Councilman Travis Scott made a motion, seconded by Councilman Roger Wood to re-open the public hearing. Unanimously approved.

Town Clerk Elaine Andrews administered affirmations to those wishing to offer testimony during the Public Hearing.

Planning Director, Stephen Wensman gave a brief summary of the project as detailed in the minutes of record from the November 19, 2024 Town Council meeting. He restated that the developer is requesting approval for a 17-unit townhouse development on 1.88 acres of land on Waddell Drive. He noted that where the Board left off was the question of the sufficiency of the road leading into the development, and whether its infrastructure could support this project.

Planning Director Stephen Wensman incorporated his entire record and provided it to the Council in written form in the November 19, 2024 Town Council agenda packet. Thusly re-listed herein are staff's opinion of the findings of fact:

STAFF'S FINDING OF FACT:

The Town Council shall issue a special use permit if it has evaluated an application through a quasi-judicial process and determined that (Staff's opinion in ***Bold/Italic***):

4.9.4.5.1. The establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, or general welfare. ***The project will not be detrimental to or endanger the public health, safety or general welfare. The development will adhere to all Town requirements.***

4.9.4.5.2. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. ***The project will not impede the normal and orderly development and improvement of the surrounding properties. The neighborhood is fully developed with only redevelopment occurring, this townhouse project and commercial development along Brightleaf Boulevard. This development will potentially provide new customers in walking distance to the Brightleaf commercial establishments.***

4.9.4.5.3. Adequate utilities, drainage, parking, or necessary facilities have been or are being provided. ***The development will provide adequate utilities, drainage, parking and necessary facilities. For this project to proceed, an existing sanitary sewer line and easement will need to be relocated.***

4.9.4.5.4. The proposed use shall not be noxious or offensive by reason of vibration, noise, odor, dust, smoke, or gas. **The use will not create such nuisances.**

4.9.4.5.5. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets. **Proper ingress and egress will be provided with a single driveway onto Waddell Drive. The developer will likely install a stop sign at the exit lane to Waddell Drive.**

4.9.4.5.6. That the use will not adversely affect the use or any physical attribute of adjoining or abutting property. **The use will have no adverse impacts on the abutting or adjoining properties. The adjacent properties are residential. The design of the proposed buildings will be complementary to the mostly single-story homes surrounding with dormers that break up the scale of the buildings. Furthermore, the site will be well buffered along all property lines. The design of the home will be such that the front (good) side faces outward. All vehicular access is toward the center of the site.**

4.9.4.5.7. That the location and character of the use, if developed according to the plan as submitted and approved, will be in harmony with the area in which it is to be located. **The proposed townhomes will be complementary and in harmony with the adjacent homes. The architectural style will blend well and dormers will break up the scale of the buildings. The buildings will be positioned such that they will have minimal impact from the street.**

4.9.4.5.8. The special use shall, in all other respects, conform to all the applicable regulations of the district in which it is located. **The special use will meet all applicable regulations.**

Planning Staff recommends approval of SUP-24-02 with the following conditions:

1. *That the driveway be constructed in accordance with the Town's driveway apron detail.*
2. *That the existing sanitary sewer line and easement be relocated with the approval of the Town's Public Utilities Director.*
3. *That rollout trash containers be screened from the public right of way or stored within the garages.*
4. *That the developer constructs a 5' wide public sidewalk in the public right of way, or in an easement for the sidewalk along the right of way.*
5. *There shall be a homeowner's association to own and maintain all common amenities such as the parking lot, sidewalks, landscaping, mail kiosk, and stormwater management facility.*

Councilman David Barbour asked if the street was a DOT road or a Town road. Planning Director Stephen Wensman stated that it was a Town road. It is 18-foot wide with ditches, and that it's not a standard Road. A standard road is 27-foot back-to-back with curb and gutter.

Mayor Andy Moore asked if there were any further questions from staff. There were none.

Attorney Jason Wenzel, of 103 S. 3rd St., Smithfield spoke on behalf of the applicants for the project, stating he could answer questions about the road and the traffic. He presented a memorandum from engineers at Exult Engineering firm, asking that it be considered as evidence. He provided the copy of the three-page letter, along with documentation and incorporated exhibits to the Board.

Wenzel stated that although in the agenda packet, it was stated that no traffic study was needed for the project, a traffic study was completed by a traffic engineer. Wenzel stated the traffic study showed that Waddell was a suburban residential road within the Smithfield Town Development Plan, and it concludes that the road is more than adequate to handle the traffic projected for the development.

Wenzel outlined the following points from the study:

1. *The road can handle more than 4,400 cars per day. The projected development traffic is 770 cars per day.*
2. *The development will add 72 cars per day during the peak hour, which is approximately 6*

cars per hour and car one every 10 minutes.

Jason Helms, an engineer with Exult Engineering firm spoke. He stated Attorney Wenzel gave a good summary of the site impact as detailed in the study. He asked if there were any questions from the Board.

Councilman David Barbour questioned the number of cars per hour as related to peak times. He also discussed the difficulty in the ability for drivers to make left turns onto Hwy 301 out of the development.

Jason Helms explained that during the morning peak hours, when people typically leave for work, the traffic study for the 17-unit development shows a total of three trips, with two vehicles exiting. These exiting vehicles could turn left or right. He noted that the existing traffic patterns along the main road would provide adequate gaps between signals to allow these vehicles to exit safely. While the low number of trips might seem unreasonable, Helms assured that it's an accurate projection based on the size of the development.

Councilman Travis Scott noted that what the study pertained to additional traffic, not taking into account existing traffic.

Helms confirmed that the figures mentioned did represent new traffic generated by the proposed development. He explained that while they don't have comprehensive data on overall traffic, their projections are based on the available timeframe for the study. Helms noted that existing traffic from the area might add about 10 trips exiting during the morning peak hour. He acknowledged that if all these trips occurred simultaneously, there could be slightly longer wait times, but emphasized that these trips would likely be spread out over the hour.

Councilman David Barbour reiterated that turning left out of the development would be a problem. Helms noted, drivers would have to wait for a gap in traffic to exit, but noted that impact, based on the study, would be fairly insignificant.

Councilman John Dunn asked Helms whether their traffic study took into account further future development on Waddell Drive, noting there was an additional development on this street being heard by the Board at tonight's meeting. He asked if the two 9-foot lanes would be adequate. Helms stated the study did take into account the additional traffic.

Councilman David Barbour asked if there was anything being proposed to regulate speed, noting the driveway was short, so this should not be much of an issue. Helms stated there were natural deterrents to keep speed within reason such as driveways being close together, and also mailboxes.

Councilman Scott questioned the seven additional parking spaces proposed in the development, asking what happens if residents do not use their garages. Helms deferred that question to the developer, Dan Danvers.

Town Manager Mike Scott noted that the traffic study received as evidence was not authored by the engineer who gave testimony for this meeting. Jason Helms stated the author of the study is also an engineer, but was not available to attend the meeting tonight. Manager Scott asked the engineer to state his background and credentials for the expert testimony the Board was given. Mr. Helms stated that he has been a practicing engineer for 30 years, with 25 years devoted to traffic engineering. Helms stated that he agreed with the findings in the document presented by Wensman in its entirety.

Dan Danvers, Senior Project Manager with Bohler Construction spoke on behalf of the applicant. He noted his experience and asked if he could answer any technical questions from the Board regarding the merits of the project design.

Councilman Travis Scott re-stated his question regarding the parking if done outside the garages provided to the residents. Danvers stated there were additional storage closets proposed in the plans that should address this issue. He also noted that the development met the UDO minimum requirement with additional guest parking provided. He pointed out the location of the additional storage space closets, as well as the seven overflow parking spaces as shown on the master plan layout provided to the Board.

Mayor Moore asked if there were any further questions from the Board. There were none.

Attorney Jason Wenzel asked if a copy of the traffic study provided to the Board could be entered as evidence.

Councilman John Dunn made a motion, seconded by Councilman David Barbour to accept the traffic study provided by Exult Engineering firm as evidence for the applicants. Unanimously approved.

A copy of the *Technical Memorandum* from Exult Engineering dated December 13, 2024 was admitted to the record and is available in the office of the Town Clerk.

Mayor Andy Moore asked if there was anyone in the audience wishing to speak on the matter.

Charles E. Sanders of 15 Waddell Drive, a 6-year resident, testified that he lived down the road from the future development. He spoke to the difficulty of turning left from Waddell Drive onto the four-laned US Hwy 301. He also stated he was concerned about the future traffic on the narrow road of Waddell Drive. He told the Board of one accident he recalled. Sanders further commented as to the proposal of having traffic going one-way, as discussed in the prior meeting. Sanders spoke of potential buildup of traffic that would occur with only one way in. He also stated he welcomed the development for the area, having seen it sit vacant for three years. He asked the Board to work with the road as is for now, and to consider adjusting accordingly, if need be, in the future.

Councilman Travis Scott noted that for the record, although a one-way road was discussed at the last hearing, no one-way road was proposed in this development. The Board concurred.

Councilman Travis Scott asked if Town Engineer, Bill Driezler could discuss his review of the traffic study.

Mayor Andy Moore asked if there was anyone else in the audience who wished to speak on the matter. There was no one.

Town Engineer Bill Driezler stated he was asked to review the memorandum entered as evidence by Exult Engineering firm. He stated the firm used numbers from the Institute for Traffic Engineers, which is the gold standard for trip generation. He stated looking across both proposed developments, there were a total of about 152 trips per day. Driezler stated that in his professional opinion, this project can be adequately supported without any improvements.

Mayor Andy Moore asked if there were any further questions from the Board for staff or the applicant.

Councilman David Barbour commented that he would not be in favor of a one-way road for Waddell Drive because two opportunities are needed to accommodate the traffic.

Councilman Travis Scott asked about future plans to make Hwy 301 a divided highway. Mayor Andy Moore commented that this issue came up at his last Upper Coastal Rural Planning Organization meeting, for which he serves as a Board member. He stated they are planning surveys and public comment for the project in January 2025. He stated the proposal is for controlled access, the first phase being from Rick's Road in Selma to Booker dairy Road in Smithfield. He noted a similar type design of highway already exists in front of Johnston Memorial Hospital in Smithfield, but the plan is to extend it with access turns along the way.

Councilman Travis Scott stated he was not speaking against the plans to divide the highway but he wanted to mention the future plans for this to occur. Mayor Moore stated that the mention of dividing Highway 301 at his meeting was that of informal discussion with no action taken.

Councilman Travis Scott stated that a one-way road would not be conducive to the development. Mayor Moore agreed.

Councilman David Barbour made a motion, seconded by Mayor Pro Tem Roger Moore to close the public hearing. Unanimously approved.

Councilman Travis Scott asked where town rollout containers for garbage would be placed, and if they would be screened in. Planning Director Stephen Wensman stated that it is a standard condition for townhouse developments that trash containers be screened from the public right-of-way out of the view

of the public.

Councilman Travis Scott asked if there was any objection about the sanitary sewer easement. Wensman stated that it has to be moved because right now it is in the middle of the site under a building. He stated the developer would need to work with the town utilities director to figure out the appropriate solution to reroute it.

Councilman Travis Scott questioned whether storm water management was part of the plans for this development. Whether the pond is big enough to necessitate aeration, or if it will be a dry pond.

The developer wished to speak on the issue, Mayor Andy Moore announced that the public hearing was closed, and would need to be re-opened to receive further testimony.

Councilman Travis Scott made a motion, seconded by Councilman David Barbour to re-open the public hearing. Unanimously approved.

Andrew Weitzel of Bohler Engineering addressed the Board. He stated his credentials as a licensed public engineer in civil construction, specializing in storm water. He stated that this site proposed a constructed wetland, designed to meet the Neuse River standards for phosphorus and nitrogen reduction. He added that pond would be a foot to 1.2-foot depth of water, not a large wet pond, but plenty of room for water storage.

Councilman Barbour asked about mosquitos that could breed as a result of the installation of the wet pond. Weitzel stated there are plants that they could introduce to address this concern, but they have not designed the site plan yet. Barbour asked if this could be added as a condition for the development.

Dan Danvers, project manager stated there were certain types of state-approved vegetation that is already required as part of storm water control measures, and that they would be happy to have it. However, they have not reached that level of detail in the landscape planning yet. The intent is to not have the pond become a mosquito habitat, and they have not experienced any issues with mosquitos with past developments across the state of North Carolina.

Councilman Barbour asked Planning Director Wensman if he was satisfied with the response regarding the pond from Danvers. Wensman stated he is not an expert, so we would have to trust that the developer's plan is going to meet the need.

There was general discussion among the Board regarding storm water ponds, where examples of the pond proposed are located, one being out on Kellie Drive in Smithfield. Also discussed was the efficiency and effectiveness of storm water ponds and which may be conducive for this location. Councilman David Barbour stated that given the strict measures the state requires, no additional conditions need to be placed on the developer regarding storm water ponds.

Mayor Moore asked if the type of architectural design and building materials were stated as a condition. Wensman stated that the developers are being held accountable to the standards as stated in their application.

Mayor Moore asked if there were any further questions or comments from the audience or from the Board. There were none.

Councilman David Barbour made a motion, seconded by Councilman John Dunn to close the public hearing. Unanimously approved.

Councilman David Barbour made a motion, seconded by Mayor Pro Tem Roger Wood to approve Special Use Permit SUP-24-02 for Heritage Homes at Waddell with 5 conditions based on the finding of fact for special use permits. The motion carried 6 to one with Councilman Travis Scott voting against the Special Use Permit request. The item is approved.

Conditions of approval are as follows:

1. That the driveway be constructed in accordance with the Town's driveway apron detail.

2. That the existing sanitary sewer line and easement be relocated with the approval of the Town's Public Utilities Director.
3. That rollout trash containers be screened from the public right of way or stored within the garages.
4. That the developer constructs a 5' wide public sidewalk in the public right of way, or in an easement for the sidewalk along the right of way.
5. There shall be a homeowner's association to own and maintain all common amenities such as the parking lot, sidewalks, landscaping, mail kiosk, and stormwater management facility.

Business Item:

2. Annexation Request – (ANX-24-02) Resolution 761 (22-2024) for Contiguous Annexation Petition

Planning Director, Stephen Wensman addressed the Board stating that Smithfield Growth LLC has submitted a petition to voluntarily annex 85.85 acres contiguous to the Town of Smithfield. He stated the contiguous annexation request is related to the Local 70 project. This annexation involves land south of M. Durwood Stephenson Hwy, with additional land to the north and northeast slated for future annexation. The Local 70 project encompasses 290 attached single-family residential lots, 94 attached townhomes, and 324 apartment units.

The annexation survey covers land on both sides of Booker Dairy Road. A small parcel on the west side is already within Smithfield town limits, while the portion east of Booker Dairy Road, currently in the ETJ, is the focus of this annexation request.

Wensman explained that the first step in the annexation process requires the town clerk to certify the petition. To this end, the council was asked to adopt Resolution 761 (22-2024), which would authorize the town clerk to investigate the sufficiency of the annexation petition.

Mayor Andy Moore asked if there were any further questions for Stephen or staff. There were none.

Councilman David Barbour made a motion, seconded by Mayor Pro Tem Roger Wood to adopt Resolution No. 761 (22-2024) directing the Town Clerk to certify the annexation petition. Unanimously approved.

**TOWN OF SMITHFIELD
RESOLUTION NO. 761 (22-2024)
DIRECTING THE CLERK TO INVESTIGATE AN
ANNEXATION PETITION RECEIVED UNDER G.S. 160A-31**

WHEREAS, a petition requesting annexation of an area described in said petition was received on December 17, 2024 by the Smithfield Town Council; and

WHEREAS, G.S. 160A-31 provides that the sufficiency of the petition shall be investigated by the Town Clerk before further annexation proceedings may take place; and

WHEREAS, the Town Council of the Town of Smithfield deems it advisable to proceed in response to this request for annexation:

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF SMITHFIELD THAT:

The Town Clerk is hereby directed to investigate the sufficiency of the above-described petition and to certify as soon as possible to the Town Council the result of her investigation.

Adopted this the 17th day of December, 2024 in Smithfield, North Carolina.

M. Andy Moore, Mayor

ATTEST:

Elaine S. Andrews, Town Clerk

Public Hearing:

1. **Subdivision Request – (S-24-06) Local 70 Interim Plat** Plan - Smithfield Growth, LLC is requesting a preliminary subdivision of +/- 85.79 acres of land in the Local 70 PUD Zoning District into 10 properties for land conveyance purposes.

Town Clerk Elaine Andrews administered affirmations to those wishing to offer testimony during the Public Hearing.

Mayor Pro Tem Roger Wood made a motion, seconded Councilman John Dunn, to open the public hearing. Unanimously approved.

Planning Director Stephen Wensman stated Smithfield Growth, LLC is requesting a preliminary subdivision of 85.79 acres of land in the Local 70 PUD Zoning District into 10 properties for land conveyance purposes. A subsequent residential preliminary plat has been submitted and will likely be reviewed by the Town Council with a public hearing in January 2025 in conformance with the Local 70 PUD Plans.

Planning Director Stephen Wensman incorporated his entire record and provided it to the Council in written form in with the December 17, 2024 agenda packet.

Wensman stated that he recommends that the Council approve subdivision request, S-24-06, without conditions based on the finding of fact for subdivisions listed below:

FINDING OF FACT (STAFF OPINION):

To approve a preliminary plat, the Town Council shall make the following finding (staff's opinion in Bold/Italic):

1. *The plat is consistent with the adopted plans and policies of the town; **The plat is consistent with the adopted comprehensive plan.***
2. *The plat complies with all applicable requirements of this ordinance; **The plan complies with all applicable requirements of this ordinance.***
3. *There exists adequate infrastructure (transportation and utilities) to support the plat as proposed. **There is adequate infrastructure (none required).***
4. *The plat will not be detrimental to the use or development of adjacent properties or other neighborhood uses. **The plat will not be detrimental to the use or development of adjacent properties or other neighborhood uses.***

Mayor Andy Moore asked if there were any questions from staff. Councilman Travis Scott asked for clarification for the location of roads in this development. Wensman stated there are no roads inside the development. He also pointed out the neighboring roads on the map provided to the Council.

The applicant, Corey Mabus of Smithfield Growth in Sanford, NC spoke regarding the project. He explained that this is another step in their ongoing process. The company has owned the land for several years and is preparing to break ground at the beginning of the year. They have already received their road control permit and submitted for staff review for TRC. Mabus clarified that the purpose of the interim subdivision is to facilitate the transfer of ownership from the holding company to the operating company before proceeding with groundbreaking. This transfer is necessary for them to transition from a holding company to an operational company. Mabus concluded by offering to answer any questions.

Councilman David Barbour asked where the developer planned to start the initial phase of the development. Mabus pointed out the first quarter of the project where he planned to break ground on the map before the Board.

There was some discussion regarding the installation of roads in the development, as to how best limit the impact on traffic. Mabus stated more details would come later with the preliminary plat. Councilman Travis Scott stated the controlled road access improvements for this development would help improve the traffic flow in the area, which is a major issue.

Mayor Moore asked the applicant if he agreed with the testimony from Planning Director Stephen Wensman regarding the subdivision request. The applicant, Corey Mabus stated he did agree with Wensman's testimony.

Mayor Moore asked if there was anyone in the audience who wished to speak on the issue. There was no one.

Mayor Pro Tem Roger Wood made a motion, seconded by Councilman Steve Rabil to close the public hearing. Unanimously approved.

Councilman David Barbour made a motion, seconded by Councilman John Dunn to approve the subdivision request local 70 preliminary plat S-24-06 with no conditions, based on the findings of fact for a subdivision request. Unanimously approved.

2. **Rezoning Request – (RZ-24-09) East Edgerton Street** - To review the application to rezone 36 East Edgerton Street from HI, Heavy Industrial to B-3, Highway Entranceway Business.

Councilman John Dunn made a motion, seconded Mayor Pro Tem Roger Wood to open the public hearing. Unanimously approved.

Planning Director Stephen Wensman is explained:

1. A discrepancy was found between the County's GIS zoning designation and the Town's zoning map for certain properties.
2. The County's GIS shows these properties as zoned Heavy Industrial.
3. The Town's map shows the same properties as zoned B-3 Business.
4. The County only updates its GIS zoning when the town provides official rezoning documents.
5. Old Town zoning maps indicate a change occurred on March 4, 2008. However, there are two maps with this date, and only one shows the zoning change.
6. All zoning maps after March 4, 2008, consistently show the property as B-3 zoned.
7. Staff thoroughly searched Town Council minutes for 2008 and surrounding years but couldn't find any record of Town Council action or case files related to rezoning these properties.

This situation highlights a potential administrative oversight or documentation issue regarding the zoning change of these properties. To correct the issue, staff has notified the owners of both properties to obtain their support for rezoning as is reflected on the signed zoning application.

Planning Director Stephen Wensman incorporated his entire record and provided it to the Council in written form in with the December 17, 2024 agenda packet. He outlined staff's consistency statement:

Consistency Statement (Staff Opinion):

With approval of the rezoning, the Town Council is required to adopt a statement describing whether the action is consistent with adopted comprehensive plan, as hereby amended and other applicable adopted plans and that the action is reasonable and in the public interest.

Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** - *The map amendment is consistent with the comprehensive growth management plan.*
- **Consistency with the Unified Development Code (UDO)** – *Any future use or development of the properties will be consistent with the UDO.*
- **Compatibility with Surrounding Land Uses** – *the map amendment is consistent with surrounding land uses. All the land to the surrounding is zoned B-3 with some O/I zoning in the Southeast of the site.*

Wensman recommended the Council move to approve zoning map amendment, RZ-24-09, finding it consistent with the Town of Smithfield Comprehensive Growth Management Plan, as hereby amended, and other adopted plans, and that the amendment is reasonable and in the public interest.

Councilman Travis Scott asked for further clarification for the discrepancy between the County and the Town's map for the B-3 indication. Wensman clarified.

Mayor Andy Moore asked if there were any additional questions from the Board for staff. There were none. He also asked if there was anyone in the audience who wished to speak on the issue. There was none.

Mayor Pro Tem Roger Wood made a motion, seconded by John Dunn to close the public hearing. Unanimously approved.

Councilman Travis Scott made a motion, seconded by Councilman John Dunn to allow staff to proceed with making the map error correction. Unanimously approved.

3. **Conditional Zoning Request – (CZ-24-07) Waddell Drive** - Terraeden Landscape & Design is requesting the conditional rezoning of approximately 1.63 acres of land located at 37 and 41 Waddell Drive, about 250 ft north of the N. Brightleaf Blvd. and Waddell Drive intersection, also identified by the Johnston County Tax ID 15005031, 15005029 and part of 15005031A, from R-8 and B-3 to R-8 CZ, Conditional with a masterplan for a 16-lot attached single-family residential townhome development.

Councilman John Dunn made a motion, seconded by Mayor Pro Tem Roger Wood to open the public hearing. Unanimously approved.

Planning Director, Stephen Wensman explained that the developer plans to build six two-story townhomes, each about 1,020 square feet. These units will face a private parking lot that provides over two spaces per unit. Each townhome will have two bedrooms and two and a half bathrooms. The development is conveniently located near commercial areas and community amenities. No parks are proposed in the development, however there will be a fee in lieu.

Wensman stated that the development includes a standard street yard as per UDO requirements and a Class A perimeter buffer. While the master plan lacks parking lot landscaping and foundation plantings at this scale, these will be addressed in future construction plans for review. A 6-foot-high screening fence is planned for the back of lots adjacent to existing residential areas. For developments with private parking lots, discussions are ongoing for including a liability waiver in restrictive covenants. This would allow the town to collect trash on private property without assuming liability for potential damages.

This development is below the threshold for a traffic study, although we had another case tonight that more or less covered it a 30-foot perimeter buffer is provided, whereas the code is requiring a 35-foot perimeter buffer.

The development includes a mail kiosk, public utilities with a fire hydrant requiring a 30-foot easement, and architectural standards. A subdivision sign will be placed 10 feet from the entrance. The project is planned as a single phase. The developer requests a 5-foot reduction in the perimeter yard but proposes a screening fence exceeding the code requirement. They're providing seven extra parking stalls and upgrading Waddell Drive with curb, gutter, and slight widening to match the adjacent car wash area.

Planning Director Stephen Wensman incorporated his entire record and provided it to the Council in written form in with the December 17, 2024 agenda packet.

Wensman stated that staff believes the proposed development is consistent with the growth management plan. It also will be consistent with unified development code and compatible with surrounding land use. Staff is recommending approval with seven conditions of approval. Wensman detailed staff's consistency statement and conditions of approval as listed below:

CONSISTENCY STATEMENT (STAFF'S FINDINGS)

With the approval of the rezoning, the Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable to the public interest:

- **Consistency with the Comprehensive Growth Management Plan** – *The development is consistent with the comprehensive plan.*
- **Consistency with the Unified Development Code** – *The property will be developed in conformance with the UDO conditional zoning provisions that allows a good faith negotiation of development standards.*
- **Compatibility with Surrounding Land Uses** - *The property considered for rezoning will be compatible with the surrounding land uses with the additional conditions of approval.*

STAFF RECOMMENDATION:

Planning Staff and the Planning Board recommend approval of CZ-24-07 with the following conditions:

1. *A landscape plan be submitted meeting UDO requirements.*
2. *The Y-hammerhead turnaround area shall be marked as no parking in accordance with the Fire Marshal's recommendations.*
3. *The HOA restrictive covenants shall require trash rollouts to be stored behind the units or in the utility closet outside of trash day.*
4. *Liability waiver should be provided in the restrictive covenants to allow town pick up of trash on private property.*
5. *The driveway apron in the public right-of-way be constructed in accordance with the Town's Standard Driveway Apron Detail.*
6. *There shall be a 30' wide public utility easement over the public water and sewer lines.*
7. *The townhomes shall be substantially similar to those presented with the rezoning, in design and materials.*

Mayor Andy Moore asked if there were any additional questions from the Council for staff.

Councilman David Barbour asked where the storm water pond would be located, as well as what type of storm water management is proposed. Wensman stated that staff did not have that level of detail at this time, and deferred the question to the developers who were present to speak.

Councilman Travis Scott questioned the existing house at the proposed development, noting that it is in the B-3 zoning district. Councilman Scott asked whether changing the zoning as proposed would bring the house into compliance. Wensman stated yes.

Mayor Moore asked if there were any additional questions from the Council. There were none.

The applicant, Paul Emblar spoke regarding the development. He stated his credentials, giving a brief history of his experience to the board. He also noted having been the Town of Smithfield's Planning Director for fourteen years. He re-stated testimony congruent to that of Planning Director Wensman. He noted the only reason they asked for the five-foot reduction in perimeter yard was because they did not want to make the units too small. He provided a map to the Board, asking that it be entered as part of the record. He stated the map he provided contained markings that showed how the sidewalk and curb and gutter are proposed. He stated based on the center line of the right-of-way; they will meet the 27-foot setback for their half of the road. He noted that this will include the curb and gutter as well as the sidewalk. He further noted that some standards are above and beyond what the Town required. He asked if there were any questions from the Council.

Councilman David Barbour asked again about the type of storm water pond proposed. Emblar deferred that question to Brian Leonard, the engineer, stating he could address the stormwater pond.

Mayor Andy Moore asked about the hammerhead turnaround, noting it is not something they have seen. Planning Director Wensman stated it meets fire code; however, it does not work when there are cars parked in it. Mayor Moore stated it looked as if it would be difficult to turn around. He asked Emblar for further information. Emblar stated that the turnaround is approved in the Town's ordinance and meets fire code, but it is not used that often. He stated that the town has increased the cul-de-sac size from approximately 87 feet cul-de-sac head to 96-97 feet due to fire code requirements. This change has resulted in a larger paved area. However, the new design, called a Hammerhead, actually uses less pavement than a traditional 96-foot diameter cul-de-sac. Consequently, this design reduces stormwater runoff compared to the alternative.

Mayor Moore asked how do we control it, noting that the driveway was private and that signs would be put up. Emblar stated there would be an HOA for the development who would enforce no parking in the hammerhead turnaround. There was some discussion regarding HOAs and enforcement. Mayor Moore stated this needed to be a priority for access by emergency services. Emblar concurred stating that they would also post no parking signs.

Councilman Sloan Stevens asked where the curb and gutter would extend. Emblar stated from where the driveway is to the brick house; all the way to the third house, and it would stop at that property line. Councilman Stevens asked if they were tearing down both homes. Emblar stated yes. Mayor Moore asked if there were any additional questions for Paul Emblar.

Brian Leonard with BRL Engineering and Surveying at 112 East Johnston Street, Smithfield addressed the Board. He stated regarding the storm water the options are open because they do not have any detailed grading plans at this stage of development, and he did not know how high the site would be. Leonard stated that the preferred target pond type is a bio retention cell, which is a normally dry basin that filters water into the soil and ponds up during storm events. A wet pond is an alternative option. The final design choice depends on factors such as grading, existing soil types, and depth to water tables, which are yet to be determined. This flexibility allows for either bio retention or wet pond options to be considered.

Councilman David Barbour noted once the development is turned over to the Homeowners Association (HOA), they become responsible for maintaining everything. However, HOA members may lack the knowledge to properly maintain complex systems like stormwater ponds. He asked how can we ensure that these important features will be adequately maintained over time.

Planning Director Stephen Wensman stated that the town has a stormwater inspection program that requires annual certified inspection reports from developers or HOAs. These reports, including pictures, are reviewed by town staff. If maintenance is needed, it must be done immediately to ensure compliance. This process continues yearly. While there have been instances of non-compliance in the past, such as with Booker Dairy Plantation, the regular inspection routine has led to improvements. The ongoing inspections and enforcement help maintain stormwater systems in compliance over time.

Leonard added that the town has significantly improved its oversight of stormwater ponds in the last

2-3 years. They now maintain accurate records and ensure annual inspections are conducted, which wasn't the case in the early years of stormwater regulations. The town is now doing an excellent job of managing these inspections.

Councilman David Barbour asked the engineer if he could foresee any flooding issues in the area. Leonard stated water tends to flow and discharge into a lower line wooded area to the north east of the site. He stated the intent is to let the water flow naturally. He stated requirements are in place so that they mitigate downstream impacts.

Mayor Moore asked that the length of the hammerhead turnaround be clearly defined for him on the map. It was clarified to be sixty feet in both directions from the center. Mayor Moore stated that with only one way in and one way out, he wanted to make sure the length was adequate for emergency vehicles to get in. Leonard stated the movements are less sharp with the proposed development, than with a regular cul-de-sac turnaround, noting the angle of the turn was less than ninety degrees.

Mayor Moore asked Planning Director Wensman to confirm that there was a proposed six-foot fence. He stated that with adding this much development to an existing residential area, it is important to have the right buffer. Wensman pointed out the proposed fence line on the map on display before the Board.

Mayor Moore asked if there were any further questions from the Board. Councilman Sloan Stevens asked if the architectural standards proposed for the development need to be made a condition for approval, or if the developer is bound by what they proposed for materials in their application. Wensman stated they are bound by what they submitted, and that all building would be done at one time and not in phases, so staff was comfortable not adding architectural standards as a condition.

Mayor Moore asked if there was anyone in the audience who wished to speak regarding the issue. There was no one.

Councilman Roger Wood made a motion, seconded by Councilman John Dunn to close the public hearing. Unanimously approved.

Mayor Pro Tem Roger Wood made a motion, seconded by Councilman John Dunn to approve CZ-24-07 with the following conditions of approval, finding the Conditional Zoning consistent with the Town Smithfield's Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable in the public interest. Unanimously approved.

Conditions of approval are as follows:

- 1. A landscape plan be submitted meeting UDO requirements.*
- 2. The Y-hammerhead turnaround area shall be marked as no parking in accordance with the Fire Marshal's recommendations.*
- 3. The HOA restrictive covenants shall require trash rollouts to be stored behind the units or in the utility closet outside of trash day.*
- 4. Liability waiver should be provided in the restrictive covenants to allow town pick up of trash on private property.*
- 5. The driveway apron in the public right-of-way be constructed in accordance with the Town's Standard Driveway Apron Detail.*
- 6. There shall be a 30' wide public utility easement over the public water and sewer lines.*
- 7. The townhomes shall be substantially similar to those presented with the rezoning, in design and materials.*

Councilmember Comments:

Councilman Travis Scott recognized Town of Smithfield Fire Department retiree Travis Byrd for his 25 years of dedicated service to the Town.

Councilman Scott also addressed the Board regarding the Lumos Networks fiber installation project, referencing the numerous calls and complaints he has received from citizens for dirt left piled up on roadways, with no little more than a traffic cone to warn drivers, damage to property and damage to water

and sewer lines. He wanted to be assured that the Town is doing all it can to address the complaints, inspect and locate lines to ensure those liabilities do not come back on the Town.

Councilman Scott also addressed the Town's Street sweeper as seemingly being more in disrepair rather than in operation. He noted this was a very important service the Town is not getting, to keep the streetways clear and storm drains unblocked.

Mayor Andy Moore also addressed the street cuts done by Lumos, stating the danger there. He also listed other issues with gas line cuts and gas leaks, as well as the water and sewer line cuts, noting the company works on multiple blocks at the time. He stated that his opinion is that work be stopped immediately with no further digging until the Town has discussion with the company to come up with a better plan for installing the infrastructure. He stated we need answers and cooperation from Lumos from a public safety standpoint.

Town Manager, Mike Scott addressed the Board, outlining how the Town is addressing the issues with Lumos, stating the town is actively monitoring the project and its impact. Town staff are:

1. Holding regular meetings with Lumos
2. Tracking all damages caused by the project
3. Ensuring Lumos pays for any damages they cause
4. Keeping a record of all street cuts made
5. Planning to hold Lumos accountable for future issues related to their work, even months later
6. Working to protect taxpayers from bearing the costs of repairs

Councilman Sloan Stevens stated he also received calls, but cautioned that we be careful so the result would be getting the company's attention, and not stopping the progress. While acknowledging the project has been problematic, the town is doing everything possible to manage the situation and minimize negative impacts on the community. Councilman Travis Scott stated that we need to take action, or nothing may change.

Councilman Travis Scott made a motion for Lumos Networks to complete the tasks they have already been started, but to stop further digging until they can correct their issues.

Town Manager Mike Scott asked Public Utilities Director, Lawrence Davis to address the Board regarding the direction of work, issues how things should look over the holiday season.

Davis stated he has spoken to the site manager at Lumos, stating he informed them about our upcoming closure for the holiday season and specified the days we'd be closed. We instructed them to pause any drilling or major maintenance during this time. We asked them to install appropriate signage for completed work and report back to me. They've provided a list of all the streets they've worked on, which I have reviewed and will inspect again tomorrow. We'll maintain consistent oversight. We have a six-month follow-up plan for all contractors who work on our streets. This ensures that any street cuts remain intact, and if not, the contractor must return to make corrections. These standards and measures are in place to address any issues that may arise.

Councilman Steve Rabil asked Davis if he completed an incident report for every call or complaint received. Davis stated that he has not done incident reports, but that the Utilities Director and Water Sewer Superintendent have done so, because it has mainly been their utilities hit. He stated he does document and record where their street work has turned into potholes.

Councilman Rabil asked Lawrence for an update on the street sweeper. He asked if it was possible to borrow one from another Town. Davis stated he would look into the issue.

Town Attorney Bob Spence commented regarding Lumos installation issues. He stated we must remember that the Brightspeed Fiber Company is also coming, and the town should not be too precipitous. He stated that there were multi-level statutes that allowed these companies to do work, noting that for defense and other reasons the work has to continue. He noted that for the Public Works Director to stay on top of the issue is the right thing, rather than challenging the rights of the fiber company and interrupting perceived progress.

Councilman David Barbour asked whether the motion made by Councilman Travis Scott is a legal motion that the Board could make.

Attorney Spence stated if Councilman Scott's motion asked that the company to correct the defects, and stop until they do, we can ask them to do that. Mayor Andy Moore noted, that was what the motion said. In re-stating the motion, it is noted that:

Councilman Travis Scott made a motion for Lumos Networks to complete the tasks they have already been started, but to stop further digging until they can correct their issues.

Councilman David Barbour seconded the motion. Unanimously approved.

Councilman David Barbour asked if the Town has completed the project for cleaning all the street drains. Public Works Director, Lawrence Davis, stated that they have completed that task of the project, and that they were now going into phase two, which is trenching those ditches so the water could come out.

Mayor Moore stated more areas in Town also need the exact same attention. Davis concurred.

Councilman David Barbour addressed accusation made against a Town department that turned out to be unfounded. He complimented staff on their professionalism through harsh media attacks and accusations. He thanked the Chief and staff for handling the difficult situation. He stated that the department was truly appreciated for the work that they do and it's not an easy task.

Mayor Andy Moore gave a compliment to Parks & Recreation staff for a fantastic Christmas Parade and other events. He stated it was a job nicely done by staff and all who participated.

Town Manager's Report

Town Manager Mike Scott reminded the Council of the Employee Christmas Party on December 18, 2024 at 12 o'clock and encouraged attendance. He also wished everyone a merry and safe Christmas and holiday season.

Adjourn

Councilman David Barbour made a motion, seconded by Councilman John Dunn to adjourn the meeting at 9:02 PM. Unanimously approved.

M. Andy Moore, Mayor

ATTEST:

Elaine Andrews, Town Clerk



Request for Town Council Action

**Consent
Agenda Item:
Promotion
Date: 2/4/25**

Subject: Promotion

Department: Police Department

Presented by: Police Chief - Pete Hedrick

Presentation: Consent Agenda Item

Issue Statement

This is a request to promote one officer from the rank of Master Police Officer II (MPO) to Sergeant.

Financial Impact

Approved Budgeted Amount for FY 2023-2024: Covered by the Current Budget

The annual increase to the budget is \$6,775. The impact on the current budget is \$2,866 for the remainder of the fiscal year.

Action Needed

The Officer has followed the career ladder policy previously approved by the Council found in the staff report and has earned the promotion. The Police Chief recommends this promotion, moving him to the next pay grade in the current Town salary schedule, with the aforementioned increase.

Recommendation

It is requested to allow this Officer to be promoted to Sergeant effective February 10, 2025.

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report



Staff Report

**Consent
Agenda Item:
Promotion
Date: 2/4/25**

This is a request to promote one officer from the rank of Master Police Officer II (MPO) to Sergeant. The employee will receive an annual increase of \$6,775 for this promotion. This is approved by the Manager and consistent with the employee handbook.



Request for Town Council Action

**Consent
Agenda Item:
Promotion
Date: 2/4/25**

Subject: Promotion

Department: Police Department

Presented by: Police Chief - Pete Hedrick

Presentation: Consent Agenda Item

Issue Statement

This is a request to promote one officer from the rank of Detective to Sergeant.

Financial Impact

Approved Budgeted Amount for FY 2023-2024: Covered by the Current Budget

Annual Increase is \$4,036 with an impact on the current budget of \$1,710.

Action Needed

The Officer has followed the career ladder policy previously approved by the Council found in staff report and has earned the promotion. The Police Chief recommends this promotion, moving him to the next pay grade in the current Town salary schedule with the aforementioned increase.

Recommendation

It is requested to allow this Officer to be promoted to Sergeant, effective February 10, 2025.

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report



Staff Report

**Consent
Agenda Item:
Promotion
Date: 2/4/25**

This is a request to promote one officer from the rank of Detective to Sergeant. The Manager has approved an annual increase of \$4,036, consistent with the Town Handbook.



Request for Town Council Action

Consent
Agenda
Item: Vehicle
Purchases
Date: 2/4/25

Subject: Police Department purchase of used vehicles
Department: Police Department
Presented by: Police Chief - Pete Hedrick
Presentation: Consent Agenda Item

Issue Statement

The Police Chief is requesting to purchase three used vehicles for the fleet.

Financial Impact

Budgeted \$40,000

Action Needed

Approve or deny restructure request.

Recommendation

Approve

Approved: Town Manager Town Attorney

Attachments:

- Staff Report
- Order sheets from vender



Staff Report

**Consent
Agenda
Item:** **Vehicle
Purchases**
Date: 2/4/25

The police Chief is requesting the purchase of three vehicles. Three 2018 Ford Taurus police package vehicles. All have very low miles and will be used for our detective division.

These vehicles are with Asia Motors that purchases used law enforcement vehicles and then resells them.

BILL OF SALE

SELLER

BUYER(S)

ASIA MOTORS INC 2300 NORTH MANNHEIM RD MELROSE PARK, IL 60164 847-447-3500 Date: 1/08/25 Salesman:	SMITHFIELD POLICE DEPARTMENT 110 S 5TH ST SMITHFIELD, NC 27577 County: JOHNSTON Phone: 919-989-1069								
DESCRIPTION OF VEHICLE SOLD	DESCRIPTION OF TRADE-IN(S)								
Stock #:24297 Year: 2018 Make: FORD Model: TAURUS Body Type: 4DR Color: WHITE Tag: Mileage: 20703 VIN: 1FAHP2L80JG141418	Trade # 1: N/A VIN: Mileage: Trade # 2: N/A VIN: Mileage:								
SETTLEMENT									
WARRANTY DISCLAIMER Any warranties on the products sold hereby are those made by the manufacturer. The seller hereby expressly disclaims all warranties, either express or implied, including any implied warranty of merchantability or fitness for a particular purpose and neither assumes nor authorizes any other person to assume for it any liability in connection with the sale of said products. Seller makes no warranty of any kind, express or implied, as to the merchantability or fitness for a particular purpose of the vehicle covered by this agreement, and buyer understands and agrees that such vehicle, whether new or used is sold "AS-IS" and "WITH ALL FAULTS". LIEN HOLDER	Price: 13,400.00 Less Trade Allowance: N/A <hr/> Difference: 13,400.00 Payoff on Trade-In N/A Sales Tax: N/A : N/A Tag & Title Fee:: N/A								
TAX JURISDICTION BREAKDOWN	<hr/> Total: 13,400.00 Less Cash Down Payment: N/A Deferred Down Payment: N/A BALANCE REMAINING: 13,400.00								
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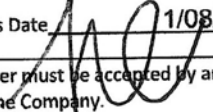
WILL NOT PROVIDE ANY LOANER VEHICLE

Buyer _____ Co-Buyer _____
 I UNDERSTAND NO VERBAL AGREEMENT WILL BE HONORED BY DEALER

ALL SALES FINAL

BUYER AGREES THAT HE HAS READ AND UNDERSTANDS THE TERMS AND CONDITIONS AND LIMITATIONS OR LIABILITY SET FORTH HEREIN AND AFFIXES HIS SIGNATURE IN CONFIRMATION OF HIS OFFER.

Buyer _____ Co-Buyer _____
 I UNDERSTAND NO VERBAL AGREEMENT WILL BE HONORED BY DEALER.
 I HAVE RECEIVED A COPY OF MY PURCHASE OPTION CONTRACT ON DELIVERY.

Accepted This Date 1/08/25
 By 
 Purchase Order must be accepted by an officer or manager of the Company.

BILL OF SALE

SELLER

BUYER(S)

ASIA MOTORS INC 2300 NORTH MANNHEIM RD MELROSE PARK, IL 60164 847-447-3500 Date: 1/08/25 Salesman:	SMITHFIELD POLICE DEPARTMENT 110 S 5TH ST SMITHFIELD, NC 27577 County: JOHNSTON Phone: 919-989-1069																						
DESCRIPTION OF VEHICLE SOLD	DESCRIPTION OF TRADE-IN(S)																						
Stock #:24202 Year: 2018 Make: FORD Model: TAURUS Body Type: 4DR Color: WHITE Tag: Mileage: 44943 VIN: 1FAHP2L82JG141467	Trade # 1: N/A VIN: Mileage: Trade # 2: N/A VIN: Mileage:																						
WARRANTY DISCLAIMER Any warranties on the products sold hereby are those made by the manufacturer. The seller hereby expressly disclaims all warranties, either express or implied, including any implied warranty of merchantability or fitness for a particular purpose and neither assumes nor authorizes any other person to assume for it any liability in connection with the sale of said products. Seller makes no warranty of any kind, express or implied, as to the merchantability or fitness for a particular purpose of the vehicle covered by this agreement, and buyer understands and agrees that such vehicle, whether new or used is sold "AS-IS" and "WITH ALL FAULTS".	SETTLEMENT																						
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WILL NOT PROVIDE ANY LOANER VEHICLE

Buyer _____ Co-Buyer _____
 I UNDERSTAND NO VERBAL AGREEMENT WILL BE HONORED BY DEALER

ALL SALES FINAL

BUYER AGREES THAT HE HAS READ AND UNDERSTANDS THE TERMS AND CONDITIONS AND LIMITATIONS OR LIABILITY SET FORTH HEREIN AND AFFIXES HIS SIGNATURE IN CONFIRMATION OF HIS OFFER.

Buyer _____ Co-Buyer _____
 I UNDERSTAND NO VERBAL AGREEMENT WILL BE HONORED BY DEALER.
 I HAVE RECEIVED A COPY OF MY PURCHASE OPTION CONTRACT ON DELIVERY.

Accepted This Date: 1/08/25
 By: 
 Purchase Order must be accepted by an officer or manager of the Company

BILL OF SALE

SELLER

BUYER(S)

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Stock #:24203 Year: 2018 Make: FORD Model: TAURUS Body Type: 4DR Color: WHITE Tag: Mileage: 21217 VIN: 1FAHP2L81JG141458	Trade # 1: N/A VIN: Mileage: Trade # 2: N/A VIN: Mileage:																						
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 I HAVE RECEIVED A COPY OF MY PURCHASE OPTION CONTRACT ON DELIVERY.

Accepted This Date 1/08/25
 By _____
 Purchase Order must be accepted by an officer or manager of the Company.



Request for Town Council Action

**Consent
Agenda
Item:** Award of
Contract
Date: 2/4/25

Subject: Award of Contract for Designing a Water Line Extension
Department: Public Utilities Department
Presented by: Public Utilities Director - Ted Credle
Presentation: Consent Agenda Item

Issue Statement

As the Town continues to see unprecedented growth in development, the Public Utilities Department continues to expand its services to areas of the Town that did not have Town services, previously. The Town desires to extend the Town’s potable water line across I-95 to the intersection of Brogden Road and Whitley Farm Road. This water line extension will open the door for development east of I-95 and assist growth in that section of the Town’s ETJ. This extension is in accordance with the approved 10-year Capital Improvements Plan.

Financial Impact

The funds (\$48,840.00) to pay for these services were budgeted as part of the East Smithfield Water System Improvements capital project (45-71-7200-5700-7411).

Action Needed

Approve the proposed consultant (Colliers Engineering & Design, Inc.), as recommended by staff, and authorize the Town Manager to execute the proposed agreement.

Recommendation

Staff recommends the approval of Colliers Engineering & Design, Inc. as the most qualified consultant and authorize the Town Manager to execute the contract.

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report
2. Consultant’s Proposal
3. Amendment to Boiler Plate Contract
4. Proposed Contract & Scope of Services
5. Proposal Memo
6. Area Map



Staff Report

Consent Agenda Item:	Award of Contract
Date:	2/4/25

To prepare the Town for future growth, the Smithfield Public Utilities Department lays out a 10-year Capital improvements plan, which is approved and adopted by the Town Council. Part of the current plan is the desire to extend water lines eastward, across I-95 to support future growth in that area of the Town's Extra-territorial Jurisdiction (ETJ). The next step in this water system expansion is the design of the water line to cross I-95 and obtain all regulatory permits, so the construction can occur.

The Town desires to hire an engineering consultant to design the extension of the potable water line across I-95 and to extend the water line to the intersection of Brogden Road and Whitley Farm Road.

Staff is asking Council to approve the proposed consultant and to authorize the Town Manager to execute the contract with the proposed contractor, to perform the design work, in the amount of \$48,840.00, per the submitted proposal.

**NORTH CAROLINA
TOWN OF SMITHFIELD**

SERVICE CONTRACT

THIS CONTRACT is made, and entered into this the _____ day of February, 2025, by and between the **TOWN of SMITHFIELD**, a political subdivision of the State of North Carolina, (hereinafter referred to as “TOWN”), and Colliers Engineering & Design, Inc. a corporation duly authorized to do business in the state of North Carolina, (hereinafter referred to as “CONTRACTOR”).

For and in consideration of mutual promises to each as herein after set forth, the parties hereto do mutually agree as follows:

- 1. SCOPE OF SERVICES.** CONTRACTOR hereby agrees to provide the services and/or materials under this contract pursuant to the provisions and specifications identified in “Attachment 1” (hereinafter collectively referred to as “Services”). Attachment 1 is hereby incorporated herein and made a part of this contract. Time is of the essence with respect to all provisions of this contract that specify a time for performance.

The TOWN will perform on-going contract monitoring to ensure that the terms of this contract are complied with. CONTRACTOR agrees to cooperate with the TOWN in its monitoring process and provide documentation and/or information requested during the term of this Agreement for the purpose of monitoring the services provided by CONTRACTOR.

- 2. TERM OF CONTRACT.** The Term of this contract for services is from February 05, 2025 to June 30, 2025 unless sooner terminated as provided herein.

- 3. PAYMENT TO CONTRACTOR.** CONTRACTOR shall receive from TOWN an amount not to exceed Forty-eight Thousand Eight Hundred Forty and No Dollars (\$ 48,840.00) as full compensation for the provision of Services. TOWN agrees to pay CONTRACTOR at the rates specified for Services performed to the satisfaction of the TOWN, in accordance with this contract, and Attachment 1. Unless otherwise specified, CONTRACTOR shall submit an itemized invoice to TOWN by the end of the month during which Services are performed. A Funds Reservation number may be assigned to encumber the funds associated with this contract and must appear on all invoices and correspondence mailed to Purchaser. Payment will be processed promptly upon receipt and approval of the invoice by TOWN.

- 4. INDEPENDENT CONTRACTOR.** TOWN and CONTRACTOR agree that CONTRACTOR is an independent contractor and shall not represent itself as an agent or employee of TOWN for any purpose in the performance of CONTRACTOR’s duties under this Contract. Accordingly, CONTRACTOR shall be responsible for payment of all federal, state and local taxes as well as business license fees arising out of CONTRACTOR’s activities in accordance with this Contract. For purposes of this contract taxes shall include, but not be limited to, Federal and State Income, Social Security and Unemployment Insurance taxes.

CONTRACTOR, as an independent contractor, shall perform the Services required hereunder in a professional manner and in accordance with the standards of applicable professional organizations and licensing agencies.

- 5. INSURANCE AND INDEMNITY.** To the fullest extent permitted by laws and regulations, CONTRACTOR shall indemnify and hold harmless the TOWN and its officials, agents, and employees from and against all claims, damages, losses, and expenses, direct, indirect, or consequential (including but not limited to fees and charges of engineers or architects, attorneys, and other professionals and costs related to court action or mediation) arising out of or resulting from CONTRACTOR’s performance of this Contract or the actions of the CONTRACTOR or its officials, employees, or contractors under this Contract or under contracts entered into by the CONTRACTOR in connection with this Contract. This indemnification shall survive the termination of this Contract.

In addition, CONTRACTOR shall comply with the North Carolina Workers' Compensation Act and shall provide for the payment of workers' compensation to its employees in the manner and to the extent required by such Act. Additionally, CONTRACTOR shall maintain, at its expense, the following minimum insurance coverage:

\$1,000,000 per occurrence /\$2,000,000 aggregate --- Bodily Injury Liability, and
\$ 100,000 --- Property Damage Liability, or
\$1,000,000 per occurrence /\$2,000,000 aggregate---Combined Single Limit Bodily Injury and
Property Damage

CONTRACTOR, upon execution of this Contract, shall furnish to the COUNTY a Certificate of Insurance reflecting the minimum limits stated above. The Certificate shall provide for thirty-(30) days advance written notice in the event of a decrease, termination or cancellation of coverage. Providing and maintaining adequate insurance coverage is a material obligation of the CONTRACTOR. All such insurance shall meet all laws of the State of North Carolina. Such insurance coverage shall be obtained from companies that are authorized to provide such coverage and that are authorized by the Commissioner of Insurance to do business in North Carolina. The limits of coverage under each insurance policy maintained by the CONTRACTOR shall not be interpreted as limiting the CONTRACTOR's liability and obligations under the Contract. Notwithstanding the foregoing, nothing contained in this section 5 shall be deemed to constitute a waiver of the sovereign immunity of the TOWN, which immunity is hereby reserved to the TOWN.

6. **HEALTH AND SAFETY.** CONTRACTOR shall be responsible for initiating, maintaining and supervising all safety precautions and programs required by OSHA and all other regulatory agencies while providing Services under this Contract.
7. **NON-DISCRIMINATION IN EMPLOYMENT.** CONTRACTOR shall not discriminate against any employee or applicant for employment because of age, sex, race, creed, national origin, or disability. CONTRACTOR shall take affirmative action to ensure that qualified applicants are employed and that employees are treated fairly and legally during employment with regard to their age, sex, race, creed, national origin, or disability. In the event CONTRACTOR is determined by the final order of an appropriate agency or court to be in violation of any non-discrimination provision of federal, state or local law or this provision, this Contract may be canceled, terminated or suspended in whole or in part by TOWN, and CONTRACTOR may be declared ineligible for further TOWN contracts.
8. **GOVERNING LAW.** This Contract shall be governed by and in accordance with the laws of the State of North Carolina. All actions relating in any way to this Contract shall be brought in the General Court of Justice in the County of Johnston and the State of North Carolina.
9. **TERMINATION.**
 - 9.1 **EVENT OF DEFAULT.** Any one or more of the following acts or omissions of the Contractor shall constitute an Event of Default hereunder:
 - a. Failure to perform the Services satisfactorily or on schedule,
 - b. Failure to submit any report required hereunder; and/or
 - c. Failure to perform any other covenant, term, or condition of this Agreement.

Upon the occurrence of an Event of Default, the TOWN may take one or more or all of the following actions:

1. Give Contractor written Notice of the Event of Default, specifying the Event of Default and requiring it to be remedied within, in the absence of greater or lesser specification of time, seven (7) calendar days from the date of the notice; and if the Event of Default is not timely remedied, terminate the agreement, effective two (2) days after giving the Contractor written Notice of Termination; and/or
2. Deduct any and all expenses incurred by the TOWN for damages caused by the Contractor's Event of Default; and/or
3. Treat the agreement as breached and pursue any of its remedies at law or in equity, or both, including damages and specific performance.

9.2 TERMINATION FOR CONVENIENCE. This Contract may be terminated, without cause, by either party upon thirty (30) days written notice to the other party. This termination notice period shall begin upon receipt of the Notice of Termination.

Termination of this Contract, under either section 9.1 or 9.2, shall not form the basis of any claim for loss of anticipated profits by either party.

- 10. SUCCESSORS AND ASSIGNS.** CONTRACTOR shall not assign its interest in this Contract without the written consent of TOWN. CONTRACTOR has no authority to enter into contracts on behalf of TOWN.
- 11. COMPLIANCE WITH LAWS.** CONTRACTOR represents that it is in compliance with all Federal, State, and local laws, regulations or orders, as amended or supplemented. The implementation of this Contract shall be carried out in strict compliance with all Federal, State, or local laws.
- 12. NOTICES.** All notices which may be required by this contract or any rule of law shall be effective when received by certified mail sent to the following addresses:

TOWN OF SMITHFIELD
ATTN: PUBLIC UTILITIES DEPARTMENT
230 HOSPITAL ROAD
SMITHFIELD, NORTH CAROLINA 27577

CONTRACTOR
ATTN: Colliers Engineering & Design, Inc.
2000 REGENCY PARKWAY, SUITE 295
CARY, NC 27518

- 13. AUDIT RIGHTS.** For all Services being provided hereunder, the TOWN shall have the right to inspect, examine, and make copies of any and all books, accounts, invoices, records and other writings relating to the performance of the Services. Audits shall take place at times and locations mutually agreed upon by both parties. Notwithstanding the foregoing, CONTRACTOR must make the materials to be audited available within one (1) week of the request for them.
- 14. TOWN NOT RESPONSIBLE FOR EXPENSES.** TOWN shall not be liable to CONTRACTOR for any expenses paid or incurred by CONTRACTOR, unless otherwise agreed in writing.
- 15. EQUIPMENT.** CONTRACTOR shall supply, at its sole expense, all equipment, tools, materials, and/or supplies required to provide Services hereunder, unless otherwise agreed in writing.
- 16. ENTIRE CONTRACT.** This contract, including Attachment 1, shall constitute the entire understanding between TOWN and CONTRACTOR and shall supersede all prior understandings and agreements relating to the subject matter hereof and may be amended only by written mutual agreement of the parties.
- 17. HEADINGS.** The subject headings of the sections are included for purposes of convenience only and shall not affect the construction or interpretation of any of its provisions. This contract shall be deemed to have been drafted by both parties and no interpretation shall be made to the contrary.

18. EXISTENCE. CONTRACTOR warrants that it is a corporation duly organized, validly existing, and in good standing under the laws of the State of North Carolina and is duly qualified to do business in the State of North Carolina and has full power and authority to enter into and fulfill all the terms and conditions of this contract.

19. CORPORATE AUTHORITY. By execution hereof, the person signing for CONTRACTOR below certifies that he/she has read this contract and that he/she is duly authorized to execute this contract on behalf of the CONTRACTOR.

20. E-VERIFY. As a condition of payment for services rendered under this agreement, CONTRACTOR shall comply with the requirements of Article 2 of Chapter 64 of the General Statutes. Further, if CONTRACTOR provides the services to the County utilizing a subcontractor, CONTRACTOR shall require the subcontractor to comply with the requirements of Article 2 of Chapter 64 of the General Statutes as well. CONTRACTOR shall verify, by affidavit, compliance of the terms of this section upon request by the TOWN.

IN TESTIMONY WHEREOF, the parties have expressed their agreement to these terms by causing this Service Contract to be executed by their duly authorized office or agent.

TOWN OF SMITHFIELD

Michael L. Scott, Town Manager

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Budget and Fiscal Control Act.

Andrew Harris, Town of Smithfield Chief Financial Officer

CONTRACTOR

By: _____
Authorized Representative

Print Name: _____

Title: _____

ATTACHMENT 1” to follow

AMENDMENT TO BOILER PLATE CONTRACT

(350 East Market Street, Smithfield)

THIS AMENDMENT TO CONTRACT (“Amendment”) is made as of _____, 2025, by and among Colliers Engineering & Design, Inc. (“Contractor”), and the Town of Smithfield (“Town”).

RECITALS:

- A. Contractor desires to enter into a Contract with Town according to a form supplied, a boiler plate contract, by Contractor and used in its normal business, which agreement is hereinafter referenced as the Contract and dated approximately simultaneously with this Amendment.
- B. It is efficient for Town to enter small contracts such as this on forms supplied by Contractor so as to avoid the time and expense of more formally drafted contracts but Town desires to preserve for itself certain basic contractual provisions in all contracts.
- C. The Parties hereto have therefore agreed to the following Amendment to Contract.

AGREEMENT:

NOW, THEREFORE, in consideration of the mutual promises contained herein, the parties amend the Contract signed approximately simultaneously herewith and attached hereto by inserting the following provisions which shall be additional provisions of the Contract and shall control over any other provisions of the Contract that might appear contradictory hereto or appear to create ambiguities when read with the provisions agreed to herein.

1. Miscellaneous:

- a. Clause Control. Due to the volume of vender and independent contractor agreements submitted to the Town of Smithfield that would be too time consuming to redraft, this miscellaneous paragraph (subparagraphs a-n) is being inserted in Town Contracts and the provisions of this miscellaneous paragraph will control over all other provisions of the contract.
- b. Merger and Modification. This instrument constitutes the entire agreement between the parties and supersedes any and all prior agreements, arrangements and understandings, whether oral or written, between the parties. All negotiations, correspondence and memorandums passed between the parties hereto are merged herein and this agreement cancels and supersedes all prior agreements between the parties with reference thereto. No modification of this instrument shall be binding unless in writing, attached hereto, and signed by the party against whom or which it is sought to be enforced.
- c. Waiver. No waiver of any right or remedy shall be effective unless in writing and nevertheless shall not operate as a waiver of any other right or remedy or of the same right or remedy on a future occasion.
- d. Caption and Words. The captions and headings contained herein are solely for convenience and reference and do not constitute a part of this instrument. All words and phrases in this instrument shall be construed to include the singular and plural number, and the masculine, feminine or neuter gender, as the context requires.
- e. Binding Effect. This instrument shall be binding upon and shall insure to the benefit of the parties and their heirs, successors and permitted assigns.
- f. North Carolina Law. This instrument shall be construed in accordance with the laws of North Carolina without giving effect to its conflict of laws principles.

- g. Forum Selection. In any action arising from or to enforce this agreement, the parties agree (a) to the jurisdiction and venue exclusively of the state courts in Johnston County, North Carolina.
- h. Limitation of Liability. No party will be liable to another party, or to the extent this agreement may limit the same to any third party, for any special, indirect, incidental, exemplary, consequential or punitive damages arising out of or relating to this agreement, whether the claims alleges tortious conduct (including negligence) or any other legal theory.
- i. Two Originals. This instrument may be executed in two (2) or more counterparts as the parties may desire, and each counterpart shall constitute an original.
- j. Follow Through. Each party will execute and deliver all additional documents and do all such other acts as may be reasonably necessary to carry out the provisions and intent of this instrument.
- k. Authority. Any corporate party or business entities and its designated partners, venturers, or officers have full and complete authority to sell, assign and convey the contracts and assume the obligations referred to herein; said corporations or entities are in good standing under North Carolina law.
- l. Severability. If any one or more of the terms, provisions, covenants or restrictions of this agreement shall be determined by a Court of competent jurisdiction to be invalid, void or unenforceable, the remainder of the terms, provisions, covenants and restrictions of this Contract shall remain in full force and effect and shall in no way be affected, impaired or invalidated. If, moreover, any one or more of the provisions contained in this Contract shall for any reason be determined by a Court of competent jurisdiction to be excessively broad as to duration, geographical scope, activity or subject, it shall be construed, by limiting or reducing it, so as to be enforceable to the extent compatible with the then applicable law.
- m. Contract Termination. The Town may terminate this contract without cause on 5 days' notice.
- n. Pre-Audit Certification. This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act to assure compliance with NCGS 159-28.

Andrew Harris, Town Budget Officer

IN WITNESS WHEREOF, the parties hereto have executed this First Amendment to Agreement as of the day and year first above written.

Town:

By: _____
Town Manager

CONTRACTOR,
a North Carolina _____

By: _____

Business Name: _____

ATTACHMENT 1

SCOPE OF SERVICES

This Scope of Services is an integral part of the contract between the Town of Smithfield (hereinafter referred to as “Town”), and Colliers Engineering & Design, Inc (hereinafter referred to as “Contractor”), which contract is dated February 5, 2025 .

CONTRACTOR hereby agrees to provide services and/or materials to the Town pursuant to the provisions set forth below.

I. Background/Purpose (Why): The purpose and intent of this request is to establish a contract with Colliers Engineering & Design, Inc. to perform engineering design services for the purposes of extending the Town’s potable water system along Brogden Road across I-95, in Smithfield, NC.

II. References: The following documents are incorporated herein by reference to them: The Contractor was given a set of Town infrastructure maps, a copy of the most updated GIS map of the distribution system and was engaged through conversation about the goals & related issues.

III. Work/Requirements (What and Where): In accordance with the submitted proposal, provided by the contractor; the contractor will furnish the material, equipment, & labor to execute the work. Work is to be completed along Brogden Road, Whitley Farm Road and across I-95, in Smithfield, NC.

IV. Schedules/Timelines (When): The Contractor shall proceed with engineering design services once the contract is executed and will have finished operations by December 31, 2025.

V. Transmittal/Delivery/Accessibility (How): The Contractor is required to provide the necessary labor, security and safety measures to uphold this contract. Work is to be completed along Brogden Road, Whitley Farm Road and across I-95, in Smithfield, NC.

VI. Payment: Invoices and required warranties, permits or additional submittals shall be forwarded to Town Representative for review. Upon payment authorization, invoices will be paid net 30. Invoices and forms submitted MUST reference Town of Smithfield funds reservation number assigned to this contract. Authorization of payments will be forwarded to Finance Department dependent on receipt of all forms. The Town may withhold payment if required reports or submittals are not received. For this work the contractor will be paid a lump sum fee not to exceed \$ 48,840.00 ; in accordance with the attached proposal, provided by the contractor.

2000 Regency Parkway Suite 295
Cary, North Carolina 27518
Main: 877 627 3772
collierseng.com



January 3, 2025

Ted Credle, P.E.
Town of Smithfield
230 Hospital Road
Smithfield, NC 27577

Proposal for Professional Services
Brogden Water Extension
Town of Smithfield, Johnston County, NC
Proposal No.: 24011713P

Dear Ted,

Colliers Engineering & Design, Inc. is pleased to submit this proposal to provide professional services for a proposed Waterline Extension for the Town of Smithfield, Johnston County, NC. The project in question is located along Wal-Pat Road, Brogden Road, Waitley Farm Road, and I-95.

This proposal is divided into four sections as follows:

- Section I** – Scope of Services
- Section II** – Business Terms and Conditions
- Section III** – Technical Staff Hourly Rate Schedule and Reimbursable Expenses
- Section IV** – Client Contract Authorization

The order in which the following scope of services are presented generally follows the sequence in which the project will be accomplished; however, depending on the project, the various authorized services contained in this proposal may be performed in a sequence as deemed appropriate by Colliers Engineering & Design to meet project schedules.

Section I – Scope of Services

Based on our conversations and information noted above, we propose to complete the following:

Figure 1



Task 1.0: Topographic and Planimetric Survey

Colliers Engineering & Design will prepare a topographic survey of proposed waterline corridor in the Town of Smithfield, Johnston County, State of North Carolina (see Figure 1) in accordance with the North Carolina General standards set forth in the Laws of the State of North Carolina Statutory Reference G.S.89C and more specifically, the administrative rules and regulations promulgated by the State Board of Professional Engineers and Land Surveyors and contained in 21 NCAC 56. 1600.

The topographic map will depict existing spot elevations collected at approximately a fifty (50) foot interval and contours at a one-(1) foot contour interval over the corridor width of approximately 100 feet. Additional elevations shall be obtained at any abrupt or unusual grade change to properly delineate high and low points. Our office will prepare a planimetric survey map that is a graphic pictorial representation of existing site features observed at the time of the field survey such as buildings, curbs, sidewalks, roadways, driveways, retaining walls, fences, individual trees in open areas, and utility hardware. Limits of wooded areas will be depicted based on the approximate dripline. Individual trees within wooded areas will not be surveyed.

Visible and accessible utilities and/or utility structures within the survey limits as described above will be surveyed and shown on the plan to include rim, grate and invert elevations, and pipe sizes entering and/or exiting the structures. For the purposes of this contract, accessible utilities shall be defined as those utilities that are visible to the naked eye at ground level and are safely accessible by foot by Colliers Engineering & Design field survey personnel without the need for additional safety

measures and/or assistance with making pipes visible, open and clear for inspection and measuring. Subsurface utilities will be mapped based on marking provided via 811 requested location requests.

GNSS surveying techniques will be used to control the survey with the resulting horizontal datum being NAD83 (2011) North Carolina State Plane and the vertical datum being North American Vertical Datum NAVD88 (Geoid 12B). A minimum of one published NGS benchmark will be recovered, surveyed, and noted on final topographic map. Two site permanent benchmarks will be established and shown on the final topographic map.

Included in this task of service are the following tasks:

- Establish on-site survey control;
- Field traverse, topographic survey and data collection;
- Topographic and planimetric surveys extending approximately 10 feet beyond the corridor width;
- Field measure inverts of accessible gravity structures;
- Field survey data reduction and computation;
- Preparation of topographic and planimetric survey map in AutoCAD Civil 3D 2018 format.

Traffic safety protection for field survey crew and cleaning of clogged or obstructed drain and sewer structures is **not** included in the fee for this survey. If it is determined that safety protection is required for any of the survey services performed under this contract, we will advise you of the approximate cost prior to moving forward. Such additional cost would be invoiced as a reimbursable expense pursuant to prior authorization.

Final Deliverable. The final deliverable will be a maximum of two (2) hardcopies signed and sealed by a North Carolina Professional Licensed Land Surveyor, and an electronic file copy in Adobe pdf format. Draft deliverables will be in form of electronic file Adobe pdf format.

Delivery of hard copy maps will be limited to one (1) package sent to one (1) address, one (1) time. Additional delivery of hard copy maps will be billed as a reimbursable expense in accordance with Section III of this agreement.

Lump Sum Fee \$ 11,440.00

Task 2.0: Subsurface Utility Engineering (QL-A) (Optional)

Quality Service Level A - Locating (Test Hole) Services. Locating services is to locate the accurate horizontal and vertical position of subsurface utilities by excavating a test hole using vacuum excavation techniques and equipment that is non-destructive to utilities. QL-A Services will be performed at specific points within the project where precise vertical utility information is required to determine the extent of conflict or clearance with or from a proposed design element. QL-A test hole locations will be identified by the Project Owner or Client and transmitted to Colliers Engineering & Design for performance of field work and data collection.

- Provide equipment, personnel and supplies required to perform locating services. Colliers Engineering & Design shall determine which equipment, personnel and supplies are required to perform such services.
- Excavate test holes to expose the utility to be measured in such a manner that ensures the safety of the excavation and the integrity of the utility to be measured. In performing such excavations, Colliers Engineering & Design shall comply with applicable utility damage prevention laws. Excavations will be performed using specially developed vacuum excavation equipment that is non-destructive to existing facilities. If contaminated soils are discovered during the excavation process, Colliers Engineering & Design will so notify the Client.
- Locate and identify the precise horizontal and vertical position of existing facilities. Positive identification includes the determination or confirmation of facility type, size, depth and material composition.
- Backfill around the exposed facility using the excavated materials compacted in six-inch lifts.
- In grass and landscape areas, restoration shall be as reasonably possible to the condition that existed prior to excavation.
- In pavement areas, restoration shall be with asphaltic cold mix or other pre-approved methods as required. It is anticipated there will be vacuum excavation in paved areas required for Test Holes on this project.

Final Deliverable. Colliers Engineering & Design will provide an Auto CAD Civil 3D 2018 dwg file utilizing the Colliers Engineering & Design CAD Standards of our field findings. No individual sheet drawings will be generated for this project. Utilities will be surface designated via 811. Colliers Engineering & Design Survey staff will collect survey information for creation of a digital utility mapping CAD file. Colliers Engineering & Design will provide a CAD file in Autodesk Civil3D format

Lump Sum Fee \$ 6,300.00

Task 3.0: Utility Construction Plan

This task includes the preparation of a Construction Plan based on an agreed waterline alignment shown in a previous exhibit. This scope of service is based on the assumption that the proposed construction plan will be completed in a single phase. The items required to obtain a completeness determination (as specified on the Municipal checklist, except for waivers and exclusions noted) will be prepared as follows:

- A Cover Sheet including the name of the project, a 200' radius map with the names of property owners within 200', a site location map, general notes and signature blocks for local agencies to sign their approval will be prepared.
- An Existing Conditions Plan
- Utility design layout plan will be prepared and will include existing conditions and proposed improvements.

- A Soil Erosion and Sediment Control Plan will be prepared depicting the limits of clearing, soil erosion control measures, construction details and notes.
- A Construction Detail Sheet, showing site improvement items in accordance with the Municipal Ordinance, will be included.
- Plan and Profile Sheet, showing depth and utility details will be prepared.

In addition to the Lump Sum Fee indicated below, preparation of point-by-point response letters to review comments received from municipal and/or regulatory agencies will be billed in accordance with the attached Schedule of Hourly Rates.

Lump Sum Fee \$ 16,500

Task 3.1 Preparation and Submission of NCDEQ Water Permit Application

This task includes the preparation and submission of the application to NCDEQ for water extension approval.

The client is responsible for providing required information, existing deeds, easements, project descriptions, endorsements, fees and escrow deposits for submission of the applications.

The lump sum fee for this task includes preparation and the initial submittal of the information described above. Meetings, coordination and follow-up with the various agencies to expedite approvals are not included in this task and will be invoiced in accordance with the attached Schedule of Hourly Rates.

Lump Sum Fee \$ 1,800

Task 3.2 Preparation and Submission of NCDOT Encroachment Applications

This task includes the preparation and submission of the application to NCDOT for Utility Road Encroachments.

The client is responsible for providing required information, existing deeds, easements, project descriptions, endorsements, fees and escrow deposits for submission of the applications.

The lump sum fee for this task includes preparation and the initial submittal of the information described above. Meetings, coordination and follow-up with the various agencies to expedite approvals are not included in this task and will be invoiced in accordance with the attached Schedule of Hourly Rates.

Lump Sum Fee \$ 1,800

Task 3.3 Response to NCDEQ Reviews and Comments

This task includes the preparation and submission of the responses to the comments made by the NCDEQ including the necessary changes to the plans and/or reports and itemized responses to each comment. This includes phone calls and meetings as necessary during the review and approval process.

The client is responsible for providing required information, existing deeds, easements, project descriptions, endorsements, fees and escrow deposits for submission of the applications.

Fee Hourly / Estimated \$ 3,500

Task 3.4 Response to NCDOT Reviews and Comments

This task includes the preparation and submission of the responses to the comments made by the NCDOT including the necessary changes to the plans and/or reports and itemized responses to each comment. This includes phone calls and meetings as necessary during the review and approval process.

The client is responsible for providing required information, existing deeds, easements, project descriptions, endorsements, fees and escrow deposits for submission of the applications.

Fee Hourly / Estimated \$ 5,500

Task 3.5 Released for Construction Plans

Upon receiving final regulatory permits, the Construction Plans will be thoroughly reviewed and updated for released for construction plan for contractor use. The construction plans will then be comprehensive of the information necessary for submittal to contractors for bid requests and shop drawings.

Lump Sum Fee \$ 2,000

Schedule of Fees

For your convenience, we have broken down the total estimated cost of the project into the categories identified within the scope of services.

Task Name	Fee
Task 1.0: Topographic and Planimetric Survey	\$11,440
Task 2.0: Subsurface Utility Engineering (QL-A) (Optional)	\$6,300
Task 3.0: Utility Construction Plan	\$16,500
Task 3.1 Preparation and Submission of NCDEQ Water Permit Application	\$1,800
Task 3.2 Preparation and Submission of NCDOT Encroachment Applications	\$1,800
Task 3.3 Response to NCDEQ Reviews and Comments (Hourly)	\$3,500
Task 3.4 Response to NCDOT Reviews and Comments (Hourly)	\$5,500
Task 3.5 Released for Construction Plans	\$2,000

This Contract and Fee Schedule are based upon the acceptance of Colliers Engineering & Design's Business Terms and Conditions contained in Section II of this Contract. Delivery, mileage, printing and reproduction, overnight mail service and postage costs are not included in the lump sum fees and will be added to each monthly invoice. **Payment terms are NET30 of receipt of invoice.**

Exclusions and Understandings

Services relating to the following items are not anticipated for the project or cannot be quantified at this time. Therefore, any service associated with the following items is specifically excluded from the scope of professional services within this agreement.

- Services not specifically outlined in Section I;
- Modifications of or additions to the completed survey map after it has been distributed. If additional survey requirements or other form of survey certification is requested, a separate fee will be negotiated for performing such service;
- Property title search;
- Construction stakeout services;
- Tree Location Plan and/or surveys;
- Subdivision or Consolidation Plans and/or Parcel Maps; and
- Security clearance protocol.
- Boundary Surveying;
- Client to provide any required Right-of-Entry for the work areas outside of the ROW and any adjacent properties requiring access to perform and complete SUE investigations;
- No specialized Traffic Control is anticipated. No Lane Closures are anticipated. Any required traffic control will be billed to Client as a direct pass through;

- Colliers Engineering & Design will provide standard cones and warning signs for any services performed adjacent to roadway areas;
- No security and/or flag persons will be needed for any segment of the project;
- Plan revisions, changes, or preparation of additional design support requested by regulatory agencies during the course of project review;
- Construction Administration, Construction Specifications, Construction Stake-Out, As-built Survey, and/or additional field surveying information, except as noted;
- Subdivision or Consolidation Plans, Legal Boundary Descriptions and/or Parcel Maps;
- Geotechnical services;
- Traffic Engineering Services;
- Professional Planning Services;
- Preparation of a Site Demolition Plan;
- Wetland delineation, reports, letter of interpretation and/or permitting applications;
- Cultural Resources services;
- Endangered species studies;
- Noise impact studies;
- Water system hydraulic modeling;
- Hydrant Flow testing to determine suitable water pressure;
- Fire Water System design;
- Wastewater Management Plan analysis (system capacity, etc.);
- Off-site design services for utility extensions;
- Hydrologic Soil Group (HSG) revision and analysis;
- Flood plain analysis and Flood Hazard Area Application;
- Exploratory or testing work, interpretations or conclusions related to determination of potential chemical, toxic, radioactive or other type of contaminants on the site;
- Site or Roadway Improvement plans for off-site roadway/intersection improvements;
- Quantity, cost, and/or earthwork estimates;
- Obtaining plan signatures from local authorities and recording of documents;

If an item listed herein, or otherwise not specifically mentioned within this agreement, is deemed necessary, Colliers Engineering & Design may prepare an addendum to this agreement for your review, outlining the scope of additional services and associated professional fees regarding the extra services.

Section II – Business Terms and Conditions

Colliers Engineering & Design, including its affiliates and subsidiaries, (“CED”) agrees to provide professional services under the following terms and conditions:

The term Client referenced herein is the person, persons, corporation, partnership, or organization referenced in the proposal between Colliers Engineering & Design and said Client.

1.0 SCOPE OF SERVICES:

CED will provide a description of the Services requested under this agreement in written form (the “Scope of Services” or “Proposal”). Services not expressly in the Scope of Services are excluded from it, and CED will assume no responsibility to perform excluded services under this Agreement, or any later executed agreement. If more Services become necessary during a project, CED may provide such Services using its Technical Staff Hourly Rate Schedule in effect at the time of Services, and attached as Section II.

The proposed fees in this Agreement shall be open for acceptance for 60 days from the date the Scope of Services is provided. If: (a) this Agreement is executed more than 60 days after CED’s provision of the Scope of Services to Client; (b) CED’s fees for the Scope of Services are proposed on a lump sum or unit price basis; (c) CED’s provision of Services continues 12 months after the commencement of Services or Effective Date of this Agreement, including where the Services are not yet completed; or (d) the Client suspends CED’s Services for period of more than 30 days, then CED reserves the right to increase its fees for the Scope of Services upon mutual agreement of the Parties.

2.0 STANDARD OF CARE:

In performing Services, CED will exercise its professional judgment, made based on the information available to it, and use the same degree of care and skill ordinarily exercised in similar circumstances and conditions by reputable consultants performing comparable services in the same locality during the same period. CED further represents that it will perform all Services following any scope, instructions, or specifications provided by the Client to CED. We shall exercise the usual and customary professional care in our efforts to follow applicable code, regulations, laws, rules, ordinances, or such other requirements in effect at the time of this Agreement. NO OTHER REPRESENTATION OR WARRANTY, EXPRESSED OR IMPLIED, IS MADE.

3.0 INVOICES:

CED will invoice client monthly. CED’s invoices will include a description of Services performed based on percentage completed, and a summary of professional fees, expenses, and other disbursements and charges. In the event Client requests a more detailed invoice format, CED reserves the right to increase its fees for time incurred by its staff to prepare the requested invoice. If Client fails to submit comments or objections in writing within 14 days of Client’s receipt of an invoice, the accounting of the invoice shall be considered correct, and Client waives any objection to payment of the invoice.

Expenses incurred for Services, equipment, and facilities not offered by CED shall be invoiced at a rate not to exceed their cost, plus fifteen percent (15%). Reimbursable expenses will include, but not be limited to, application fees, printing and reproduction, mileage, courier and express delivery service, special/overnight mailings, facsimile transmissions, specialized equipment and laboratory charges, and costs of acquiring materials at the Client’s request or which are necessary for the completion of a Scope of Services.

CED shall invoice All Services provided on an overtime basis at ONE AND ONE-HALF TIMES (1.5x) the rates provided in Section II – Technical Staff Hourly Rate Schedule in effect at the time of provision of the Services.

4.0 PAYMENT:

CED invoices are payable in full within 30 days of receipt by the Client. In the event Client has not objected to an invoice under Section 3 above, and fails to make payment within 30 days of receipt thereof, CED reserves the right to assess interest of one and one-half percent (1.5%) on any outstanding invoiced amounts due. In the event payment is not made in accordance with the terms here, CED reserves any and all rights, at law or in equity, to pursue payment from the Client, including, but not limited to the withdrawal of any applications to federal, state, or local regulatory agencies and boards filed by CED on behalf of the Client (“Applications”). Before the withdrawal of any Application, CED will provide the Client with 14 days’ written notice and opportunity to cure. Client shall be responsible for all fees and costs incurred by CED to collect invoiced amounts due to it, including CED’s reasonable attorneys’ fees and costs.

5.0 RETAINER:

CED reserves the right to request a retainer from the Client before beginning Services on a project. Any retainer paid by the Client will be held in trust by CED, and first applied to CED’s final invoice for the project.

6.0 RIGHT OF ENTRY/JOBSITE:

Client will provide access to the location where CED’s Services are to be performed and right of entry for all CED personnel and equipment needed for the completion of the Scope of Services. CED will take all reasonable precautions to minimize any damage to the property, it being understood by the parties that in the normal course of CED’s Services damage may occur, the repair or remediation of which is not part of the Scope of Services, this Agreement, or CED’s obligation.

Client shall furnish or cause to be furnished to CED any and all documents and information related to: (a) surface and subsurface site conditions, which CED requires knowledge of for the proper performance of the Scope of Services; and (b) the identity, location, quantity, nature or characteristics of any hazardous or toxic substances at, on, or under the project site. CED may rely on the accuracy and completeness of Client provided documents and information provided by Client, Client's consultants and contractors, and information from public records pursuant to this Section in performing the Scope of Services required under this Agreement, and the Client shall assume all responsibility and liability for their accuracy and completeness.

CED shall not have authority over or responsibility for the construction means, methods, techniques, sequences, or procedures. Except as otherwise provided for here, CED shall be responsible only for its employees, subconsultants, and subcontractors on any project site. Neither the professional activities nor the presence of CED or its employees or subcontractors on a project site shall imply that CED controls the operations of others, nor shall this be construed to be an acceptance by CED of any responsibility for jobsite safety.

7.0 UTILITIES:

CED will take reasonable precautions per the professional standard of care to avoid damage or injury to subterranean structures or utilities during the performance of its Services. The Client agrees to indemnify, defend, and hold CED harmless for any claims or damages to subterranean structures or utilities, which have not been marked-out under the One-Call system, or are omitted or incorrectly conveyed on any documents, plans or specifications provided to CED.

8.0 TERMINATION OR SUSPENSION OF SERVICES:

Should Client fail to make payments in accordance with this Agreement or an invoice, or is otherwise in material breach of this Agreement, CED will provide seven days written notice to the Client, and opportunity to cure, before suspending performance of its Services until Client makes all payments due under this agreement. CED will have no liability whatsoever to the Client for any costs or damages from such suspension, and the Client agrees to indemnify, defend, and hold CED harmless from any claim or liability resulting from Client's failure to make payment and any resulting suspension by CED.

This Agreement may be terminated by either party upon seven days written notice in the event of substantial failure by the other party to satisfy the terms of this document, or suspension of CED's Services for more than 90 days. Such termination shall not be effective if that substantial failure has been remedied before expiration of the period specified in the written notice. In the event of termination, CED may elect to complete any analyses and records as are necessary for its internal record keeping, including a report of the Services performed before termination. CED shall be paid for all Services performed before the termination notice date, plus reasonable termination expenses including, but not limited to, the costs of completion of any reports or analyses for its internal record-keeping purposes.

9.0 SUBCONSULTANTS/SUBCONTRACTORS:

Client shall directly retain any third parties whose Services are needed in connection with the Scope of Services including, but not limited to, consultants, contractors, drillers, analytical laboratories, transporters, other experts (collectively, "Contractors"), unless prohibited from doing so. If included in the Scope of Services, CED will advise the Client in selecting Contractors and will help the Client coordinate and monitor the Contractors' performance. In no event will CED assume any liability or responsibility for a Contractor's failure to perform, regardless of whether CED contracts directly with said Contractors, or only coordinates and monitors their work. If CED does engage a Contractor on behalf of the Client, Client will be invoiced all expenses incurred, including rental of special equipment necessary for the work, at a rate not to exceed their cost, plus twenty percent (20%), as they are incurred.

Client, by engaging CED to advise it or retain Contractors on its behalf, agrees to defend, indemnify and hold CED, its directors, officers, employees, and other agents harmless from and against any and all claims, losses, liabilities, damages, demands, costs, or judgments arising out of or relating in any way to the performance or non-performance of work by said Contractors. In addition, Client agrees to pursue recovery of and assert any claims based on its loss, expenses and/or damages solely and directly against those Contractors. In consideration of such indemnity and waiver, CED agrees to assign its rights and/or claims against those subconsultants/subcontractors under the Contractors' agreements with CED, to the Client.

10.0 AGREED REMEDY:

CED shall be liable to the Client only for direct damages to the extent caused by CED's negligence in the performance of its Services. CED SHALL NOT BE LIABLE FOR INDIRECT, CONSEQUENTIAL, PUNITIVE, SPECIAL, OR EXEMPLARY DAMAGES, OR FOR DAMAGES CAUSED BY THE CLIENT'S FAILURE TO PERFORM ITS OBLIGATIONS UNDER THIS AGREEMENT.

To the fullest extent permitted by law, the total liability, in the aggregate, of CED and CED's officers, directors, employees, agents and consultants to Client and anyone claiming by, through or under Client, for injuries, claims, losses, expenses, or damages arising out of in any way related to CED's Services, the project or this Agreement, including, but not limited to, negligence, strict liability, breach of contract, or breach of warranty, shall not exceed six times the total compensation received by CED under this Agreement or the applicable CED insurance limits, whichever is less, excluding reimbursable expenses and any Contractor or subconsultant fees produced supporting the project or pursuant to this Agreement. If the project contemplated within this Agreement includes multiple phases, such liability limit shall be calculated using, and applicable only to, the particular phase in which the direct damages occur under.

The Parties agree that CED's Services in connection with the project shall not subject CED's individual employees, officers, or directors to any personal legal exposure for the risks associated with the project, Services, or arising out of this Agreement. As a result, the Client agrees that as

the Client's sole and exclusive remedy, any claim, demand, or suit shall be directed and/or asserted only against CED, a New Jersey corporation, and not against any of CED's employees, officers, or directors.

11.0 ASSIGNS:

The Client may not delegate, assign, sublet, or transfer its obligations or interest in the Agreement without the written consent of CED.

CED shall not, in connection with any such assignment by the Client, have to execute any documents that may, in the sole judgment of CED, increase CED's contractual or legal obligations or risks, or impact the availability or costs of its professional or general liability insurance.

CED may assign this Agreement without the Client's consent if such assignment is to (a) a parent, affiliate, or subsidiary, (b) an acquiror of assets, or (c) a successor by merger.

The Agreement shall not create any rights or benefits to third-parties other than the Client and CED, and nothing contained in this Agreement shall create a contractual relationship with, or a cause of action in favor of, a third-party against the Client or CED. CED's Services under this agreement are being performed solely for the benefit of the Client, and no other entity will have any claim against CED arising out of this Agreement, CED's nonperformance or performance of Services under this agreement.

12.0 OWNERSHIP AND RESTRICTION ON REUSE OF DOCUMENTS:

All drawings, calculations, reports, plans, specifications, electronic files, field data, notes, and other documents and instruments ("Documents") prepared by CED are and remain the property of CED as instruments of service. The Documents may not be copied by the Client or others on extensions of this project, or on any other project. The Client agrees not to use CED's Documents for marketing purposes, for projects other than the project for which the Documents were prepared by CED, or for future modifications to this project, without CED's express written permission. Any use, reuse, or distribution to third parties without such express written permission, or project-specific adaptation by CED will be at the Client's sole risk and without liability to CED, its employees, subsidiaries, independent professional associates, subconsultants, and subcontractors.

If electronic Document production is required by this Agreement, Client request, or the project, CED will provide the Client electronic Documents subject to the following conditions:

The Client must execute CED's Electronic Media Release form before any distribution of electronic files. The Client recognizes that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Client acknowledges that electronic Documents provided to the Client are for informational purposes only and are not intended as an end-product. CED makes no representation of any warranties, either express or implied, about the fitness or suitability of the electronic Documents. Accordingly, the Client agrees to waive all claims against CED and CED's subconsultants relating in any way to the unauthorized use, reuse or alteration of the electronic Documents. Any unlicensed use or reuse of the electronic Documents without CED's written consent will violate its copyright. Only original plans and reports of the most recent date bearing the signature and the embossed seal of the professional will be considered Documents of record.

CED shall not be required to sign any documents, no matter by whom requested, that would result in CED having to certify, guaranty, or warrant the existence of conditions that would require knowledge, services or responsibilities beyond the scope of this Agreement.

13.0 DELAYS:

CED shall not be responsible for delays caused by factors beyond its reasonable control, including, but not limited to, accidents, epidemics, pandemics, acts of God, fires, hurricanes, floods, explosions, strikes, boycotts, labor disputes, failure of the Client to provide timely information, review, approval, or rejection of CED's Services or work product, faulty performance by Client Contractors of any level, and acts of Government, which, in the opinion of CED, could not have been reasonably foreseen and mitigated ("Force Majeure Delays"). The occurrence of any Force Majeure Delay will entitle CED to an extension of time in performing the Scope of Services, and CED will notify the Client of the resultant increase in the total cost of providing the Scope of Services. Client shall be solely responsible for compensating CED for the resultant increase in cost. The Client agrees that CED shall not be responsible for damages, nor shall CED be considered in default of this Agreement, arising out of, or relating to any Force Majeure Delay.

The fees quoted in this Agreement assume that upon authorization, the project will begin through to completion without a stop work order or suspension by the Client. Should a stop work order or request to suspend CED's Services be received from the Client before completion of the Scope of Services, CED reserves the right to assess added fees to recommence its Services for the project.

14.0 INDEMNIFICATION:

CED shall keep, at its own expense, Workers' Compensation Insurance, Comprehensive General Liability Insurance and Professional Liability Insurance at all times and will, upon request, furnish certificates of insurance to the Client.

To the fullest extent permitted by law, Client shall indemnify and hold harmless CED and its agents, officers, directors and employees, subcontractors or subconsultants (collectively referred to in the remainder of this Section as CED) from and against all claims, damages, losses and expenses, whether direct, indirect, consequential, special, or punitive, including, but not limited to, reasonable attorneys' fees and costs, court costs and arbitration costs arising out of or relating to: (a) CED's Services; (b) Hazardous Materials; (c) unauthorized use, distribution, or reuse of Documents without CED's involvement and written consent; (d) Force Majeure Delays; (e) Construction Observation Services; (f) Design

Services; (g) Topographic Mapping Services; (h) Earthwork Analysis Services; or (l) any claims against CED arising from the acts, omissions or work of third-parties, Contractors, or others, unless it is determined by a court of competent jurisdiction that CED is guilty of negligence, gross negligence, or willful misconduct in connection with the Services and such negligence, gross negligence, or willful misconduct was the sole cause of the damages, claims, and liabilities.

This indemnification shall not apply to claims, damages, losses, or expenses which are decided by a court of competent jurisdiction to result from the gross negligence or willful misconduct by CED in fulfilling its obligations under this Agreement.

15.0 GOVERNING LAW:

The laws of the State within which the project is located will govern the validity of this Agreement, its interpretation and performance, without regard to any conflicts or choice of law statutes. Any litigation arising from this Agreement shall be brought in the State of the project and Services, and venue in State or Federal Court of said State.

16.0 INVALID TERMS:

The invalidity of any one or more provisions of this Agreement shall not affect the validity or continuing force and effect of any other provision, and the partial invalidity of any provision of this Agreement shall not invalidate the remainder.

17.0 SURVIVAL:

All express representations, indemnifications, or limitations of liability in this Agreement will survive the termination of this Agreement or completion of all Services of CED under this Agreement.

18.0 ENTIRE AGREEMENT:

This Agreement forms the final and complete Agreement between the Client and CED. It supersedes all prior or contemporaneous communications, representations, or Agreements, whether oral or written, relating to the subject matter of this Agreement. Execution of this Agreement signifies that each party has read the document thoroughly, has had the opportunity to have questions explained by independent counsel, and is satisfied with the terms contained here. Amendments to this Agreement shall not be binding unless made in writing and executed by the Parties.

To the extent Client provides its own Agreement, and that Agreement conflicts with or is silent about any term or condition expressed here, these conditions shall prevail and shall be binding on the Parties.

Project Scope Specific Terms and Conditions, as applicable.

19.0 CONSTRUCTION OBSERVATION SERVICES:

If the Scope of Services for this Agreement includes Construction Observation Services (as hereinafter defined), then the provisions below shall apply:

During the project's construction phase, CED shall consult, advise, and act as Client's representative (the "Construction Observation Services") as provided in the Scope of Services. The extent and limitations of the duties, responsibilities, and authority of CED as outlined in the Scope of Services and CED's Proposal shall not be changed, unless agreed to in writing by the Parties.

CED's Services during the construction phase are intended to provide Client greater confidence that the completed work of Client's Contractor will conform to the approved plans, drawings, specifications, and related documents (the "Construction Documents"). CED need not make exhaustive or continuous on-site inspections to check the quality or quantity of the construction work. CED shall not, during visits to the project site or because of observation of Contractor's work, supervise, direct, or have control over Contractor's work, nor shall CED have authority over or responsibility for the means, methods, techniques, sequences, safety precautions, programs incident to the work, or procedures of construction performed by Contractor. CED shall not be responsible for any failure of Contractor to follow laws, rules, regulations, ordinances, codes, or orders applicable to its furnishing and performing of its work. So, CED neither guarantees the performance of any Contractor, nor assumes responsibility for any Contractor's failure to perform its work per the Construction Documents.

If the Scope of Services for this Agreement includes Design Services, but does not include Construction Observation Services, then the provisions below shall apply:

The parties understand and agree that CED's Services under this Agreement do not include construction observation or review of a Contractor's performance or any other construction phase services, and that the Client will provide such observation or review. The Client assumes all responsibility for any interpretation of the Construction Documents, or observation and supervision performed by others, and expressly waives any claims against CED in any way arising out of or related thereto.

If the Parties agree that CED will provide any construction phase services, CED shall be compensated per a written agreement executed between the Parties.

20.0 OPINIONS OF PROBABLE COST:

In reviewing CED's opinions of probable construction cost, the Client understands that CED has no control over costs, the price of labor, equipment, materials, or the Contractor's method of pricing. Any opinions of probable construction costs provided by CED are based on CED's

judgment, qualifications, and experience as a design professional familiar with the construction industry. CED makes no representation or warranty, expressed or implied, as to the accuracy of such opinions as compared to bids or actual costs.

21.0 HAZARDOUS MATERIALS:

As for Services involving hazardous materials as defined in this Section, CED has neither created nor contributed to the creation or existence of any actually or potentially hazardous, radioactive, toxic, or otherwise dangerous substance or condition at any project site, its compensation is in no way commensurate with the potential liability that may be linked to a material or substance or project site, and thus it shall not have any responsibility or liability related thereto.

If the Scope of Services for this Agreement does not include services related to hazardous materials, including, but not limited to, asbestos, smoke, vapors, soot, fumes, acids, alkalis, toxic or hazardous chemicals and substances, radioactive materials, liquids, gases, or any other harmful material, whether in the air, surface soil or subsurface soil, rock, water or groundwater, watercourse, objects at the project site, or any tangible or intangible matter ("Hazardous Materials"), then the following provision shall apply:

The Parties acknowledge that CED's Scope of Services includes no services related to Hazardous Materials. In the event CED or any other party encounters Hazardous Materials at the project site, or should it become known in any way that such Hazardous Materials may be present at the project site or any adjacent areas that may affect the performance of CED's services, CED may, at its sole option and without liability for consequential or any other damages, suspend performance of Services until the Client works to identify, abate, and/or remove the Hazardous Materials, and to warrant that the project site complies with all applicable laws, codes, regulations, and administrative orders.

22.0 TOPOGRAPHIC MAPPING:

If the Scope of Services for this Agreement includes Topographic Mapping, then the provisions below shall apply:

CED shall perform the Services necessary to produce the required Topographic Mapping and/or shall retain an independent subconsultant to perform Topographic Mapping services. The Topographic Mapping shall be prepared in conformity to generally accepted standards for aerial mapping services. CED's sole responsibility and liability on the accuracy or completeness of the Topographic Mapping is limited to the correction of any inaccurate information. CED's correction of any inaccurate information shall be the Client's sole remedy related to any Topographic Mapping and information derived from it.

If the location of subsurface information is to be provided by CED, the topographic survey shall be limited to the extent of the information provided by the Client or others. CED shall not be responsible for any unknown conditions not identified in the information provided to CED, or any unknown condition beyond the reasonable scope of the information obtained because of any testing, test pit excavations, boring, or samples taken by CED.

23.0 EARTHWORK ANALYSIS:

In reviewing CED's earthwork analysis, calculations, reports, or opinions ("Earthwork Analysis"), the Client understands that CED's data is based on the topographic mapping used as a base map for plan preparation, and that topographic mapping has certain standard tolerances and accuracy limits. The Client further understands that based on earthwork differences resulting from topographic map accuracy limitations, construction changes, topsoil depth, replacement of unsuitable soils, weather conditions, construction means and methods, soil conditions, earthwork calculation methods, soil volume calculation methods, and other factors, some of which are unique to each Contractor and project site, it is impossible to definitively predict quantities that will ultimately be determined as associated with a particular project site. As such, CED's sole responsibility and liability on the accuracy or completeness of the Earthwork Analysis is limited to the correction of any inaccurate information. To find actual quantities and costs associated with required earthwork, the Client must solicit construction bids from qualified Contractors and must require such Contractors to find existing topographic conditions, subgrade conditions, construction plans, and procedures.

24.0 STORAGE OF CLIENT MATERIAL:

CED shall keep in its storage facility samples collected as part of its Services for three months after issuance of final reports. All samples will later be disposed of following proper regulations in place at the time. Extended storage of samples can be arranged at an added cost to be set up on a project-by-project basis.

25.0 GENERAL CONSTRUCTION ADMINISTRATION:

If the Scope of Services for this Agreement includes General Construction Administration ("GCA"), then the provisions below shall apply:

CED will provide GCA services per this Agreement and the edition of AIA Document A201-2017, "General Conditions of the Contract for Construction", excluding documents E203- 2013 ("Building Information Modeling and Data Exhibit") and G702-2013 ("Project Building Information Modeling Protocol Form") referenced in it. Any other modifications made to the General Conditions, if adopted as part of this Agreement, shall be enforceable under this Agreement only to the extent that they align with this Agreement or approved in writing by CED.

Section III – Rate Schedule

Technical Staff Rates 2025

Billing Titles	Hourly Rates
Executive Principal	320.00
Senior Principal	280.00
Principal	250.00
Senior Technical Director	240.00
Senior Project Manager	230.00
Technical Director	210.00
Project Manager	200.00
Senior Project Specialist	185.00
Project Specialist	175.00
Technical Professional	165.00
Technical Specialist	155.00
Specialist	145.00
Senior Data Technician	135.00
Senior Technical Assistant	125.00
Technical Assistant	115.00
Field Technician	105.00
Data Technician	105.00
Survey Crew – 1 Person w/Robotic Equipment	155.00
Additional Survey Crew Member	65.00
SUE Crew (designating) – 1 Person	155.00
Additional (designating) Member	85.00
SUE Crew (locating) – 2 Person	210.00
Additional (locating) Member	85.00

Reimbursable Expenses

General Expenses	Cost + 15%
Travel (Hotel, Airfare, Meals)	Cost + 15%
Sub-Consultants/Sub-Contractors	Cost + 20%
Plotting	4.50 / Each
Computer Mylars / Color Plots	100.00 / Each
Photocopies	0.19 / Each
Color Photocopies	2.05 / Each
Document Binding	4.05 / Each
Portable Media	100.00 / Each
Exhibit Lamination (24" x 36" or larger)	90.00 / Each
Initial Digital Signature	300.00
Additional Digital Signatures	75.00 / Each
Mileage Reimbursement*	0.655 / Per Mile
	Field Vehicle 0.75 / Per Mile

*Mileage reimbursement subject to change based upon IRS standard mileage rate.

Section IV – Client Contract Authorization

I hereby declare that I am duly authorized to sign binding contractual documents. I also declare that I have read, understand, and accept this contract.

Signature

Date

Printed Name

Title

If you find this proposal acceptable, please sign where indicated above in Section IV, and return one signed copy to this office **terms are NET30 of receipt of invoice**. This proposal is valid until (60 days per business terms).

We very much appreciate the opportunity of submitting this proposal and look forward to performing these services for you.

Sincerely,

Colliers Engineering & Design, Inc.



Sean Hein, PLS, CFS
Senior Project Manager

SPH

cc: Leonardo E. Ponzio, PLS, Colliers Engineering & Design (via email)



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Request for Town Council Action

**Consent
Agenda
Item:**
**Award of
Contract
Date:** 2/4/25

Subject: Award of Contract for a Study of Infiltration & Intrusion
Department: Public Utilities Department
Presented by: Public Utilities Director - Ted Credle
Presentation: Consent Agenda Item

Issue Statement

Even though a great deal of effort has been expended to the reduction of Infiltration & Intrusion in the Town of Smithfield sanitary sewer system, the Town continues to see high sewer invoices from the County. This is thought to be caused by many factors. One factor is the when the river floods, it inundates vulnerable manholes and infiltration is increased in wet months. To identify the vulnerable sections of the system, the Town desires to engage an engineering consultant to model the flooding and illustrate where the collection system is most susceptible.

Financial Impact

The funds (\$38,800.00) to pay for these services were taken from the I&I capital project line item (45-71-7220-5700-7413).

Action Needed

Approve the proposed bidder (MS Consultants, Inc.), as recommended by staff, and authorize the Town Manager to execute the proposed agreement.

Recommendation

Staff recommends the approval of MS Consultants, Inc., as the most qualified respondent and authorize the Town Manager to execute the contract.

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report
2. Proposed Contract Agreement
3. Scope of Services
4. Amendment to Boiler Plate Contract



Staff Report

Consent Agenda Item:	Award of Contract
Date:	2/4/25

The Town of Smithfield sanitary sewer collection system is constantly being improved by repair & replacement of leaking lines. Even though extensive effort has gone into the reduction of Infiltration & Intrusion (I&I), the system still sees large increases in flow during rain events. Further, the Town also sees large invoicing from the County when the river is at elevated levels, even if the weather is relatively dry.

The Town desires to hire an engineering consultant to model rain events and the rise in the river, to see what sections of the sanitary sewer collection system are vulnerable to flooding waters. Further, the consultant will use historical record data to see if the Town could have dry weather intrusion.

Staff is asking Council to approve the proposed consultant and to authorize the Town Manager to execute the contract with the proposed consultant, to perform the work, in the amount of \$38,800.00, per the submitted proposal.

**NORTH CAROLINA
TOWN OF SMITHFIELD**

SERVICE CONTRACT

THIS CONTRACT is made, and entered into this the _____ day of February, 2025, by and between the **TOWN of SMITHFIELD**, a political subdivision of the State of North Carolina, (hereinafter referred to as “TOWN”), and MS Consultants, Inc. a corporation duly authorized to do business in the state of North Carolina, (hereinafter referred to as “CONTRACTOR”).

For and in consideration of mutual promises to each as herein after set forth, the parties hereto do mutually agree as follows:

- 1. SCOPE OF SERVICES.** CONTRACTOR hereby agrees to provide the services and/or materials under this contract pursuant to the provisions and specifications identified in “Attachment 1” (hereinafter collectively referred to as “Services”). Attachment 1 is hereby incorporated herein and made a part of this contract. Time is of the essence with respect to all provisions of this contract that specify a time for performance.

The TOWN will perform on-going contract monitoring to ensure that the terms of this contract are complied with. CONTRACTOR agrees to cooperate with the TOWN in its monitoring process and provide documentation and/or information requested during the term of this Agreement for the purpose of monitoring the services provided by CONTRACTOR.

- 2. TERM OF CONTRACT.** The Term of this contract for services is from February 05, 2025 to June 30, 2025 unless sooner terminated as provided herein.

- 3. PAYMENT TO CONTRACTOR.** CONTRACTOR shall receive from TOWN an amount not to exceed Thirty-eight Thousand Eight Hundred and No Dollars (\$ 38,800.00) as full compensation for the provision of Services. TOWN agrees to pay CONTRACTOR at the rates specified for Services performed to the satisfaction of the TOWN, in accordance with this contract, and Attachment 1. Unless otherwise specified, CONTRACTOR shall submit an itemized invoice to TOWN by the end of the month during which Services are performed. A Funds Reservation number may be assigned to encumber the funds associated with this contract and must appear on all invoices and correspondence mailed to Purchaser. Payment will be processed promptly upon receipt and approval of the invoice by TOWN.

- 4. INDEPENDENT CONTRACTOR.** TOWN and CONTRACTOR agree that CONTRACTOR is an independent contractor and shall not represent itself as an agent or employee of TOWN for any purpose in the performance of CONTRACTOR’s duties under this Contract. Accordingly, CONTRACTOR shall be responsible for payment of all federal, state and local taxes as well as business license fees arising out of CONTRACTOR’s activities in accordance with this Contract. For purposes of this contract taxes shall include, but not be limited to, Federal and State Income, Social Security and Unemployment Insurance taxes.

CONTRACTOR, as an independent contractor, shall perform the Services required hereunder in a professional manner and in accordance with the standards of applicable professional organizations and licensing agencies.

- 5. INSURANCE AND INDEMNITY.** To the fullest extent permitted by laws and regulations, CONTRACTOR shall indemnify and hold harmless the TOWN and its officials, agents, and employees from and against all claims, damages, losses, and expenses, direct, indirect, or consequential (including but not limited to fees and charges of engineers or architects, attorneys, and other professionals and costs related to court action or mediation) arising out of or resulting from CONTRACTOR’s performance of this Contract or the actions of the CONTRACTOR or its officials, employees, or contractors under this Contract or under contracts entered into by the CONTRACTOR in connection with this Contract. This indemnification shall survive the termination of this Contract.

In addition, CONTRACTOR shall comply with the North Carolina Workers' Compensation Act and shall provide for the payment of workers' compensation to its employees in the manner and to the extent required by such Act. Additionally, CONTRACTOR shall maintain, at its expense, the following minimum insurance coverage:

\$1,000,000 per occurrence /\$2,000,000 aggregate --- Bodily Injury Liability, and
\$ 100,000 --- Property Damage Liability, or
\$1,000,000 per occurrence /\$2,000,000 aggregate---Combined Single Limit Bodily Injury and
Property Damage

CONTRACTOR, upon execution of this Contract, shall furnish to the COUNTY a Certificate of Insurance reflecting the minimum limits stated above. The Certificate shall provide for thirty-(30) days advance written notice in the event of a decrease, termination or cancellation of coverage. Providing and maintaining adequate insurance coverage is a material obligation of the CONTRACTOR. All such insurance shall meet all laws of the State of North Carolina. Such insurance coverage shall be obtained from companies that are authorized to provide such coverage and that are authorized by the Commissioner of Insurance to do business in North Carolina. The limits of coverage under each insurance policy maintained by the CONTRACTOR shall not be interpreted as limiting the CONTRACTOR's liability and obligations under the Contract. Notwithstanding the foregoing, nothing contained in this section 5 shall be deemed to constitute a waiver of the sovereign immunity of the TOWN, which immunity is hereby reserved to the TOWN.

6. **HEALTH AND SAFETY.** CONTRACTOR shall be responsible for initiating, maintaining and supervising all safety precautions and programs required by OSHA and all other regulatory agencies while providing Services under this Contract.
7. **NON-DISCRIMINATION IN EMPLOYMENT.** CONTRACTOR shall not discriminate against any employee or applicant for employment because of age, sex, race, creed, national origin, or disability. CONTRACTOR shall take affirmative action to ensure that qualified applicants are employed and that employees are treated fairly and legally during employment with regard to their age, sex, race, creed, national origin, or disability. In the event CONTRACTOR is determined by the final order of an appropriate agency or court to be in violation of any non-discrimination provision of federal, state or local law or this provision, this Contract may be canceled, terminated or suspended in whole or in part by TOWN, and CONTRACTOR may be declared ineligible for further TOWN contracts.
8. **GOVERNING LAW.** This Contract shall be governed by and in accordance with the laws of the State of North Carolina. All actions relating in any way to this Contract shall be brought in the General Court of Justice in the County of Johnston and the State of North Carolina.
9. **TERMINATION.**
 - 9.1 **EVENT OF DEFAULT.** Any one or more of the following acts or omissions of the Contractor shall constitute an Event of Default hereunder:
 - a. Failure to perform the Services satisfactorily or on schedule,
 - b. Failure to submit any report required hereunder; and/or
 - c. Failure to perform any other covenant, term, or condition of this Agreement.

Upon the occurrence of an Event of Default, the TOWN may take one or more or all of the following actions:

1. Give Contractor written Notice of the Event of Default, specifying the Event of Default and requiring it to be remedied within, in the absence of greater or lesser specification of time, seven (7) calendar days from the date of the notice; and if the Event of Default is not timely remedied, terminate the agreement, effective two (2) days after giving the Contractor written Notice of Termination; and/or
2. Deduct any and all expenses incurred by the TOWN for damages caused by the Contractor's Event of Default; and/or
3. Treat the agreement as breached and pursue any of its remedies at law or in equity, or both, including damages and specific performance.

9.2 TERMINATION FOR CONVENIENCE. This Contract may be terminated, without cause, by either party upon thirty (30) days written notice to the other party. This termination notice period shall begin upon receipt of the Notice of Termination.

Termination of this Contract, under either section 9.1 or 9.2, shall not form the basis of any claim for loss of anticipated profits by either party.

- 10. SUCCESSORS AND ASSIGNS.** CONTRACTOR shall not assign its interest in this Contract without the written consent of TOWN. CONTRACTOR has no authority to enter into contracts on behalf of TOWN.
- 11. COMPLIANCE WITH LAWS.** CONTRACTOR represents that it is in compliance with all Federal, State, and local laws, regulations or orders, as amended or supplemented. The implementation of this Contract shall be carried out in strict compliance with all Federal, State, or local laws.
- 12. NOTICES.** All notices which may be required by this contract or any rule of law shall be effective when received by certified mail sent to the following addresses:

TOWN OF SMITHFIELD
ATTN: PUBLIC UTILITIES DEPARTMENT
230 HOSPITAL ROAD
SMITHFIELD, NORTH CAROLINA 27577

CONTRACTOR
ATTN: MS Consultants, Inc.
5444 WADE PARK BLVD., SUITE 160
RALEIGH, NC 27607

- 13. AUDIT RIGHTS.** For all Services being provided hereunder, the TOWN shall have the right to inspect, examine, and make copies of any and all books, accounts, invoices, records and other writings relating to the performance of the Services. Audits shall take place at times and locations mutually agreed upon by both parties. Notwithstanding the foregoing, CONTRACTOR must make the materials to be audited available within one (1) week of the request for them.
- 14. TOWN NOT RESPONSIBLE FOR EXPENSES.** TOWN shall not be liable to CONTRACTOR for any expenses paid or incurred by CONTRACTOR, unless otherwise agreed in writing.
- 15. EQUIPMENT.** CONTRACTOR shall supply, at its sole expense, all equipment, tools, materials, and/or supplies required to provide Services hereunder, unless otherwise agreed in writing.
- 16. ENTIRE CONTRACT.** This contract, including Attachment 1, shall constitute the entire understanding between TOWN and CONTRACTOR and shall supersede all prior understandings and agreements relating to the subject matter hereof and may be amended only by written mutual agreement of the parties.
- 17. HEADINGS.** The subject headings of the sections are included for purposes of convenience only and shall not affect the construction or interpretation of any of its provisions. This contract shall be deemed to have been drafted by both parties and no interpretation shall be made to the contrary.

18. EXISTENCE. CONTRACTOR warrants that it is a corporation duly organized, validly existing, and in good standing under the laws of the State of North Carolina and is duly qualified to do business in the State of North Carolina and has full power and authority to enter into and fulfill all the terms and conditions of this contract.

19. CORPORATE AUTHORITY. By execution hereof, the person signing for CONTRACTOR below certifies that he/she has read this contract and that he/she is duly authorized to execute this contract on behalf of the CONTRACTOR.

20. E-VERIFY. As a condition of payment for services rendered under this agreement, CONTRACTOR shall comply with the requirements of Article 2 of Chapter 64 of the General Statutes. Further, if CONTRACTOR provides the services to the County utilizing a subcontractor, CONTRACTOR shall require the subcontractor to comply with the requirements of Article 2 of Chapter 64 of the General Statutes as well. CONTRACTOR shall verify, by affidavit, compliance of the terms of this section upon request by the TOWN.

IN TESTIMONY WHEREOF, the parties have expressed their agreement to these terms by causing this Service Contract to be executed by their duly authorized office or agent.

TOWN OF SMITHFIELD

Michael L. Scott, Town Manager

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Budget and Fiscal Control Act.

Andrew Harris, Town of Smithfield Chief Financial Officer

CONTRACTOR

By: _____
Authorized Representative

Print Name: _____

Title: _____

ATTACHMENT 1” to follow

ATTACHMENT 1

SCOPE OF SERVICES

This Scope of Services is an integral part of the contract between the Town of Smithfield (hereinafter referred to as “Town”), and MS Consultants, Inc (hereinafter referred to as “Contractor”), which contract is dated February 5, 2025.

CONTRACTOR hereby agrees to provide services and/or materials to the Town pursuant to the provisions set forth below.

I. Background/Purpose (Why): The purpose and intent of this request is to establish a contract with MS Consultants, Inc. to perform engineering consulting services for the purposes of analyzing the infiltration & Intrusion of the Town of Smithfield sanitary sewer collection system, in Smithfield, NC.

II. References: The following documents are incorporated herein by reference to them: The Contractor was given a set of Town infrastructure maps, a copy of the most updated GIS map of the collection system and was engaged through conversation about the goals & related issues.

III. Work/Requirements (What and Where): In accordance with the submitted proposal, provided by the contractor; the contractor will furnish the material, equipment, & labor to execute the work. Work is to be completed all across the Town of Smithfield sanitary sewer collection system, in Smithfield, NC.

IV. Schedules/Timelines (When): The Contractor shall proceed with engineering design services once the contract is executed and will have finished operations by June 30, 2025.

V. Transmittal/Delivery/Accessibility (How): The Contractor is required to provide the necessary labor, security and safety measures to uphold this contract. Work is to be completed throughout the Town of Smithfield sanitary sewer collection system, in Smithfield, NC.

VI. Payment: Invoices and required warranties, permits or additional submittals shall be forwarded to Town Representative for review. Upon payment authorization, invoices will be paid net 30. Invoices and forms submitted MUST reference Town of Smithfield funds reservation number assigned to this contract. Authorization of payments will be forwarded to Finance Department dependent on receipt of all forms. The Town may withhold payment if required reports or submittals are not received. For this work the contractor will be paid a lump sum fee not to exceed \$ 38,800.00; in accordance with the attached proposal, provided by the contractor.

AMENDMENT TO BOILER PLATE CONTRACT

(350 East Market Street, Smithfield)

THIS AMENDMENT TO CONTRACT ("Amendment") is made as of _____, 2025, by and among MS Consultants, Inc. ("Contractor"), and the Town of Smithfield ("Town").

RECITALS:

- A. Contractor desires to enter into a Contract with Town according to a form supplied, a boiler plate contract, by Contractor and used in its normal business, which agreement is hereinafter referenced as the Contract and dated approximately simultaneously with this Amendment.
- B. It is efficient for Town to enter small contracts such as this on forms supplied by Contractor so as to avoid the time and expense of more formally drafted contracts but Town desires to preserve for itself certain basic contractual provisions in all contracts.
- C. The Parties hereto have therefore agreed to the following Amendment to Contract.

AGREEMENT:

NOW, THEREFORE, in consideration of the mutual promises contained herein, the parties amend the Contract signed approximately simultaneously herewith and attached hereto by inserting the following provisions which shall be additional provisions of the Contract and shall control over any other provisions of the Contract that might appear contradictory hereto or appear to create ambiguities when read with the provisions agreed to herein.

1. Miscellaneous:

- a. Clause Control. Due to the volume of vender and independent contractor agreements submitted to the Town of Smithfield that would be too time consuming to redraft, this miscellaneous paragraph (subparagraphs a-n) is being inserted in Town Contracts and the provisions of this miscellaneous paragraph will control over all other provisions of the contract.
- b. Merger and Modification. This instrument constitutes the entire agreement between the parties and supersedes any and all prior agreements, arrangements and understandings, whether oral or written, between the parties. All negotiations, correspondence and memorandums passed between the parties hereto are merged herein and this agreement cancels and supersedes all prior agreements between the parties with reference thereto. No modification of this instrument shall be binding unless in writing, attached hereto, and signed by the party against whom or which it is sought to be enforced.
- c. Waiver. No waiver of any right or remedy shall be effective unless in writing and nevertheless shall not operate as a waiver of any other right or remedy or of the same right or remedy on a future occasion.
- d. Caption and Words. The captions and headings contained herein are solely for convenience and reference and do not constitute a part of this instrument. All words and phrases in this instrument shall be construed to include the singular and plural number, and the masculine, feminine or neuter gender, as the context requires.
- e. Binding Effect. This instrument shall be binding upon and shall insure to the benefit of the parties and their heirs, successors and permitted assigns.
- f. North Carolina Law. This instrument shall be construed in accordance with the laws of North Carolina without giving effect to its conflict of laws principles.

- g. Forum Selection. In any action arising from or to enforce this agreement, the parties agree (a) to the jurisdiction and venue exclusively of the state courts in Johnston County, North Carolina.
- h. Limitation of Liability. No party will be liable to another party, or to the extent this agreement may limit the same to any third party, for any special, indirect, incidental, exemplary, consequential or punitive damages arising out of or relating to this agreement, whether the claims alleges tortuous conduct (including negligence) or any other legal theory.
- i. Two Originals. This instrument may be executed in two (2) or more counterparts as the parties may desire, and each counterpart shall constitute an original.
- j. Follow Through. Each party will execute and deliver all additional documents and do all such other acts as may be reasonably necessary to carry out the provisions and intent of this instrument.
- k. Authority. Any corporate party or business entities and its designated partners, venturers, or officers have full and complete authority to sell, assign and convey the contracts and assume the obligations referred to herein; said corporations or entities are in good standing under North Carolina law.
- l. Severability. If any one or more of the terms, provisions, covenants or restrictions of this agreement shall be determined by a Court of competent jurisdiction to be invalid, void or unenforceable, the remainder of the terms, provisions, covenants and restrictions of this Contract shall remain in full force and effect and shall in no way be affected, impaired or invalidated. If, moreover, any one or more of the provisions contained in this Contract shall for any reason be determined by a Court of competent jurisdiction to be excessively broad as to duration, geographical scope, activity or subject, it shall be construed, by limiting or reducing it, so as to be enforceable to the extent compatible with the then applicable law.
- m. Contract Termination. The Town may terminate this contract without cause on 5 days' notice.
- n. Pre-Audit Certification. This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act to assure compliance with NCGS 159-28.

Andrew Harris, Town Budget Officer

IN WITNESS WHEREOF, the parties hereto have executed this First Amendment to Agreement as of the day and year first above written.

Town:

By: _____
Town Manager

CONTRACTOR,
a North Carolina _____

By: _____

Business Name: _____

Exhibit A

SCOPE OF SERVICES

Town of Smithfield, NC Wastewater Inflow and Infiltration Desktop Analysis

November 1, 2024

Background

The Town of Smithfield, NC (“Town”) is undertaking a desktop Wastewater Inflow and Infiltration (I/I) analysis to address issues related to excessive water entering the wastewater system. This project aims to identify conditions under which I/I is occurring and thereby identify potential sources of inflow and infiltration.

Johnston County, NC has a well-established wastewater treatment system that has evolved over the years to meet the growing needs of its communities. The Central Johnston County Regional Wastewater Facilities, located south of Smithfield, is a tertiary facility permitted to treat and discharge 9.5 million gallons per day to the Neuse River. These facilities collect and treat wastewater from several towns, including Smithfield, Selma, Four Oaks, Wilson’s Mills, Pine Level, and Clayton.

Historically, the wastewater treatment plant was managed by the Town of Smithfield. However, in the early 1990s, the management and operations of the plant were transferred to Johnston County to streamline and improve regional wastewater management. This transition allowed for a more coordinated approach to handling wastewater from multiple communities.

Johnston County operates and maintains a system of sewer line interceptors that extend through Smithfield to Selma. Wastewater from the Town of Smithfield flows to the County's wastewater treatment plant by gravity, which is a more efficient and cost-effective method. In contrast, other local towns and communities, such as Pine Level and Four Oaks, have wastewater collection systems that drain via metered flows to the same treatment plant. These metered flows involve pumping stations and force mains to transfer wastewater to the treatment facility. Because the Town of Smithfield is not metered, it is difficult to directly measure and identify sources of I/I.

The Scope of Work describes the services and work products that will be provided by ms consultants, inc. to assist the Town with investigating and characterizing I/I sources. The Scope of Work consist of the following Tasks:

- Task 1 — Data Compilation and Analysis
- Task 2 — Hydrologic and Hydraulic (H&H) Analyses
- Task 3 — Technical Memorandum
- Task 4 — Project Meetings
- Task 5 — Project Management

Project Tasks

Task 1. Data Compilation

This task involves gathering and reviewing all relevant data, including existing maps, reports, and GIS data for evaluation of inflow and infiltration into the Town of Smithfield and County collection systems. The goal is to compile a comprehensive dataset that will be used for the analysis. Data and information to be evaluated under this task may include, but are not limited to:

Historic Data and Record Plans - *Provided by the Town*

- Community Flow Monitoring Data
- County WWTP Influent Flow Data
- Town Sewer Billing Records
- GIS Shapefiles
- Record Plans

Historic Data and Record Plans - *Obtained by ms consultants, inc.*

- River Stage Data
- Rain Gauge Data
- FEMA Mapping and Stream Profiles

Task 2. Hydrologic and Hydraulic (H&H) Analyses

Hydrologic and hydraulic (H&H) analyses will be used to evaluate the existing wastewater network, analyze the areas of interest and to assess the root causes of I/I. Specifically, ms consultants will:

- Perform a comparative I/I analysis to identify the Town of Smithfield's relative systemwide I/I rate. Use the relative systemwide I/I rate to estimate volume or rate of river water intrusion during elevated river stages. As part of this analysis, ms consultants will:
 - Identify wet weather events to be used for the I/I Analysis.
 - Classify events by river stage elevations.
 - Calculate Smithfield's assumed flow rate per event based on other community flow rates and WWTP flow rates.
 - Estimate the Town of Smithfield's dry weather flow rate.
 - Calculate remaining rainfall derived infiltration and inflow for each event.
 - Compare rainfall derived infiltration and inflow flows to rainfall events to estimate I/I rates.
 - Compare I/I rates with and without river stage impacts.
 - Identify river stage levels impacting I/I rates.
 - Estimate river intrusion at various river stages.
- Identify number of structures susceptible to river water intrusion and ownership of structures. Quantify the number of structures owned by the County and Smithfield.
- Compare historical billing records for the Town of Smithfield to estimate cost associated with river water intrusion.

Task 3. Technical Memorandum

Under this task, ms consultants will prepare a memorandum documenting the analysis and findings. The memorandum will document analysis methodology and results. Town comments and recommendations discussed during meeting #2 will be incorporated into the draft technical memo. Draft and final versions of the memorandum will be provided. The memorandum is anticipated to include the following topics:

- Project Background
- Goals/Objectives
- Data Collection Summary
- H&H Analysis
- Conclusions and Recommended Next Steps

Task 4. Project Meetings

The project team will conduct three (3) meetings over the course of the project, as described below.

- Meeting #1 / Project Kick-off - ms consultants will conduct a kick-off meeting with Town personnel to establish lines of communication; identify specific needs of the Project; define roles, responsibilities and schedule for the Project; and conduct preliminary discussions regarding elements to data collection, I/I analysis, and deliverable necessities for actionable findings. ms consultants will develop an agenda prior to the meeting and meeting minutes following the meeting.
- Meeting #2 – Project progress meeting with the town following the I/I analysis to present preliminary findings prior to development of a technical memo. Review findings and document any questions or comments from the Town to include within the technical memo. ms consultants will develop an agenda prior to the meeting and meeting minutes following the meeting.
- Meeting #3 – After delivery of the draft technical memorandum, ms consultants will meet with the Town to discuss any questions or comments the Town has regarding the technical memorandum. Comments provided by the Town will be addressed in the final technical memorandum.

Task 5. Project Management

The project manager will perform the following services during the project duration:

- Manage ms consultants engineering technical staff.
- Track budget and project schedule by task and subtask.
- Prepare and submit monthly invoices and project status reports. The project status report will provide a summary of the budget status, work progress, schedule updates, and a description of any contract issues and how they have been resolved.
- Facilitate monthly teleconference meetings to provide brief summaries of progress-to-date and the project schedule and to discuss any proposed changes or issues needing resolution.
- Coordinate with the client project manager to prepare an agenda for the project kick-off meeting and facilitate the project kick-off meeting with key project team members.

Work Products

Task 1 – At the conclusion of the project, ms consultants, inc. will catalog and provide the Town a copy of information and data collected over the course of the project. A summary of the data sources will be provided in the technical memorandum (Task 3).

Task 2 – Results of the analysis will be documented in the technical memorandum (Task 3).

Task 3 – Technical memorandum (draft and final versions) describing methodology, findings, and recommendations

Task 4 – Meeting agendas, minutes, and action items, if requested by the Town.

Task 5 – Monthly project status reports and invoices.

Fee

Tasks 1-5 will be completed based upon lump sum, not-to-exceed fee of \$38,800.00.

Schedule

ms consultants, inc. anticipates that the majority of support, including the draft technical memorandum, will be completed within four (4) months of notice to proceed. A detailed project schedule will be prepared after project award and discussed with the Town during the project kick-off meeting.

Assumptions

- Historic data and record plans (Community Flow Monitoring Data, County WWTP Influent Flow Data Town Sewer Billing Records, GIS Shapefiles, and Record Plans) will be provided to ms consultants by the Town or other organizations.
- The scope of work does not include locating and extracting source data from any community or county source. (Exclusion of source data may impact the quality and availability of some portions of the analysis.)
- The scope of work does not include evaluation of local I/I sources/issues. (Only systemwide I/I values will be assessed as part of this scope.)
- The scope of work does not include negotiation of sewer rates on the Town's behalf with the County.
- The Town will designate a representative authorized to act on its behalf with respect to the services requested of ms consultants. All directions and authorization shall be by or through such representative.
- The Town will furnish ms consultants all available information, reports, studies, GIS data, complaint records, flow monitoring data, past Inflow/Infiltration studies if available, design and survey data, operating records, existing plans, easements, and other data pertinent to the Project and such will be furnished at the Town's expense.
- If the Town deems that auditing, legal, accounting, and insurance counseling services may be necessary for the Project, such services shall be furnished by the Town.
- The scope of work does not include Sub-basin I/I Analysis, Hydraulic Modeling, Flow Monitoring, Field Investigations, Condition Assessments, Closed-circuit television (CCTV), confined space entry, and pipe cleaning (mechanical or hydraulic).
- Progress meetings will be held by teleconference and are anticipated to average 30-60 minutes in length.



Request for Town Council Action

Consent Agenda Item: Date:	Advisory Board Appointments 2/4/25
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Subject: Advisory Board Appointments
Department: General Government
Presented by: Town Clerk – Elaine Andrews
Presentation: Consent Agenda Item

Issue Statement

The Town Council is asked to consider reappointments for members of the Board of Adjustment and the Planning Board.

Financial Impact

N/A

Action Needed

The Town Council is asked to consider the reappointment of Sarah Edwards as a Board of Adjustment ETJ member, Mark Lane as a Planning Board ETJ member and reappointment for Alisa Bizzell as Planning Board member *and* Parks and Recreation Advisory Commission member.

Recommendation

Staff recommends approval of these reappointments

Approved: Town Manager Town Attorney

Attachments:

- Staff Report
- Sarah Edwards – Board Application
- Mark Lane – Board Application
- Alisa Bizzell – Board Application



Staff Report

Consent **Advisory**
Agenda **Board**
Item: **Appointments**
Date: **2/4/25**

Board Reappointments:

Sarah Edwards has submitted an application for consideration to be reappointed to a new term on the Board of Adjustment as an ETJ Member.

Mark Lane has submitted an application for consideration to be appointed to a new term on the Planning Board.

Alisa Bizzell has submitted an application for consideration to be appointed to new terms for the Planning Board as well as for the Parks and Recreation Advisory Commission.

Current Board vacancies are as follows:

- Appearance Commission – 3 Positions
- Board of Adjustment – 3 Positions
- Historic Properties Commission – 2 Positions
- Parks and Recreation Advisory Commission - 5 Positions
- Planning Board – 2 Positions



Town of Smithfield
Board, Commission, or Committee
Application

Name: Edwards Sarah
(Last) (First)

Home Address: 1282E Packing Plant Road

Business Name & Address:

Telephone Numbers: 919) 796-2899 sarahelizabethedwards@gmail.com
(Home) (Mobile) (Email)

Please check the Board(s) that you wish to serve on:

<input type="checkbox"/> Appearance Commission	<input type="checkbox"/> Parks/Recreation Advisory Commission
<input type="checkbox"/> Board of Adjustment In Town Resident	<input type="checkbox"/> Planning Board In-Town Resident
<input checked="" type="checkbox"/> Board of Adjustment ETJ Member	<input type="checkbox"/> Planning Board ETJ Resident
<input type="checkbox"/> Historic Properties Commission	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Library Board of Directors	_____

Interests & Skills: Economic and community development, appropriate growth and high quality development for Smithfield

Circle highest level of education completed: (High School) 10 11 12 GED College 1 2 3 **4** 5 6

Recent Job Experiences: Executive Director, Downtown Smithfield Development Corporation

Civic or Service Organization Experience: Currently: Junior Women's League of Smithfield (former President), North Carolina Main Street Partners Board, Town of Smithfield Board of Adjustment
Formerly: North Carolina Downtown Development Association Board, Ava Gardner Museum Board

Town Boards previously served on and year(s) served: Board of Adjustment, 2009-present

Please list any other Boards/Commissions/Committees on which you currently serve: NC Main Street Partners Board, various Junior Women's League of Smithfield committees

Why are you interested in serving on this Board/Commission/Committee? Smithfield is poised for significant growth and redevelopment. I think it is critical to balance the needs and wants of current citizens with the change that comes with new growth, particularly when it comes to ensuring that the Town's standards support quality development that Smithfield's current and future citizens can be proud of and will benefit the Town in the long run.

Affirmation of Eligibility:

Has any formal charge of professional misconduct, criminal misdemeanor or felony ever been filed against you in any jurisdiction?

Yes No If yes, please explain disposition: _____

Is there any conflict of interest or other matter that would create problems or prevent you from fairly and impartially discharging your duties as an appointee of the Smithfield Town Council? Yes No If yes, please explain: _____

I understand this application is public record and I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize and consent to background checks and to the investigation and verification of all statements contained herein as deemed appropriate and if necessary. I further authorize all information concerning my qualifications to be investigated and release all parties from all liability for any damages that may result from this investigation. I understand and agree that any misstatement may be cause for my removal from any Board/Commission/Committee. I understand regular attendance to any Council Board/Commission/Committee is important and, accordingly, I further understand that if my attendance is less than the standards established for any such body that this is cause for removal. Lacking any written standards for attendance by any Board/Commission/Committee, it is expected that I will attend at least 75% of all meetings during any one calendar year to maintain my seat on any Board/Commission/Committee to which I may be appointed. This form will remain on file in the Office of the City Clerk and requests for updates will be sought prior to any consideration for reappointment (or future appointment) to any Board/Commission/Committee. Further, I have received a copy of the Policy adopted 03-04-2008 and understand its contents.

Printed Name: Sarah Edwards

Signature: s/ Sarah Edwards

Date: 12/30/2024

Return completed for to:

Elaine Andrews

Town Clerk

P. O. Box 761

Smithfield, North Carolina 27577

Phone: (919) 934-2116 Fax: (919) 989-8937 E-Mail: elaine.andrews@smithfield-nc.com

Applicants are required to be a resident of the Town of Smithfield for In-Town positions and within the Town's ETJ for ETJ positions



**Town of Smithfield
Board, Commission, or Committee
Application**

Name: Lane ^L Mark ^E

Home Address: 2108 Yelverton Grove Rd Smithfield NC 27577
(Last) (First) (MI)

Business Name & Address: _____

Telephone Numbers: 9196693615 markfd12@aol.com
(Home) (Mobile) (Email)

Please check the Board(s) that you wish to serve on:

- | | |
|---|---|
| <input type="checkbox"/> Appearance Commission | <input type="checkbox"/> Parks/Recreation Advisory Commission |
| <input type="checkbox"/> Board of Adjustment In Town Resident | <input type="checkbox"/> Planning Board In-Town Resident |
| <input type="checkbox"/> Board of Adjustment ETJ Member | <input checked="" type="checkbox"/> Planning Board ETJ Resident |
| <input type="checkbox"/> Historic Properties Commission | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Library Board of Directors | _____ |

Interests & Skills: Interested in how municipal government works and how decisions made effect our community

Circle highest level of education completed: (High School) 10 11 12 GED College 1 2 3 4 5 6

Recent Job Experiences: presently I am owner of a grounds maintenance/greenhouse company

Civic or Service Organization Experience: Smithfield Fire Dept,retired,

Town Boards previously served on and year(s) served: Smithfield Planning Board
Smithfield Board of Adjustments

Please list any other Boards/Commissions/Committees on which you currently serve: Smithfield Planning Board

Why are you interested in serving on this Board/Commission/Committee? I want to continue to help make recommendations to the town council that will make our community with controlled growth

Affirmation of Eligibility:

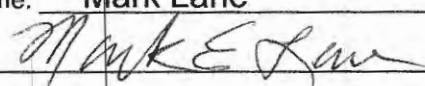
Has any formal charge of professional misconduct, criminal misdemeanor or felony ever been filed against you in any jurisdiction?

Yes No If yes, please explain disposition: _____

Is there any conflict of interest or other matter that would create problems or prevent you from fairly and impartially discharging your duties as an appointee of the Smithfield Town Council? Yes No If yes, please explain: _____

I understand this application is public record and I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize and consent to background checks and to the investigation and verification of all statements contained herein as deemed appropriate and if necessary. I further authorize all information concerning my qualifications to be investigated and release all parties from all liability for any damages that may result from this investigation. I understand and agree that any misstatement may be cause for my removal from any Board/Commission/Committee. I understand regular attendance to any Council Board/Commission/Committee is important and, accordingly, I further understand that if my attendance is less than the standards established for any such body that this is cause for removal. Lacking any written standards for attendance by any Board/Commission/Committee, it is expected that I will attend at least 75% of all meetings during any one calendar year to maintain my seat on any Board/Commission/Committee to which I may be appointed. This form will remain on file in the Office of the Town Clerk and requests for updates will be sought prior to any consideration for reappointment (or future appointment) to any Board/Commission/Committee.

Printed Name: Mark Lane

Signature: 

Date: 1/8/2024

Return completed for to:

Shannan Parrish

Town Clerk

P. O. Box 761

Smithfield, North Carolina 27577

Phone: (919) 934-2116 Fax: (919) 989-8937 E-Mail: shannan.parrish@smithfield-nc.com

Applicants are required to be a resident of the Town of Smithfield for In-Town positions and within the Town's ETJ for ETJ positions



Town of Smithfield
Board, Commission, or Committee
Application

Name: Bizzle I Alisa
(Last) (First) (MI)

Home Address: 510 S Vermont Street Apt B Smithfield, NC 27577

Business Name & Address: Johnston Lee Harrett Community Action, Inc, PO Drawer 711, Smithfield, NC 27577

Telephone Numbers: 919-960-9891 919-610-9891 taiwuan08@gmail.com
(Home) (Mobile) (Email)

Please check the Board(s) that you wish to serve on:

Form with checkboxes for various boards: Appearance Commission, Board of Adjustment In Town Resident, Board of Adjustment ETJ Member, Historic Properties Commission, Library Board of Directors, Parks/Recreation Advisory Commission, Planning Board In-Town Resident, Planning Board ETJ Resident, Other.

Interests & Skills: Reading, Community Service projects, Listening to music, Crafts

Circle highest level of education completed: (High School) 10 11 12 GED College 1 2 3 4 5 6 Masters Degree

Recent Job Experiences: Human Resources Assistant, Nationwide Insurance as a Screener of auto policies, Counselor

Civic or Service Organization Experience: Zeta Phi Beta Sorority, Incorporated, Johnston County Citizen's Association

Town Boards previously served on and year(s) served: Town of Smithfield Planning Board and Smithfield Parks and Rec Board (cannot remember how long it has been since I first started)

Please list any other Boards/Commissions/Committees on which you currently serve: None

Why are you interested in serving on this Board/Commission/Committee? I enjoy being in the know. I like to receive valuable information that helps me keep my community informed of what's going on around them. I enjoy learning of the growth in the Johnston County area and meeting new people.

Affirmation of Eligibility:

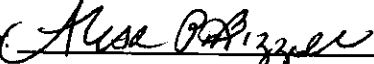
Has any formal charge of professional misconduct, criminal misdemeanor or felony ever been filed against you in any jurisdiction?

Yes No If yes, please explain disposition: _____

Is there any conflict of interest or other matter that would create problems or prevent you from fairly and impartially discharging your duties as an appointee of the Smithfield Town Council? Yes No If yes, please explain: _____

I understand this application is public record and I certify that the facts contained in this application are true and correct to the best of my knowledge. I authorize and consent to background checks and to the investigation and verification of all statements contained herein as deemed appropriate and if necessary. I further authorize all information concerning my qualifications to be investigated and release all parties from all liability for any damages that may result from this investigation. I understand and agree that any misstatement may be cause for my removal from any Board/Commission/Committee. I understand regular attendance to any Council Board/Commission/Committee is important and, accordingly, I further understand that if my attendance is less than the standards established for any such body that this is cause for removal. Lacking any written standards for attendance by any Board/Commission/Committee, it is expected that I will attend at least 75% of all meetings during any one calendar year to maintain my seat on any Board/Commission/Committee to which I may be appointed. This form will remain on file in the Office of the Town Clerk and requests for updates will be sought prior to any consideration for reappointment (or future appointment) to any Board/Commission/Committee.

Printed Name: Alise P. Bizzell

Signature: 

Date: 1/17/2025

Return completed for to:

Elaine Andrews
Town Clerk
P. O. Box 761
Smithfield, North Carolina 27577
Phone: (919) 934-2116 Fax: (919) 989-8937 E-Mail: elaine.andrews@smithfield-nc.com

Applicants are required to be a resident of the Town of Smithfield for In-Town positions and within the Town's ETJ for ETJ positions



New Hire Report

Consent Agenda Item: New Hire/Vacancy Report
Date: 2/4/25

Subject: New Hire Report
Department: Human Resources Department
Presented by: Human Resources Director – Shannan Parrish
Presentation: Consent Agenda Item

Background

Per Policy, upon the hiring of a new or replacement employee, the Town Manger or Department Head shall report the new/replacement hire to the Council on the Consent Agenda at the next scheduled monthly Town Council meeting.

In addition, please find the following current vacancies:

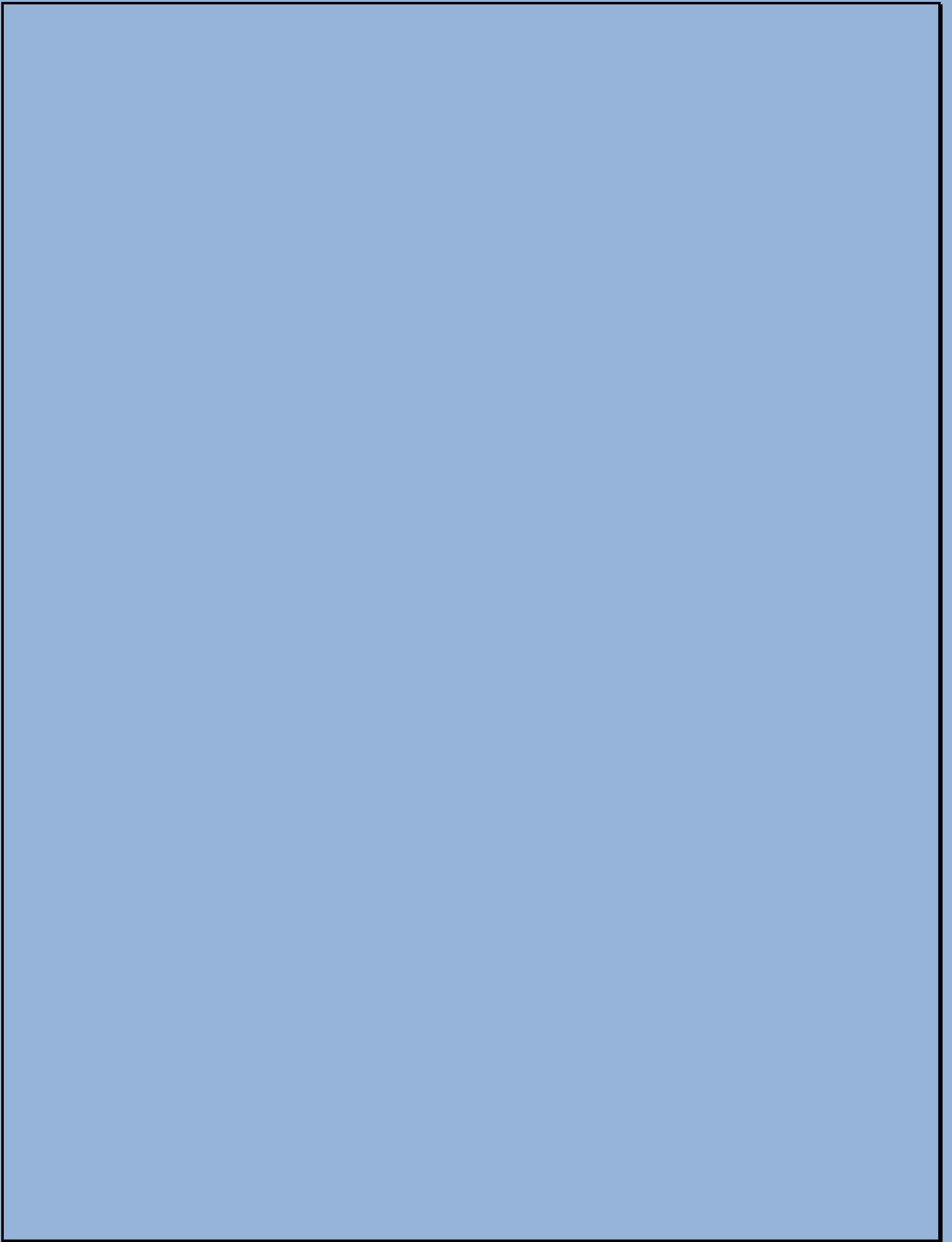
<u>Position</u>	<u>Department</u>	<u>Budget Line</u>
Planner I	Planning	10-10-4900-5100-0200
Police Officer (1 position)	Police	10-20-5100-5100-0200
Firefighter I (2 positions)	Fire	10-20-5300-5100-0200
Utility Line Mechanic	PU – Water/Sewer	30-71-7220-5100-0200
Electric Line Technician	PU – Electric	31-72-7230-5100-0200

Action Requested

The Town Council is asked to acknowledge that the Town has successfully filled the following vacancies in accordance with the Adopted FY 2024-2025 Budget.

<u>Position</u>	<u>Department</u>	<u>Budget Line</u>	<u>Rate of Pay</u>
Master Police Officer	Police	10-20-5100-5100-0200	\$ 29.59/hr. (\$66,163.24/yr.)
Asst. Aquatics Supervisor	P&R – Aquatics	10-60-6220-5100-0200	\$ 27.80/hr. (\$57,824.00/yr.)
Water Plant Operator	PU – Water Plant	30-71-7200-5100-0200	\$ 17.31/hr. (\$36,004.80/yr.)
Electric Superintendent	PU – Electric	31-72-7230-5100-0200	\$ 45.67/hr. (\$94,993.60/yr.)

Public Hearings





Request for Town Council Action

Public Hearing: S-24-07
Date: 2/4/25

Subject: Buffalo Road Subdivision Preliminary Plat
Department: Planning Department
Presented by: Planning Director - Stephen Wensman
Presentation: Public Hearing

Issue Statement

Becker Morgan Group, Inc. is requesting a preliminary subdivision of 138.63 acres of land with R-8 CZ designation into 117 detached single-family residential lots.

Financial Impact

The new lots will contribute to the town's tax base.

Action Needed

The Town Council is respectfully requested to hold a public hearing and to decide whether to approve, approve with conditions or deny the preliminary plat request, S-24-07, based on the finding of fact for preliminary subdivisions.

Recommendation

Staff recommend approval of the Buffalo Road Subdivision Preliminary Plat, S-24-07, with 11 conditions based on the finding of fact for preliminary subdivisions.

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Draft Finding of Fact
3. Application and narrative
4. Preliminary Plat
5. Preliminary Subdivision Submittal Revision Responses
6. NCDOT Traffic Review
7. Adjacent Property Owners



Staff Report

Public Hearing: S-24-07
Date: 2/4/25

REQUEST:

Becker Morgan Group, Inc. is requesting a preliminary subdivision of 138.63 acres of land with R-8 CZ designation into 117 detached single-family residential lots.

PROPERTY LOCATION:

The property considered for approval is located at 1176 and 1200 Buffalo Road (Southeastern side of Buffalo Road, further identified as Johnston County Tax ID 14A033005.

APPLICATION DATA:

Owner: Vesta Enterprises, Inc.
 Applicant/Consultant: Eva King/Eva Stancil of Becker Morgan Group, Inc.
 Project Name: Buffalo Road Subdivision
 Tax ID: 14A033005
 Acreage: 138.63 acres
 Present Zoning: R-8 CZ
 Town/ETJ: Town
 Existing Use: Vacant woods/Residential lots
 Proposed Use: Detached single-family residential
 Fire District: Smithfield
 School Impacts: Additional households with school-age children
 Parks and Recreation: Dedication of 58.97 acres of park land.
 Water and Sewer Provider: Town of Smithfield
 Electric Provider: Town of Smithfield

ENVIRONMENTAL:

The property consists of woodland and wetland areas, 500-yr and 100-yr floodplain, and a buffered blueline stream.

ADJACENT ZONING AND LAND USES:

(See attached map)

	Zoning	Existing Land Uses
North	R-10 and O/I	Radio Station and Single-family residential
South	R-20A	Vacant woodland
East	R-10/R-20A	Single family residential
West	R-20A	Residential/Agricultural.

PRELIMINARY PLAT/ANALYSIS:

Overview. The proposed preliminary plat is consistent with the conditional zoning master plan approved on 7/9/24, with 117 detached single-family residential lots with a minimum lot size of 5,500 sq. ft. with dedication of +/- 58 Acres of open space, east of Buffalo Creek Greenway. The submitted plans show adequate drainage away from the Bradford Park subdivision and show areas where existing vegetation is to remain and where planted buffers will be required. The plat will be conditioned on staff approval of construction plans, not yet submitted.

Subdivision Summary.

- Gross density is 1.23 units per acre.
- Minimum lot size is 5,500 sf.
- Minimum lot width is 55 feet.
- Minimum side yard setback is 6 feet.
- The open space along Buffalo Road is 60' wide.
- All lots will be maintenance free, maintained by HOA.
- Architectural Standards:

Foundations

- Slab on grade

Siding

- All siding shall be Hard Siding
- Must have a minimum of TWO of the following:
 - Lap
 - Shake
 - Board and Battan
 - Masonry

True Street Facing Windows

- Must have a minimum of ONE of the following:
 - Decorative header
 - Oversized trim
 - Shutters where space allows

Garage

- Must have an attached garage
- Must have a minimum of ONE of the following:
 - Decorative header
 - Oversized trim

Roofs

- Must have a minimum of ONE of the following:
 - Asphalt Shingles
 - Metal allowed as an accent roof over window bay or porch

- 3 parking spaces per dwelling with 94 overflow parking spaces.
- The development will be providing decorative street signs and lights.

- Open Space: 103.64 acres of open space, including 58.97 acres to be dedicated to the town for parkland, with bocce ball, dog park, open play areas and +/- 3,376 lineal feet of walking trails connected to the Town's greenway.
- 7,604 lineal feet of new town streets with sidewalks on both sides.
- Main "collector" street will be 31' wide back-to-back.
- Local streets will be 27' wide back-to-back.
- All curbs will be standard curbs.
- Emergency fire road connection to Parkway Drive with gates with Knox boxes.
- Storm Water Ponds will be aerated.
- TIA recommended improvements.

Traffic Impact Analysis. Kimley-Horn completed a Traffic Impact Analysis, studying trip generation, distribution, traffic analyses, and recommendations for transportation improvements required to meet anticipated traffic demands in conjunction with the development. Traffic conditions studied include the existing (2024) and projected (2028) background and build-out traffic conditions for the AM and PM peak hours. The study area for this development included the following intersections:

- M. Durwood Stephenson Parkway at Buffalo Road
- Buffalo Road at Hospital Road
- Brightleaf Boulevard (US 301) at Hospital Road
- Buffalo Road at North Site Driveway
- Buffalo Road at South Site Driveway
-

The recommended transportation improvements are:

Buffalo Road at North Site Driveway:

- Construct the North Site Driveway with one ingress lane and one egress lane
- Construct an exclusive southbound left-turn lane on Buffalo Road with 75 feet of storage and appropriate tapers

Buffalo Road at South Site Driveway:

- Construct the South Site Driveway with one ingress lane and one egress lane
- Construct an exclusive northbound right-turn lane on Buffalo Road with 50 feet of storage and appropriate tapers

FINDING OF FACT (STAFF OPINION):

To approve a preliminary plat, the Town Council shall make the following finding (staff's opinion in Bold/Italic):

1. The plat is consistent with the adopted plans and policies of the town; *The plat is consistent with the adopted comprehensive plan and conditional zoning master plan.*
2. The plat complies with all applicable requirements of this ordinance; *The plan complies with all applicable requirements of this ordinance and conditional zoning master plan with conditions.*
3. There exists adequate infrastructure (transportation and utilities) to support the plat as proposed. *There is adequate infrastructure.*

4. The plat will not be detrimental to the use or development of adjacent properties or other neighborhood uses. *The plat will not be detrimental to the use or development of adjacent properties or other neighborhood uses.*

RECOMMENDATION:

Staff recommend approval of the Buffalo Road Subdivision preliminary plat, S-24-07, with the following 11 conditions:

1. That the preliminary plat is conditioned on the staff approval of the construction documents meeting all UDO requirements and conditions of zoning approval.
2. Enhance the landscaping at the development entrances onto Buffalo Road.
3. Dedicate 58.97 acres for parkland with final plat.
4. Provide aeration of the wet (stormwater) ponds to assist with mosquito control.
5. Loop the watermains with the Bradford Park neighborhood (upside to an 8" line if feasible)
6. Provide a fire hydrant beyond the cul-de-sac on the greenway for fire protection.
7. Include architectural standards as presented with conditional zoning into the homeowner's association (HOA) declarations.
8. Submit homeowner's association (HOA) declarations for the Town Attorney's review.
9. Incorporate the architectural standards into the HOA declarations.
10. Provide decorative street lighting and street signs throughout the development.
11. Provide a 6' high screening fence along the Bradford Park boundary.

RECOMMENDED MOTION:

"move to approve the Buffalo Road Subdivision preliminary plat, S-24-07, with the 11 conditions found in the staff report based on the finding of fact for preliminary subdivisions."

**Town of Smithfield
Preliminary Plat
Finding of Fact / Approval Criteria**

Application Number: S-24-07 **Project Name:** Buffalo Road Subdivision Preliminary Plat

Request: Vesta Enterprises, Inc. is requesting approval of a preliminary plat for a 170 detached single-family lot subdivision over 138.63 acres. The property considered for approval is located at 1176 and 1200 Buffalo Road (Southeastern side of Buffalo Road, further identified as Johnston County Tax ID 14A033005).

In approving an application for a preliminary plat in accordance with the principles, conditions, safeguards, and procedures specified herein, the Town Council may impose reasonable and appropriate conditions and safeguards upon the approval. The petitioner will have a reasonable opportunity to consider and respond to any additional requirements prior to approval or denial by the Town Council. The Town Council shall include in its comments a statement as to the consistency of the application with the Town's currently adopted Comprehensive Plan. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which the below requires.

The Town Council shall issue a preliminary plat if it has evaluated an application through a quasi-judicial process and determined that:

1. The plan is consistent with the adopted plans and policies of the town;
2. The plan complies with all applicable requirements of this ordinance;
3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed; and
4. The plan will not be detrimental to the use or development of adjacent properties or another neighborhood uses

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: *Based upon satisfactory compliance with the above stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative, I move to approve Preliminary Plat Application # S-24-07 with conditions:*

1. That the preliminary plat is conditioned on the staff approval of the construction documents meeting all UDO requirements and conditions of zoning approval.
2. Enhance the landscaping at the development entrances onto Buffalo Road.
3. Dedicate 58.97 acres for parkland with final plat.
4. Provide aeration of the wet (stormwater) ponds to assist with mosquito control.
5. Loop the watermains with the Bradford Park neighborhood (upside to an 8" line if feasible)
6. Provide a fire hydrant beyond the cul-de-sac on the greenway for fire protection.
7. Include architectural standards as presented with conditional zoning into the homeowner's association (HOA) declarations.
8. Submit homeowner's association (HOA) declarations for the Town Attorney's review.

9. Incorporate the architectural standards into the HOA declarations.
10. Provide decorative street lighting and street signs throughout the development.
11. Provide a 6' high screening fence along the Bradford Park boundary.

Motion to Deny: *Based upon failure to meet all of the above stated findings and for reasons stated therein, I move to deny Preliminary Plat Application # S-24-07 for the following stated reason:*

Record of Decision:

Based on a motion and majority vote of the Town of Smithfield Town Council for the Preliminary Plat Application # S-24-07 is hereby:

_____ **approved upon acceptance and conformity with the following conditions:**

1. That the preliminary plat is conditioned on the staff approval of the construction documents meeting all UDO requirements and conditions of zoning approval.
2. Enhance the landscaping at the development entrances onto Buffalo Road.
3. Dedicate 58.97 acres for parkland with final plat.
4. Provide aeration of the wet (stormwater) ponds to assist with mosquito control.
5. Loop the watermains with the Bradford Park neighborhood (upside to an 8" line if feasible)
6. Provide a fire hydrant beyond the cul-de-sac on the greenway for fire protection.
7. Include architectural standards as presented with conditional zoning into the homeowner's association (HOA) declarations.
8. Submit homeowner's association (HOA) declarations for the Town Attorney's review.
9. Incorporate the architectural standards into the HOA declarations.
10. Provide decorative street lighting and street signs throughout the development.
11. Provide a 6' high screening fence along the Bradford Park boundary.

_____ **denied for the noted reasons.**

Decision made this 4th day of February 2025 while in regular session.

M. Andy Moore, Mayor

ATTEST:

Elaine Andrews, Town Clerk



Town of Smithfield

Planning Department

350 E. Market St Smithfield, NC 27577

P.O. Box 761, Smithfield, NC 27577

Phone 919-934-2116

Fax: 919-934-1134

**Preliminary Subdivision Application
General Information**

Development Name Buffalo Road Subdivision

Proposed Use Single-family Residences

Property Address(es) 1176 & 1200 Buffalo Road (Southeastern side of Buffalo Road SR 1003)

Johnston County Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN# 260-412-06-3802

TAX ID# 14A033005

Project type? Single Family Townhouse Multi-Family Non-Residential Planned Unit Development (PUD)

OWNER/DEVELOPER INFORMATION

Company Name Vesta Enterprises, Inc.

Owner/Developer Name Sagan Lampe

Address PO Box 1457, Smithfield, NC 27577

Phone 919-631-9524

Email sagan@vestaenterprises.com Fax N/A

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name Becker Morgan Group, Inc.

Contact Name Eva King / Amy Stancil

Address 314 East Main Street, Clayton, NC 27520

Phone 919-243-1332

Email eking@beckermorgan.com/
astancil@beckermorgan.com Fax N/A

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s) R-8 CZ

If more than one district, provide the acreage of each:

Overlay District? Yes No

Inside City Limits? Yes No

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

Project Narrative

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- c) A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- d) A narrative explaining the intent of the project and/or your original or revised vision for the finished product;
- e) A statement showing the proposed density of the project with the method of calculating said density shown;
- f) Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision;
- g) A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- h) A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- i) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- j) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- k) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).

STORMWATER INFORMATION

Existing Impervious Surface	±0.59 acres/ ±25,674 sf	acres/sf	Flood Hazard Area	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Proposed Impervious Surface	22.78 acres/ 992,198 sf	acres/sf	Neuse River Buffer	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Watershed protection Area	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Wetlands	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

If in a Flood Hazard Area, provide the FEMA Map Panel # and Base Flood Elevation

NUMBER OF LOTS AND DENSITY

Total # of Single Family Lots	170 lots	Overall Unit(s)/Acre Densities Per Zoning Districts	1.23 units/acre
Total # of Townhouse Lots	N/A	Acreage in active open space	±2.05 acres
Total # of All Lots	170 Lots	Acreage in passive open space	±101.59 acres

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the Town.

I hereby designate Adams & Hodge Engineering, A Division of Becker Morgan to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature  Date 11/1/2024
President, Vesta Enterprises, Inc.

Signature _____ Date _____

REVIEW FEES

Major Subdivision (Submit 7 paper copies & 1 Digital copy on CD) \$500.00 + \$5.00 a lot

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File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

INFORMATION TO BE PROVIDED ON PRELIMINARY AND FINAL PLATS.

The preliminary plats shall depict or contain the information indicated in the following table. An "X" indicates that the information is required.

Information	Preliminary Plat
Vicinity map (6" W x 4" H) showing location of subdivision in relation to neighboring tracts, subdivision, roads, and waterways (to include streets and lots of adjacent developed or platted properties). Also include corporate limits, Town boundaries, county lines if on or near subdivision tract.	✓ X
Boundaries of tract and portion to be subdivided, including total acreage to be subdivided, distinctly and accurately represented with all bearings and distances shown.	✓ X
Proposed street layout and right-of-way width, lot layout and size of each lot. Number lots consecutively throughout the subdivision.	✓ X
Name of proposed subdivision.	✓ X
Statement from the Johnston County Health Department that a copy of the sketch plan has been submitted to them, if septic tanks or other onsite water or wastewater systems are to be used in the subdivision, AND/OR statement from the County Public Utilities that application has been made for public water and/or sewer permits.	X
Graphic scale.	X
North arrow and orientation.	X
Concurrent with submission of the Preliminary Plat to the Town, the subdivider or planner shall submit copies of the Preliminary Plat and any accompanying material to any other applicable agencies concerned with new development, including, but not limited to: District Highway Engineer, County Board of Education, U.S. Army Corps of Engineers, State Department of Natural Resources and Community Development, for review and recommendation.	✓ X
List the proposed construction sequence.	X
Storm water plan – see Article 10, Part VI.	✓ X
Show existing contour lines with no larger than five-foot contour intervals.	✓ X
New contour lines resulting from earth movement (shown as solid lines) with no larger than five-foot contour intervals (existing lines should be shown as dotted lines).	✓ X
Survey plat, date(s) survey was conducted and plat prepared, the name, address, phone number, registration number and seal of the Registered Land Surveyor.	✓ X
Names, addresses, and telephone numbers of all owners, mortgagees, land planners, architects, landscape architects and professional engineers responsible for the subdivision (include registration numbers and seals, where applicable).	✓ X
Date of the drawing(s) and latest revision date(s).	✓ X

Information	Preliminary Plat
The owner's name(s) of adjoining properties and Zoning District of each parcel within 100' of the proposed site.	✓X
State on plans any variance request(s).	N/A X
Show existing buildings or other structures, water courses, railroads, bridges, culverts, storm drains, both on the land to be subdivided and land immediately adjoining. Show wooded areas, marshes, swamps, rock outcrops, ponds or lakes, streams or stream beds and any other natural features affecting the site.	✓X
The exact location of the flood hazard, floodway and floodway fringe areas from the community's FHBM or FIRM maps (FEMA). State the base flood elevation data for subdivision.	✓X
Show the minimum building setback lines for each lot.	✓X
Provide grading and landscape plans. Proposed plantings or construction of other devices to comply with the screening requirements of Article 10, Part II.	✓X
Show location of all proposed entrance or subdivision signage (see Section 10.23.1).	✓X
Show pump station detail including any tower, if applicable.	N/A X
Show area which will not be disturbed of natural vegetation (percentage of total site).	X
Label all buffer areas, if any, and provide percentage of total site.	✓X
Show all riparian buffer areas.	✓X
Show all watershed protection and management areas per Article 10, Part VI.	✓X
Soil erosion plan.	✓X
Show temporary construction access pad.	✓X
Outdoor illumination with lighting fixtures and name of electricity provider.	✓X
The following data concerning proposed streets:	
Streets, labeled by classification (see Town of Smithfield construction standards) and street name showing linear feet, whether curb and gutter or shoulders and swales are to be provided and indicating street paving widths, approximate grades and typical street cross-sections. Private roads in subdivisions shall also be shown and clearly labeled as such.	✓X
Traffic signage location and detail.	X
Design engineering data for all corners and curves.	✓X
For office review; a complete site layout, including any future expansion anticipated; horizontal alignment indicating general curve data on site layout plan; vertical alignment indicated by percent grade, PI station and vertical curve length on site plan layout; the District Engineer may require the plotting of the ground profile and grade line for roads where special conditions or problems exist; typical section indicating the pavement design and width and the slopes, widths and details for either the curb and gutter or the shoulder and ditch proposed; drainage facilities and drainage.	X

Information	Preliminary Plat
Type of street dedication; all streets must be designated public. (Where public streets are involved which will be dedicated to the Town, the subdivider must submit all street plans to the UDO Administrator for approval prior to preliminary plat approval).	✓ X
When streets have been accepted into the municipal or the state system before lots are sold, a statement explaining the status of the street in accordance with the Town of Smithfield construction standards.	• X
If any street is proposed to intersect with a state maintained road, a copy of the application for driveway approval as required by the Department of Transportation, Division of Highways Manual on Driveway Regulations. (1) Evidence that the subdivider has applied for such approval. (2) Evidence that the subdivider has obtained such approval.	• X X X
The location and dimensions of all:	
Utility and other easements.	✓ X
Pedestrian and bicycle paths.	✓ X
Areas to be dedicated to or reserved for public use.	✓ X
The future ownership (dedication or reservation for public use to governmental body or for owners to duly constituted homeowners' association) of recreation and open space lands.	• X
Required riparian and stream buffer per Article 10, Part VI.	✓ X
The site/civil plans for utility layouts including:	
Sanitary sewers, invert elevations at manhole (include profiles).	✓ X
Storm sewers, invert elevations at manhole (include profiles).	✓ X
Best management practices (BMPs)	✓ X
Stormwater control structures	✓ X
Other drainage facilities, if any.	✓ X
Impervious surface ratios	✓ X
Water distribution lines, including line sizes, the location of fire hydrants, blow offs, manholes, force mains, and gate valves.	✓ X
Gas lines.	X
Telephone lines.	X
Electric lines.	X
Plans for individual water supply and sewage disposal systems, if any.	N/A X
Provide site calculations including:	
Acreage in buffering/recreation/open space requirements.	✓ X
Linear feet in streets and acreage.	✓ X
The name and location of any property or buildings within the proposed subdivision or within any contiguous property that is located on the US Department of Interior's National Register of Historic Places.	• X

Information	Preliminary Plat
Sufficient engineering data to determine readily and reproduce on the ground every straight or curved line, street line, lot line, right-of-way line, easement line, and setback line, including dimensions, bearings, or deflection angles, radii, central angles and tangent distance for the center line of curved property lines that is not the boundary line of curved streets. All dimensions shall be measured to the nearest one-tenth of a foot and all angles to the nearest minute.	✓ X
The accurate locations and descriptions of all monuments, markers, and control points.	• X
Proposed deed restrictions or covenants to be imposed upon newly created lots. Such restrictions are mandatory when private recreation areas are established. Must include statement of compliance with state, local, and federal regulations.	• X <i>working on!</i>
A copy of the erosion control plan submitted to the Regional Office of NC- DNRCD, when land disturbing activity amounts to one acre or more.	X
All certifications required in Section 10.117.	X
Any other information considered by either the subdivider, UDO Administrator, Planning Board, or Town Council to be pertinent to the review of the plat.	X
Improvements guarantees (see Section 5.8.2.6).	

FOR OFFICE USE ONLY			
File Number: _____	Date Submitted: _____	Date Received: _____	Amount Paid: _____

REQUIRED FINDING OF FACT

Article 4 of the Town of Smithfield Unified Development Ordinance requires applications for a preliminary subdivision plat approval to address the following findings. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which this section requires. The Town Council shall grant preliminary subdivision approval if it has evaluated an application through a quasi-judicial process and determined that:

- 1) The plan is consistent with the adopted plans and policies of the town;

See attached.

- 2) The plan complies with all applicable requirements of this ordinance;

See attached.

- 3) There exists adequate infrastructure (transportation and utilities) to support the plan as proposed; and

See attached.

- 4) The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

See attached.

BUFFALO ROAD SUBDIVISION

PROJECT NARRATIVE

The plan for the Buffalo Road Subdivision promotes a neighborhood form established by a relaxed grid defined largely by the existing wetlands and road connection. This pattern establishes a hierarchy of neighborhood streets and sidewalks which support a pedestrian friendly environment adapted to the landform. This is a +/- 138.63 acre parcel consisting of +/- 170 single family lots.

Throughout the development are large open space areas incorporating active areas such as pavilion shelter with a fireplace, bocce ball courts, a dog park, open play areas, and extensive walking trails with a connection to the Town of Smithfield's Greenway Trail.

Contacts

Engineering Firm: Adams & Hodge Engineering, A Division of Beck Morgan Group

Address: 314 E Main Street
Clayton, NC 27520

Phone Number: 919-243-1332

Email address: eking@beckermorgan.com and astancil@beckermorgan.com

Owner: Guy & Ross Lampe

Address: PO Box 608
Smithfield, NC 27577

Phone Number: Sagan Lampe 919-631-9524

Email address: sagan@vestaenterprises.com

Surveyor: Stokes Surveying & Mapping, PLLC

Address: 1425-105 B Rock Quarry Road
Raleigh, NC 27610

Phone Number: Mike Stokes, 919-971-7897

Email address: mike@stokes-surveying.com

Site Data

NC Pin: 260412-06-3802

Tax ID: 14A03005

Parcel Size: 138.63 acres/6,038,914 sf

Parcel Zoning: R-8 CZ

General Information

Name: Buffalo Road Subdivision

Proposed Lots: 170 Lots (Single-Family)

Proposed Impervious Area of Total Site: 22.78 acres/ 992,198 sf/16%

Proposed Open Space: 103.64 acres/4,514,410 sf

Proposed Rights of Way Dedication: 10.30 acres/448,726 sf

Proposed Density: 170 lots/138.63 acres = ± 1.23 units/acre

Proposed Infrastructure

No phasing is proposed at this time.

Proposed Roadways: There will be a required widening on Buffalo Road per NCDOT and Town of Smithfield. There will be two (2) main entrances off Buffalo Road, (2) stub outs to adjacent properties, as well as a 20' fire and emergency access road connection to Bradford Park subdivision (Parkway Drive).

The proposed Typical Collector Street has 60' Proposed Public Right of Way, 31' back of curb to back of curb, and sidewalks on both sides of all collector streets.

The proposed Typical Residential Street has 60' Proposed Public Right of Way, 27' back of curb to back of curb, and 5' sidewalks on both sides of all residential streets.

The proposed pedestrian system will include approximately 15,058 linear feet of sidewalks, including the proposed sidewalk adjacent to Buffalo Road, and 3,376 linear feet of walking trails. The walking trails are to be 10' wide with connections to the Town of Smithfield Greenway Trail.

Parking: Per the Town's UDO, the required parking for a single-family residential subdivision is 2 spaces per dwelling. 170 dwellings require 340 parking spaces. There are 605 proposed parking spaces within this subdivision, which is 265 spaces more than required per Town's ordinance. Each dwelling will have a minimum of a 1 car garage with a 2-car parking pad, providing at least 3 spaces per dwelling. There is overflow parking of +/- 86 spaces located and scattered along most of the subdivision streets and within the CBU parking area off street 'B'.

Mail Kiosks: The mail kiosks are located close to the most northern entrance on Buffalo Road, adjacent to a proposed parking area with at least one ADA space. The parking lot will also accommodate parking for use of active open space areas.

Public Sewer: The estimated wastewater flow is 61,200 gallons per day. There are +/- 7,171 linear feet of proposed sewer main extensions, connecting to the Town's existing sewer system that is located on site, adjacent to the Town of Smithfield's greenway trail to the east of the proposed project. Prior to construction, the system shall be approved by the Town's Engineering Department in accordance with the general guidelines and regulations of the Town and permitted by the State.

Public Water: Public water is available via an existing 12" water main along Buffalo Road. There are +/- 7,665 linear feet of proposed waterline. Connections to the existing 12" main shall be made and extended throughout the development. The level of inner connectivity shall provide for adequate domestic water as well as appropriate fire protection flow. Prior to construction, the system shall be approved by the Town's Engineering Department in accordance with the general guidelines and regulations of the Town and permitted by the State.

DESCRIPTION OF HOW CONFLICTS /CONCERNS WITH NEARBY LAND USES AND OR DISTURBANCES ARE BEING AVOIDED OR MITIGATED

There is a 10' Class 'A' landscape buffer proposed internally along the boundary of all adjacent properties. There is also passive open space along with the 10' Class 'A' landscape buffer behind the property owners in the Bradford Park subdivision, giving more separation from the lots within the proposed subdivision.

Appropriate additional survey and specific grading and stormwater plan design is provided to ensure that all stormwater will be directed downhill and away from that area and any other surrounding adjacent residences.

All potential conflicts with disturbances of wetlands, flood zones, and impacts to riparian buffers are being avoided altogether by not proposing any disturbances in those areas. There is one disturbance of a stream crossing which will be mitigated by receiving the appropriate permits.

There should not be any conflicts of use. The proposed use is single-family and most of the adjacent properties are single-family residential as well or vacant.

JUSTIFICATION THAT PROPOSAL WILL NOT PLACE BURDEN ON SURROUNDINGS

The distribution of traffic has been given much consideration when laying out the site's access point to serve the subdivision. There will be a required widening on Buffalo Road per NCDOT and Town of Smithfield. There will be two (2) main entrances off Buffalo Road, (2) stub outs to adjacent properties, as well as a 20' fire and emergency access road connection to Bradford Park subdivision (Parkway Drive). Care has been exercised in the subdivision to protect the environment by prudent use of buffers and landscaping. The public's safety and health have been addressed by providing public water and sewer that meet the Town and State requirements. The road system is designed to be safe for pedestrians and vehicles alike by providing adequate separation, traffic control and lighting, along with proposed stubs to the adjacent parcels on Streets 'D' and 'F' for future connections. Site grading and stormwater control measures will be designed to meet Town and State standards. Furthermore, the stormwater from the site will be properly directed downhill and away from the Bradford Park neighborhood. The public's health and welfare are further addressed by the proposed subdivision providing passive and active recreation opportunities offsite utilizing municipal recreation facilities via recreation assessment fees.

DESCRIPTION OF OPEN SPACE AREAS

+/- 104.37 acres of open space is proposed for this subdivision. Within the +/- of 104.37 acres, there will be +/- 2.05 acres of active open space including a bocce ball court, dog park, open play areas as well as extensive walking trails which will connect to the Town of Smithfield's Greenway trail. Maintenance of the open space areas will be the responsibility of the HOA.

DEVELOPMENT SCHEDULING

If the project is approved, the construction drawings will begin as soon as we have planning approval. After construction drawing approval and all other permits have been successfully acquired, the subdivision construction will begin immediately.

BUFFALO ROAD SUBDIVISION

FINDINGS OF FACT

1) The plan is consistent with the adopted plans and policies of the town:

The plan is consistent with the adopted plans and policies of the town and UDO regulations with deviations that were approved through Conditional Zoning (CZ-23-01 Buffalo Road Subdivision) which was granted July 9, 2024.

2) The plan complies with all applicable requirements of this ordinance;

The plan complies with all applicable requirements of the UDO with deviations that were approved through Conditional Zoning procedures.

3) There exists adequate infrastructure (transportation and utilities) to support the plan as proposed;

There are adequate utilities for sewer by connecting to the Town's existing sewer system located on site and adjacent to the Town of Smithfield's greenway trail. Connections to the existing 12" water main along Buffalo Road shall be made and extended throughout the development. Also, connections to the Town's existing power lines shall be made and extended throughout the development for power.

There will be a required widening on Buffalo Road per NCDOT and Town of Smithfield. There will be two (2) main entrances off Buffalo Road, (2) stub outs to adjacent properties, as well as a 20' fire and emergency access road connection to Bradford Park subdivision (Parkway Drive).

4) The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses.

The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses by directing the stormwater from the site, downhill and away from the adjacent properties. As noted above, numerous access points and stubs to adjacent properties provide additional connectivity options for future adjacent developments. The proposed use of single-family residences is similar to adjacent properties.

Buffalo Road Subdivision

File Number:
S-24-07

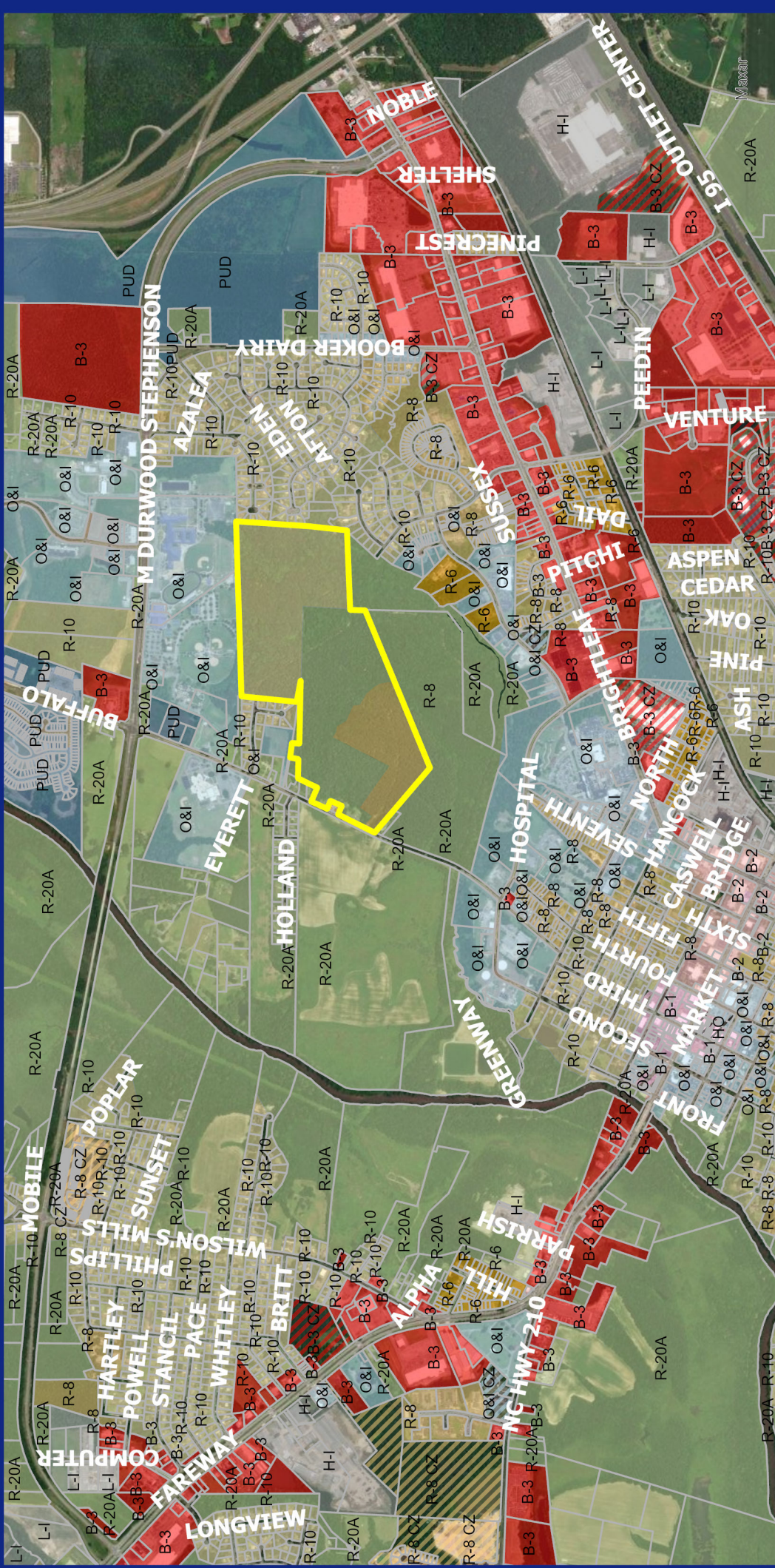
Project Name:
Buffalo Rd Subdivision

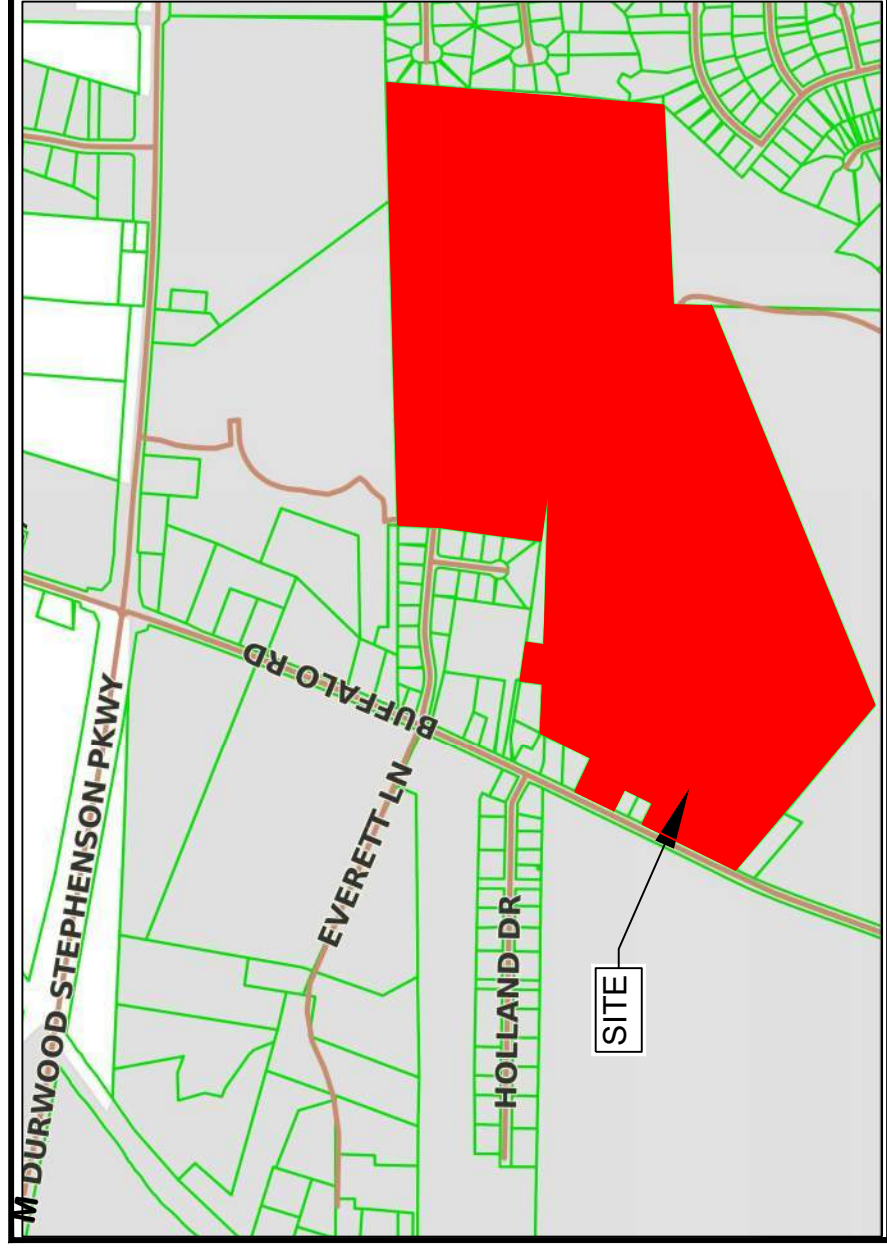
Location:
Buffalo Road

Tax ID#:
14057011X
14057011Y

Existing Zoning:
R-8 CZ

Owner/Applicant:
Vesta Enterprises, Inc





VICINITY MAP
1"=1,000'

PRELIMINARY SUBDIVISION PLAN

FOR

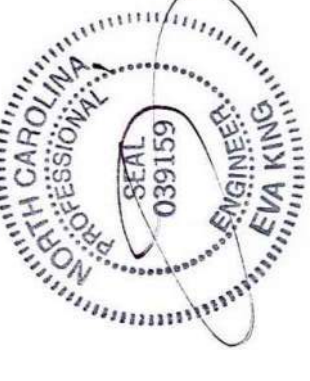
BUFFALO ROAD SUBDIVISION

IN

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

SHEET INDEX

SHEET TITLE	SHEET No.
SEALED BOUNDARY	C1.00
EXISTING CONDITIONS	C1.01
OVERALL SITE	C2.00
MASTER SITE PLAN	C2.01
PRELIMINARY PLAT	C2.02
VEHICULAR & PEDESTRIAN ROUTING	C2.03
SIGNAGE PLAN	C2.04
PRELIMINARY UTILITY PLAN	C3.01
PRELIMINARY EROSION CONTROL PLAN	C4.01
PRELIMINARY GRADING & DRAINAGE PLAN	C5.01
PLAN & PROFILE STREET 'A' STA 10+00 - 20+00	C6.01
PLAN & PROFILE STREET 'A' STA 20+00 - 28+00	C6.02
PLAN & PROFILE STREET 'A' STA 28+00 - 36+00	C6.03
PLAN & PROFILE STREET 'A' STA 36+00 - END	C6.04
PLAN & PROFILE STREET 'B' STA 10+00 - 19+00	C6.05
PLAN & PROFILE STREET 'B' STA 19+00 - END	C6.06
PLAN & PROFILE STREET 'C'	C6.07
PLAN & PROFILE STREET 'D'	C6.08
PLAN & PROFILE STREET 'E'	C6.09
PLAN & PROFILE STREET 'F' STA 10+00 - 19+00	C6.10
PLAN & PROFILE STREET 'F' STA 19+00 - END	C6.11
PRELIMINARY LANDSCAPE & LIGHTING PLAN	L1.01
PRELIMINARY LANDSCAPE DETAILS	L1.02
REGULATORY STANDARDS	DT1.00
AMENITIES	DT1.01



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PRELIMINARY

ADAMS & HODGES
ENGINEERING, PC

+

BECKER MORGAN
GROUP
ARCHITECTURE
& ENGINEERING

A DIVISION OF BECKER MORGAN GROUP, INC.

314 EAST MAIN STREET
CLAYTON, NC 27520
919-243-1332 FAX 919-243-1332
www.beckermorgan.com FIRM # C-4743

2021356.00-BUFFALO ROAD
SUBDIVISION

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

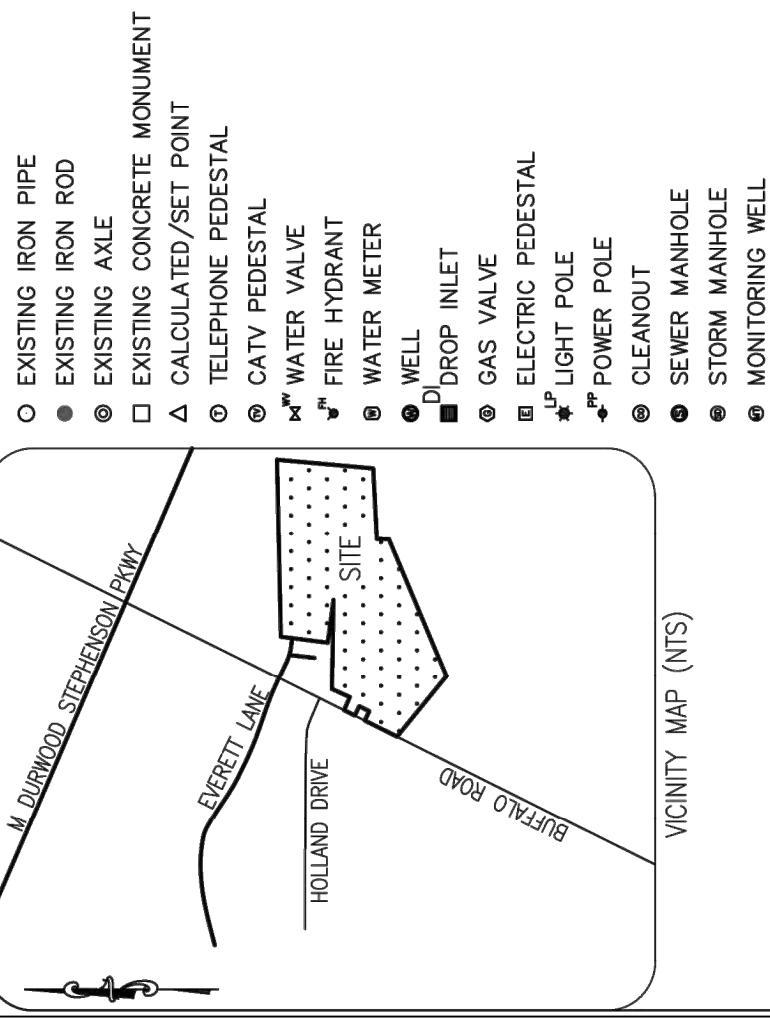
NOVEMBER 1, 2024

DEVELOPER/APPLICANT:

VESTA ENTERPRISES, INC.
PO BOX 1457
SMITHFIELD, NC 27577
CONTACT: SAGAN LAMPE, PRESIDENT
919-631-9524

SOURCES OF INFORMATION:
1. EXISTING SURVEY OF SITE & TOPO PROVIDED BY STOKES SURVEYING & MAPPING, PLLC, 1425-105B ROCK QUARRY RD, RALEIGH, NC 27610, DATED 12/28/2021
2. PARCEL INFORMATION OUTSIDE OF SURVEYED BOUNDARY FROM JOHNSTON COUNTY GIS DATED 2023
3. PRELIMINARY WETLAND INFORMATION PROVIDED BY BROWN'S ENVIRONMENTAL GROUP, INC., 242 BATTEN FARM RD SELMA, NC 27576, DATED 6/23/2020

**BOUNDARY AND TOPOGRAPHICAL SURVEY FOR:
ADAMS AND HODGE ENGINEERING PA.
OF:
THE PROPERTY DESCRIBED IN DEED BOOK 6041 PAGE 987
JOHNSTON COUNTY REGISTRY
SMITHFIELD TOWNSHIP, JOHNSTON COUNTY, NORTH CAROLINA**



Note 'A'
This property is located in Zone 'X' (minimal flood risk) and is within a Special Flood Hazard Area.
FIRM # 3720260400K, 3720169400K
Effective Date: 06/20/2018

Note 'B'
This property is currently Zoned 'R-20A, R-10 and R-8'

Note 'C'
All distances are horizontal ground unless otherwise stated

Note 'D'
All areas computed by coordinate method

Note 'E'
The parcel(s) shown hereon are subject to any and all easements, rights of way and restrictions of record

Note 'F'
No evidence of landfill or wetlands was found at the time of survey. There exists a cemetery on the parcel, no deed reference found. Cemetery is contained inside chain link fence shown hereon.

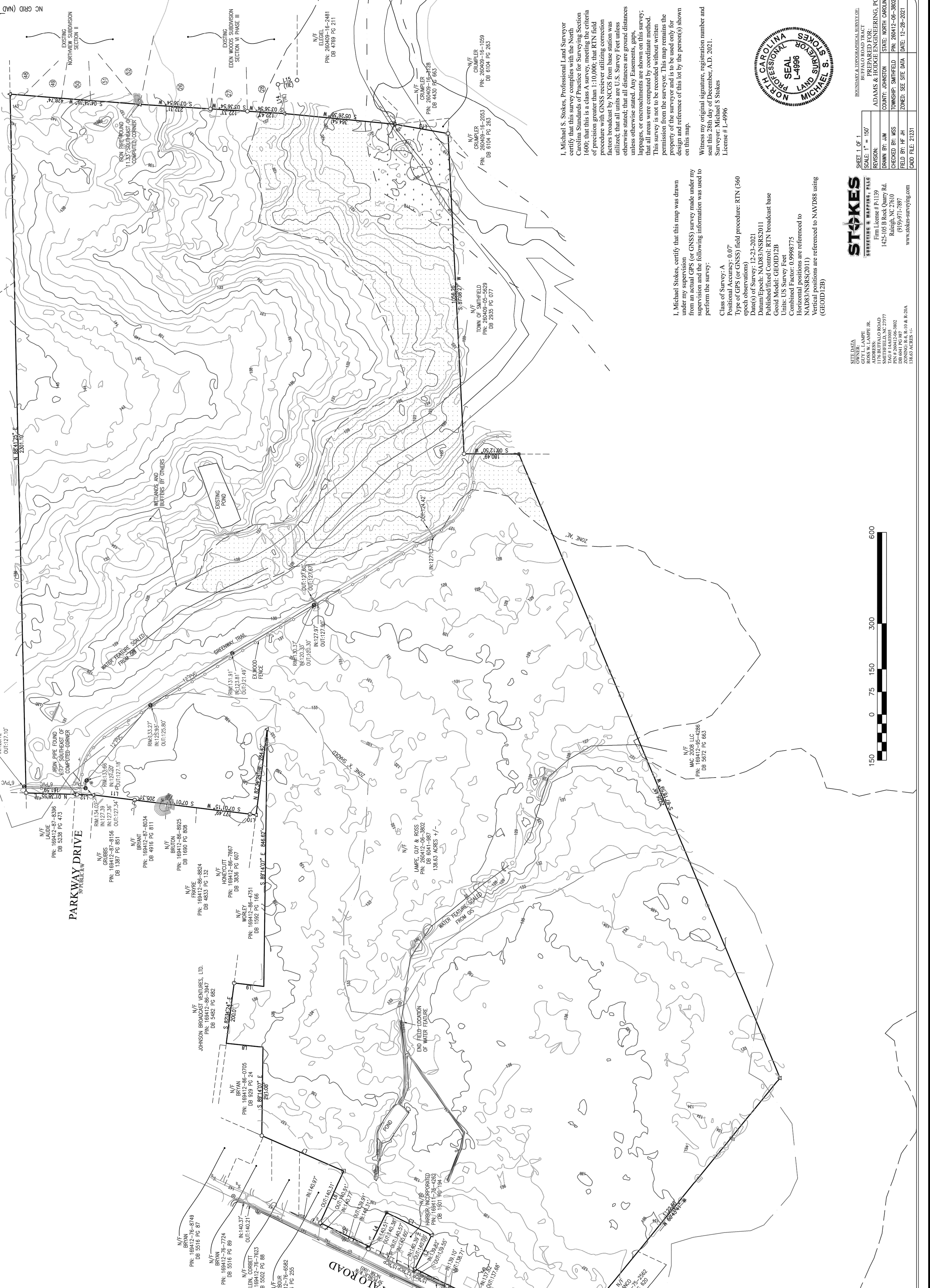
Note 'G'
Underground utilities were not considered on this survey

REFERENCES

PG 71 PG 3995	PG 17 PG 101	PG 44 PG 211	PG 66 PG 308	PG 6041 PG 987	DB 956 PG 255	DB 5502 PG 88	DB 5516 PG 89	DB 925 PG 24	DB 1502 PG 166	DB 3863 PG 607	DB 4833 PG 132	DB 1690 PG 808	DB 4916 PG 811	DB 1387 PG 851	DB 5238 PG 473	DB 1347 PG 522	DB 2489 PG 844	DB 5009 PG 278	DB 5434 PG 901	DB 4745 PG 300	DB 1812 PG 921	DB 4769 PG 211	DB 4430 PG 665	DB 2935 PG 255	DB 5672 PG 663	DB 1887 PG 620
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OTHER REFERENCES SHOWN HEREON

PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620	PG 1887 PG 620
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C1.00

STOKES
SURVEYING & MAPPING, P.A.
Firm License # P-1139
1425-105 B Rock Quarry Rd.
Raleigh, NC 27610
(919) 971-7897
www.stokes-surveying.com

BOUNDARY & TOPOGRAPHICAL SURVEY FOR:
BUFFALO ROAD TRACT
ADAMS & HODGE ENGINEERING, PC
COUNTY: JOHNSTON STATE: NORTH CAROLINA
TOWNSHIP: SMITHFIELD PIN: 260412-06-3802
ZONED: SEE SITE DATA DATE: 12-28-2021
JOB FILE: 21231

SHEET 1 OF 1
SCALE: 1" = 150'
DATE: 07/2023
DRAWN BY: JIM
CHECKED BY: JMS
FIELD BY: HF, JH
JOB NO.:
SHEET

I, Michael S. Stokes, Professional Land Surveyor certify that this survey complies with the North Carolina Code of Regulations for Professional Land Surveyors 1600C that this is a class A survey, meeting the criteria of precision greater than 1:10,000; that RTN field procedure with GNSS receiver utilizing correction factors broadcast by NCGS from base station was utilized; that all units are U.S. Survey Feet unless otherwise stated; that all distances are ground distances unless otherwise stated. Any Easements, gaps, lappages, or encroachments are shown on this survey; that all areas were computed by coordinate method. This map is not to be used for any purpose other than that intended by the surveyor and it is to be used only for design and reference of this lot by the person(s) shown on this map.

Witness my original signature, registration number and seal this 28th day of December, A.D. 2021.
Surveyor: Michael S Stokes
License # L-4996

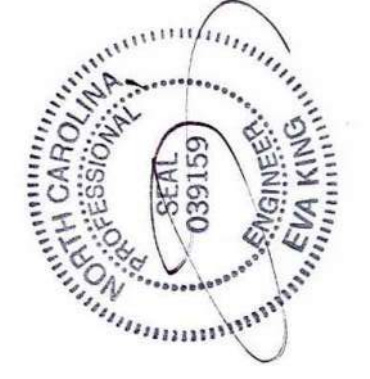
I, Michael Stokes, certify that this map was drawn under my supervision from an actual GPS (or GNSS) survey made under my supervision and the following information was used to perform the survey:
Class of Survey: A
Positional Accuracy: 0.07
Type of GPS (or GNSS) field procedure: RTN (360 epoch observations)
Date(s) of Survey: 12-23-2021
Datum/EPOCH: NAD83/NSRS2011
Published/Unpublished Control: RTN broadcast base station
GNSS Receiver: GEOD12B
Combined Factor: 0.9998775
Horizontal positions are referenced to NAD83/NSRS(2011)
Vertical positions are referenced to NAVD88 using (GEOID12B)

LEGEND

PROJECT BOUNDARY	EXISTING
ROW	MAJOR CONTOUR
MINOR CONTOUR	WATERLINE
HYDRANT	SEWER PIPE
MANHOLE	STORM PIPE
OVERHEAD POWERLINE	POWER POLE
WETLANDS	RIPARIAN BUFFERS
GREENWAY TRAIL	

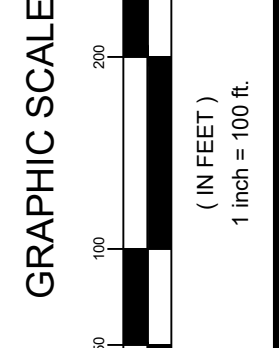
BENCHMARK INFO:

CENTER SSMH	N=646,083.50
E=2,197,338.21	
NAVD 83 (VERTICAL)	E=139.90
NAVD 83 (HORIZONTAL)	NAD 1983 (2011)



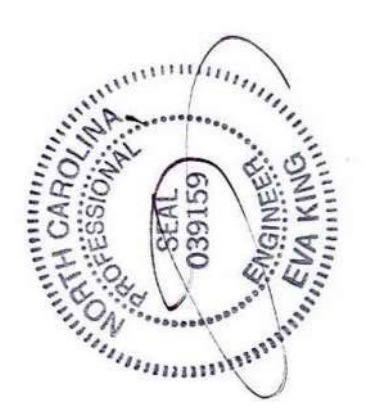
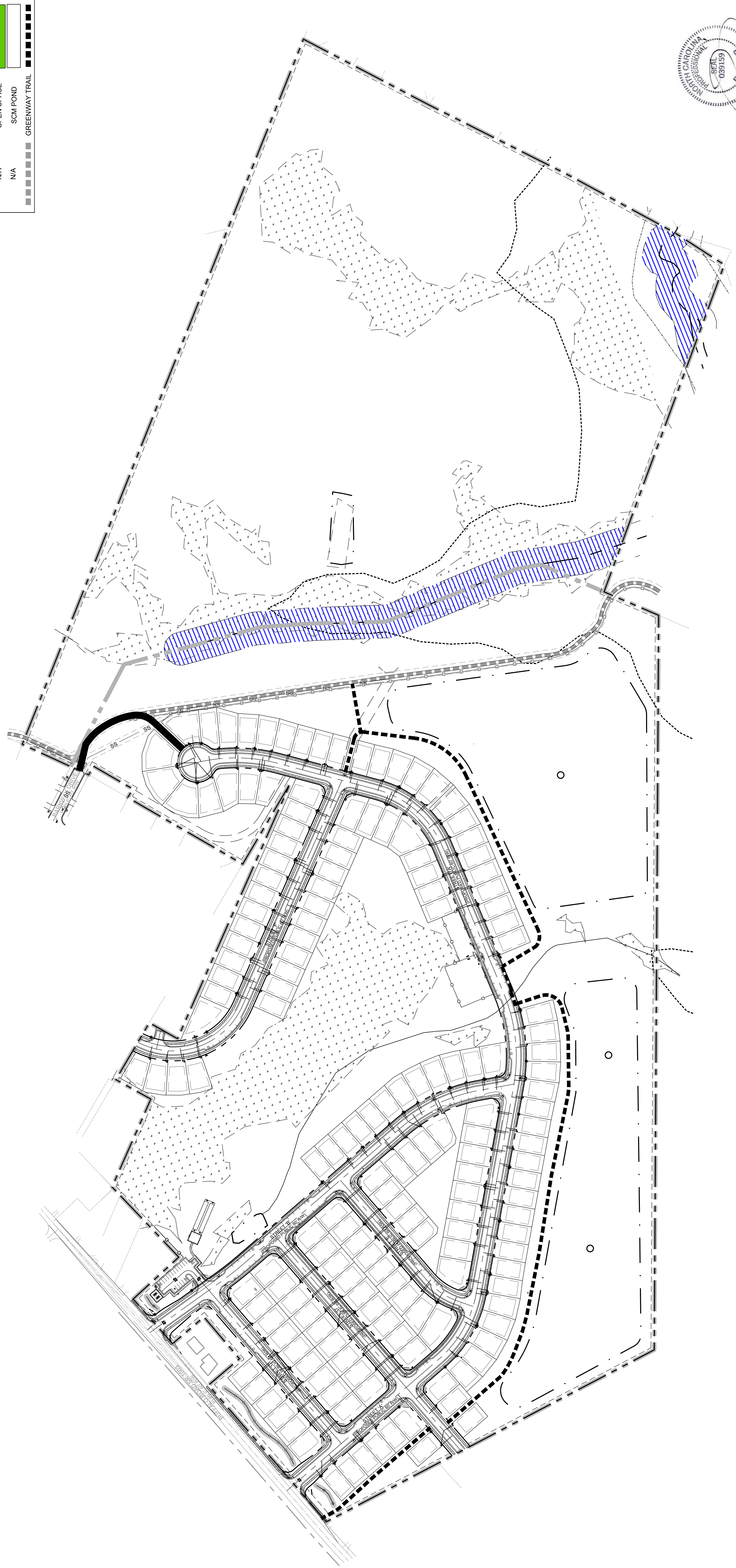
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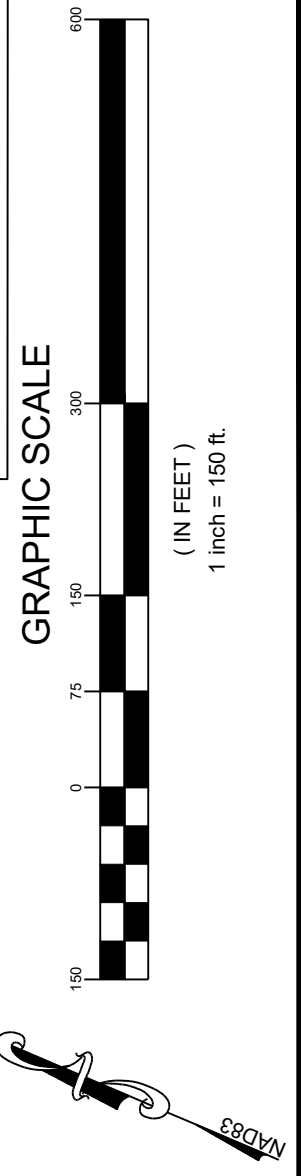
- SOURCES OF INFORMATION:**
- EXISTING SURVEY OF SITE & TOPO PROVIDED BY STOKES SURVEYING & MAPPING, PLLC, 1425-1058 ROCK QUARRY RD, RALEIGH, NC 27610, DATED 12/28/2021
 - PARCEL INFORMATION OUTSIDE OF SURVEYED BOUNDARY FROM JOHNSTON COUNTY GIS DATED 2023
 - PRELIMINARY WETLAND INFORMATION PROVIDED BY BROWN'S ENVIRONMENTAL GROUP, INC., 242 BATTEN FARM RD SELMA, NC 27576, DATED 6/23/2020

LEGEND	
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
HANDICAP PARKING	HANDICAP PARKING
HANDICAP RAMP	HANDICAP RAMP
ADA ACCESS AISLE	ADA ACCESS AISLE
16-UNIT MAIL KIOSK	16-UNIT MAIL KIOSK
PEDESTRIAN CROSSING	PEDESTRIAN CROSSING
CONCRETE WALK	CONCRETE WALK
WETLANDS	WETLANDS
RIPIARIAN BUFFERS	RIPIARIAN BUFFERS
OPEN SPACE	OPEN SPACE
SCM POND	SCM POND
N/A	N/A
GREENWAY TRAIL	GREENWAY TRAIL



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LEGEND

EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
HANDICAP PARKING	HANDICAP PARKING
HANDICAP RAMP	HANDICAP RAMP
ADA ACCESS AISLE	ADA ACCESS AISLE
16-JUNIT MAIL KIOSK	16-JUNIT MAIL KIOSK
PEDESTRIAN CROSSING	PEDESTRIAN CROSSING
CONCRETE WALK	CONCRETE WALK
WETLANDS	WETLANDS
RIPARIAN BUFFERS	RIPARIAN BUFFERS
OPEN SPACE	OPEN SPACE
SCM POND	SCM POND
GREENWAY TRAIL	GREENWAY TRAIL

BUFFALO ROAD SITE DATA CHART

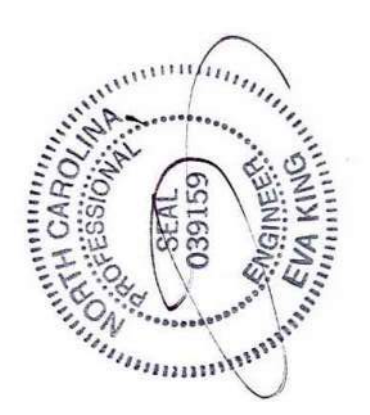
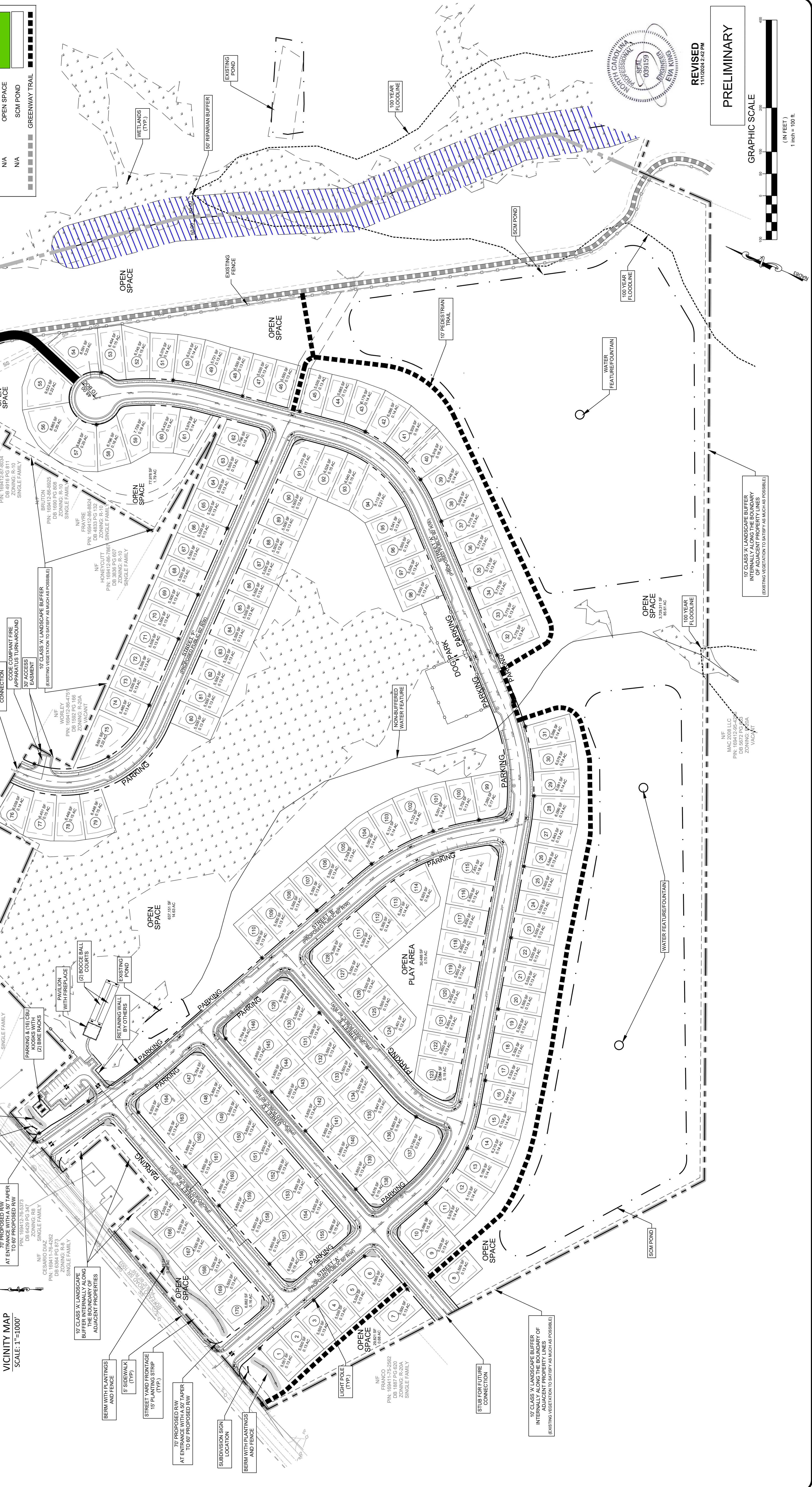
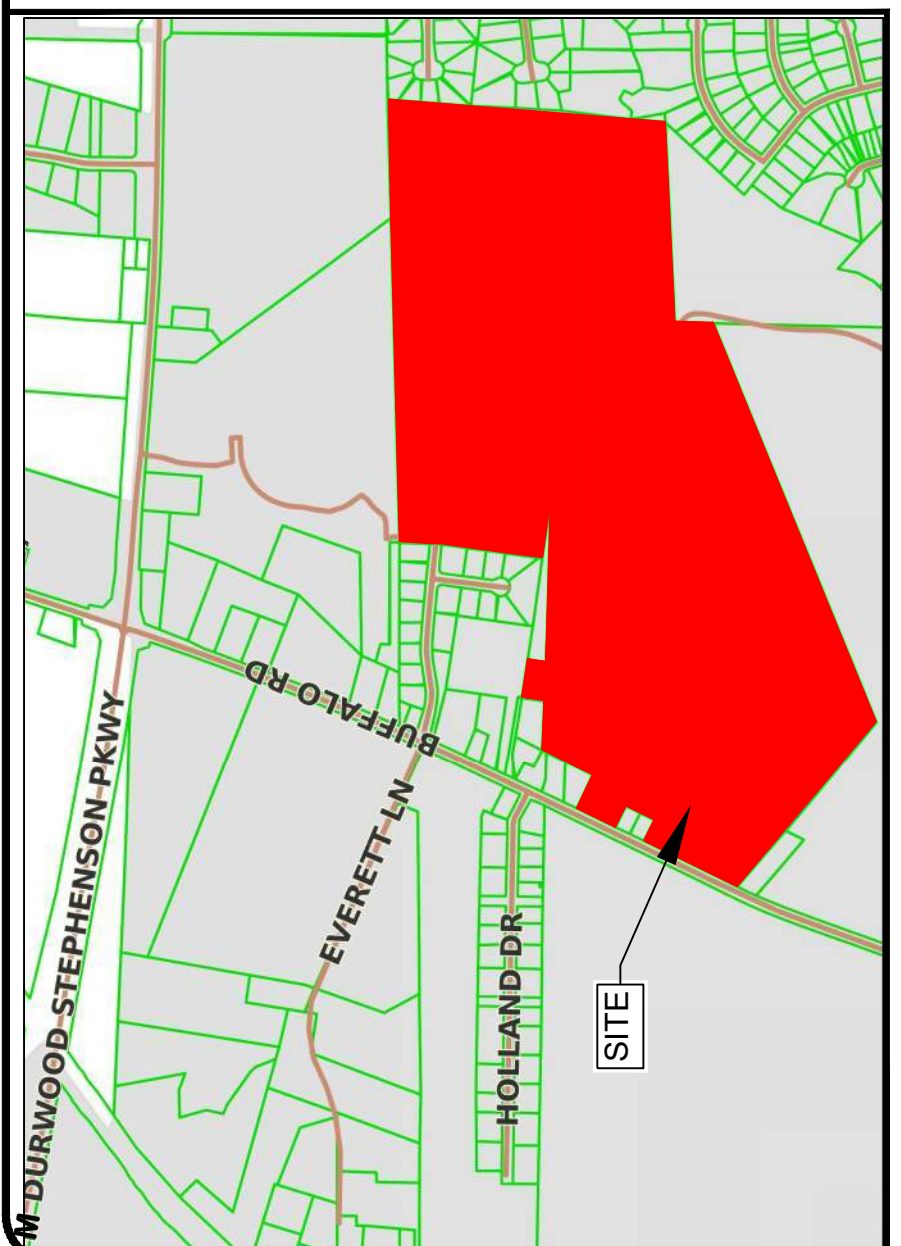
PANEL OWNER	GO & BOSS LAMPE
PARCEL OWNER ADDRESS	PO BOX 608, SMITHFIELD, NC 27577
PARCEL IDENTIFICATION	36012-06-302 / 1440306
PROPERTY SIZE (SF)	138,63 AC / 6,038,935 SF
PROPERTY LOCATION	TOWN OF SMITHFIELD
EXISTING ZONING	R-8 CZ
EXISTING USE	VACANT
PROPOSED USE	SINGLE FAMILY DWELLINGS
PROPOSED NUMBER OF SINGLE FAMILY LOTS	170 LOTS
PROPOSED GROSS DENSITY	170 UNITS / 138.63 ACS = 1.23 UNITS PER AC
PROPOSED IMPERVIOUS AREA (% OF TOTAL SITE)	MAXIMUM PROPOSED 4,237,239 SF / 7.9%
MAXIMUM PROPOSED 3,411,024 SF / 3.9%	
ACHIEVED IN BUFFERS/RECREATION/OPEN SPACE	4,534,410 SF / 103.64 AC
STREET UNIMPAVED / ACRES	7,641,170 SF / 17.43 AC
BUFFER AREA (% PERCENTAGE OF TOTAL SITE)	182,434 SF / 0.428 AC
R/W SF / ACRES	448,726 SF / 10.30 AC
ELECTRIC PROVIDER	TOWN OF SMITHFIELD
WATER PROVIDER	TOWN OF SMITHFIELD
SEWER PROVIDER	TOWN OF SMITHFIELD
FIRM MAP AND DATE	372060000 DATED 06/20/2018
FLOOD CLASSIFICATION	100-YEAR FLOOD PLAIN LOCATED ON SITE
WATERSHED PROTECTION OVERLAY	NO

OPEN SPACE TABLE

PROPOSED ACTIVE OPEN SPACE	89,298
PROPOSED PASSIVE OPEN SPACE	4,475,112
OPEN SPACE PROVIDED	4,514,410

PARKING CALCULATIONS:

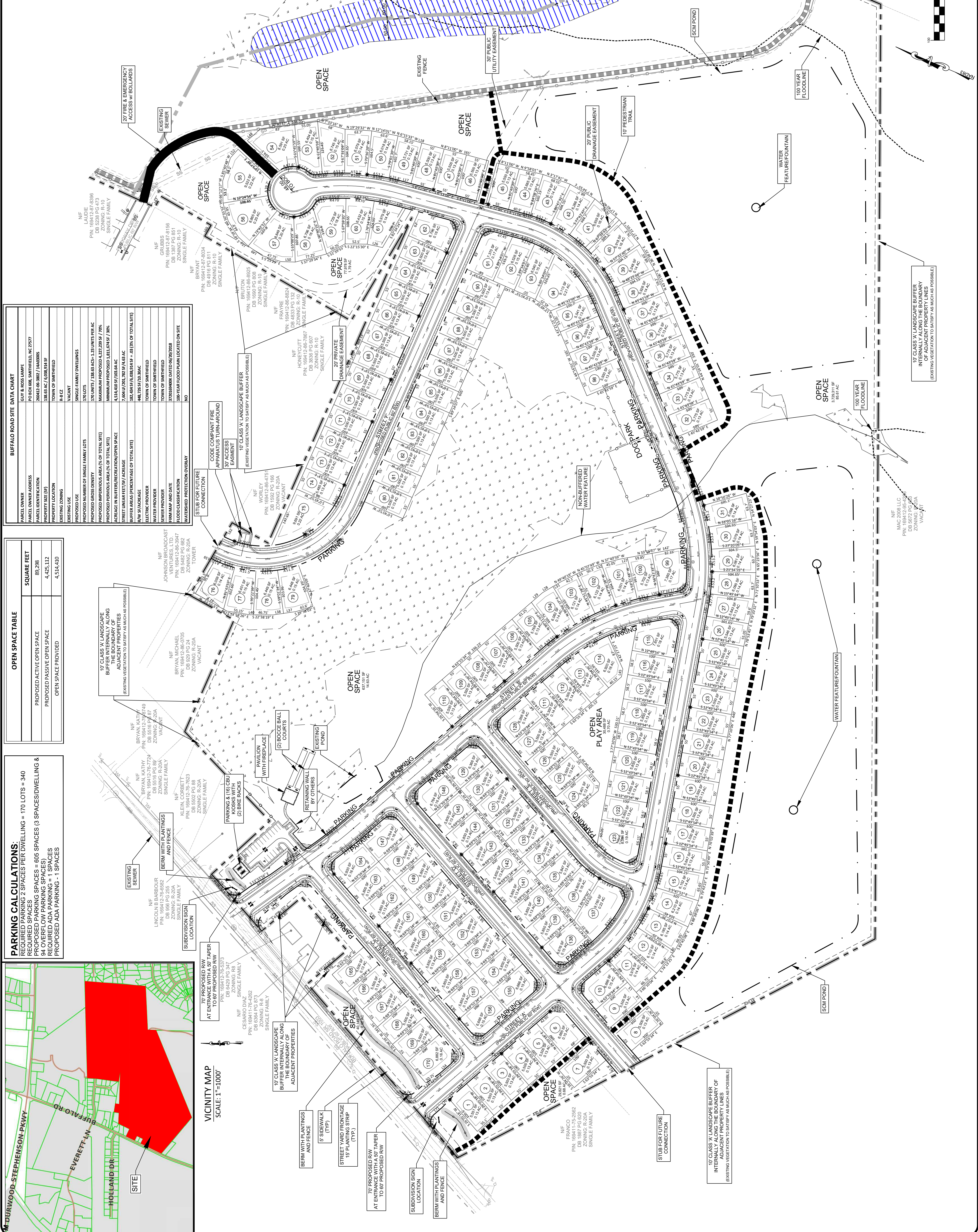
- REQUIRED PARKING 2 SPACES PER DWELLING = 170 LOTS = 340
- PROPOSED PARKING SPACES = 604 SPACES (3 SPACES/DWELLING & 94 OVERFLOW PARKING SPACES)
- REQUIRED ADA PARKING = 1 SPACES
- PROPOSED ADA PARKING - 1 SPACES



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GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

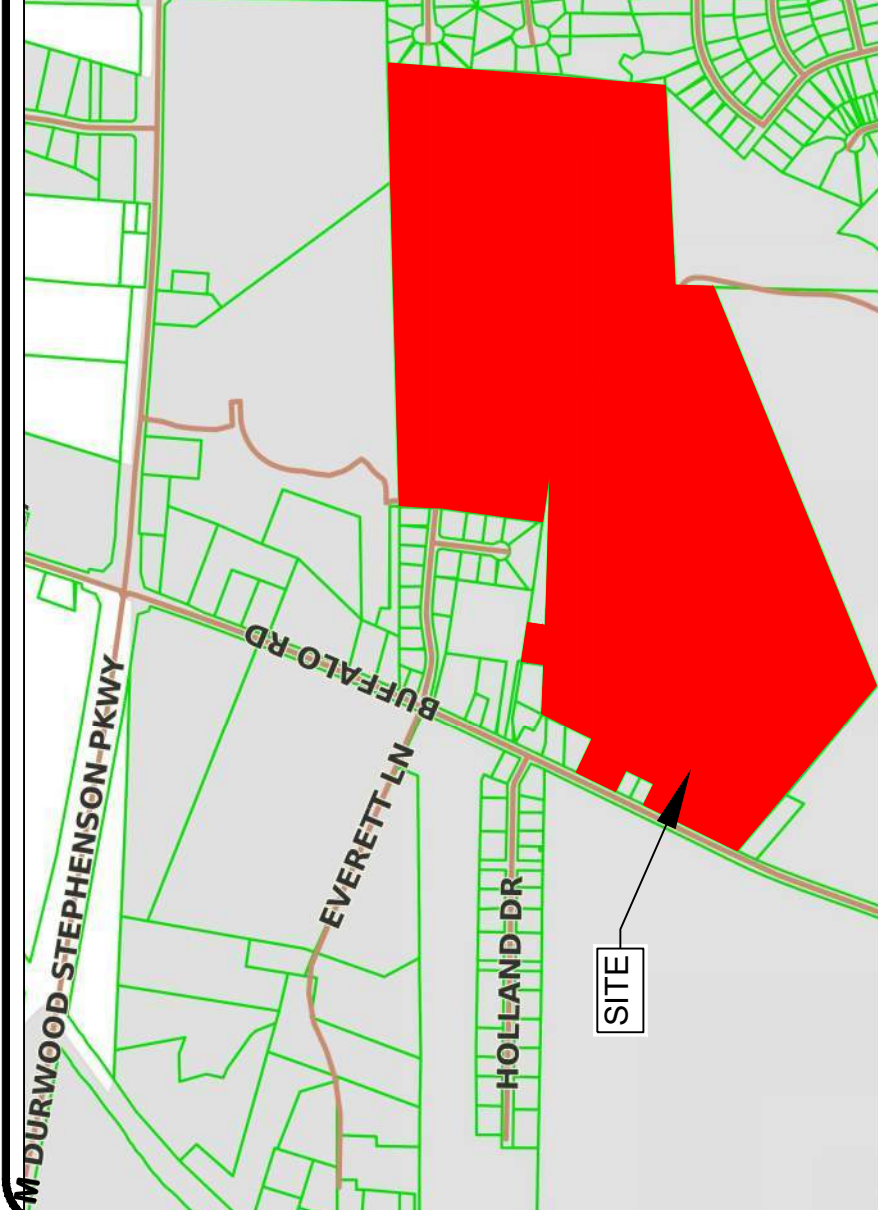
LEGEND	
EXISTING	PROJECT BOUNDARY
ROW	EASEMENTS
N/A	LOT LINE
N/A	HANDICAP PARKING
N/A	HANDICAP RAMP
N/A	ADA ACCESS AISLE
N/A	16-JUNIT MAIL KIOSK
N/A	PEDESTRIAN CROSSING
N/A	CONCRETE WALK
N/A	WETLANDS
N/A	RIPARIAN BUFFERS
N/A	OPEN SPACE
N/A	SCM POND
N/A	GREENWAY TRAIL



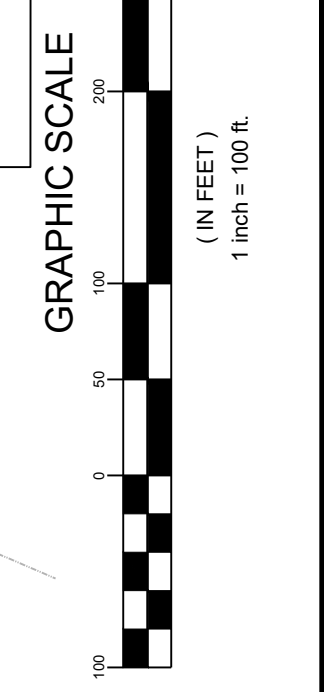
BUFFALO ROAD SITE DATA CHART	
PARCEL OWNER	GUY & ROSS LAMPE
PARCEL OWNER ADDRESS	PO BOX 606, SMITHFIELD, NC 27577
PARCEL IDENTIFICATION	26012-06-3002 / 1402905
PROPERTY SIZE (SF)	138.63 AC / 5,958,744 SF
PROPERTY LOCATION	TOWN OF SMITHFIELD
EXISTING ZONING	R-8-CZ
EXISTING USE	VACANT
PROPOSED USE	SINGLE-FAMILY DWELLINGS
PROPOSED NUMBER OF SINGLE-FAMILY LOTS	170 LOTS
PROPOSED GROSS DENSITY	170 UNITS / 138.63 AC = 1.23 UNITS PER AC
PROPOSED IMPERVIOUS AREA (% OF TOTAL SITE)	MINIMUM PROPOSED 4,277,239 SF / 70%
PROPOSED PERVIOUS AREA (% OF TOTAL SITE)	MINIMUM PROPOSED 1,681,505 SF / 30%
ACREAGE IN BUFFER/CREATION/OPEN SPACE	4.514 AC SF / 195,644 AC
STREET UNPAVED/AGE	7,601 LF / 201,762 SF / 6.8 AC
BUFFER AREAS (PERCENTAGE OF TOTAL SITE)	142.4345 SF / 6,089,945 SF = .018% (BK OF TOTAL SITE)
WATER PROVIDER	TOWN OF SMITHFIELD
ELECTRIC PROVIDER	TOWN OF SMITHFIELD
SEWER PROVIDER	TOWN OF SMITHFIELD
FIRM MAP AND DATE	3701300000 DATED 06/20/2018
FLOOD CLASSIFICATION	NO
100-YEAR FLOOD PLAIN LOCATED ON SITE	NO
WATERSED PROTECTION OVERLAY	NO
STUB FOR FUTURE CONNECTION	NO
CODE COMPLIANT FIRE APPARATUS TURN-AROUND EASEMENT	NO
10' CLASS 'X' LANDSCAPE BUFFER EXISTING VEGETATION TO SATISFY AS MUCH AS POSSIBLE	NO

OPEN SPACE TABLE	
PROPOSED ACTIVE OPEN SPACE	89,298
PROPOSED PASSIVE OPEN SPACE	4,425,112
OPEN SPACE PROVIDED	4,514,410

PARKING CALCULATIONS:	
REQUIRED PARKING 2 SPACES PER DWELLING = 170 LOTS = 340	
REQUIRED SPACES	89,298
94 OVERFLOW PARKING SPACES	4,425,112
REQUIRED ADA PARKING = 1 SPACES	
PROPOSED ADA PARKING - 1 SPACES	



PRELIMINARY
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 PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 039159
 JAS/amy/BIA



10' CLASS 'X' LANDSCAPE BUFFER INTERNALLY ALONG THE BOUNDARY OF ADJACENT PROPERTY LINES (EXISTING VEGETATION TO SATISFY AS MUCH AS POSSIBLE)

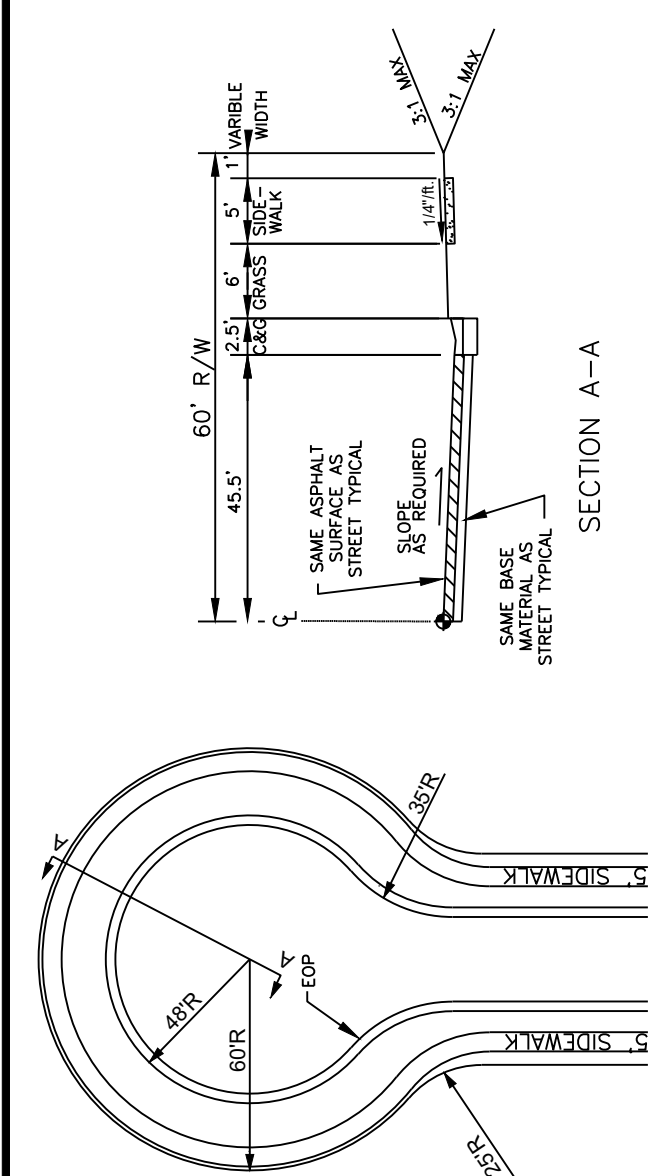
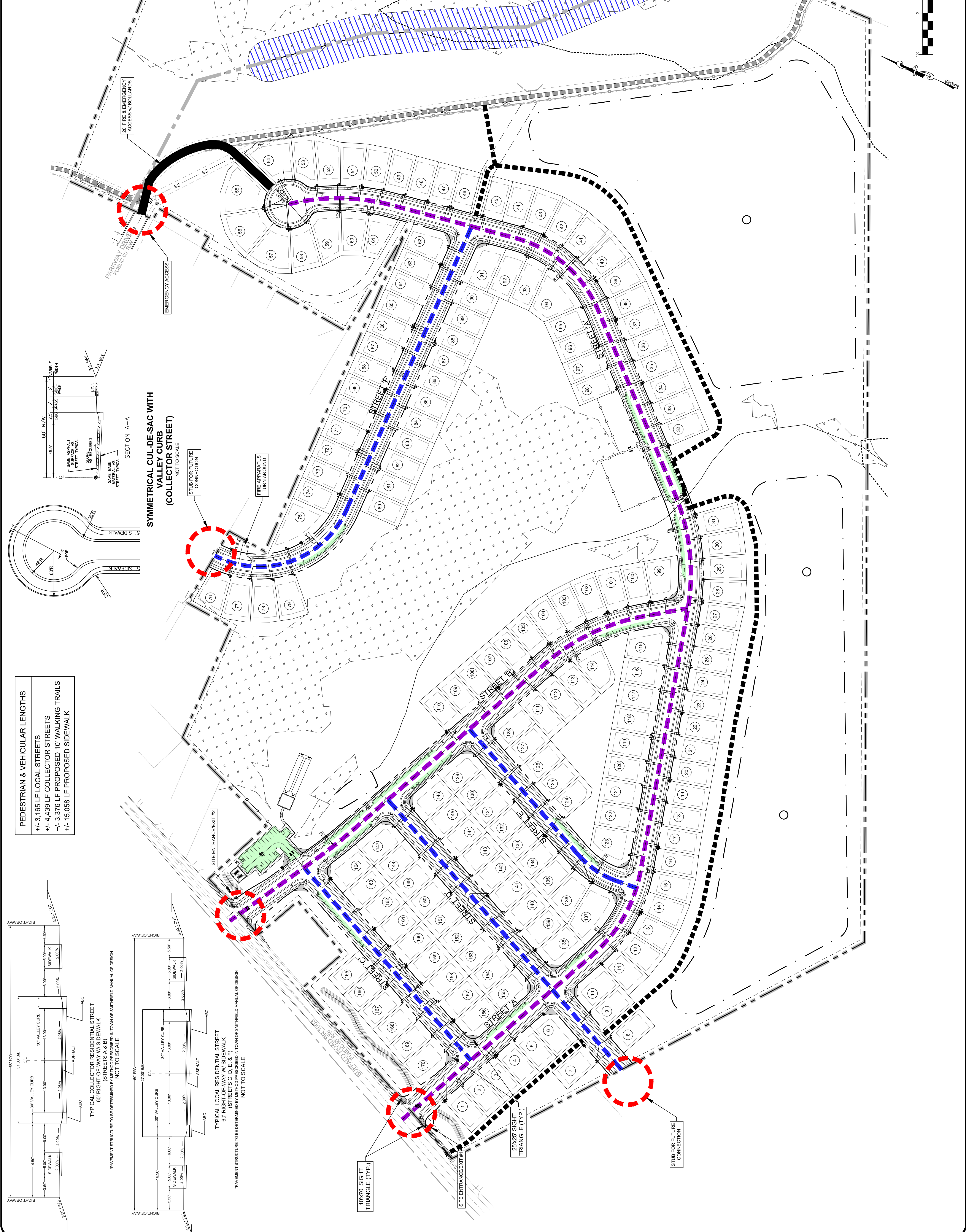
10' CLASS 'X' LANDSCAPE BUFFER INTERNALLY ALONG THE BOUNDARY OF ADJACENT PROPERTY LINES (EXISTING VEGETATION TO SATISFY AS MUCH AS POSSIBLE)

10' CLASS 'X' LANDSCAPE BUFFER INTERNALLY ALONG THE BOUNDARY OF ADJACENT PROPERTIES

10' CLASS 'X' LANDSCAPE BUFFER INTERNALLY ALONG THE BOUNDARY OF ADJACENT PROPERTIES (EXISTING VEGETATION TO SATISFY AS MUCH AS POSSIBLE)

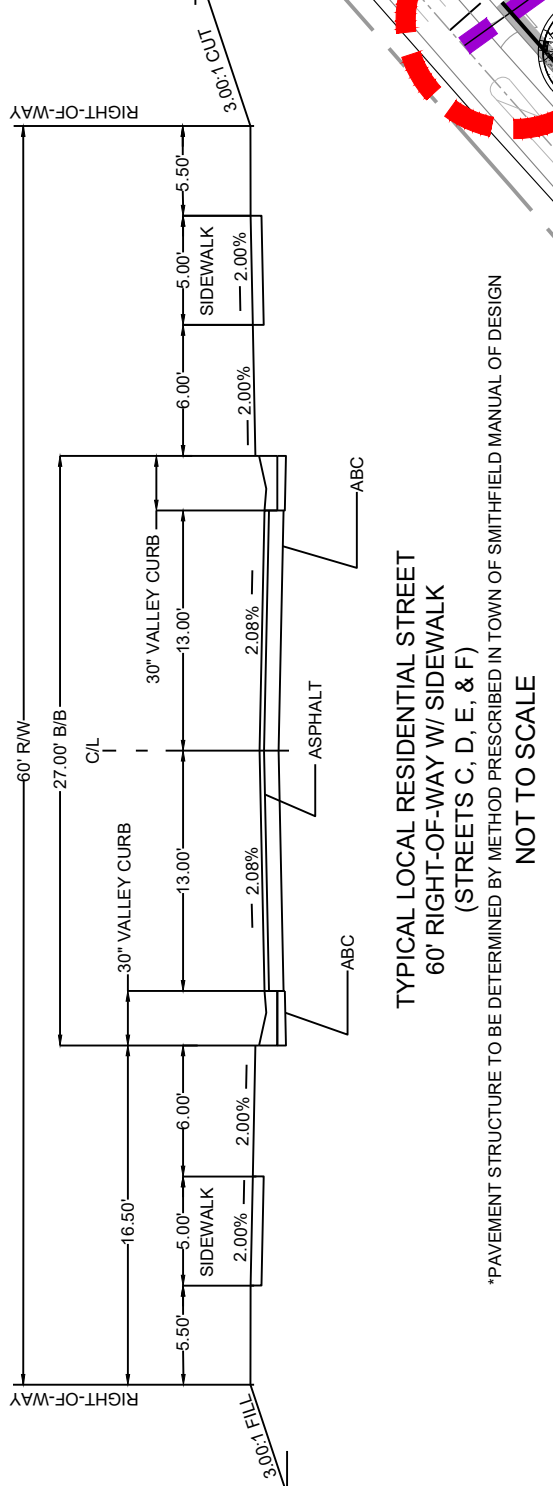
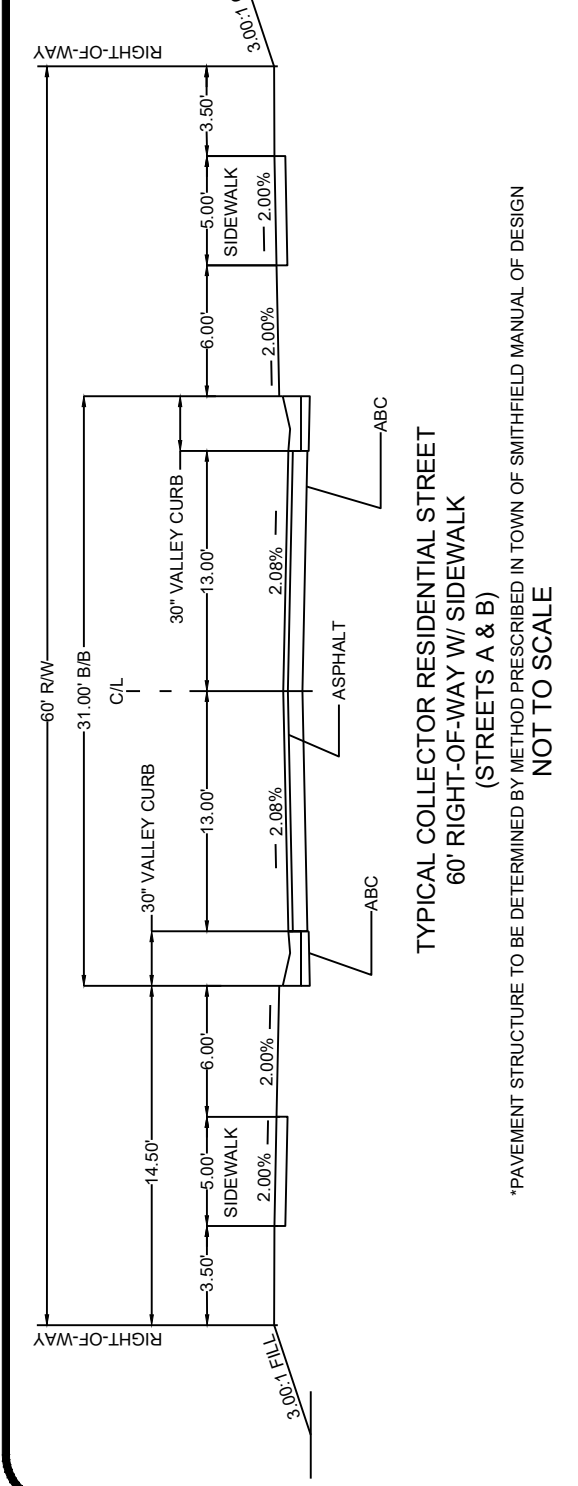
LEGEND

- PARKING AREAS
- LOCAL STREETS
- COLLECTOR STREETS
- PROPOSED 10' WALKING TRAILS
- EXISTING 10' GREENWAY/TRAIL



PEDESTRIAN & VEHICULAR LENGTHS

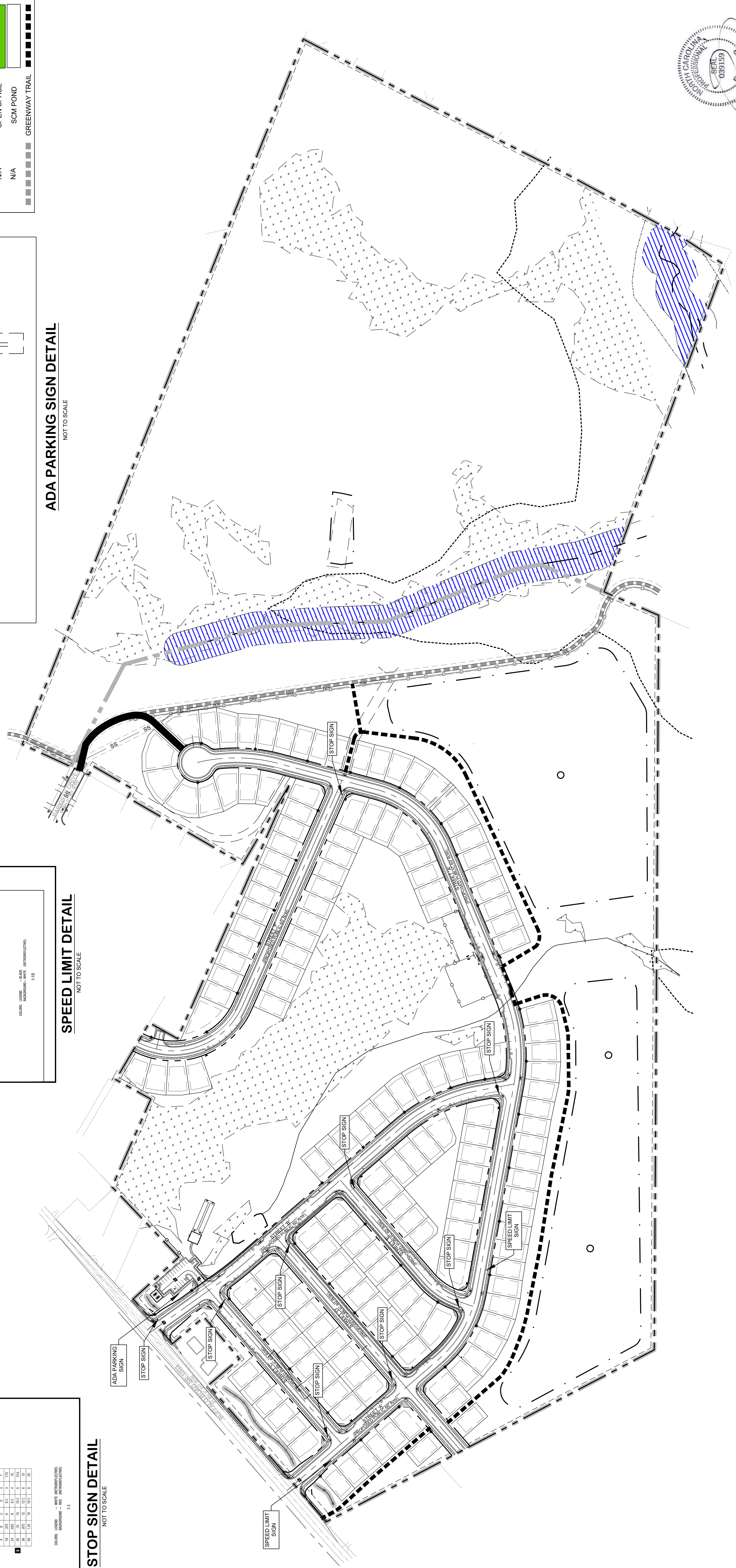
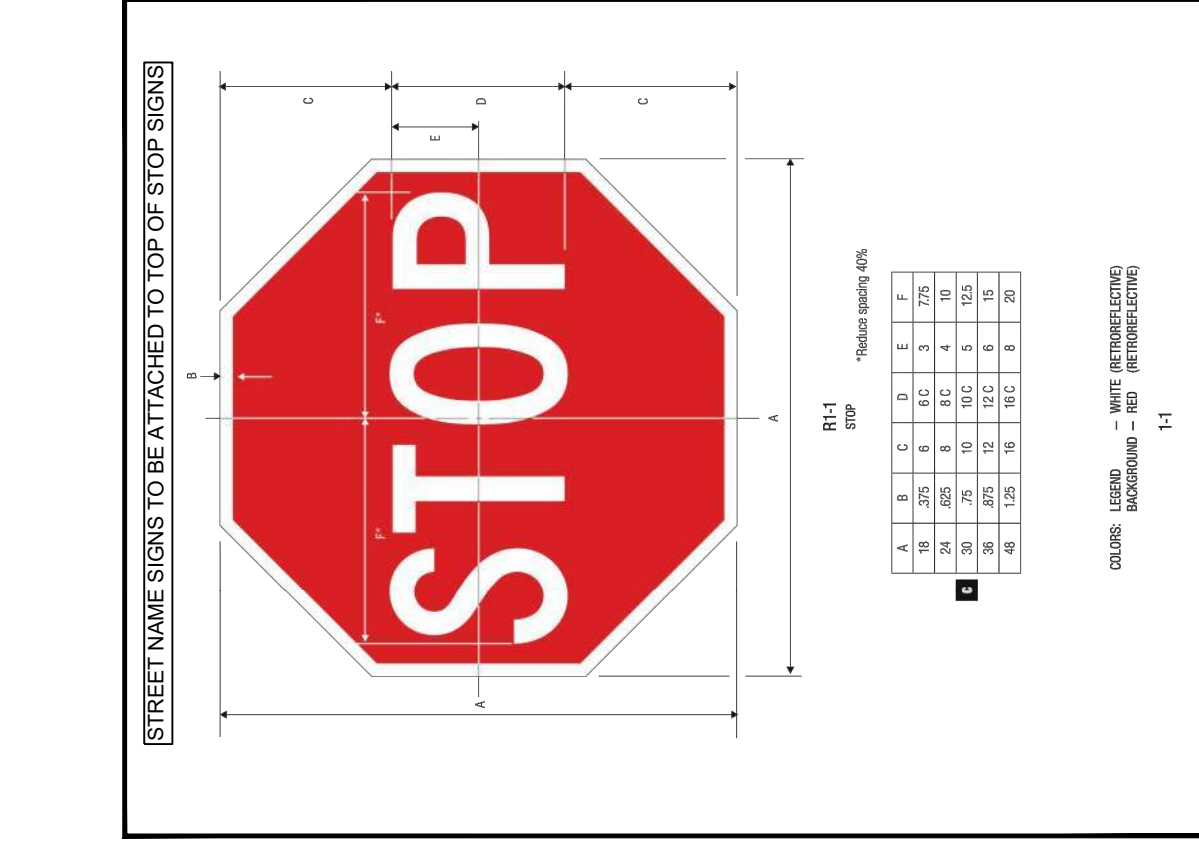
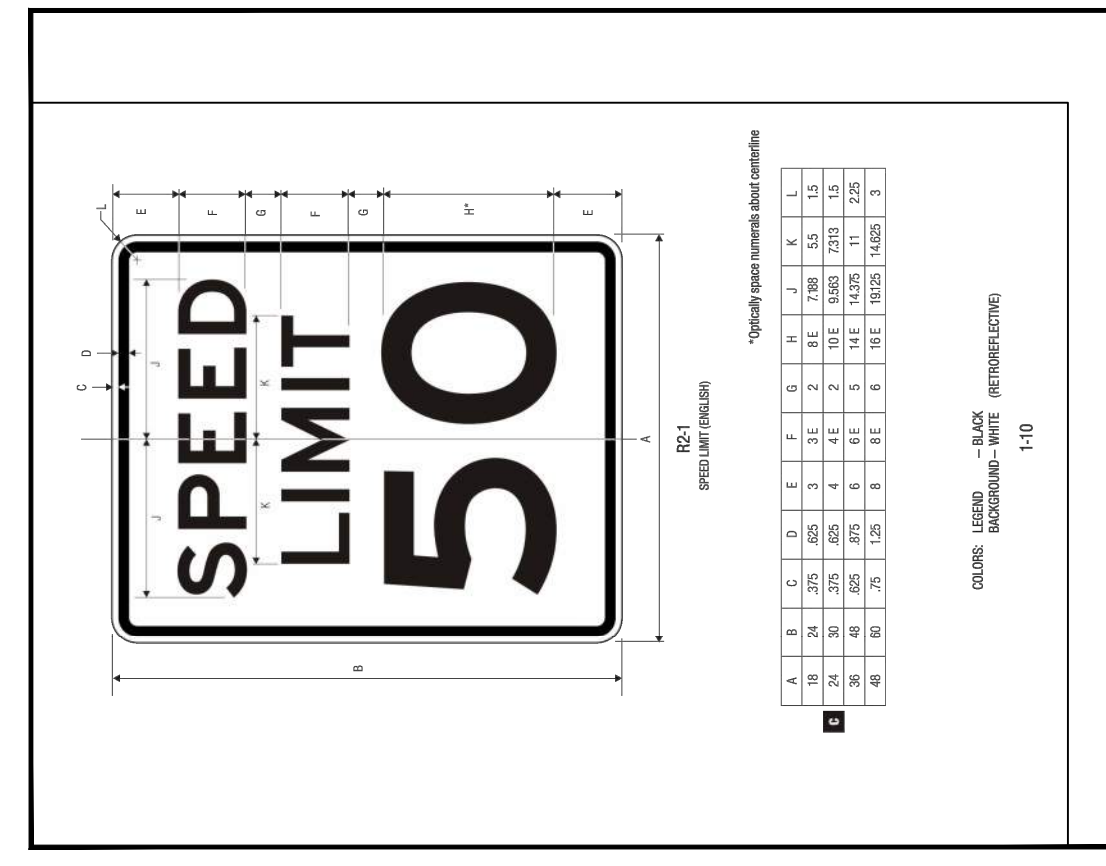
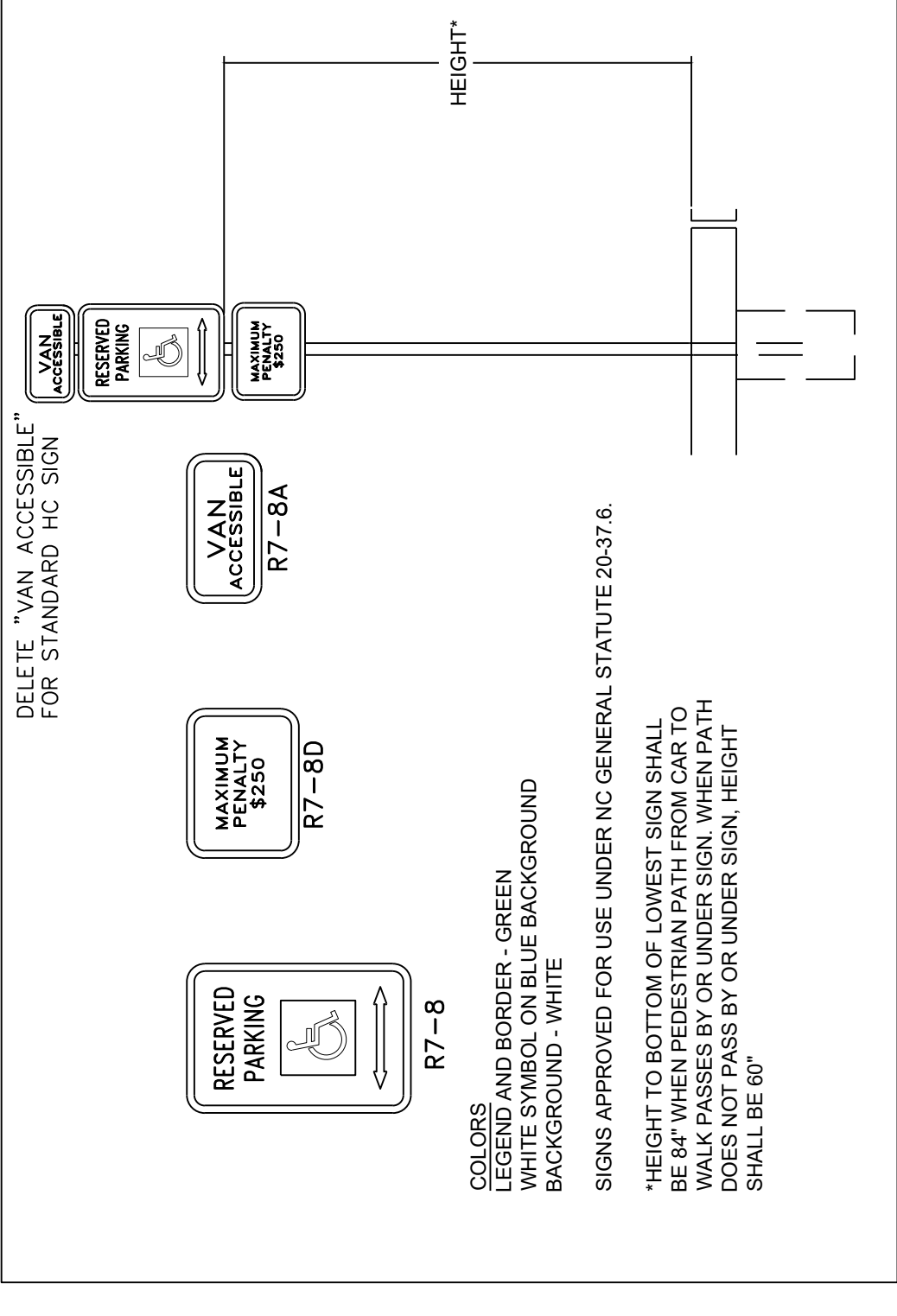
- +/- 3,165 LF LOCAL STREETS
- +/- 4,439 LF COLLECTOR STREETS
- +/- 3,376 LF PROPOSED 10' WALKING TRAILS
- +/- 15,058 LF PROPOSED SIDEWALK



PRELIMINARY
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 GRAPHIC SCALE (IN FEET)
 1 inch = 100 ft.

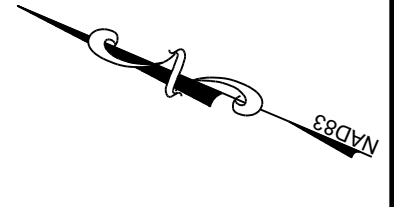
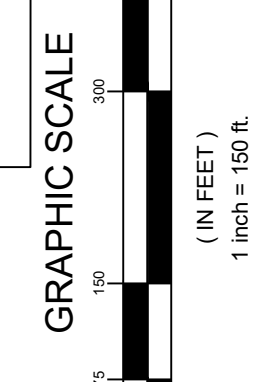
LEGEND

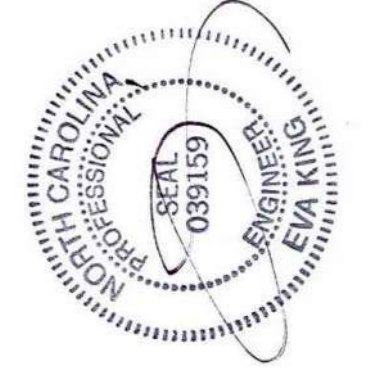
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
HANDICAP PARKING	HANDICAP PARKING
HANDICAP RAMP	HANDICAP RAMP
ADA ACCESS AISLE	ADA ACCESS AISLE
16-JUNIT MAIL KIOSK	16-JUNIT MAIL KIOSK
PEDESTRIAN CROSSING	PEDESTRIAN CROSSING
CONCRETE WALK	CONCRETE WALK
WETLANDS	WETLANDS
RIPIARIAN BUFFERS	RIPIARIAN BUFFERS
OPEN SPACE	OPEN SPACE
SCM POND	SCM POND
N/A	N/A
GREENWAY TRAIL	GREENWAY TRAIL



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PRELIMINARY





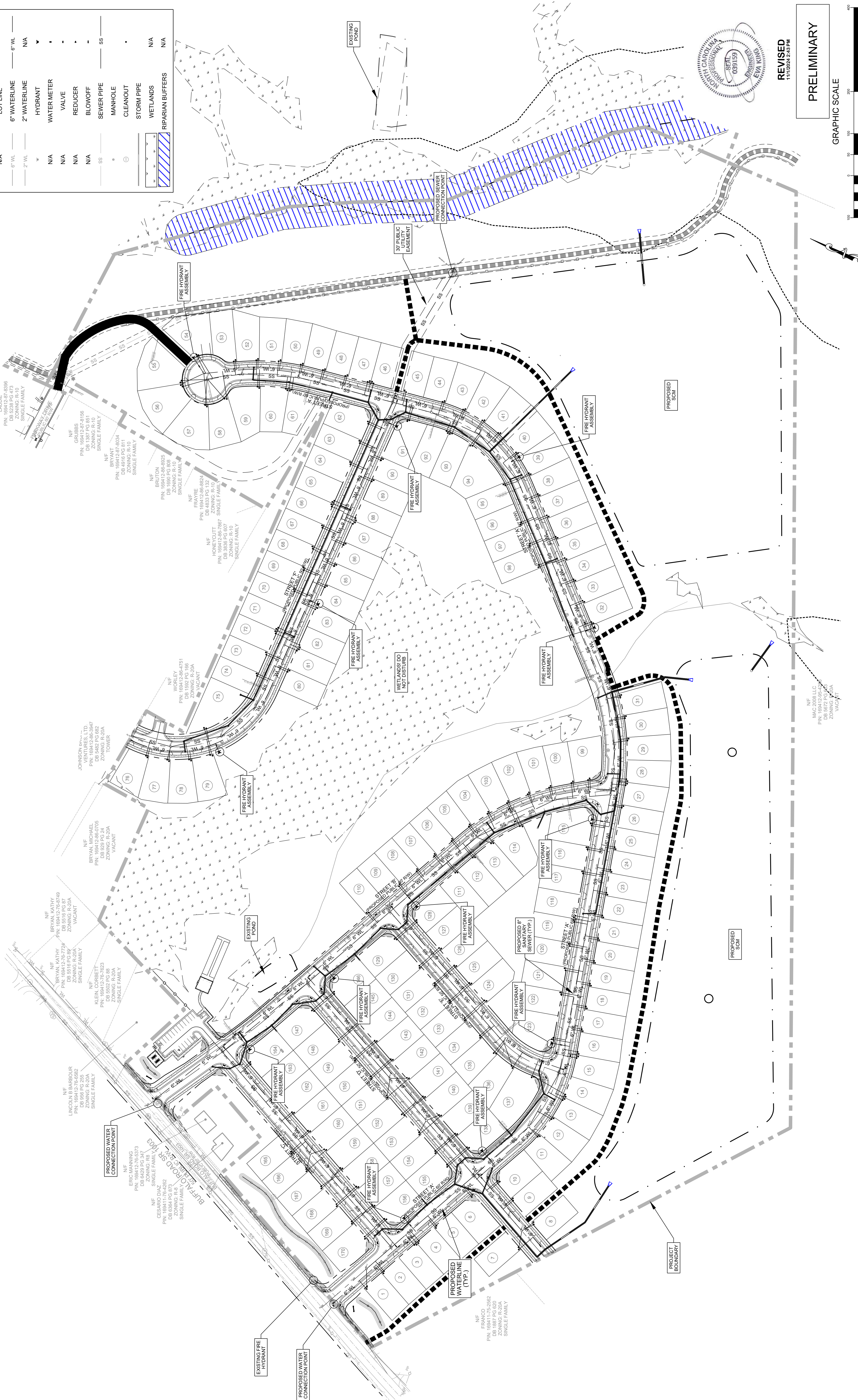
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PRELIMINARY

GRAPHIC SCALE

(IN FEET) 1 inch = 100 ft.

LEGEND	
EXISTING	PROPOSED
--- PROJECT BOUNDARY	--- PROJECT BOUNDARY
--- ROW	--- ROW
--- EASEMENTS	--- EASEMENTS
N/A LOT LINE	N/A LOT LINE
6" WL 2" WATERLINE	6" WL 2" WATERLINE
N/A HYDRANT	N/A HYDRANT
N/A WATER METER	N/A WATER METER
N/A VALVE	N/A VALVE
N/A REDUCER	N/A REDUCER
N/A BLOWOFF	N/A BLOWOFF
N/A SEWER PIPE	N/A SEWER PIPE
SS MANHOLE	SS MANHOLE
○ CLEANOUT	○ CLEANOUT
○ STORM PIPE	○ STORM PIPE
○ WETLANDS	○ WETLANDS
○ RIPARIAN BUFFERS	○ RIPARIAN BUFFERS



NF LAUDIE
PIN: 189412-87-8396
DB: 5038 PG 473
ZONING: R-10
SINGLE FAMILY

NF GRUBBS
PIN: 189412-87-8396
DB: 1337 PG 831
ZONING: R-10
SINGLE FAMILY

NF BRITTON
PIN: 189412-86-8025
DB: 1337 PG 831
ZONING: R-10
SINGLE FAMILY

NF BRAYNE
PIN: 189412-86-8024
DB: 1337 PG 807
ZONING: R-10
SINGLE FAMILY

NF HONEYCUTT
PIN: 189412-86-7887
DB: 3338 PG 607
ZONING: R-10
SINGLE FAMILY

NF VALLEY
PIN: 189412-86-4751
DB: 1502 PG 166
ZONING: R-20A
VACANT

JOHNSON VENTURES, LTD.
PIN: 189412-86-3947
DB: 5038 PG 473
ZONING: R-20A
TOWER

NF BRYAN, MICHAEL
PIN: 189412-86-3947
DB: 5038 PG 473
ZONING: R-20A
VACANT

NF BRYAN, KATHY
PIN: 189412-86-3947
DB: 5038 PG 473
ZONING: R-20A
VACANT

NF KLEIN, BRIGITTE
PIN: 189412-76-7923
DB: 5038 PG 473
ZONING: R-20A
SINGLE FAMILY

NF LINCOLN B BARBOUR
PIN: 189412-76-6892
DB: 5038 PG 473
ZONING: R-20A
SINGLE FAMILY

NF ERIC MANNING
PIN: 189412-76-6892
DB: 5038 PG 473
ZONING: R-8
SINGLE FAMILY

NF CESARIO DIAZ
PIN: 189412-76-4262
DB: 6364 PG 87
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SINGLE FAMILY

NF FINECO
PIN: 189411-72-2982
DB: 1887 PG 620
ZONING: R-20A
SINGLE FAMILY

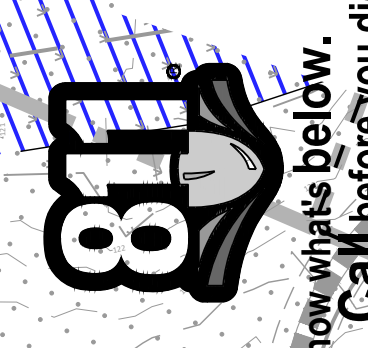
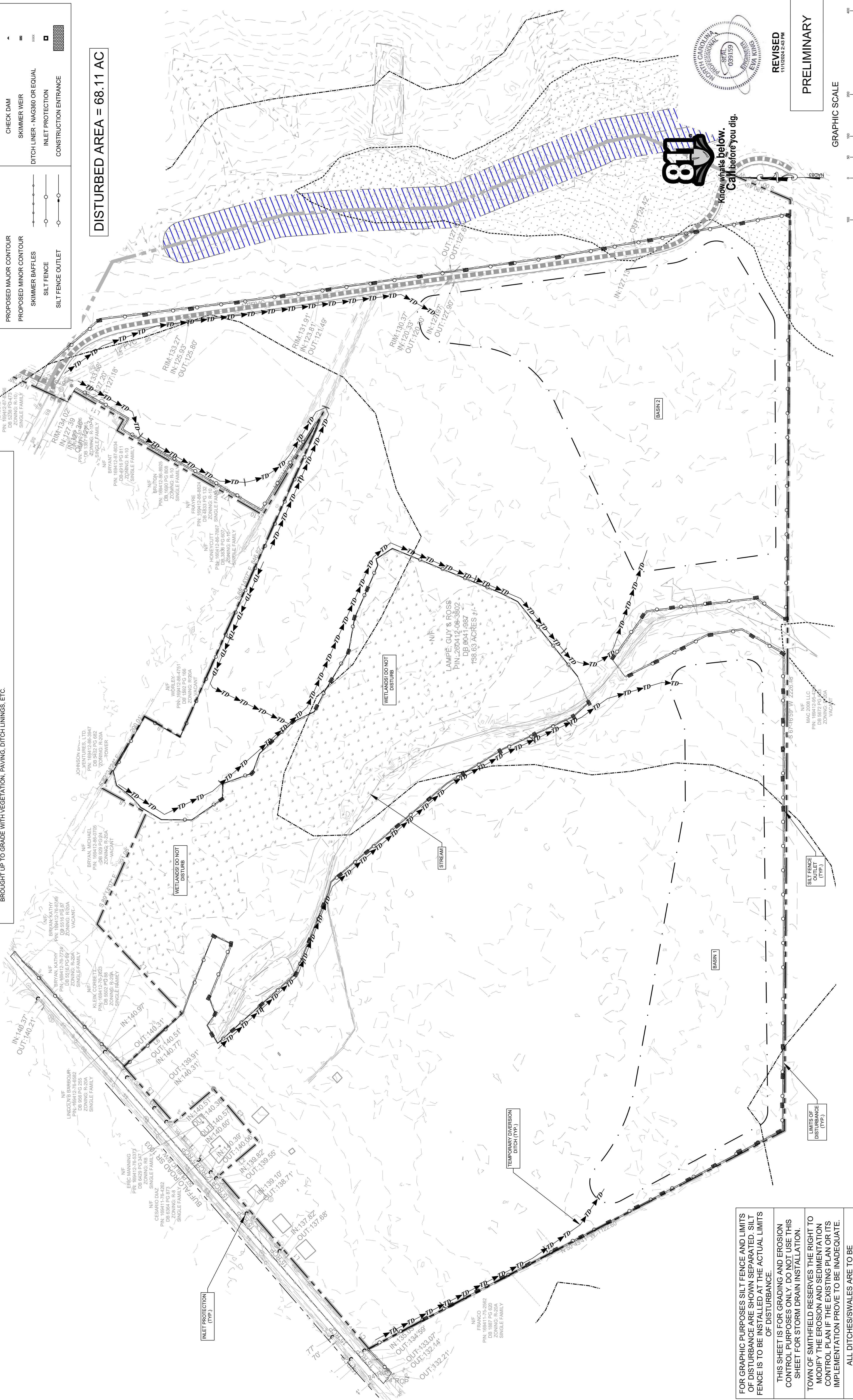
NF MACCALLIC
PIN: 189412-86-4751
DB: 5038 PG 473
ZONING: R-20A
VACANT

LEGEND

PROJECT BOUNDARY	PERMANENT DIVERSION DITCH	PP	TD
LIMITS OF DISTURBANCE	TEMPORARY DIVERSION DITCH	TD	TD
EXISTING MAJOR CONTOUR	ARC INLET PROTECTION		
EXISTING MINOR CONTOUR	WATTLE		
PROPOSED MAJOR CONTOUR	CHECK DAM		
PROPOSED MINOR CONTOUR	SKIMMER WEIR		
SKIMMER BAFFLES	DITCH LINER - MAG360 OR EQUAL		
SILT FENCE	INLET PROTECTION		
SILT FENCE OUTLET	CONSTRUCTION ENTRANCE		

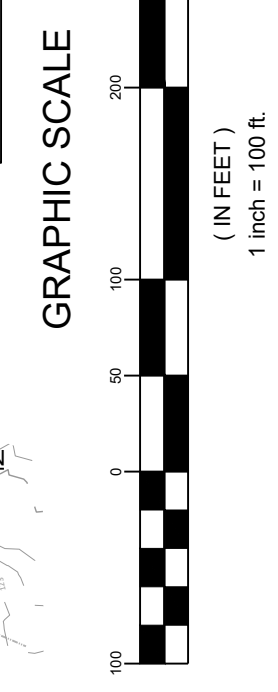
DISTURBED AREA = 68.11 AC

- PRELIMINARY EROSION CONTROL SEQUENCE OF CONSTRUCTION**
- BEGIN EROSION CONTROL**
1. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT STATION.
 2. INSTALL ALL SILT FENCING AND WIRE & WASHED STONE OUTLETS IN SILT FENCE AS SHOWN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
 3. BUILD SKIMMER BASINS AS SHOWN TO BE USED DURING CONSTRUCTION.
 4. EROSION CONTROL MEASURES SHOWN ON PLANS ARE MINIMUM AND MIGHT NOT BE SUFFICIENT TO CONTROL EROSION AND SEDIMENTATION. CONTRACTOR TO INSTALL ADDITIONAL MEASURES AS GRADING CONDITIONS CHANGE TO ROUTE STORMWATER TOWARDS BASINS AND INLETS.
 5. GROUND COVER MUST BE APPLIED TO DISTURBED AREAS ACCORDING TO THE "GROUND STABILIZATION" TABLE. STABILIZE SITE AS AREAS ARE BROUGHT UP TO GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC.



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PRELIMINARY



FOR GRAPHIC PURPOSES SILT FENCE AND EROSION CONTROL PURPOSES ONLY. DO NOT USE THIS SHEET FOR STORM DRAIN INSTALLATION.

TOWN OF SMITHFIELD RESERVES THE RIGHT TO MODIFY THE EROSION AND SEDIMENTATION CONTROL PLAN IF THE EXISTING PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

ALL DITCHES/SWALES ARE TO BE IMMEDIATELY LINED USING NAG S150 OR SOD UNLESS OTHERWISE SPECIFIED.

BUFFALO RD SUBDIVISION

PRELIMINARY GRADING & DRAINAGE PLAN

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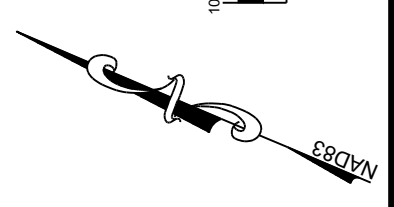
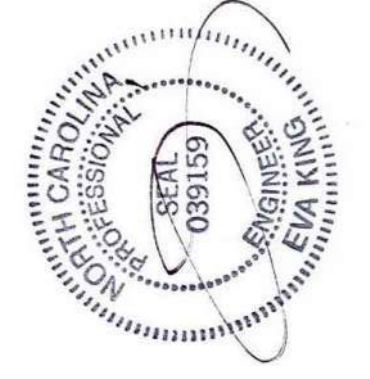
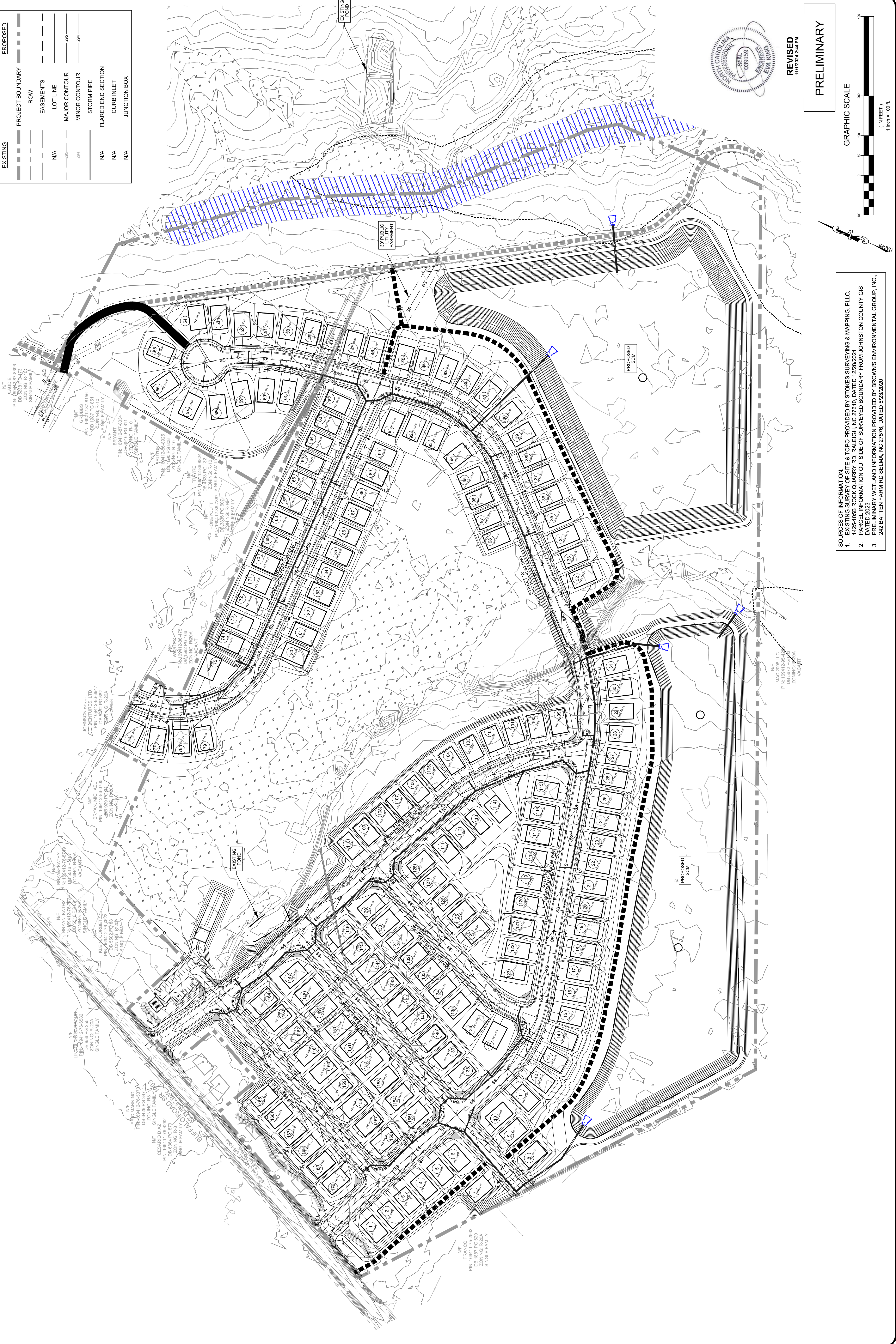
PRELIMINARY

GRAPHIC SCALE
(IN FEET)
1 inch = 100 ft

SOURCES OF INFORMATION:

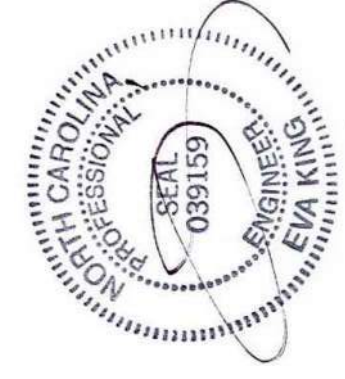
- EXISTING SURVEY OF SITE & TOPO PROVIDED BY STOKES SURVEYING & MAPPING, PLLC, 1425-1055 ROCK QUARRY RD, RALEIGH, NC 27610, DATED 12/28/2021
- PARCEL INFORMATION OUTSIDE OF SURVEYED BOUNDARY FROM JOHNSTON COUNTY GIS DATED 2023
- PRELIMINARY WETLAND INFORMATION PROVIDED BY BROWN'S ENVIRONMENTAL GROUP, INC., 242 BATTEN FARM RD SELMA, NC 27576, DATED 02/23/2020

LEGEND	
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR
STORM PIPE	STORM PIPE
FLARED END SECTION	FLARED END SECTION
CURB INLET	CURB INLET
JUNCTION BOX	JUNCTION BOX



PRELIMINARY

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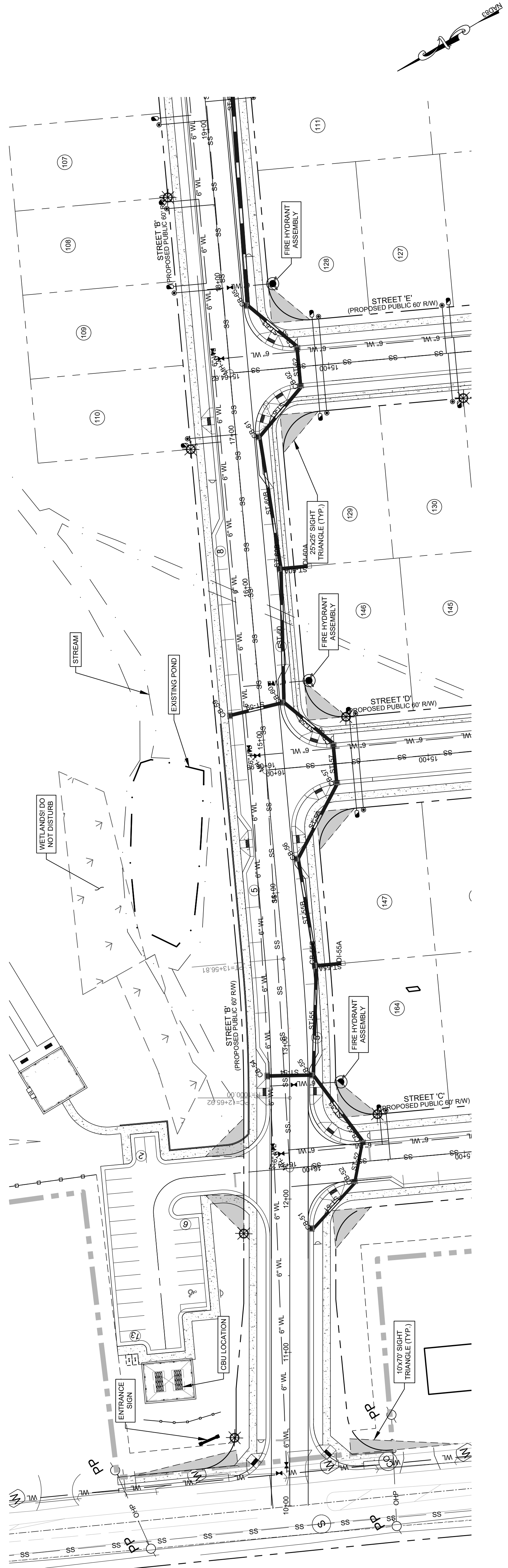
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DRAWN: AHS/APH/BTA
CHECKED: [Signature]
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VERTICAL SCALE: 1"=10'
DATE: 11/07/2023
JOB NO. [Blank]

PLAN & PROFILE
STREET 'B'
STA 10+00 - 19+00
BUFFALO RD SUBDIVISION
TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

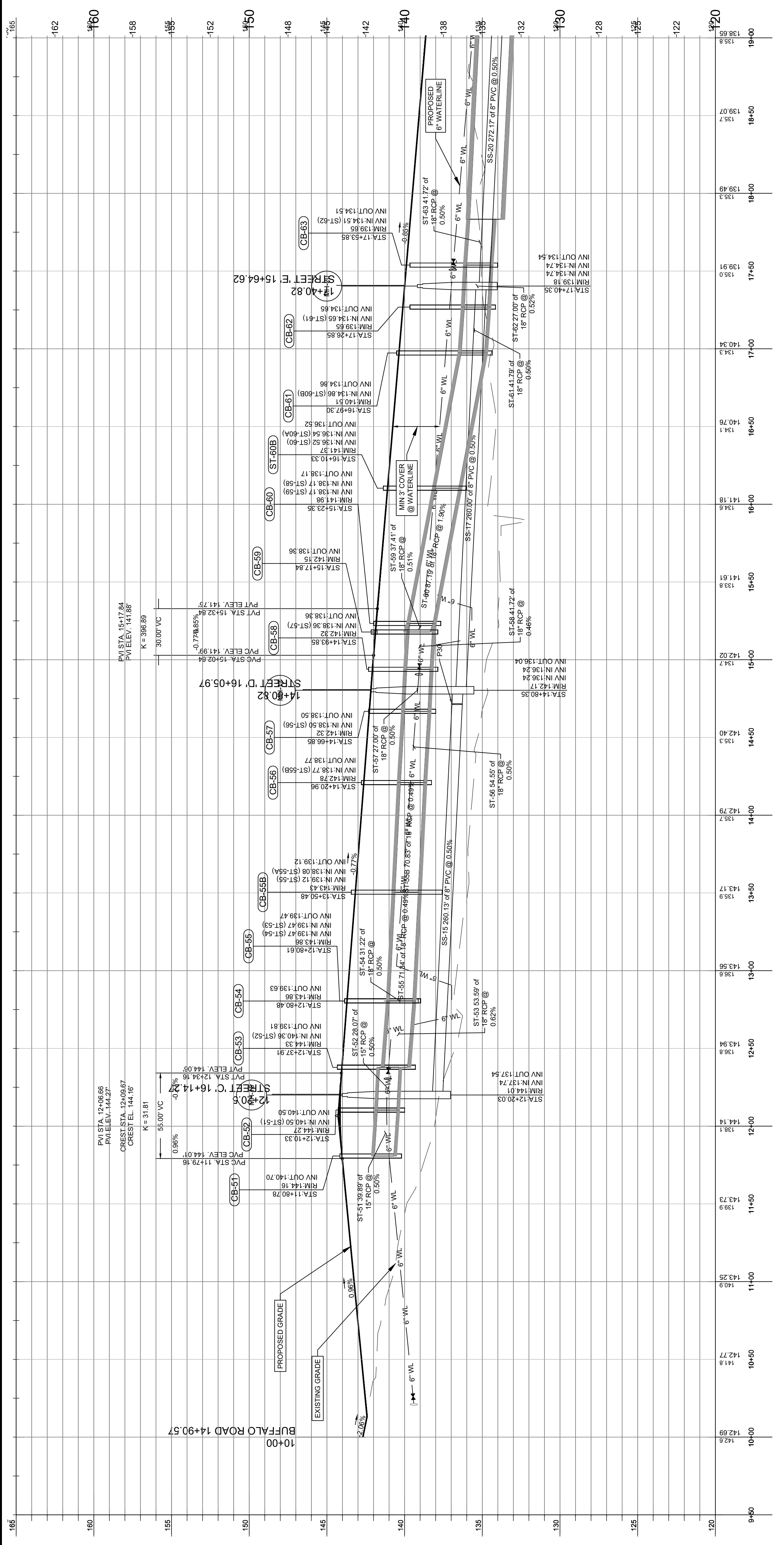
ADAMS & HODGE
ENGINEERING, PC
A DIVISION OF BECKER MORGAN GROUP, INC.
314 EAST MAIN STREET
CLAYTON, NC 27520
919-243-1332
FIRM # C-4743

LEGEND

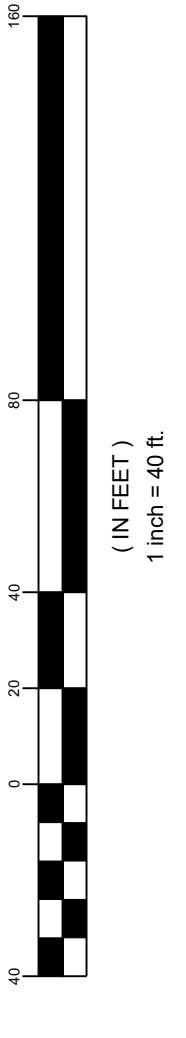
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
6" WATERLINE	6" WL
2" WATERLINE	2" WL
HYDRANT	HYDRANT
WATER METER	WATER METER
VALVE	VALVE
REDUCER	REDUCER
BLOWOFF	BLOWOFF
SEWER PIPE	SEWER PIPE
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
STORM PIPE	STORM PIPE



PLAN: STREET 'B'
STA 10+00 TO 19+00

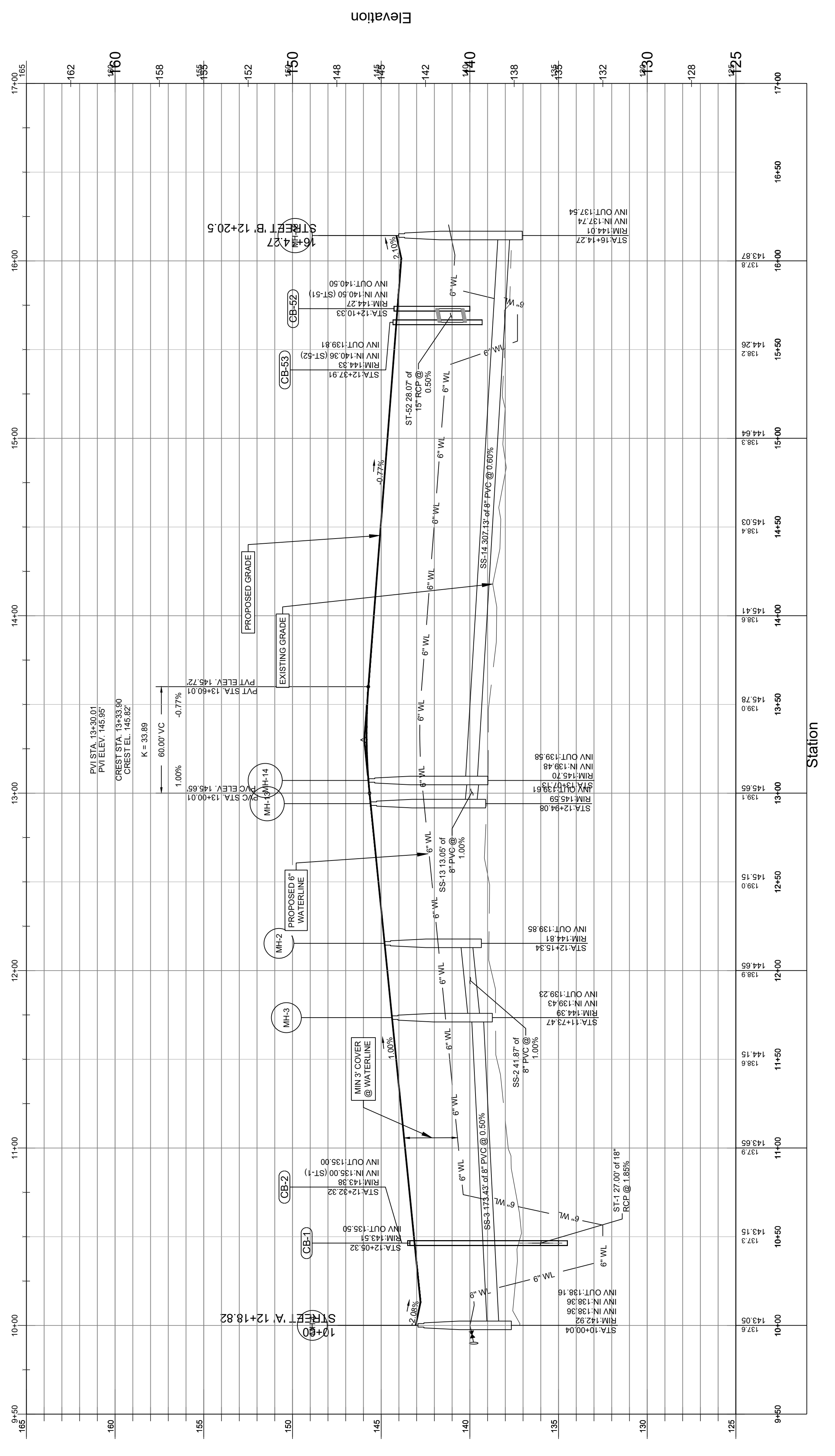
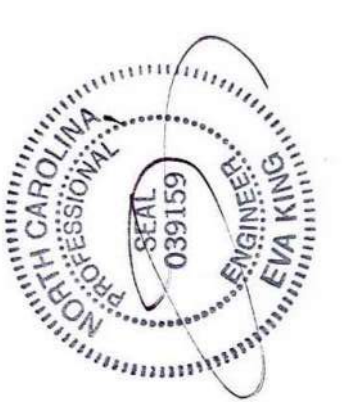


PROFILE: STREET 'B'
STA 10+00 TO 19+00



PRELIMINARY

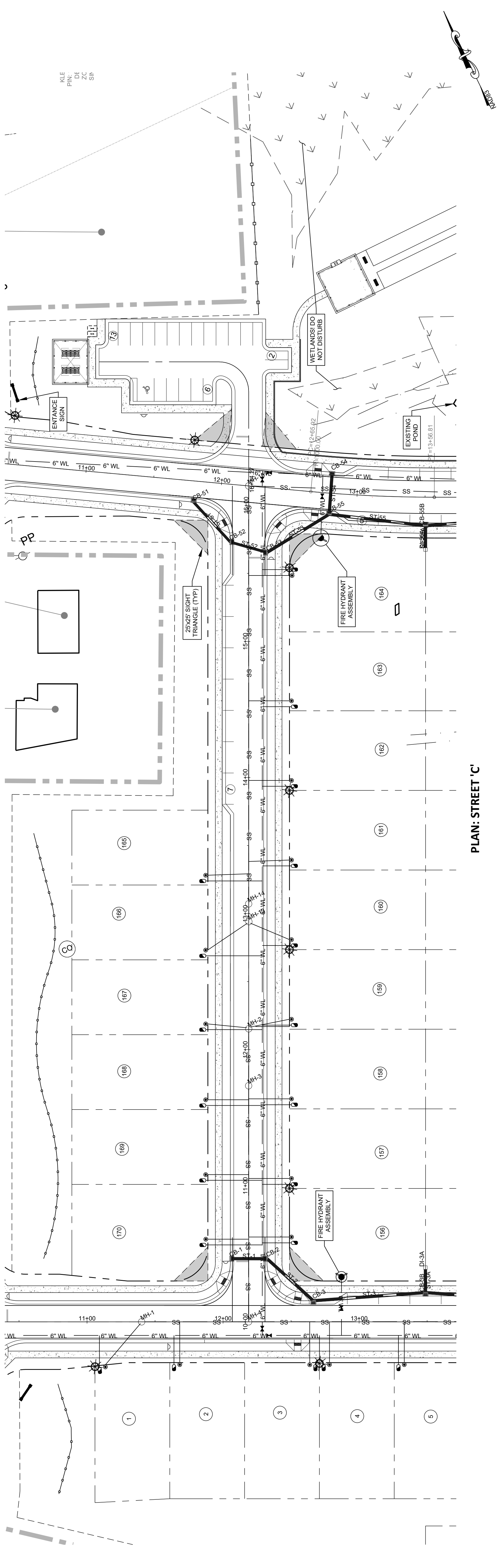
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PROFILE: STREET 'C'

PLAN: STREET 'C'

LEGEND	
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
6" WATERLINE	6" WATERLINE
2" WATERLINE	2" WATERLINE
HYDRANT	HYDRANT
WATER METER	WATER METER
VALVE	VALVE
REDUCER	REDUCER
BLOWOFF	BLOWOFF
SEWER PIPE	SEWER PIPE
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
STORM PIPE	STORM PIPE



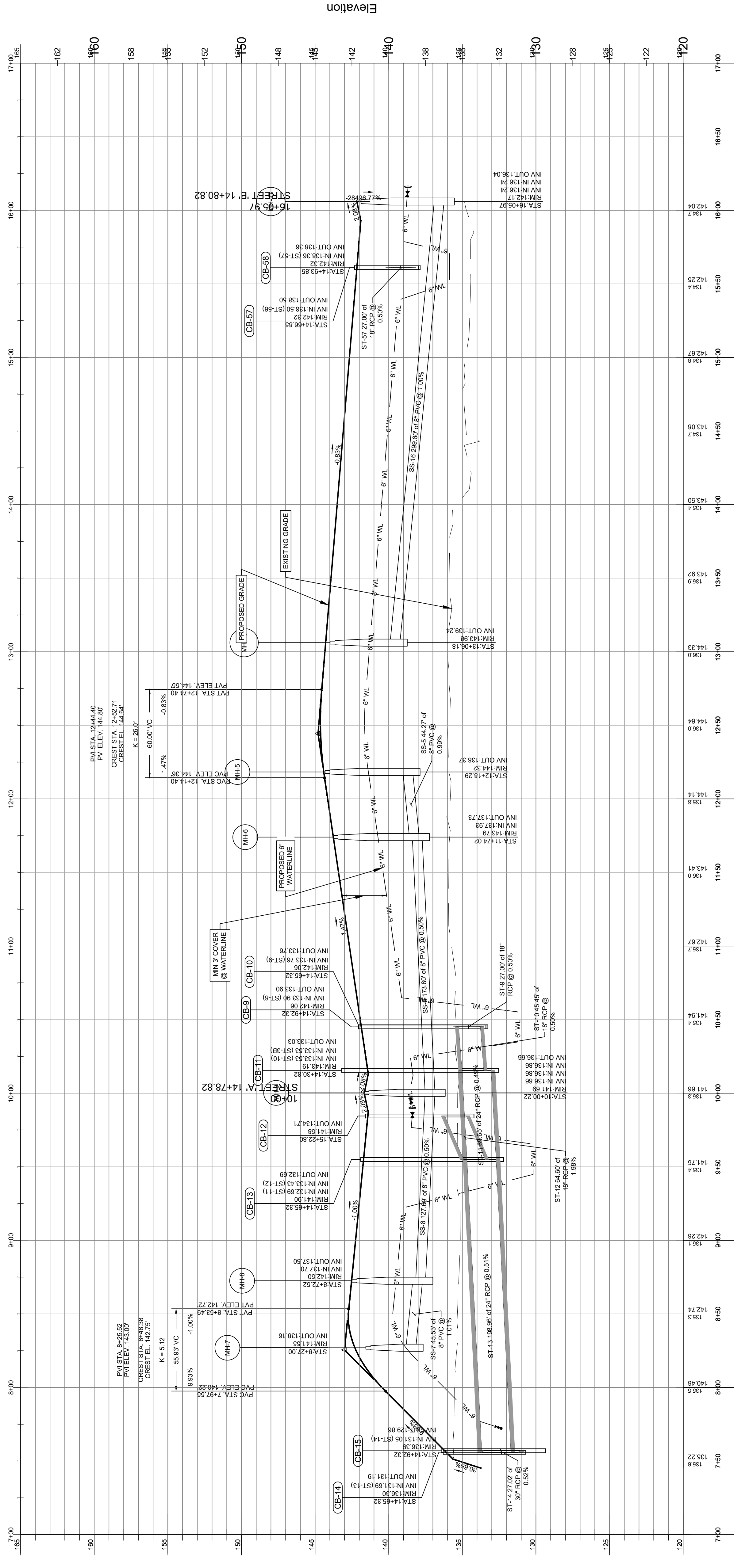
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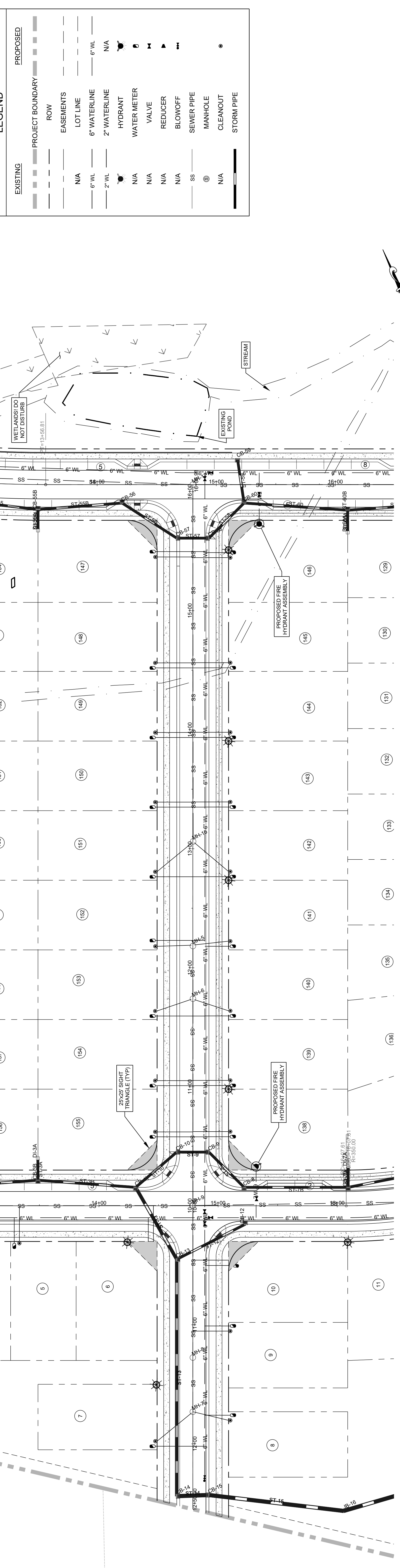
PRELIMINARY

GRAPHIC SCALE
1 inch = 40 ft.

PROFILE: STREET 'D'

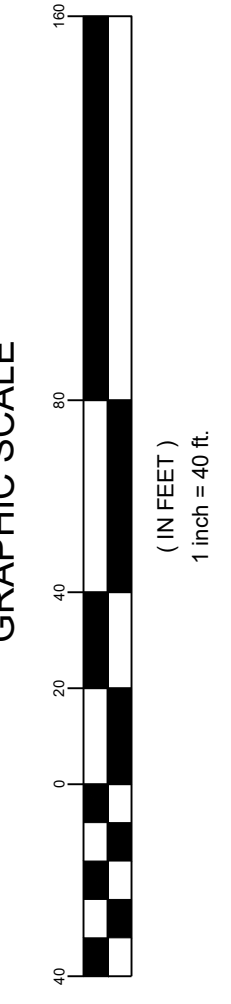


PLAN: STREET 'D'



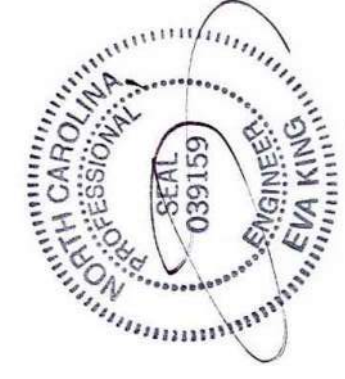
LEGEND

EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
6" WATERLINE	6" WATERLINE
2" WATERLINE	2" WATERLINE
HYDRANT	HYDRANT
WATER METER	WATER METER
VALVE	VALVE
REDUCER	REDUCER
BLOWOFF	BLOWOFF
SEWER PIPE	SEWER PIPE
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
STORM PIPE	STORM PIPE

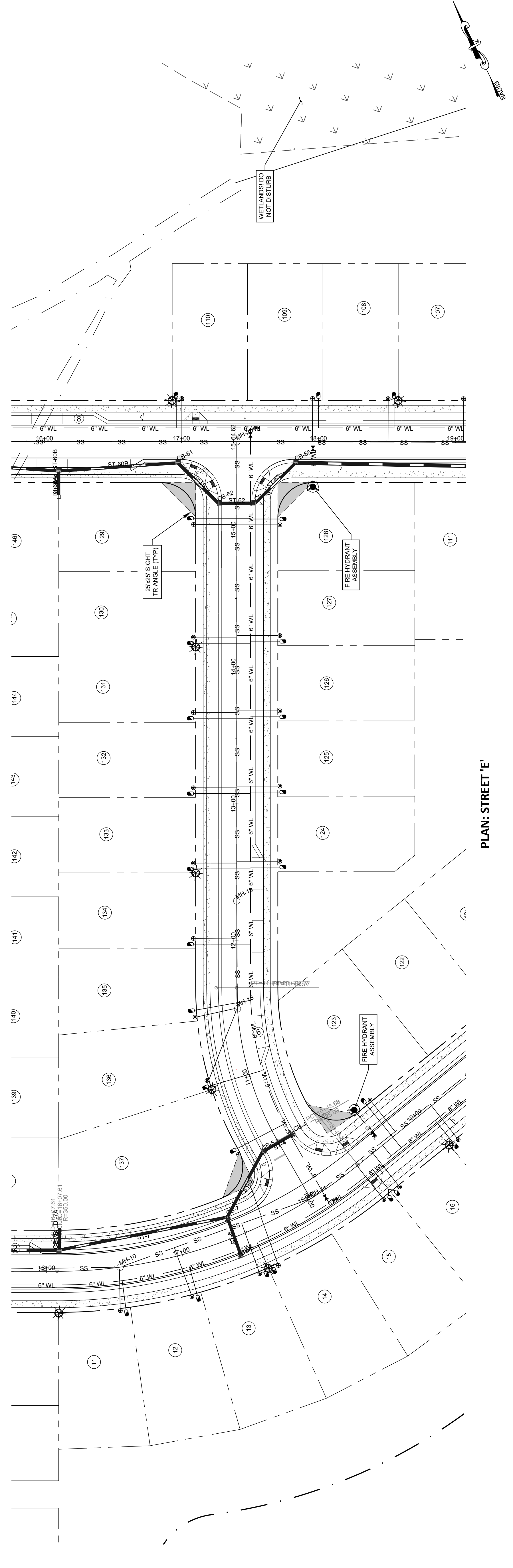


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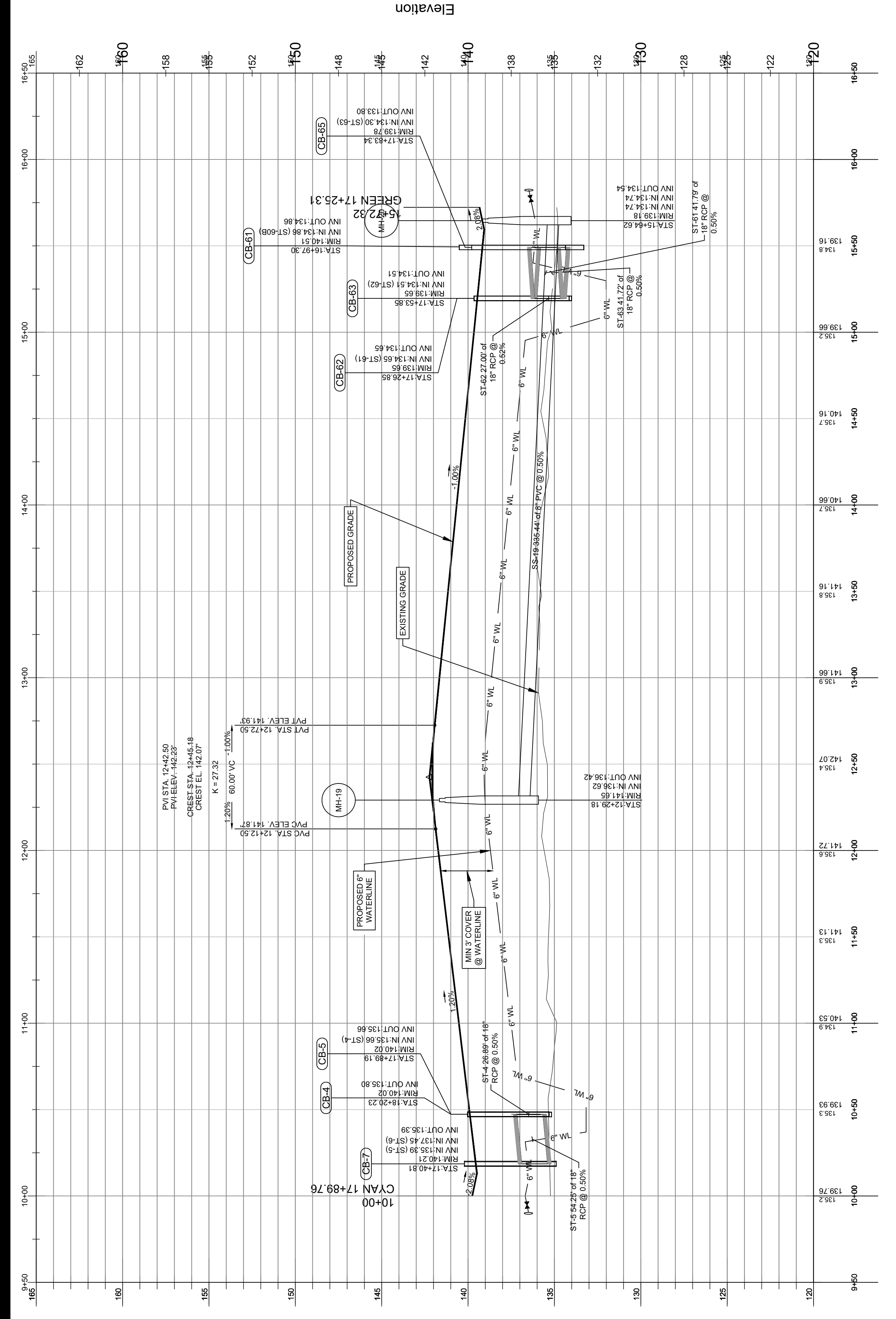
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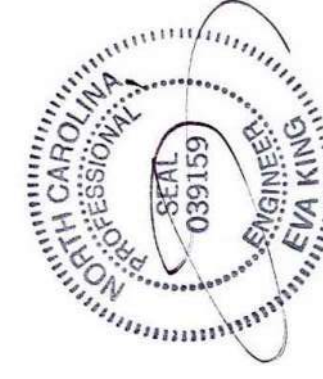
LEGEND	
EXISTING	PROPOSED
--- PROJECT BOUNDARY	--- PROJECT BOUNDARY
--- ROW	--- ROW
--- EASEMENTS	--- EASEMENTS
--- LOT LINE	--- LOT LINE
6" WL	6" WL
2" WL	2" WL
HYDRANT	HYDRANT
WATER METER	WATER METER
VALVE	VALVE
REDUCER	REDUCER
BLOWOFF	BLOWOFF
SEWER PIPE	SEWER PIPE
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
STORM PIPE	STORM PIPE



PLAN: STREET 'E'

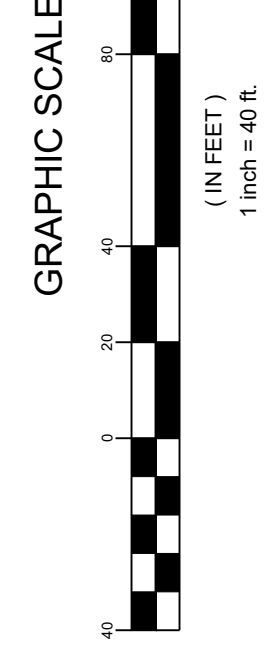


PROFILE: STREET 'E'

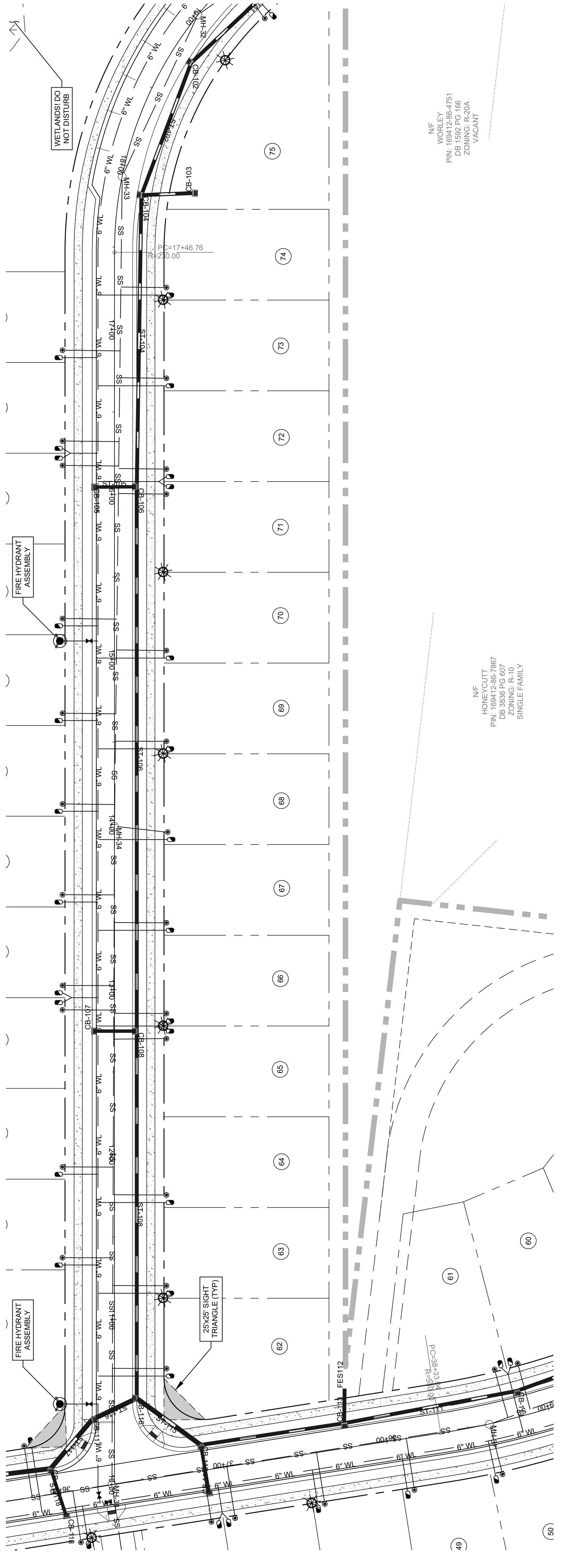


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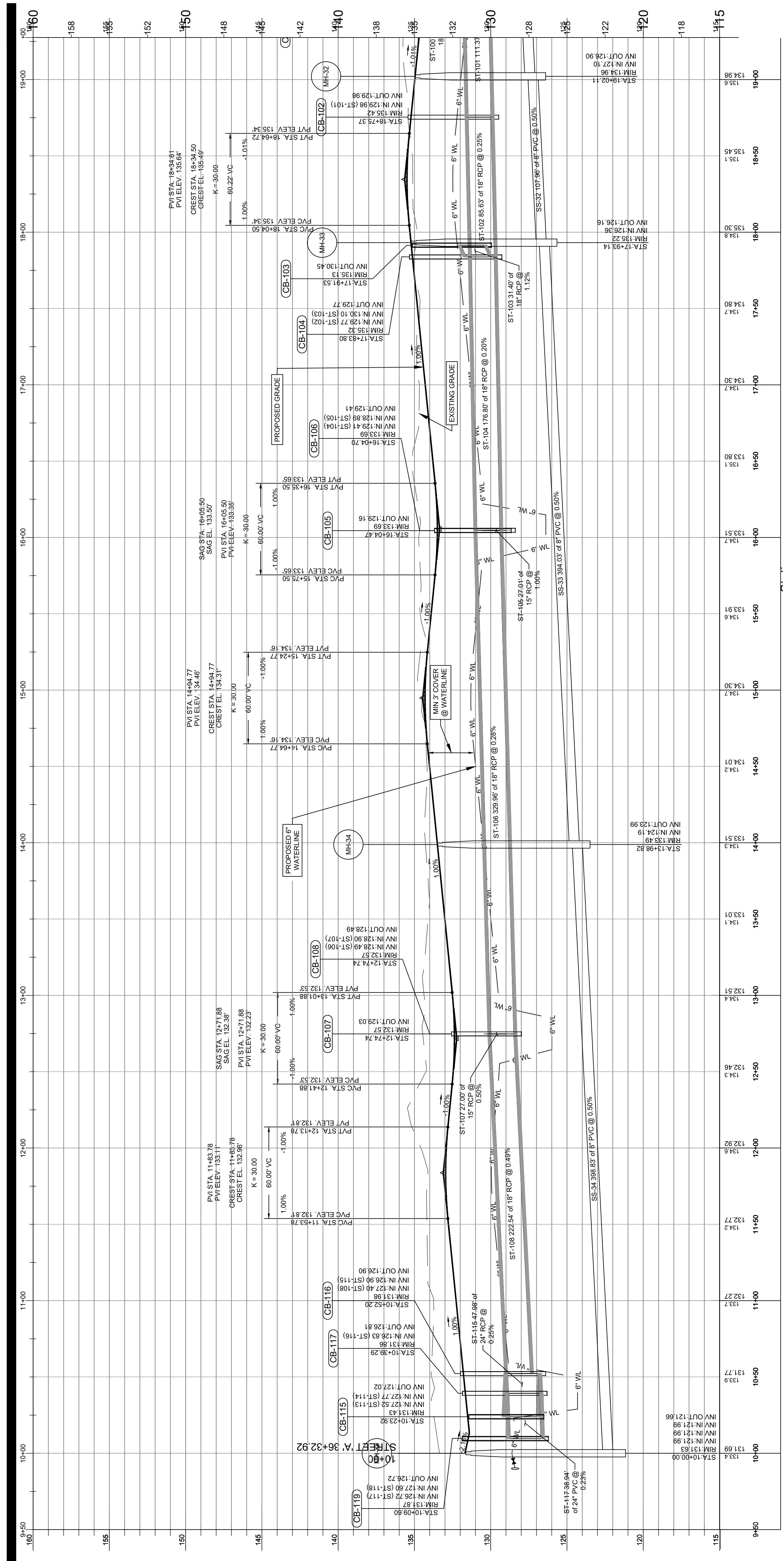
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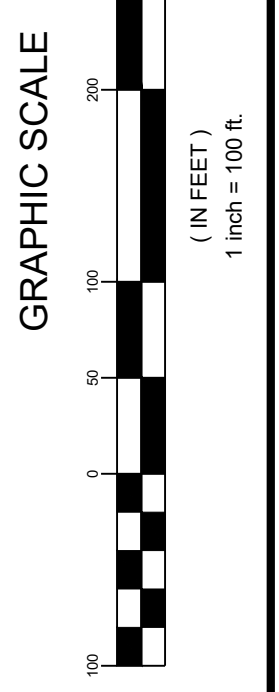
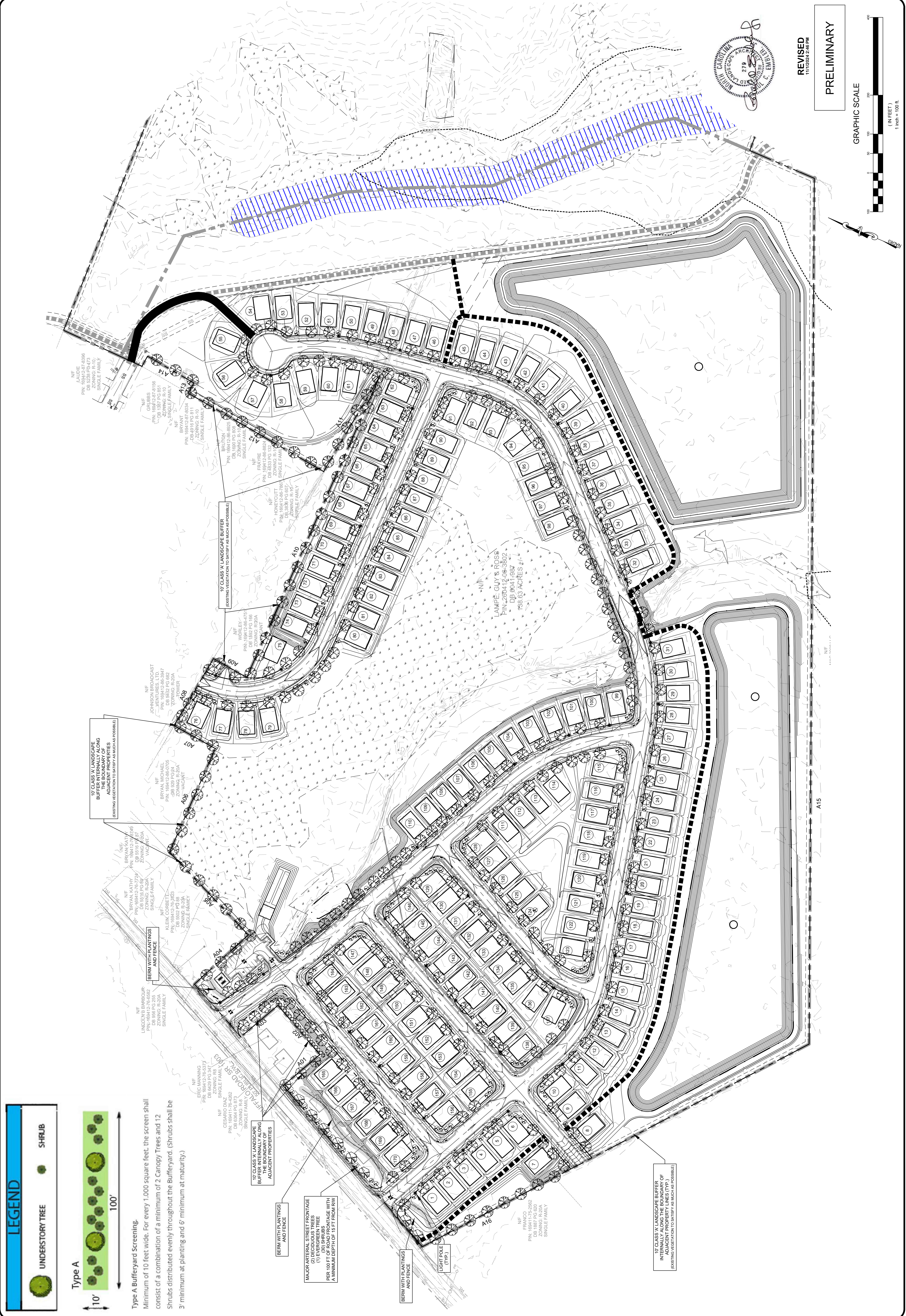
LEGEND	
EXISTING	PROPOSED
PROJECT BOUNDARY	PROJECT BOUNDARY
ROW	ROW
EASEMENTS	EASEMENTS
LOT LINE	LOT LINE
6" WATERLINE	6" WATERLINE
2" WATERLINE	2" WATERLINE
HYDRANT	HYDRANT
WATER METER	WATER METER
VALVE	VALVE
REDUCER	REDUCER
BLOWOFF	BLOWOFF
SEWER PIPE	SEWER PIPE
MANHOLE	MANHOLE
CLEANOUT	CLEANOUT
STORM PIPE	STORM PIPE



PLAN: STREET 'F'
STA 10+00 - STA 19+00

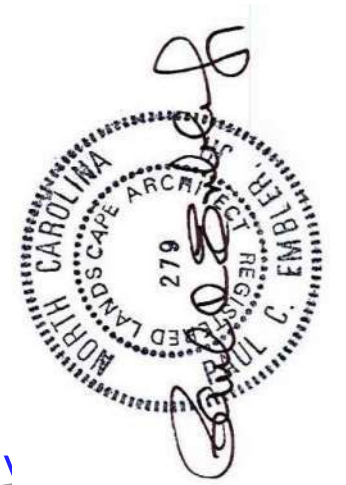


PROFILE: STREET 'F'
STA 10+00 - STA 19+00



PRELIMINARY

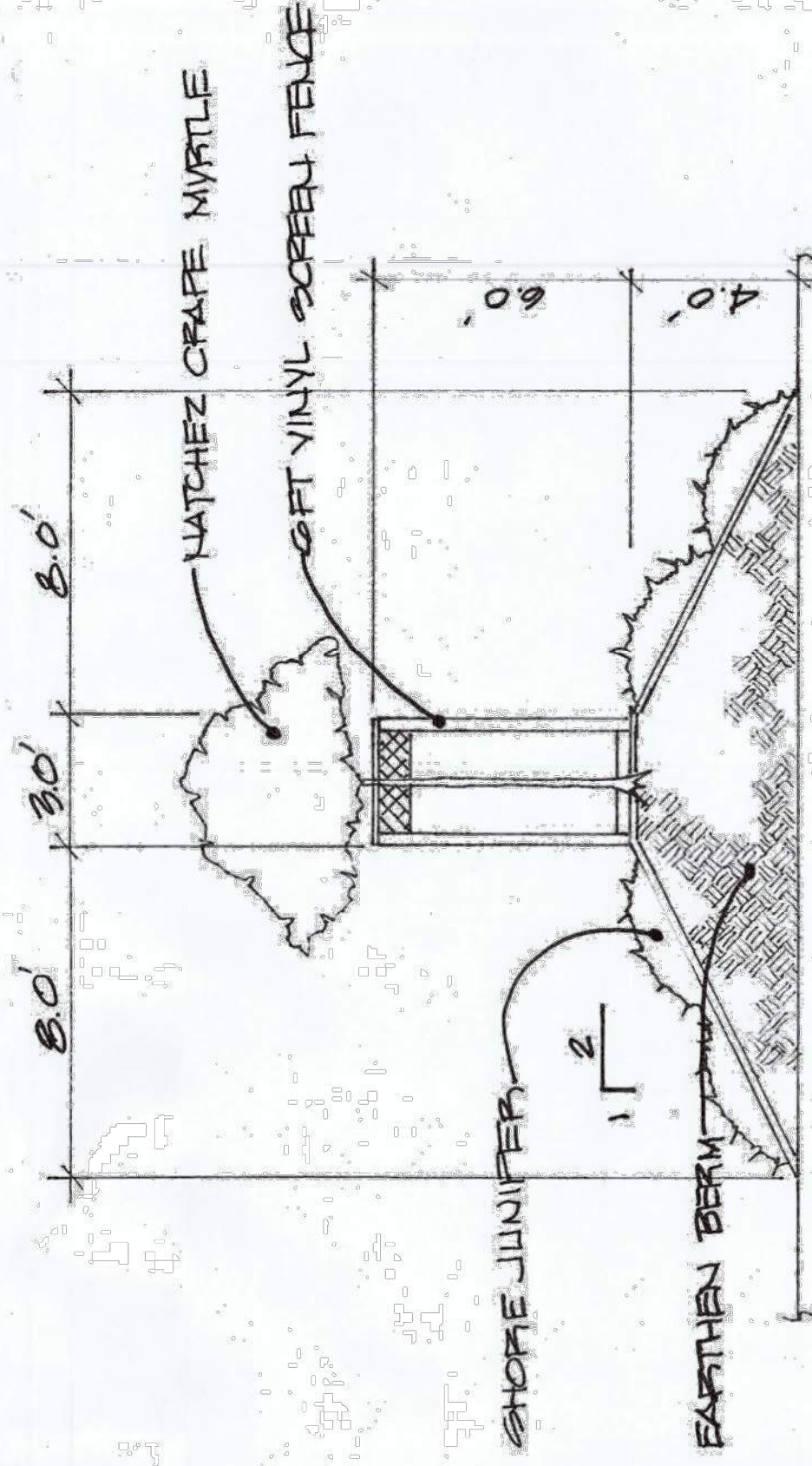
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LANDSCAPE CALCULATIONS

TYPE OF LANDSCAPE PER CODE	PLANTING REQUIREMENTS		QUANTITY		REQUIRED		PROVIDED	
	LARGE TREE	SMALL TREE	LARGE TREE	SMALL TREE	SHRUB	SHRUB	LARGE TREE	SMALL TREE
ARTERIAL STREET BUFFER YARD (PLANTINGS PER 100 FT BUFFALO ROAD)	2	1	11	6	170	170	11	6
LOCAL STREET BUFFER YARD (PLANTINGS PER 100 FT)	2	1						
STREET 'A'			109	55			109	55
STREET 'B'			48	24			40	25
STREET 'C'			1150LF	23			18	12
STREET 'D'			1450	29			25	16
STREET 'E'			1050LF	21			17	11
STREET 'F'			2200LF	44			39	19
TYPE 'A' BUFFER YARD (PLANTINGS PER 100FT)	2	12						
A01			125LF	3		15	2	12
A02			165LF	3		20	0	12
A03			125LF	3		15	0	8
A04			190LF	4		23	4	24
A05			295LF	6		36	5	36
A06			290LF	6		35	6	36
A07			120LF	2		14	2	12
A08			200LF	4		24	4	21
A09			100LF	2		12	2	9
A10			850LF	17		102	17	102
A11			290LF	6		35	6	36
A12			400LF	8		48	8	45
A13			30LF	0		0	6	6
A14			140LF	3		17	3	18
A15			850LF	17		102	17	102
A16			400LF	8		48	8	48
TOTAL			98			546	84	577
FOUNDATION PLANTINGS (PER HOUSE)						510		510
PARKING LOT (PER ISLAND)	1					18	3	18

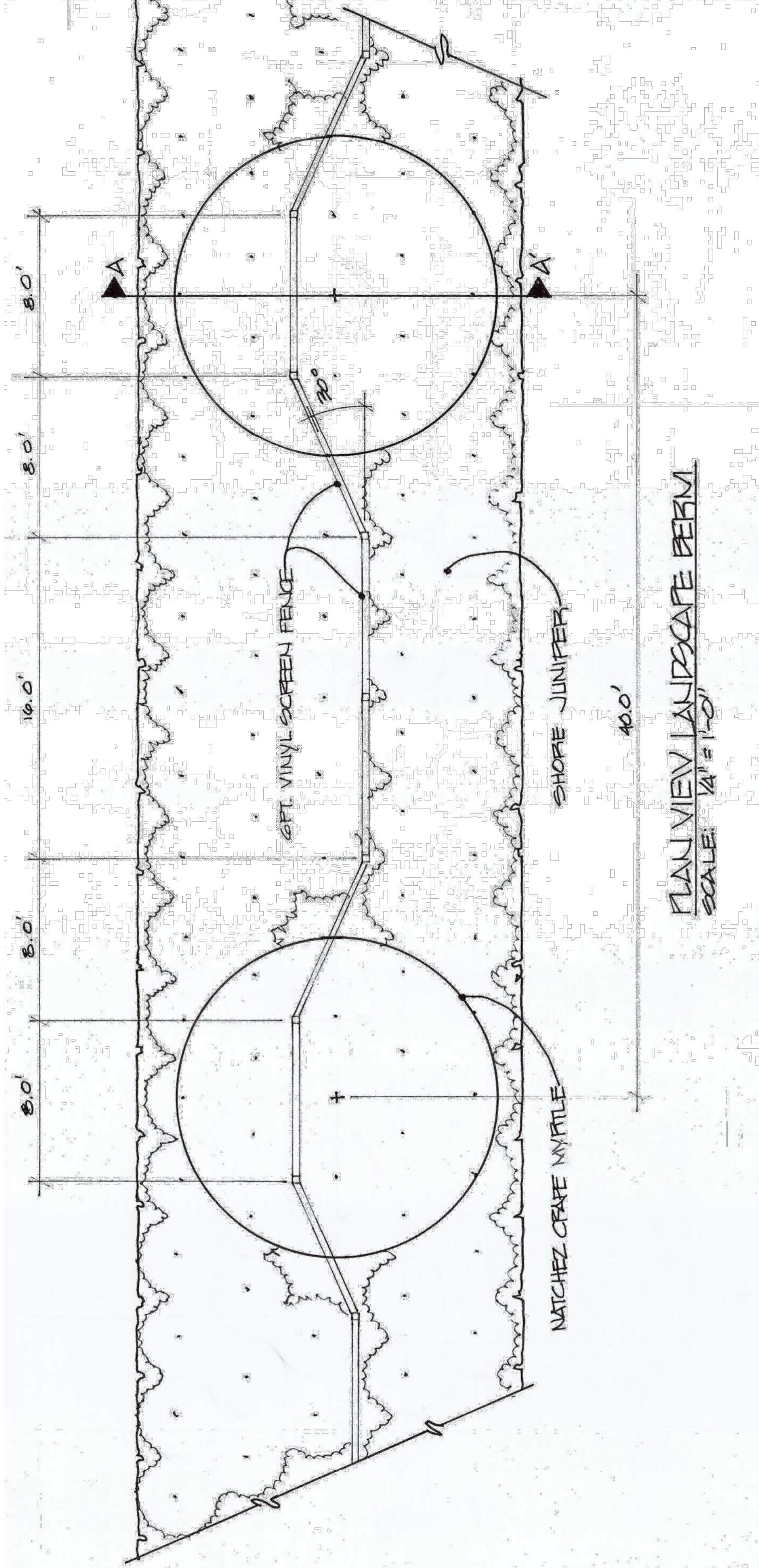
- NOTE:
- ANY PROPOSED LANDSCAPE PLANT MATERIALS THAT CANNOT BE PLANTING IN PROPOSED LOCATIONS SHOWN ON THE PLANS DUE TO CONFLICT WITH UTILITIES, PAVEMENTS, STRUCTURES OR OTHER EXISTING PLANT MATERIALS WILL BE PLANTED IN THE PROPOSED OPEN SPACES SHOWN ON THE PLANS. IT IS THE INTENT OF THE LANDSCAPE PLANTING TO PLANT ALL REQUIRED QUANTITIES OF PLANT MATERIAL WITHIN THE BOUNDARY OF THE SUBDIVISION. TOTAL PLANTS TO BE PLANTED IN OPEN SPACES 53 CANOPY TREES, 23 EVERGREEN TREES AND 19 SHRUBS.
 - IT IS PROPOSED THAT AS MUCH OF THE EXISTING VEGETATION (TREES AND SHRUBS) THAT ARE IN PROXIMITY TO ADJACENT PROPERTIES BE RETAINED AS A NATURAL BUFFER, WHERE THERE IS NOT SUFFICIENT PLANT MATERIAL TO PROVIDE A NATURAL BUFFER IT IS PROPOSED TO PLANT A TYPE 'A' BUFFER TO PROVIDE LANDSCAPING TO SCREEN ADJACENT PROPERTIES.
 - TO PROVIDE ADDITIONAL SCREENING AND BUFFERING ALONG BUFFALO ROAD IN ADDITION TO THE ARTERIAL BUFFER YARD PLANTINGS, A LANDSCAPED FOUR FOOT HIGH BERM WILL BE CONSTRUCTED AND WILL INCORPORATE AN ORNAMENTAL SCREEN FENCE THE LENGTH OF THE BERM. SEE ATTACHED DETAIL.



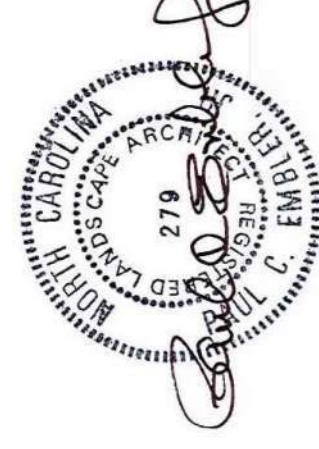
SECTION A-A' LANDSCAPE BERM
SCALE: 1/4" = 1'-0"

PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	ROOT	COMMENTS
Canopy Trees							
Rm		Acer rubrum	Smooth Red Maple	10' to 12'	4' to 5'	B&B	
Wo		Quercus phellos	Willow Oak	10' to 12'	4' to 5'	B&B	
Bc		Theodidum distichum	Bald Cypress	10' to 12'	4' to 5'	B&B	
Evergreen Trees							
Mp		Ilex latifolia	Miss Patricia Holly	6' to 8'	3' to 4'	15 gal	
Small Trees							
Cri		Lagerstroemia indica X lauriei	Natchez Crape Myrtle	6' to 8'	3' to 4'	15 gal	
Shrubs							
Bh		Ilex burfordii nana	Dwarf Burford Holly	36" min		7 gal	
Il		Ligustrum lucidum	Japanese privet	36" min		7 gal	
Sj		Juniperus horizontalis x Youngstown		15" to 18"		3 gal	



MAIN VIEW LANDSCAPE BERM
SCALE: 1/4" = 1'-0"

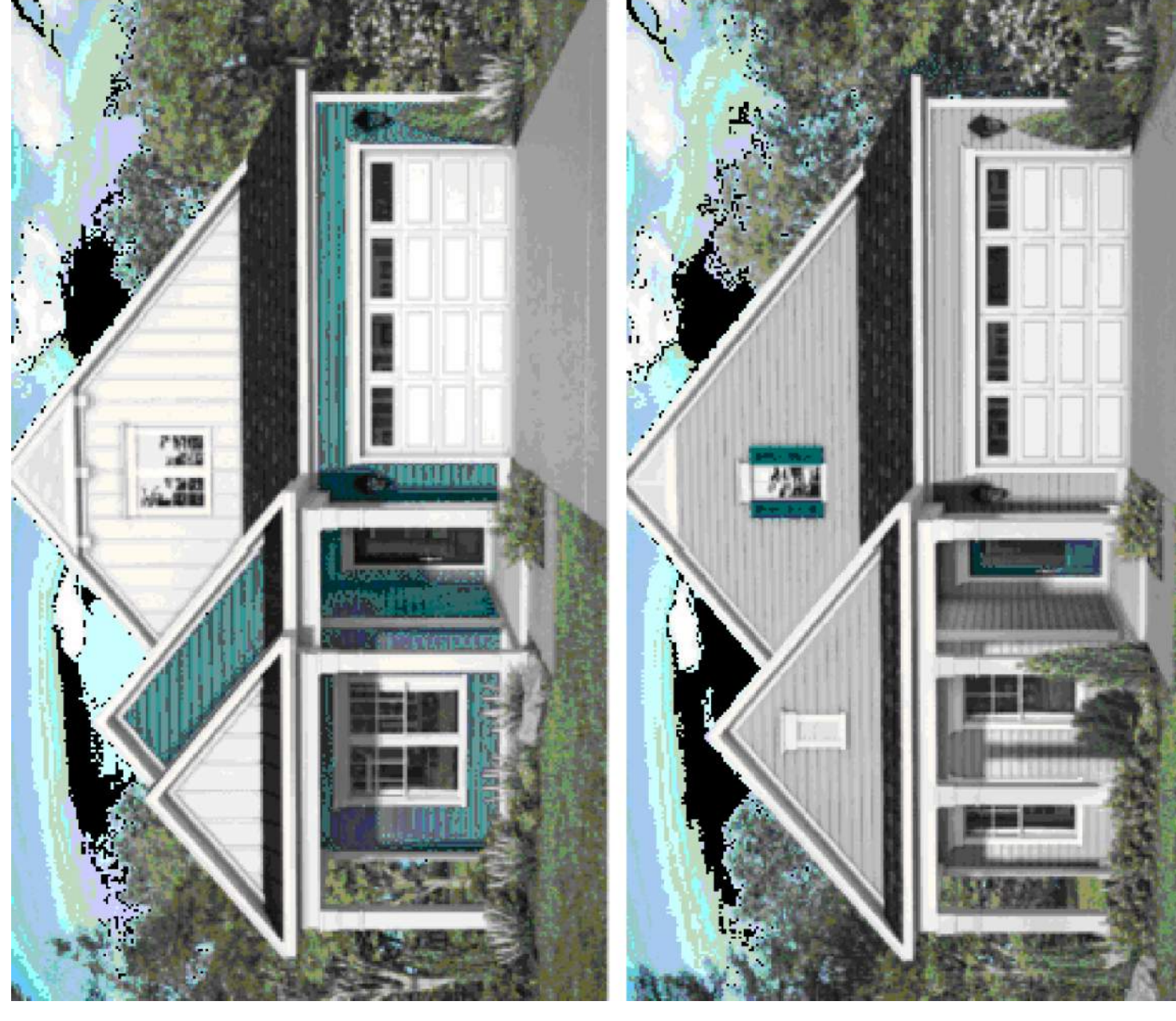
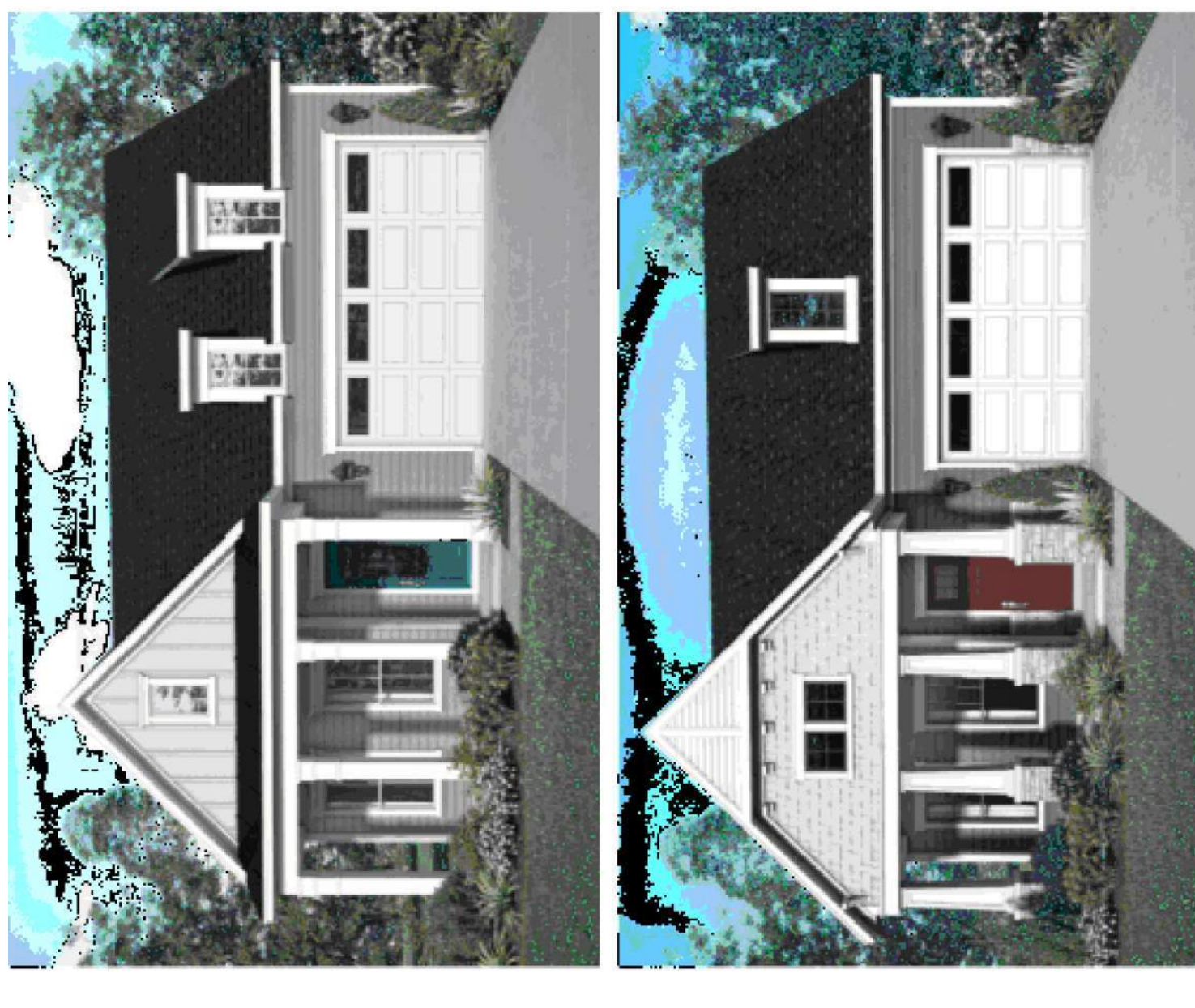


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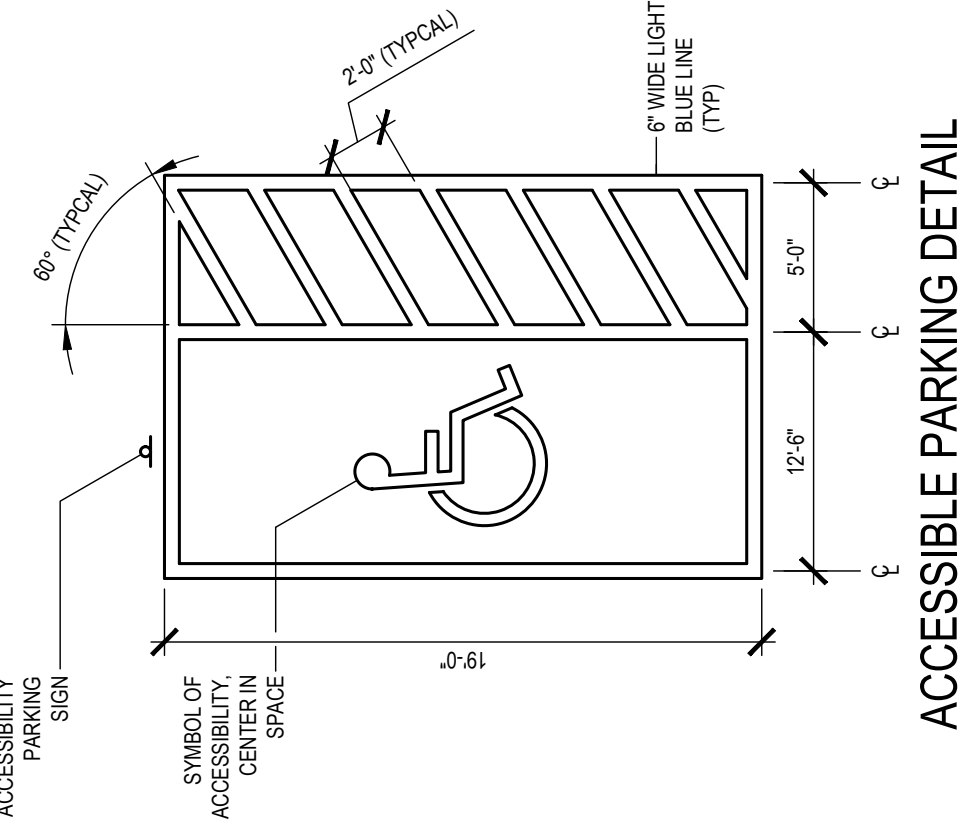
PRELIMINARY

- MINIMUM BUILDING SETBACKS**
- FRONT = 18'
 - SIDE = 6'
 - REAR = 12'
 - STREET SIDE 18'
 - BUILDING SEPARATION = 12'
 - MINIMUM LOT WIDTH = 55'
 - MINIMUM LOT DEPTH = 100'
- PARKING**
- MINIMUM 1 CAR GARAGE
 - 2 CAR PARKING IN DRIVEWAY
 - MINIMUM 3 CAR PARKING SPACES PROVIDED
 - GARAGE SHALL BE A MINIMUM OF 25' FROM THE BACK OF SIDEWALK
- NOTES**
- MAXIMUM BUILDING HEIGHT = 35'
 - MAXIMUM LOT COVERAGE = 50%
 - MINIMUM LOT SIZE = 5,500 SF
 - TRASH COLLECTION SHALL BE ROLL-OUT TRASH BINS.

- ARCHITECTURAL STANDARDS**
- Foundations**
 - Silt Foundations
 - Siding**
 - All siding must be Hard Siding
 - Must have a minimum of TWO of the following:
 - Lap Siding
 - Hard Siding
 - Board and Batten Siding
 - Masonry
 - True Street Facing Windows**
 - Must have a minimum of ONE of the following:
 - Decorative header
 - Shutters where space allows
 - Garage**
 - Must have an attached garage
 - Must have a minimum of ONE of the following:
 - Decorative header
 - Overhead trim
 - Roofs**
 - Must have a minimum of ONE of the following:
 - Asphalt Shingles
 - Metal allowed as an accent roof over window bay or porch



EXAMPLE ELEVATIONS
NOT TO SCALE



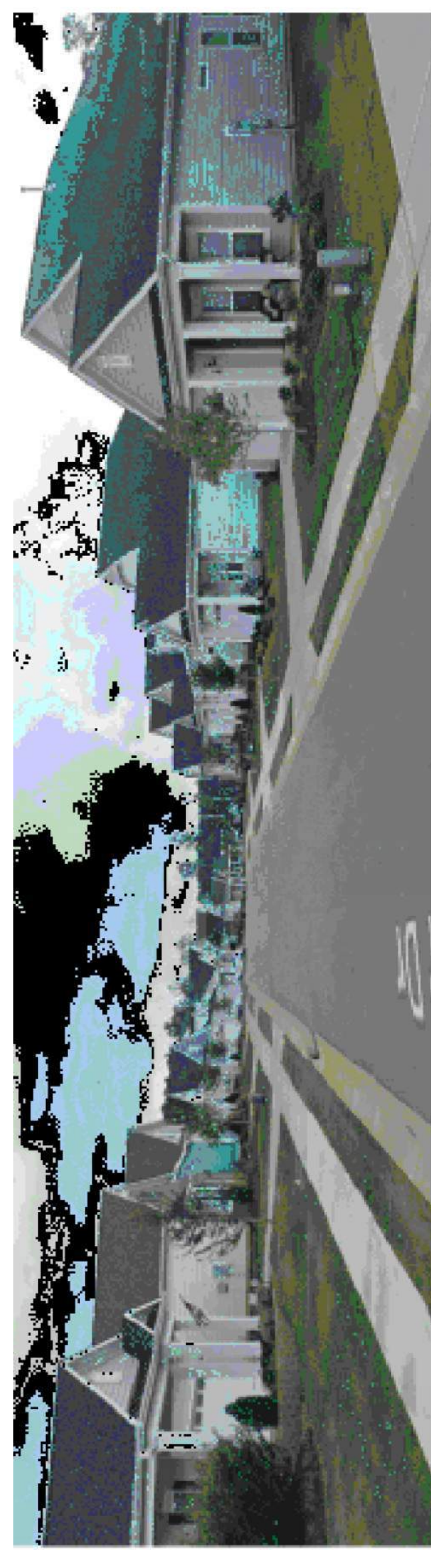
ACCESSIBLE PARKING DETAIL



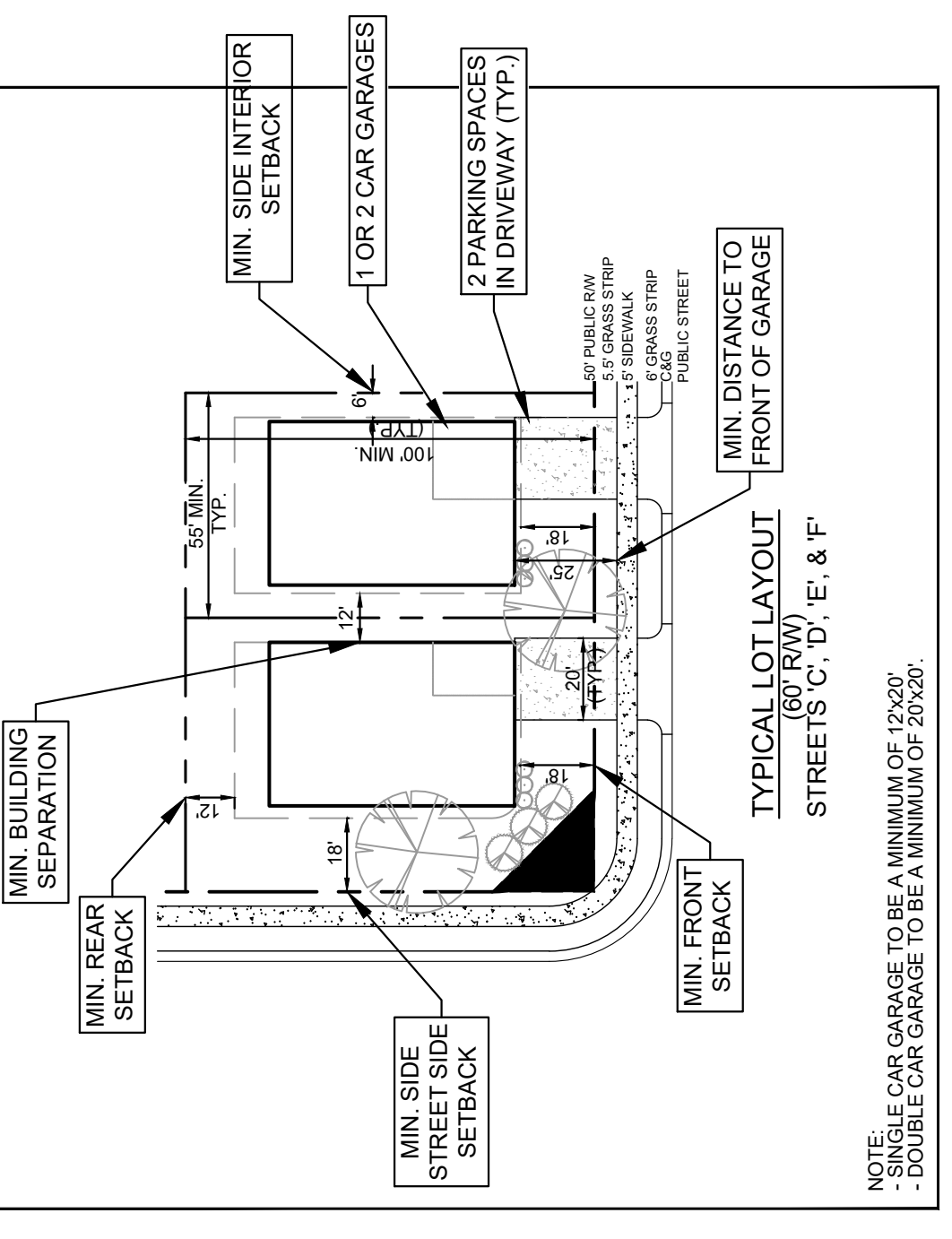
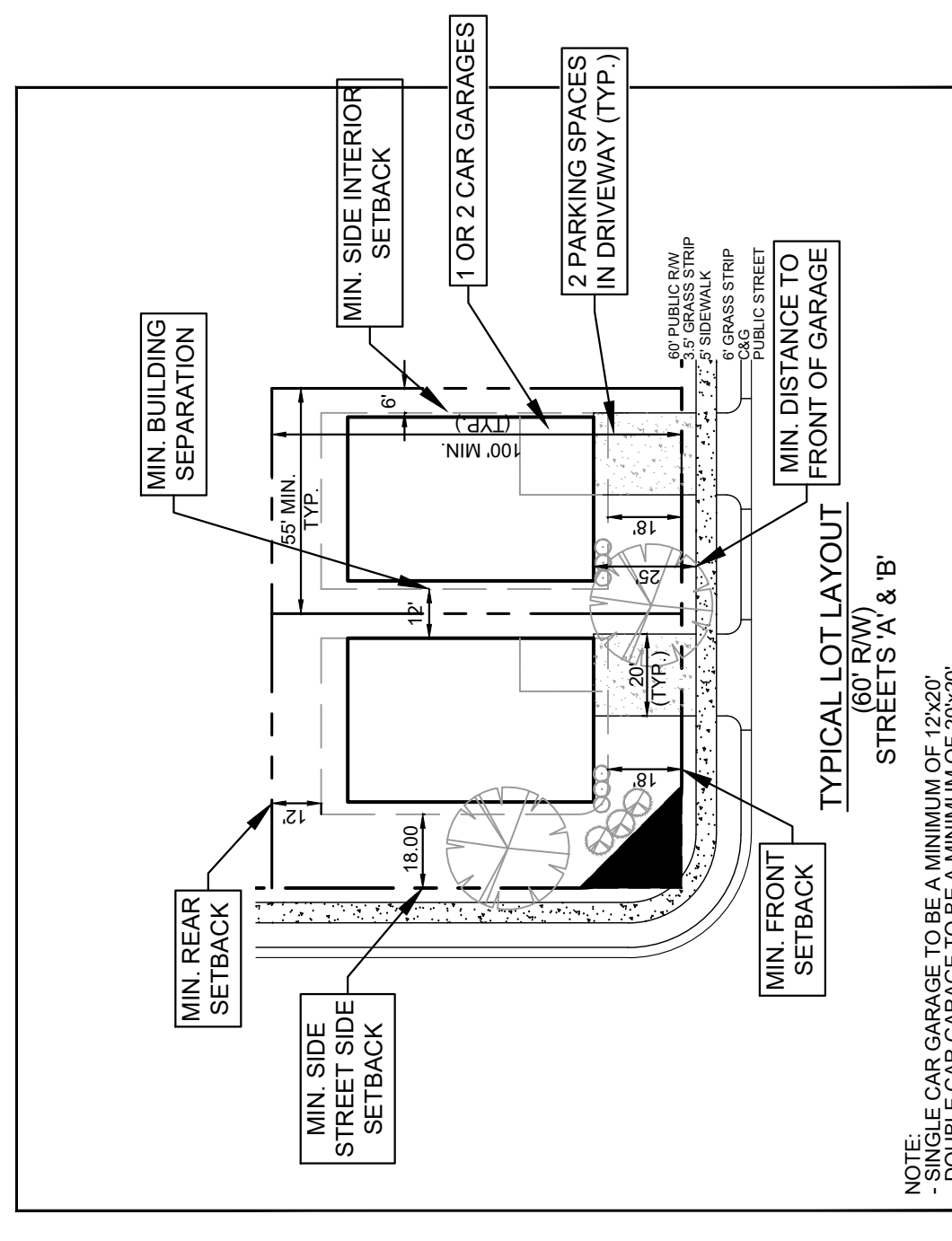
DECORATIVE LIGHT POST



EXAMPLE SUBDIVISION SIGN
NOT TO SCALE

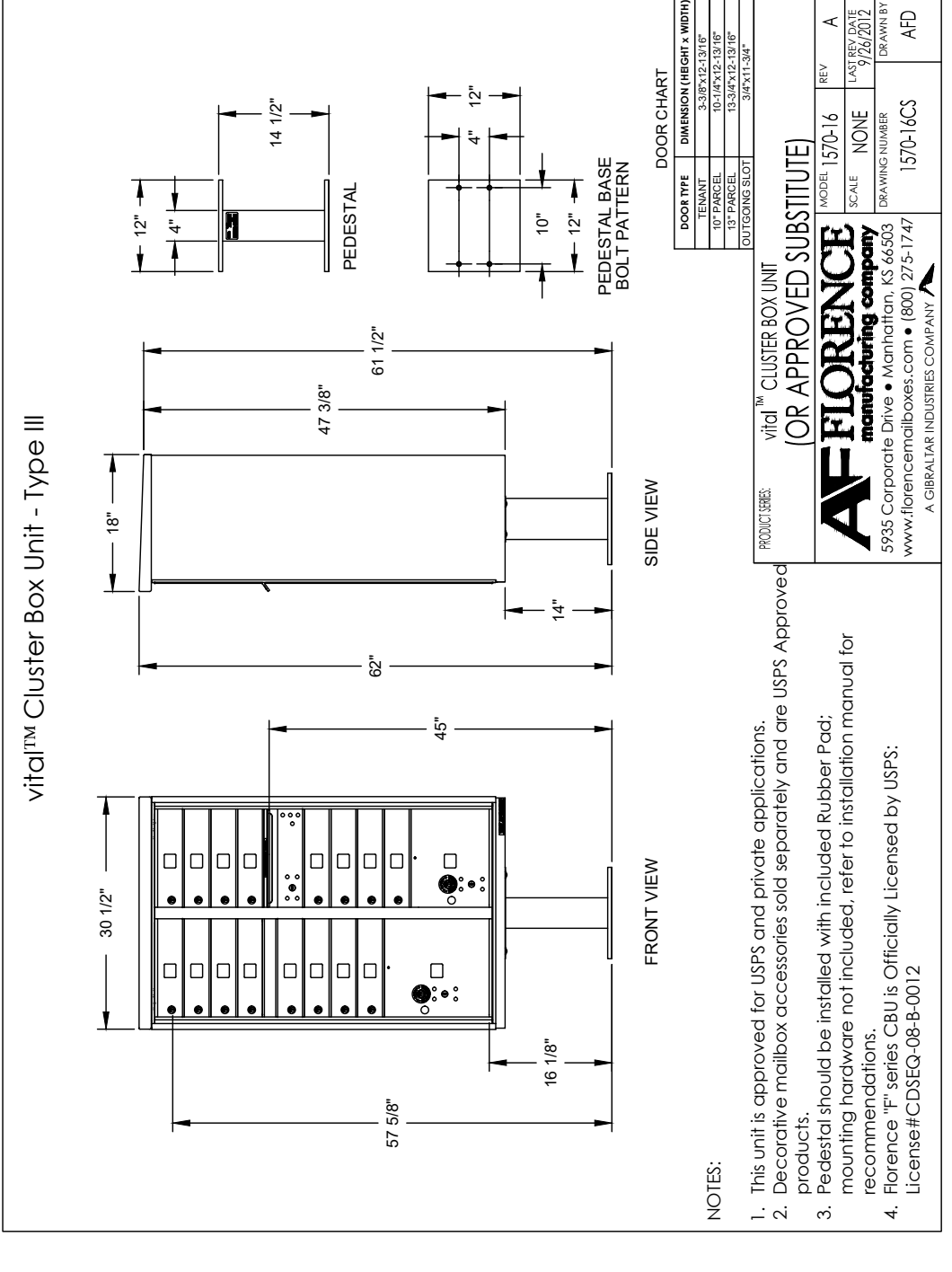


EXAMPLE OF STREET VIEW
NOT TO SCALE



NOTE:
- SINGLE CAR GARAGE TO BE A MINIMUM OF 12'x20'
- DOUBLE CAR GARAGE TO BE A MINIMUM OF 20'x20'

NOTE:
- SINGLE CAR GARAGE TO BE A MINIMUM OF 12'x20'
- DOUBLE CAR GARAGE TO BE A MINIMUM OF 20'x20'



CLUSTER MAILBOX UNIT
NOT TO SCALE

REVISIONS

DESIGN: JCA
DRAWN: JCA
CHECKED: ADS/APH/BFA
DATE: 11/20/2023
JOB NO.:
SHEET: DT1.00

REVISED 11/16/2024 2:46 PM

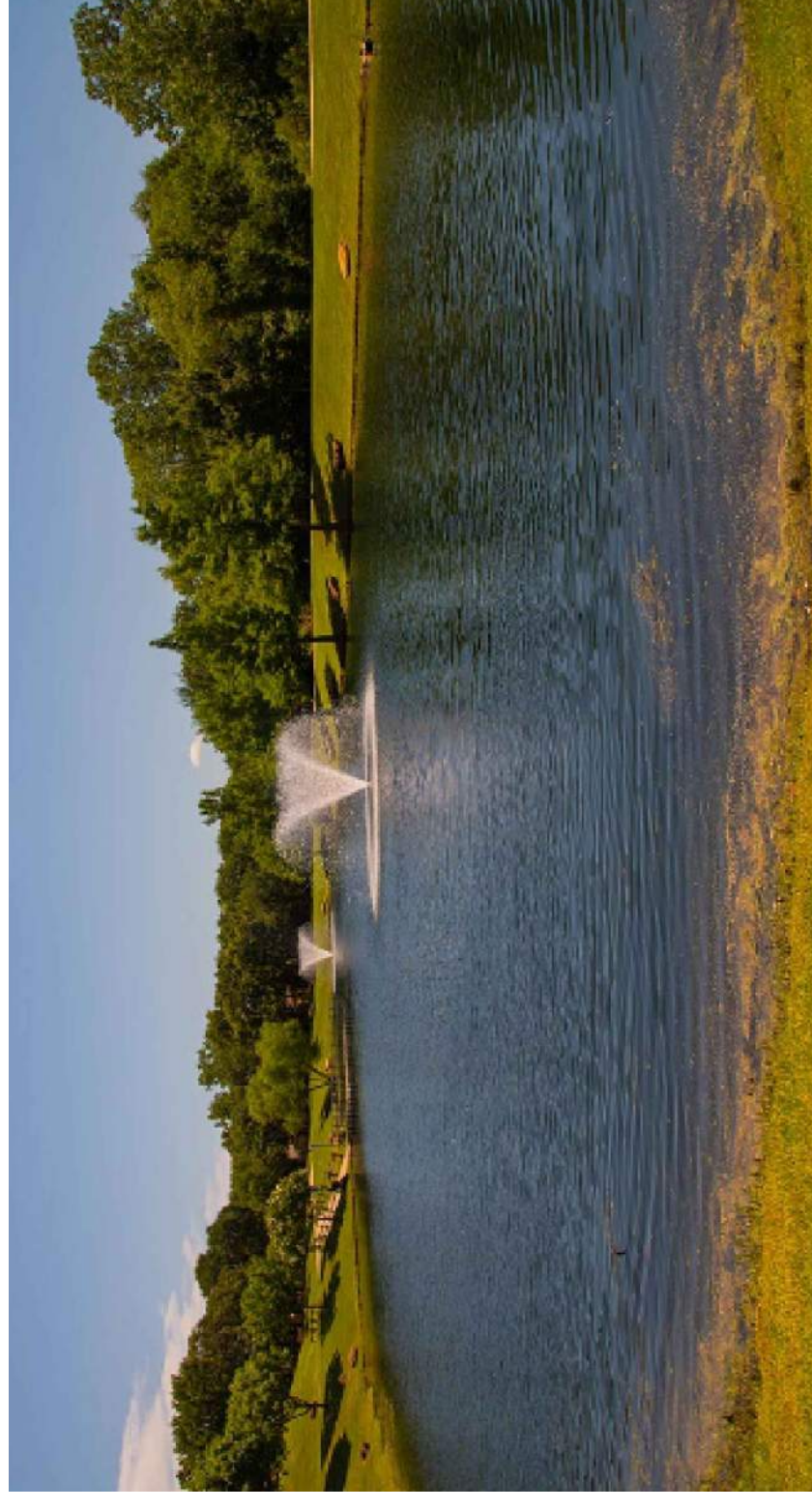
PRELIMINARY

PROFESSIONAL ENGINEER
SHEET 0391550
NORTH CAROLINA

OPEN SPACE POND TRAIL EXAMPLE



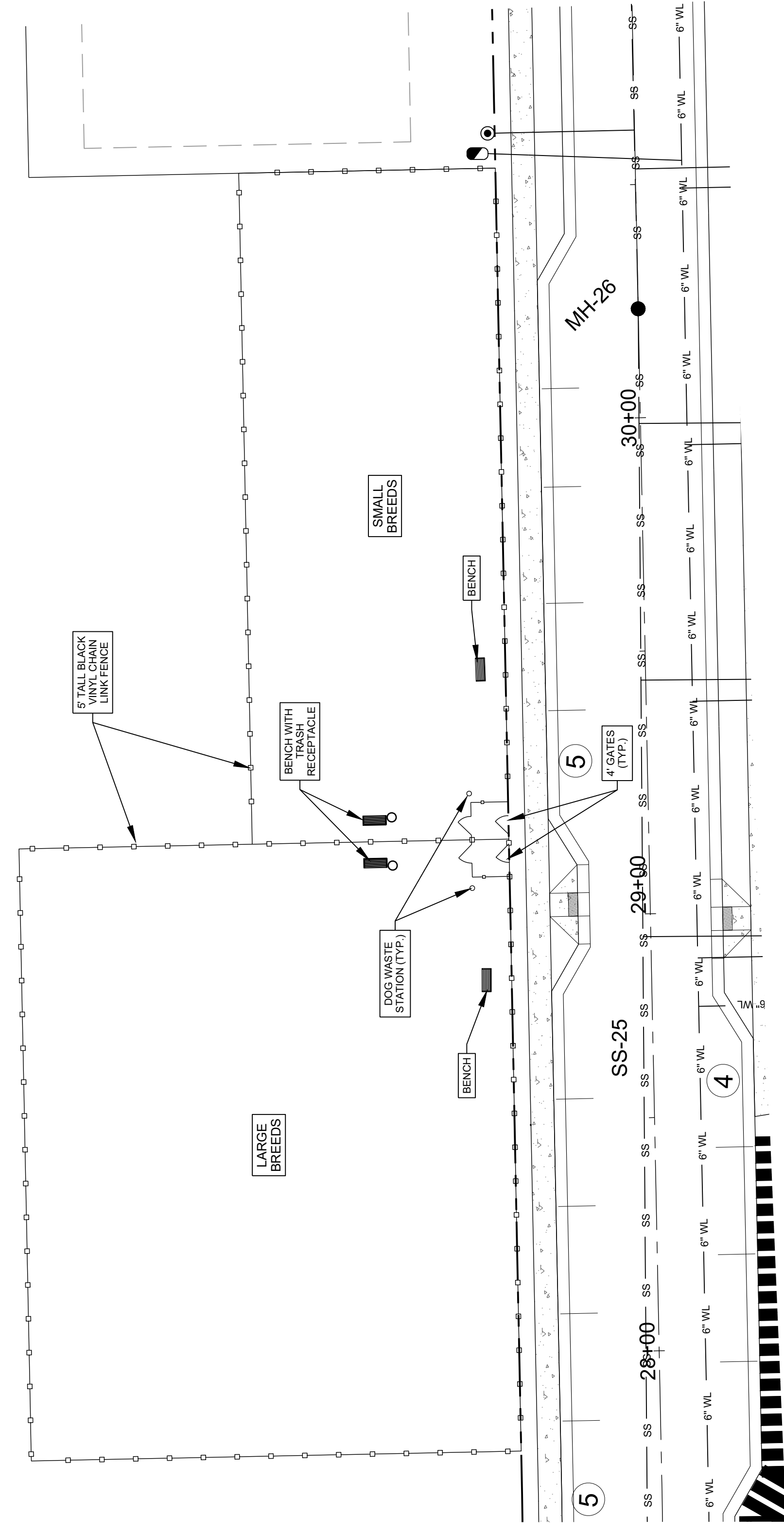
POND FOUNTAIN EXAMPLE



OPEN SPACE PLAY FIELD EXAMPLE



DOG PARK



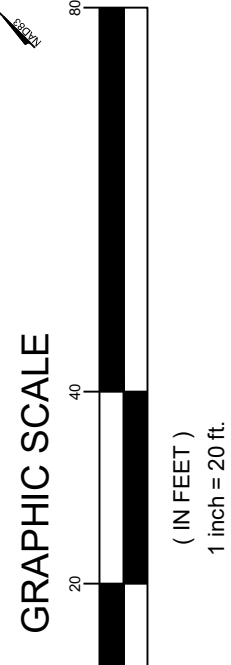
PARK BENCH EXAMPLE



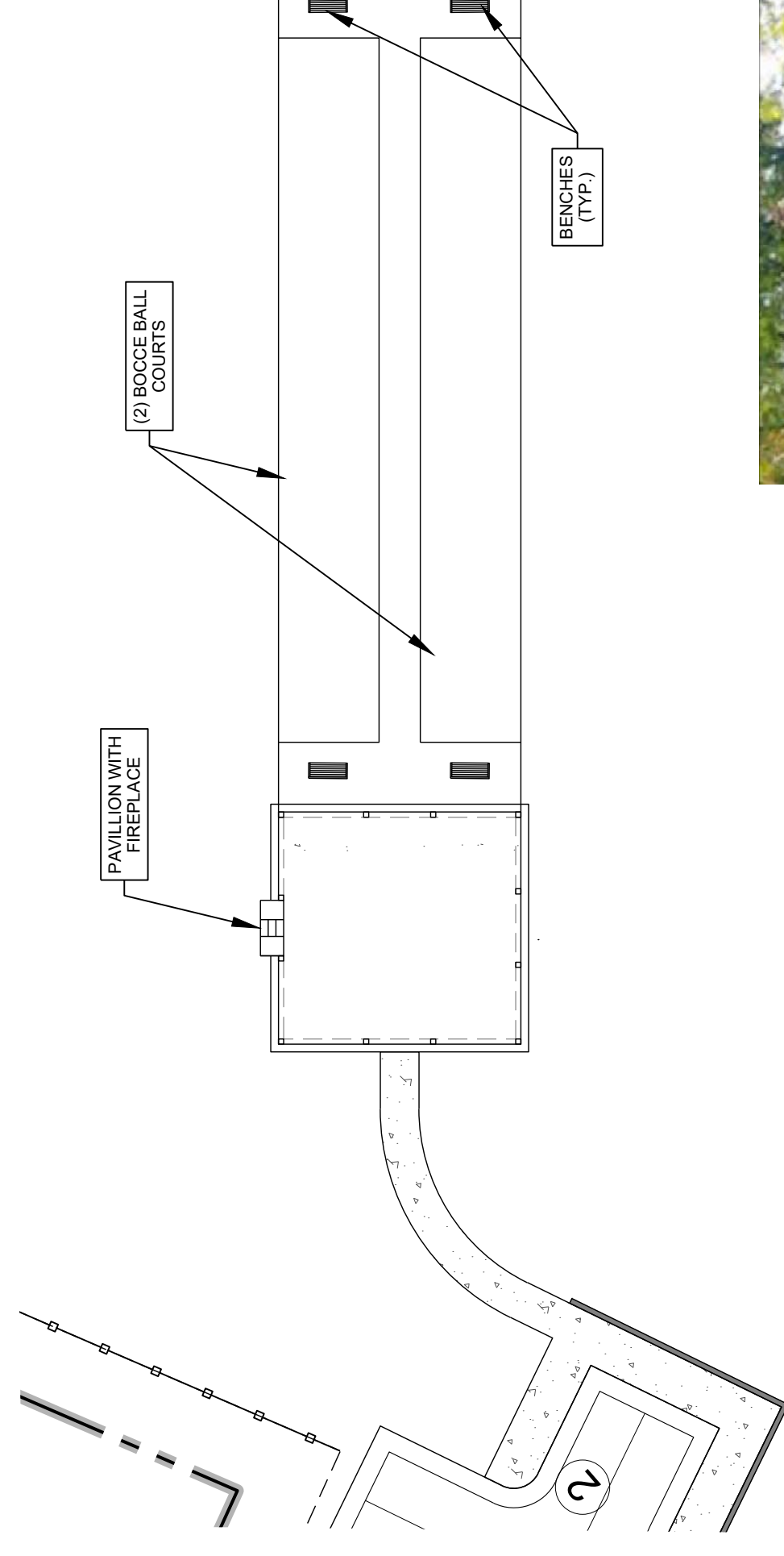
5' BLACK CHAIN LINK FENCE



DOG WASTE STATION EXAMPLE



PAVILION SHELTER & BOCCE BALL COURT



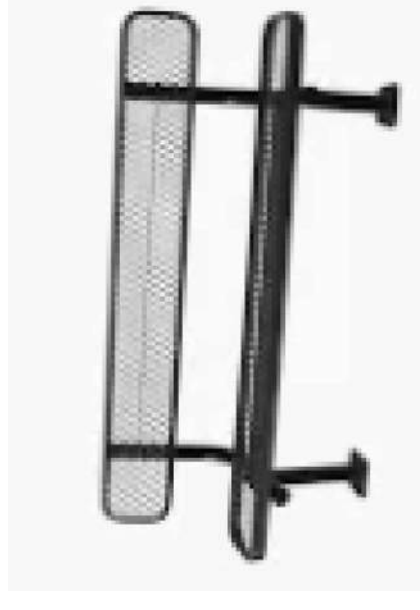
BOCCE BALL COURT EXAMPLE



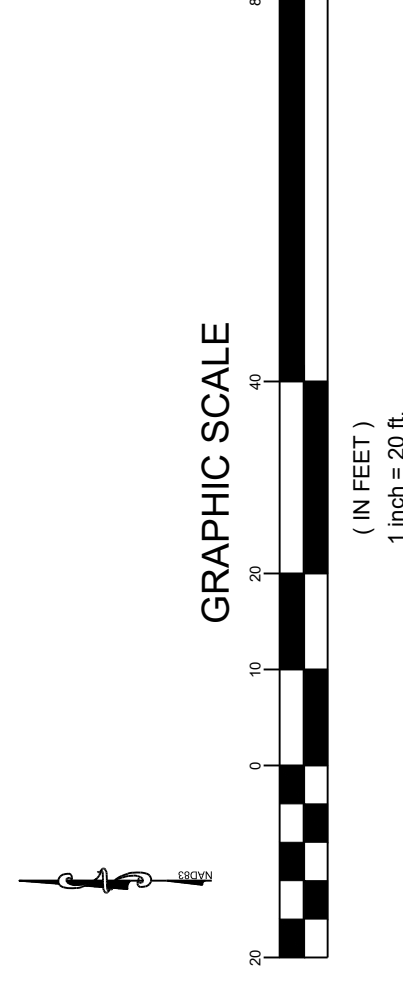
PAVILION SHELTER EXAMPLE



FIREPLACE EXAMPLE



BENCH EXAMPLE



PRELIMINARY

REVISED
11/17/2024 2:48 PM



AMENITIES

BUFFALO RD SUBDIVISION

TOWN OF SMITHFIELD, JOHNSTON COUNTY, NORTH CAROLINA

A&H ADAMS & HODGE ENGINEERING, PC
A DIVISION OF BECKER MORGAN GROUP, INC.

BECKER MORGAN GROUP

314 EAST MAIN STREET
CLAYTON, NC 27520
RD@BECKERMORGAN.COM
919-243-1392
FIRM # C-4743

DT1.01
SHEET



November 14, 2024

Stephen Wensman
Planning Director
Johnston County Planning & Zoning
350 E. Market St., PO Box 761
Smithfield, NC 27577

Subject: Preliminary Subdivision Submittal Revision Responses
Buffalo Road Subdivision

Stephen,

Please see for responses from your comments sent November 4th, 2024.

1. The preliminary plat should be consistent with the conditional zoning approval:
I have added the approved Conditions of Approval to the cover page.
 - Curb and gutter along Buffalo Road was a condition of approval and is not shown on the plans. **This has been added to the plans.**
 - Within the development, curb and gutter should be standard curbing, not valley curbs. Update the “typical local residential street” details to show standard curbs. **The typical sections have been revised to show 30” STANDARD C&G.**
 - The driveway apron to the CBU parking lot should be concrete matching the town’s standard detail. Show this on the future construction plans, but add a note to the preliminary plat. **A note has been added.**
 - Provide an exhibit that clearly shows where existing vegetation will remain. **Sheet C4.00 has been added to show where the existing vegetation will remain.**
 - Show a detail and location on the plans for a 6’ high screening fence between proposed residential lots and the Brandford Park boundary. **The 6’ fence location has been added to the plans. The detail is has been added to sheet DT1.00.**
 - Show a detail for decorative street signs. **The detail has been added to sheet DT1.00.**

2. Other comments:
 - The sidewalk to the left of the dog park should continue over the creek. **Sidewalk to the left of the dog park has been added.**
 - Should there be a culvert under the road where the “non-buffered water feature” crosses Street A? **A culvert has been added at Street A where the non-buffered feature is shown.**
 - Please provide proposed street names. **The client is working on the proposed street names. We should have them prior to the Town Council public hearing.**
 - Can the drainage easement be moved off of lot 61? **We have looked into this, and the easement cannot be moved.**

- I will be discussing with the town engineer whether the SCMs meet the town standards for access. **Noted**
- Provide draft HOA declarations for the Town Attorney review. **The client is currently working on this with their lawyer. This will be completed prior to final plat. Please add as a condition.**
- The landscape plan should be updated for the construction submittal with the correct plan counts and plants identified. **Noted.**
- Please look at the Rezoning Conditions and address as many as possible at this time. There should be some indication on the preliminary plat about the park dedication the open space at final plat.
We believe we have addressed as many rezoning conditions as we can at this time. The indication of the park dedication has been added to the preliminary plat.
- Be sure to provide a phasing plan.
Sheet C2.02 has been added to show the phasing map.

If you have any questions or comments, please contact us.

Sincerely,



Amy D. Stancil

astancil@beckermorgan.com

919-812-2654



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

DELIVERY VIA EMAIL

November 26, 2024

Stephen Wensman
Planning Director
Town of Smithfield
350 East Market Street
Smithfield, NC 27577

COUNTY: Johnston

SUBJECT: **NCDOT Review of Proposed Buffalo Road Subdivision TIA**

Dear Mr. Wensman,

Highway Division Four (Division) has reviewed the Traffic Impact Analysis (TIA) for the subject development and offers the following comments. All requirements or recommendations included herein are based on current Department policies. **This review should not be mistaken for approval of the driveway permit, design/construction plans, or final plat. A driveway permit must be obtained prior to construction.** All design aspects of any submitted plans shall comply with current NCDOT Standard Specifications for Roads and Structures and Policy on Street and Driveway Access to North Carolina Highways.

GENERAL COMMENTS

- Any roadway improvements and right-of-way dedication necessary to accommodate the road construction shall be the responsibility of the owner/developers. All required ROW shall be dedicated as public ROW in the final plat. Installation of right turn lanes will typically require at least 15' of dedication.
- Lane Closures for required improvement construction will only be permitted under restricted hours due to heavy traffic volumes in the vicinity of the proposed development. These restrictions will be determined during the driveway permitting application and approval.
- These conditions are based on current traffic volumes and projected growth for the study area. If the proposed build out year for this development, as stated in the TIA, varies more than one year an addendum or revised TIA may be required.
- Improvements being identified by a TIA for an adjacent development does not dismiss or release this development from installation and/or participation of these improvements. It is recommended that the Developers coordinate this installation with other committed developments. The Department will not participate in determining the value of each individual contribution to this roadway improvement.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS | DIV. 4 DIST. 3
67 JR RD SUITE 700
SELMA, NC 27576

Telephone: (919) 739-5300
Fax: (919) 731-2017
Customer Service: 1-877-368-4968
Website: www.ncdot.gov

Location:
67 JR RD SUITE 700
SELMA, NC 27576

- Any additional improvements that are constructed after the completion of this TIA must be maintained while constructing the improvements required by this letter.

INTERSECTIONS / SITE ACCESSES AND ASSOCIATED IMPROVEMENTS

Buffalo Road at North Site Driveway:

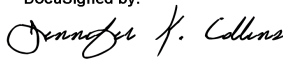
- North Site Driveway
 - Two-lane cross-section; one ingress, one egress
 - 100' Internal Protected Stem
- Buffalo Road
 - NB Buffalo Road – 50' Right-Turn Lane with appropriate deceleration and taper length.
 - SB Buffalo Road – 75' Left-Turn Lane with appropriate deceleration and taper length.

Buffalo Road at South Site Driveway:

- South Site Driveway
 - Two-lane cross-section; one ingress, one egress
 - 100' Internal Protected Stem
- Buffalo Road
 - NB Buffalo Road – 50' Right-Turn Lane with appropriate deceleration and taper length.
 - SB Buffalo Road – 50' Left-Turn Lane with appropriate deceleration and taper length.

Please note additional development may require additional improvements in the future. Feel free to contact me if you have any additional questions or concerns.

Sincerely,

DocuSigned by:

 F47E03DD04B84F2
 Jennifer K. Collins
 District Engineer

cc: Andy Brown, PE – Acting Division Engineer
 Paul Marak, PE - Division Traffic Engineer
 Doumit Y. Ishak, Congestion Mgmt. Regional Engineer
 Charles Sorrell – Congestion Management Project Design Engineer
 Kevin Dean, PE – Kimley-Horn
 Driveway Permit File



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

November 15, 2024

Buffalo Road Subdivision
Traffic Impact Analysis Review Report
Congestion Management Section

TIA Project: SC-2024-192
Division: 4
County: Johnston



Clarence B. Bunting, P.E. Regional Engineer
Madonna Saleh, Design Engineer

Buffalo Road Subdivision

SC-2024-192

Smithfield

Johnston County

Per your request, the Congestion Management Section (CMS) of the Transportation Mobility and Safety Division has completed a review of the subject site. The comments and recommendations contained in this review are based on data for background conditions presented in the Traffic Impact Analysis (TIA) and are subject to the approval of the local District Engineer's Office and appropriate local authorities.

Date Initially Received by CMS	10/17/24	Date of Site Plan	06/30/23
Date of Complete Information	10/17/24	Date of Sealed TIA	10/17/24

Proposed Development

The TIA assumes the development is completed by 2028 and consists of the following:

Land Use	Land Use Code	Size
Single-Family Detached Housing	210	170 d.u.

Trip Generation - Unadjusted Volumes During a Typical Weekday

	IN	OUT	TOTAL
AM Peak Hour	30	91	121
PM Peak Hour	103	61	164
Daily Trips			1,644









General Reference

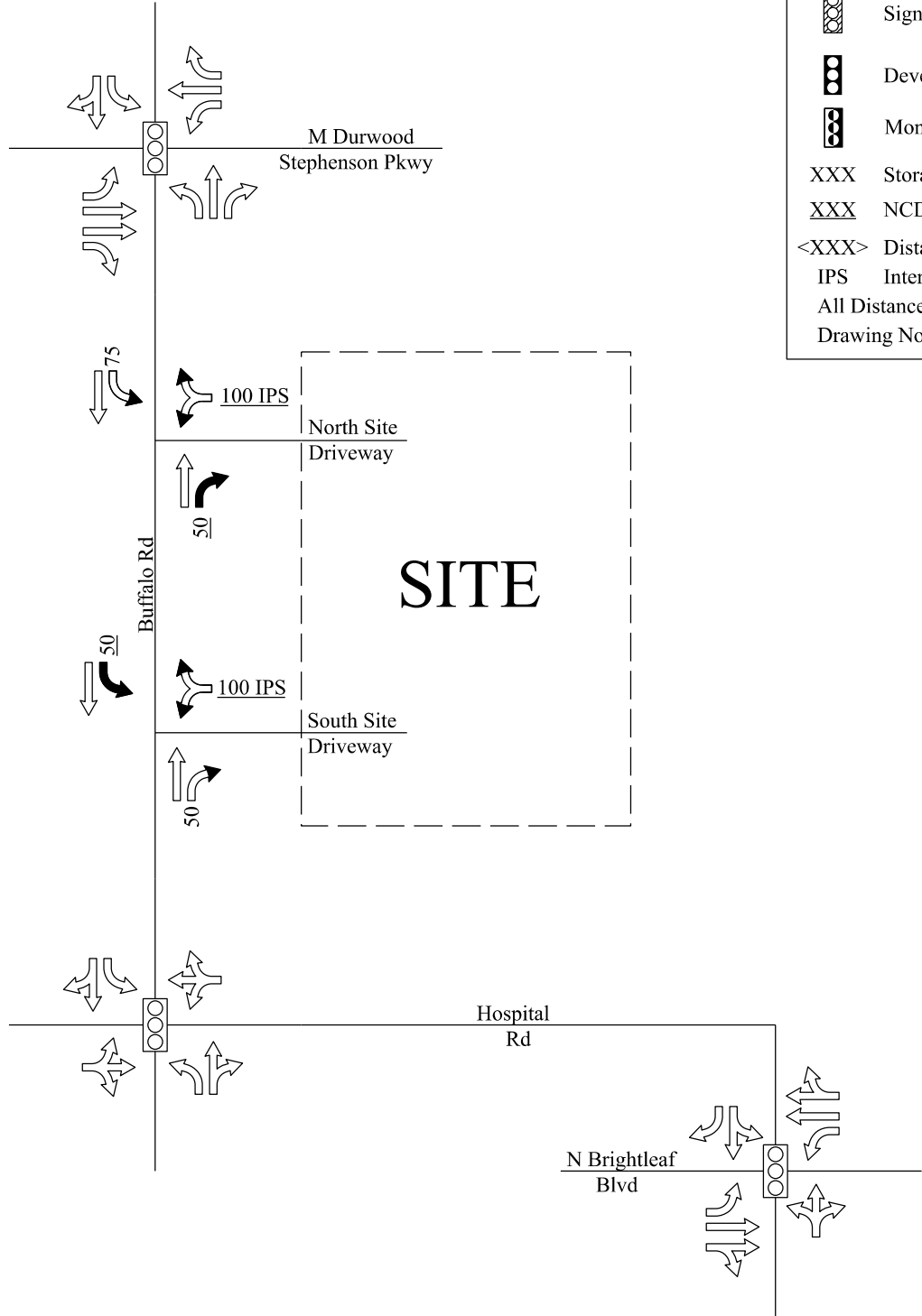
For reference to various documents applicable to this review please reference the following link: <https://connect.ncdot.gov/resources/safety/Pages/Congestion-Management.aspx>

Once the driveway permit has been approved and issued, a copy of the final driveway permit requirements should be forwarded to this office. If we can provide further assistance, please contact the Congestion Management Section.

Buffalo Road Subdivision
 Smithfield, Johnston County
 SC-2024-192



-  Existing Laneage
-  Recommended Laneage
-  Laneage Built By Others
-  NCDOT Recommendation
-  Existing Signal
-  Signal Proposed By Others
-  Developer Proposed Signal
-  Monitor for Signal
- XXX Storage
- XXX NCDOT Recommended Storage
- <XXX> Distance Between Intersections
- IPS Internal Protected Stem
- All Distances in Feet
- Drawing Not to Scale



S-24-07 Buffalo Road Subdivision Adjacent Properties List

ParcelID	Name1	Name2	Address1	Address2	CityStateZip
14A03007	MAC 2008 LLC		2790 MARRIOTTSVILLE RD		MARRIOTTSVL, MD 21104-1626
15004021J	DAVIDSON, SAMANTHA		9 RUNNEYMEDE PL		SMITHFIELD, NC 27577-4811
14057013B	VESTA ENTERPRISES, INC.			PO BOX 1457	SMITHFIELD, NC 27577-1457
14057010P	MORGAN, GARNELL A.	MORGAN, LISA	91 BROOKWOOD DR		SMITHFIELD, NC 27577-4864
140570100	DIMSDALE, B KEITH	DIMSDALE, ANGELA W	92 BROOKWOOD DRIVE		SMITHFIELD, NC 27577-4863
14057010N	ASC REALTY LLC		PO BOX 883		CLAYTON, NC 27528-0883
14057154S	PETRY, MAHLEN D	PETRY, BRENDA W	63 WHITE OAK DR		SMITHFIELD, NC 27577-4806
14057154R	G2 PROPERTIES I, LLC		402 DIXIE DR		SELMA, NC 27576-2308
14057154P	DOWNS, FAYE D.		66 WHITE OAK DR		SMITHFIELD, NC 27577-4807
14057154N	BEGEAL, JEFFREY PAUL		62 WHITE OAK DR		SMITHFIELD, NC 27577-0000
14075033	JOHNSTON COUNTY BOARD OF	EDUCATION		PO BOX 1336	SMITHFIELD, NC 27577-0000
14075029B	CAREY, JORDAN	CAREY, ASHLEY	105 PARKWAY DR		SMITHFIELD, NC 27577-8332
14075038G	LAUDIE, RICHARD L.	LAUDIE, PATSY E.	203 PARKWAY DR		SMITHFIELD, NC 27577-8334
14075031C	GRUBBS, JAMES FRANKLIN	GRUBBS, KAREN M	101 COBBLESTONE CT		SMITHFIELD, NC 27577-7102
14075038I	BRYANT, WANDA B.		103 COBBLESTONE CT		SMITHFIELD, NC 27577-7102
14075038O	BRUTON, EUGENE	BRUTON, SHEILA H	105 COBBLESTONE CT		SMITHFIELD, NC 27577-7102
14075038P	FRAYRE, MARIBEL		107 COBBLESTONE CT		SMITHFIELD, NC 27577-7102
14075038R	HONEYCUTT, LARRY D	HONEYCUTT, MARIA C	109 COBBLESTONE COURT		SMITHFIELD, NC 27577-0000
14K09007	WORLEY, RONALD GLENN	WORLEY, MICHAEL LYNN	108 QUAIL RUN		SMITHFIELD, NC 27577-0000
14075035	STEVEN, JOSE JR.	GORILLA BROADCASTING NC LLC	1270 BUFFALO RD		SMITHFIELD, NC 27577-7443
14075037	BRYAN, MICHAEL D		905 OCEAN PINES CT		N MYRTLE BCH, SC 29582-4498
14A03011A	LAMPE, GUY L.	LAMPE, ROSS W.		PO BOX 608	SMITHFIELD, NC 27577-0608
14075038B	BRYAN, KATHY M.		905 OCEAN PINES CT		N MYRTLE BCH, SC 29582-4498
14A03001	AE&E PROPERTIES, LLC		5529 NC HIGHWAY 39		SELMA, NC 27576-8529
14A03002	BARBOUR, B LINCOLN		1222 BUFFALO RD		SMITHFIELD, NC 27577-7443
14A03004A	MANNING, ERIC		1148 BUFFALO RD		SMITHFIELD, NC 27577
14A03004	DIAZ, CESARIO	PERAZA, DINORA S CORDOVA	1136 BUFFALO RD		SMITHFIELD, NC 27577
14001021	SMITHFIELD LAND GROUP, LLC		2075 JUNIPER LAKE RD		WEST END, NC 27376-8919



Request for Town Council Action

Public ANX-24-02
Hearing:
Date: 2/4/25

Subject: Contiguous Annexation Petition
Department: Planning & Administration Departments
Presented by: Planning Director - Stephen Wensman
Presentation: Public Hearing

Issue Statement

Smithfield Growth LLC has submitted a petition to voluntarily annex 85.85 acres to the Town of Smithfield.

Financial Impact

The annexation will bring the Local 70 residential development project into the Town's corporate limits adding to the town's tax base

Action Needed

The Town Council is asked to consider adoption of Ordinance No. 523-2025 extending the Corporate Limits of the Town of Smithfield. This can be done immediately or within six months.

Recommendation

Consider adopting Ordinance No. 523-2025 Extending the Corporate Limits of the Town of Smithfield.

Approved: Town Manager Town Attorney

Attachments:

1. Staff Report
2. Annexation Petition
3. Ordinance No. 523-2025
4. Legal Advertisement
5. Certificate of Sufficiency
6. Annexation Plat Maps



Staff Report

Public ANX-24-02
Hearing:
Date: 2/4/25

OVERVIEW:

Smithfield Growth LLC has submitted a petition to voluntarily annex 85.85 acres to the Town of Smithfield, Johnston County Tax ID#14057011Y, in conjunction with its development of the property into the Local 70 Residential Development consisting of 209 detached single-family residential lots, 94 attached single-family townhouses and 324 apartment units in the Local 70 PUD Conditional District. The future development will include new public streets, sidewalks, trails, water and sewer lines, electrical service and a pump station.

The property to be annexed is part of the larger Local 70 PUD Conditional District that includes future commercial/industrial uses that are not proposed for development or annexation at this time (north and east of M. Durwood Stephenson Parkway).

The area considered for annexation is fully within the Town's Fire Protection District.

PAST ACTIONS ON PETITION:

On December 17, 2024, the Town Council adopted Resolution #761 (22-2024) directing the Town Clerk to investigate the sufficiency of the petition. The petition has been found to be sufficient.

On January 7, 2024, the Town Council adopted a resolution setting the date for the Public Hearing for January 21, 2025. A winter storm caused the January 21st meeting to be cancelled. Public notice was again published, moving the public hearing to the next scheduled meeting, February 4, 2025.

ANALYSIS:

Utilities. Smithfield sewer and water and electric utilities which will be extended into the site by the developer to service future residential development. A pump station is planned for the northwest corner of the site.

Police. The Town Police Department will provide police protection in the area.

Fire Protection. The area is already within the Town's fire district.

Public Works. Trash and yard pickup services will be provided to the new single-family and townhouse lots in the development, and the new public streets and sidewalks will need to be maintained.

Code Enforcement. Code enforcement will expand into that area, however, the future HOA will likely address most issues.

FINDINGS:

Pursuant to NCGS 160A-58.2, If the council then finds and determines that:

- i. the area described in the petition meets all of the standards set out in G.S. 160A-58.1(b),
- ii. the petition bears the signatures of all of the owners of real property within the area proposed for annexation (except those not required to sign by G.S. 160A-58.1(a)),
- iii. the petition is otherwise valid, and
- iv. the public health, safety and welfare of the inhabitants of the city and of the area proposed for annexation will be best served by the annexation,

then council may adopt an ordinance annexing the area described in the petition. The ordinance may be made effective immediately or on any specified date within six months from the date of passage.

ACTION REQUESTED:

Pursuant to NCGS 160A-58.2, the Town Council shall accept public comments and consider adopting Ordinance No. 523 - 2025 extending the Corporate Limits of the Town of Smithfield. The Ordinance may be adopted immediately or within six months.

The Town Council has three options:

- 1. Approve the contiguous annexation petition and adopt Ordinance No. 523-2025
- 2. Table the decision for no longer than 6 months
- 3. Deny the annexation petition.



Town of Smithfield
 Planning Department
 350 E. Market St. Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

Annexation Petition
 Submittal Checklist

<p>Please include all of the following (check off). If any information is missing from the application package, you will be asked to complete the application and re-submit the petition, so please check the list below carefully before you submit:</p>			
<input type="checkbox"/>	<p>Electronic Word document of the written metes and bounds must be e-mailed to: Stephen.Wensman@smithfield-nc.com or Mark.Helmer@smithfield-nc.com.</p>		
<input type="checkbox"/>	<p>Boundary Survey to be recorded upon approval or an existing recorded plat showing the above written metes and bounds description of the property to be annexed. This document must be submitted electronically in .pdf format.</p>		
<input type="checkbox"/>	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;"> <p>Copy of Approved Preliminary Site Plan or Final Site Plan showing Town Permit number (Z-__-__, etc.) or</p> </td> <td style="width: 50%;"> <p>Copy of Subdivision Plat submitted for lot recording approval with Town file number (S-__-__, etc.)</p> </td> </tr> </table>	<p>Copy of Approved Preliminary Site Plan or Final Site Plan showing Town Permit number (Z-__-__, etc.) or</p>	<p>Copy of Subdivision Plat submitted for lot recording approval with Town file number (S-__-__, etc.)</p>
<p>Copy of Approved Preliminary Site Plan or Final Site Plan showing Town Permit number (Z-__-__, etc.) or</p>	<p>Copy of Subdivision Plat submitted for lot recording approval with Town file number (S-__-__, etc.)</p>		
<input type="checkbox"/>	<p>Projected Market Value of Development at build-out (land and improvements).</p>		
<input type="checkbox"/>	<p>General Annexation Area Data: Linear feet of public streets, total annexation area acreage, number of proposed residential units or square footage of commercial space, type of utility connections involved, specific land uses proposed.</p>		
<input type="checkbox"/>	<p>This application form completed, <u>dated and signed</u> by the property owner(s) and attested submitted by the deadlines.</p>		
<p>Required, but often missing information. Please make sure to include the following:</p>			
<input type="checkbox"/>	<p>Correct Parcel Identification Number(s) (PIN). Call Johnston County Geographic Information Services at 919-989-5153, if there is any question about the parcel identifier. This is very important. Please indicate if the property being requested for annexation is only a portion of an existing parcel.</p>		
<input type="checkbox"/>	<p>Owner's Signatures and Date of Signatures. See page 3 of this application. All real property owners must sign the application, and the <u>date of signature MUST be filled in!</u></p>		
<input type="checkbox"/>	<p>Corporate Seal for property owned by a corporation.</p>		
<input type="checkbox"/>	<p>Rezoning Application, if the property is currently outside Town of Smithfield.</p>		

Annexation Petition

Submittal Deadlines

Petitions for annexation are accepted by the Town of Smithfield Planning Department at any time. There is no fee required for submittal of an annexation petition. **The annexation will become effective immediately upon adoption of the annexation ordinance at the scheduled public hearing unless notified otherwise by the Town Clerk.**

(The Town of Smithfield reserves the right to make exceptions to this general processing schedule when necessary.)

Summary Information / Metes and Bounds Descriptions

Development Project Name Smithfield Growth, LLC				
Street Address 1600 Colon Rd Sanford, NC 27330				
Town of Smithfield Subdivision approval # (S-_____) or		Building Permit Transaction # _____ or		Site Plan approval # for multi-family (SP-_____)
Johnston County Property Identification Number(s) list below				
P.I.N. 260410-47-7462	P.I.N.	P.I.N.		
P.I.N.	P.I.N.	P.I.N.		
Acreeage of Annexation Site 85.85 +/-		Linear Feet of Public Streets within Annexation Boundaries 0		
Annexation site is requesting Town of Smithfield		<input checked="" type="checkbox"/> Water <input checked="" type="checkbox"/> and/or Sewer Yes		
Number of proposed dwelling units 627				
Type of Units:	Single Family <u>209</u>	Townhouse <u>94</u>	Condo <u>0</u>	Apartment <u>324</u>
Building Square Footage of Non-Residential Space				
Specific proposed use (office, retail, warehouse, school, etc.)				
Projected market value at build-out (land and improvements) \$				
Person to contact if there are questions about the petition				
Name Corey Mabus				
Address 1600 Colon Rd Sanford, NC 27330				
Phone 910-728-5714		Fax # n/a		Email corey@carolinacommercialnc.com

Annexation Petition

State of North Carolina, County of Johnston, Petition of Annexation of Property to the Town of Smithfield, North Carolina

Part 1 The undersigned, being all the owners of the real property described in this application respectfully request the annexation of said property to the Town of Smithfield, North Carolina. **The petitioners understand and agree that all streets and utilities within the annexed area will be constructed and installed by the developer according to the Unified Development Ordinance and any utilities that must be extended to the annexed area are the responsibility of the developers or successive property owners.** The property to be annexed is:

Contiguous to the present corporate limits of the Town Of Smithfield, North Carolina, or

Not Contiguous to the municipal limits of the Town of Smithfield, North Carolina, not closer to the limits of any other municipality and is located within three miles of the municipal limits of the Town of Smithfield, North Carolina (pursuant to Chapter 989 of the Sessions Law of North Carolina, 1967)

Part 2 NC General Statutes require petitioners of both contiguous and satellite annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S.160A-385.1 or 153A-344.1 for properties subject to the petition.

Do you declare such vested rights for the property subject to this petition? Yes No

If yes, please submit proof that vested rights have been granted by governing board. I hereby declare that my failure to disclose existence of a vested right terminates any vested right previously acquired for this property.

Signed this 5 day of November, 20 24 by the owners of the property described in Section C.

Owner's Signature(s)
 Signature [Signature] Date 11/15/2024
 Signature _____ Date _____
 Signature _____ Date _____
 Signature _____ Date _____

Corporate Seal

Print owner name(s) and information

Name W. Carter Keller Phone 919-776-4164
 Address 1600 Colon Road, Sanford, NC 27330
 Name _____ Phone _____
 Address _____
 Name _____ Phone _____
 Address _____
 Name _____ Phone _____
 Address _____

Above signature(s) attested by

Received by the Town of Smithfield, North Carolina, this 6th day of NOVEMBER 20 24, at a Council meeting duly held.
 Signature of Town Clerk _____

TOWN OF SMITHFIELD
North Carolina

ORDINANCE NO. 523-2025 TO EXTEND THE
CORPORATE LIMITS OF THE TOWN OF SMITHFIELD

WHEREAS, the Town Council has been petitioned under NCGS 160A-31 to annex the area described below; and

WHEREAS, a public hearing on the question of this annexation was originally scheduled for January 21, 2025, however the meeting was cancelled due to a winter storm. The public hearing was held in the Smithfield Town Hall Council Chamber located at 350 East Market Street, Smithfield, North Carolina at approximately 7:00 pm on February 04, 2025, after due notice; and

WHEREAS, the Town Council finds that the petition meets the requirements of NCGS 160A-31.

NOW THEREFORE BE IT ORDAINED by the Town Council of the Town of Smithfield that:

Section 1. By virtue of the authority granted by NCGS 160A-31, the following described contiguous property owned by the Town of Smithfield is hereby annexed and made a part of the Town of Smithfield effective immediately.

The legal description of the area proposed for annexation is described as follows:

Beginning at an existing right of way monument, said monument being located in the southern right of way of M. Durwood Stephens Parkway (Public right of way width varies); Thence along said M. Durwood Stephens Parkway southern right of way the following courses and distances: 1) S 89°34'03" E 377.15 feet to an existing right of way monument, said monument having NAD 83 (2011) Coordinates of N: 648,650.44 and E: 2,204,096.63; 2) with a curve to the right, having a radius of 1,850.00 feet, an arc length of 1,517.35 feet and a chord bearing and distance of, S 65°30'42" E 1,475.17 feet to an existing right of way monument, said monument having NAD 83 (2011) Coordinates of N: 648,038.97 and E: 2,205,439.11; 3) with a curve to the right, having a radius of 1,850.00 feet, an arc length of 1,408.41 feet and a chord bearing and distance of, S 20°19'49" E 1,374.64 feet to an existing right of way monument; 4) S 03°02'35" W 338.37 feet to an existing 1" iron pipe, said iron pipe being located in said M. Durwood Stephens Parkway and being the northeast corner of Wal-Mart Real Estate Business Trust, Id No: 14057012D (Deed Book 1751, Page 775); Thence leaving said M. Durwood Stephens Parkway and along the northern line of said Wal-Mart Real Estate Business Trust, N 89°09'23" W 1,023.53 feet to an existing ½" iron pipe, said iron pipe being the northwest corner of said Wal-Mart Real Estate Business Trust and being a point in the eastern line of Tanisha C. Medina, Id No: 14074002D (Deed Book 6015, Page 691); Thence leaving said Wal-Mart Real Estate Business Trust and along the eastern of said Tanisha Medina, N 00°41'34" E 63.92 feet to an existing ½" iron in concrete, said iron being the northeast corner of said Tanisha Medina; Thence leaving and along said Tanisha Medina and along the northern line of Vu Nguyen, Id No: 14074002E (Deed Book 3072, Page 971) and Booker Dairy Homeowners Association, Id No: 14074002M (Deed Book 3274, Page 19), N 89°40'00" W 764.38 feet to an existing axle, said axle being in the northern line of said Booker Dairy Homeowners Association and being the southeast corner of Jose Benitez and Jenny Benitez, Id No: 14057016 (Deed Book 5304, Page 733); Thence leaving said Booker Dairy Homeowners Association and along the eastern line of said Benitez, N 01°29'10" E 239.09 feet to an existing 1" iron pipe, said iron pipe being the northeast corner of said Benitez and being the southeast corner of Thomas E. Sullivan and Shirley P. Sullivan, Tanya S. Mustgrave and Shannon S. Haywood, Id No: 14057016A (Deed Book 5424, Page 469); Thence leaving said Benitez and along said Sullivan, Mustgrave and Haywood (Id No: 14057016A) eastern line, N 00°53'22" E

236.70 feet to an existing 1" iron pipe, said iron pipe being the northeast corner of said Sullivan, Mustgrave and Haywood (Id No: 14057016A); Thence along said Sullivan, Mustgrave and Haywood northern line and along Thomas E. Sullivan Shirley P. Sullivan, Tanya S. Mustgrave and Shannon S. Haywood, Id No: 14057015 (Deed Book 5424, Page 472), N 89°40'12" W 468.72 feet to an existing 1" iron pipe, said iron pipe being the northwest corner of said Sullivan, Mustgrave and Haywood (Id No: 14057015) and being located in the eastern right of way of Booker Dairy Road (Public right of way width varies); Thence leaving said Sullivan, Mustgrave and Haywood (Id No: 14057015) and along said Booker Dairy Road eastern right of way the following courses and distances: 1) N 00°01'45" W 731.46 feet to an existing right of way monument; 2) S 89°58'21" E 19.66 feet to an existing right of way monument; 3) N 00°10'53" W 216.42 feet to an existing 1" iron pipe, said iron pipe being located in said Booker Dairy Road eastern right of way and being the southwest corner of Elizabeth Cortes Jaurez and Juan Manuel Perez, Id No: 14057013 (Deed Book 6409, Page 895); Thence leaving said Booker Dairy Road and along the southern line of said Juarez and Perez, S 89°44'14" E 127.14 feet to an existing 1" iron rod, said iron rod being the southeast corner of said Juarez and Perez and being the southwest corner of Margie B. Olsen, Id No: 14057012 (Deed Book 4866, Page 272 and Deed Book 929, Page 45); Thence leaving said Juarez and Perez and along the southern, eastern and northern lines of said Olsen the following courses and distances: 1) S 89°43'49" E 347.00 feet to an existing 36" Pine tree; 2) N 01°01'26" E 558.60 feet to an existing 1" iron pipe; 3) N 89°21'39" W 229.03 feet to an existing 1" iron pipe; 4) S 50°50'06" W 329.90 feet to an existing 1" iron pipe, said iron pipe being located in said Booker Dairy Road eastern right of way; Thence leaving said Olsen and along said Booker Dairy Road eastern right of way, N 00°06'50" W 332.71 feet to an existing right of way monument; Thence leaving said Booker Dairy Road, N 45°35'05" E 69.07 feet to the Point of Beginning, Containing 85.85± Acres.

Section 2. The Mayor of the Town of Smithfield shall cause to be recorded in the office of the Register of Deeds of Johnston County, and in the office of the Secretary of State in Raleigh, North Carolina an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall be delivered to the Johnston County Board of Elections, as required by NCGS 163-288.1

Adopted this the 4th day of February, 2025

M. Andy Moore, Mayor

ATTEST

Elaine Andrews, Town Clerk

APPROVED AS TO FORM:

Robert Spence, Jr., Town Attorney

**Town Of Smithfield
Notice of Public Hearing**

Notice is hereby given that a Public Hearing will be held before the Town Council of the Town of Smithfield, N.C., on Tuesday, February 4, 2025, at 7:00 PM., in the Town Hall Council Chambers located at 350 East Market Street to consider the following requests:

ANX-24-02 Local 70 Annexation: Smithfield Growth LLC has submitted a petition to voluntarily annex 85.85 acres to the Town of Smithfield. This is located at M. Durwood Stephenson Parkway and Booker Dairy Road and also known as Local 70 Subdivision. This has previously been identified as Johnston County Tax ID #14057011Y, but has recently been subdivided into 10 parcels: #14057012O, #14057012M, #14057012H, #14057012G, #14057012I, #14057012K, #14057012N, #14057012J, #14057012L, #14057011Y.

S-24-08 Local 70 Subdivision: Smithfield Growth, LLC is requesting a preliminary subdivision with 303 lots (209 single family homes and 94 townhomes) and 324 apartment units, for a total of 627 residential dwelling units. The properties considered for approval are located along M. Durwood Stephenson Parkway east of Eden Woods and north of Walmart. These properties are further identified as Johnston County Tax ID #s 14057011Y and 14057011X.

S-24-07 Buffalo Road Subdivision: Vesta Enterprises, Inc. is requesting a preliminary subdivision of 138.63 acres of land with R-8 CZ designation into 117 detached single-family residential lots. The property considered for approval is located at 1176 and 1200 Buffalo Road (Southeastern side of Buffalo Road and M Durwood Stephenson Parkway intersection, further identified as Johnston County Tax ID # 14A033005.

All interested people are encouraged to attend. To accommodate disabilities and to comply with ADA regulations, please contact the office if you need assistance. Further inquiries regarding this matter may be directed to the Town of Smithfield at (919) 934-2116 ext. 1111 or online at www.smithfield-nc.com.
#PL0213549
Jan 23 2025

Certification of Sufficiency

Contiguous Annexation ANX-24-02

To the Town Council of the Town of Smithfield, North Carolina:

I, Elaine S. Andrews, Town Clerk, do hereby certify that I have investigated the attached petition and hereby make the following findings:

- a. The petition contains an adequate property description of the area proposed for annexation.
Attached hereto are the metes and bounds for the property.
- b. The area described in the petition is contiguous to the Town of Smithfield primary corporate limits, as defined by GS 130A-31.
Attached hereto is a map showing property is contiguous to the Town of Smithfield's corporate limits.
- c. The petition is signed by and includes address of all owners of real property lying in the area described therein
Attached hereto is the annexation petition and map from Johnston County GIS showing the addresses on the petition and addresses of the property owners are the same.

In witness whereof, I have herunto set my hand and affixed the seal of the Town of Smithfield this the 7th day of January 2025.


Elaine S. Andrews, Town Clerk



Local 70 Annexation

File Number:
ANX-24-02

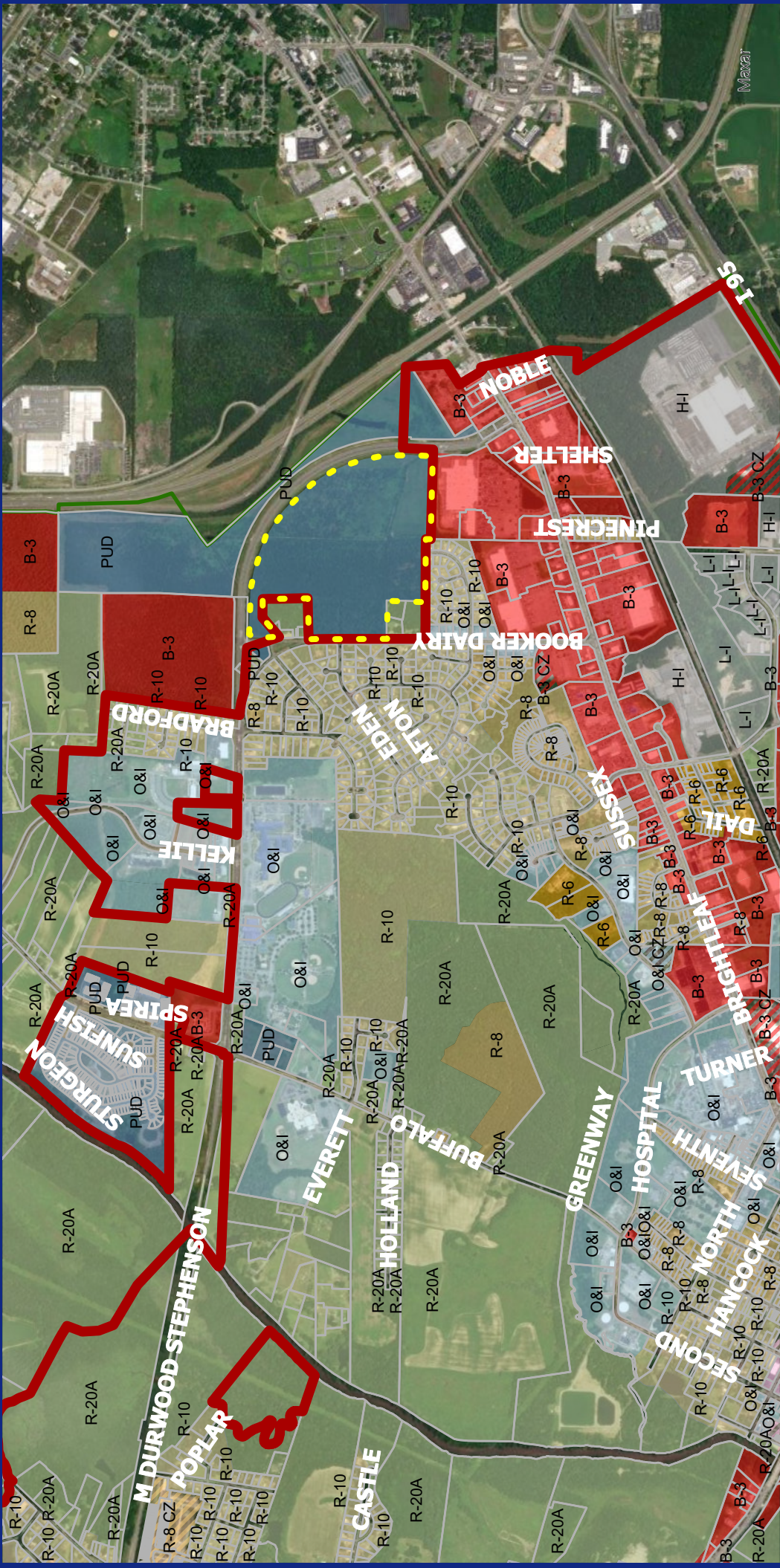
Project Name:
Local 70 Annexation

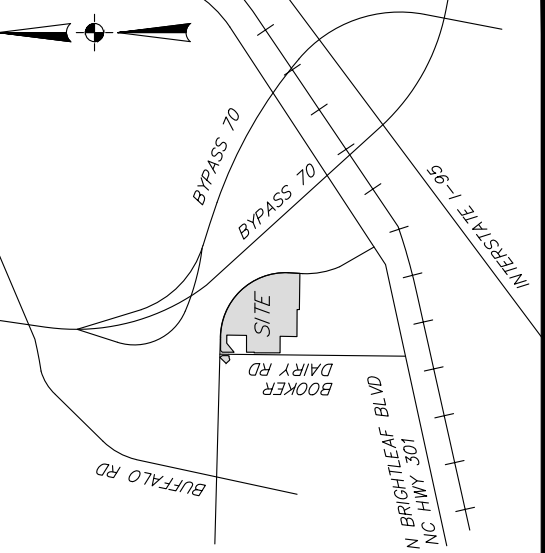
Location:
**M. Durwood Stephenson
Booker Dairy Rd**

Tax ID#:
14057011Y

Existing Zoning:
PUD

Owner:
Smithfield Growth, LLC





VICINITY MAP
NOT TO SCALE



PRELIMINARY

I, AARON CARTER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: A
- (2) POSITIONAL ACCURACY: 0.10'
- (3) TYPE OF GPS FIELD PROCEDURE: RTK
- (4) DATE OF SURVEY: 06/14/24
- (5) DATUM/EPOCH: NAD 83 (2011)
- (6) PUBLISHED/FIXED-CONTROL USE: NCVRS
- (7) GEOID MODEL: 12B
- (8) COMBINED GRID FACTOR(S): 0.99988214
- (9) UNITS: U.S. FEET

GENERAL NOTES

- 1) THE PURPOSE OF THIS PLAT IS TO SHOW THE PROPOSED ANNEXATION OF PROPERTY ID NO. 140570111 INTO THE CITY OF SMITHFIELD.
- 2) SUBJECT PROPERTY ID NO. 140570111; DEED BOOK 6150, PAGE 19 AND PLAT BOOK 95, PAGES 115-116.
- 3) FLOOD CERTIFICATION: A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SCALED FROM MAPS FURNISHED BY NORTH CAROLINA FLOOD PLAIN MAPPING PROGRAM DATED JUNE 20, 2018. SUBJECT TO VERIFICATION BY DETAILED FLOOD MAP STUDY. SEE COMMUNITY PANEL NO. 322026400K.
- 4) ALL DISTANCES ARE HORIZONTAL DISTANCES UNLESS NOTED OTHERWISE.
- 5) 1/2" IRON RODS SET AT ALL CORNERS, UNLESS OTHERWISE SHOWN OR NOTED.
- 6) METHOD OF COMPUTATION IS BY COORDINATE CALCULATION.
- 7) THE PROPERTY IS SUBJECT TO ANY EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY PRIOR TO THE DATE OF THIS MAP WHICH WERE NOT APPARENT AT THE TIME OF MY INSPECTION AND MIGHT OTHERWISE BE DISCLOSED BY AN ATTORNEY'S TITLE OPINION WHICH AS OF DATE SHOWN HEREON HAS NOT BEEN SUPPLIED TO SUMMARY ENGINEERING ASSOCIATES. THERE MAY BE EASEMENTS OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY NOT SHOWN HEREON.
- 8) COORDINATES SHOWN ARE BASED ON THE NORTH CAROLINA GRID SYSTEM (NC3200). NAD 83 (2011), AND NAD 88 (GEOID 12B), AND COORDINATES WERE OBTAINED USING THE NCVRS SYSTEM.

SURVEY AND ACCURACY

I, AARON CARTER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 6150, PAGE 19 AND PLAT BOOK 95, PAGES 115-116). I HAVE CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND AS SHOWN THAT THE RATIO OF PRECISION IS 1:10,000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS _____ DAY OF _____, A.D., 2024.

PROFESSIONAL LAND SURVEYOR L-5519

I, AARON CARTER, PROFESSIONAL LAND SURVEYOR, L-5519, CERTIFY THAT THIS IS A SURVEY

(11d) IS OF ANOTHER CATEGORY, SUCH AS A RE-ENTRY SURVEY, OR OTHER EXEMPTION OR EXCEPTIONS TO THE DEFINITION OF SUBDIVISION.

PROFESSIONAL LAND SURVEYOR _____ DATE _____

ABBREVIATIONS

EIP = EXISTING IRON PIPE/R/W
 EIR = EXISTING IRON ROAD
 IRS = NEW IRON ROAD SET
 R/W = RIGHT OF WAY
 AG = ABOVE GROUND
 BG = BELOW GROUND
 FL = FLUSH WITH GROUND
 RCP = REINFORCED CONCRETE PIPE
 OUT = OUTSIDE OF CITY LIMITS
 IN = PROPOSED INSIDE OF CITY LIMITS

OWNER:
 SMITHFIELD GROWTH LLC
 1600 COLON ROAD
 SANFORD, NC 27330

**M. DURWOOD STEPHENS PARKWAY
 PROJECT PUBLIC R/W WIDTH VARIATIONS**
 D.B. 6001, PG. 582 - D.B. 5021, PG. 190

**OLD BOOKER DAIRY RD
 60' PUBLIC R/W**
 (P.B. 60, PG. 323)

**CAMELIA DR
 60' PUBLIC R/W**
 (P.B. 17, PG. 65)

REVIEW OFFICER CERTIFICATION
 COUNTY OF JOHNSTON

I, _____ REVIEW OFFICER OF JOHNSTON COUNTY, CERTIFY THAT THIS PLAT MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____

**EDEN DR
 60' PUBLIC R/W**
 (P.B. 17, PG. 161)

SMITHFIELD GROWTH, LLC
 ID NO. 140570111
 D.B. 60, PG. 115
 P.B. 95, PG. 115

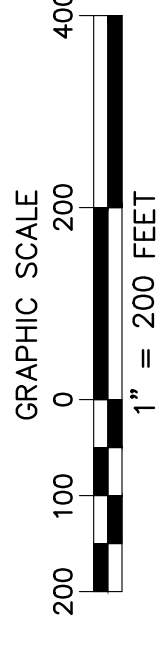
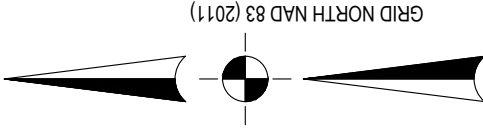
85.85± ACRES
 3,739,617± SQ. FT.
 PROPOSED "IN"

Curve Table

Curve #	Length	Radius	Chord Bearing	Chord Distance
C1	1517.35	1850.00	S65°30'42"E	1475.17
C2	1408.41	1850.00	S20°19'49"E	1374.64

Line Table

Line #	Direction	Length
L1	N45°35'05"E	69.07
L2	N00°41'34"E	63.92
L3	N01°29'10"E	239.09
L4	N00°53'22"E	236.70
L5	S89°58'21"E	19.66
L6	N00°10'53"W	216.42
L7	S89°44'14"E	127.14
L8	N00°10'50"W	332.71
L9	N89°56'03"E	95.37
L10	S35°50'07"E	4.53
L11	N07°37'00"W	5.07
L12	N01°26'48"E	28.79



**ANNEXATION PLAT FOR
 LOCAL 70 RESIDENTIAL DEVELOPMENT**

M. DURWOOD STEPHENS PARKWAY
 SELMA TOWNSHIP - JOHNSTON COUNTY - NORTH CAROLINA

Summy Engineering Associates, PLLC
 Engineering - Consulting - Surveying

FO Box 968, Asheville, NC 27209
 Ph. 336-328-9202, Fx. 336-328-9222, www.summyengineering.com
 NC ENGINEERING & SURVEYING FIRM CERTIFICATE OF AUTHORIZATION: P4338

Scale: 1" = 200'
 Date: 11/19/2024
 Drawn By: SKM
 Checked By: AJC
 Job No.: 2201004

LEGEND

- EXISTING IRON PIPE/R/W
- NEW 1/2" IRON ROD SET
- COMPUTED POINT (NOT SET)
- UTILITY POLE
- ADJOINER LINE
- LINE SURVEYED
- RIGHT OF WAY
- ANNEXATION LINE
- OVERHEAD POWER
- FLOODWAY LINE
- EASEMENT LINE
- ESMT
- FLOOD ZONE "AE"

CERTIFICATE OF APPROVAL

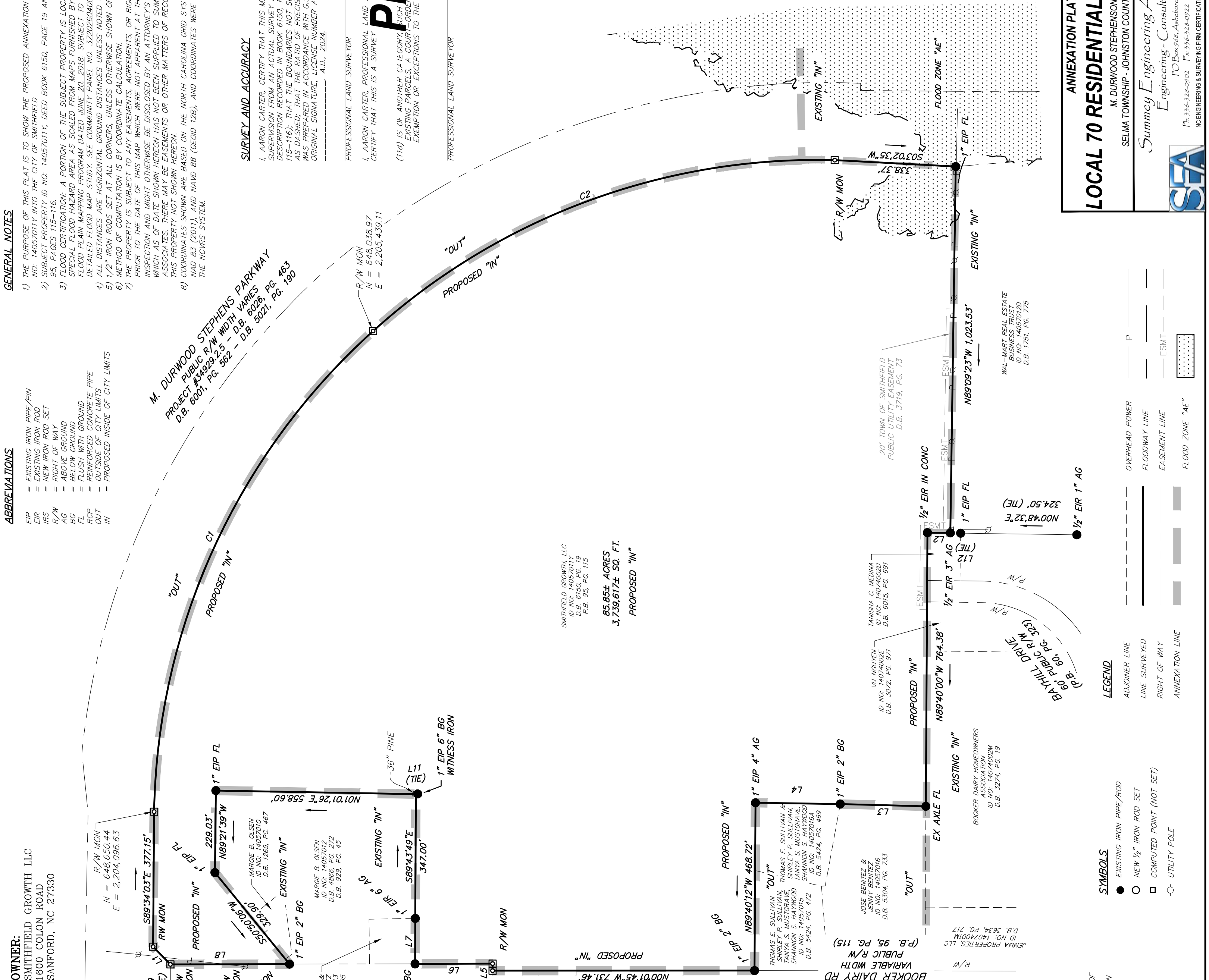
I, HEREBY CERTIFY THAT ALL STREETS AND OTHER IMPROVEMENTS SHOWN ON THIS PLAT HAVE BEEN COMPLETED OR WILL BE COMPLETED BY THE POSTING OF A PERFORMANCE BOND OR OTHER SUFFICIENT SURETY, THAT THE SUBDIVISION SHOWN ON THIS PLAT COMPLES IN ALL RESPECTS WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF SMITHFIELD AND THEREFORE, HAS BEEN APPROVED BY THE SMITHFIELD TOWN COUNCIL, SUBJECT TO ITS BEING RECORDED WITHIN (6) MONTHS OF THE BELOW DATE.

TOWN CLERK _____ DATE _____
 PLANNING DIRECTOR _____ DATE _____

OWNERSHIP AND DEDICATION

I, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF SMITHFIELD, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, ALLEYS, THOSE SPECIFICALLY INDICATED AS PUBLIC AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE PUBLIC AUTHORITY.

OWNER _____ DATE _____





Request for Town Council Action

Public Hearing: S-24-08

Date: 2/4/25

Subject: Local 70 Residential Development Preliminary Plat
Department: Planning Department
Presented by: Planning Director - Stephen Wensman
Presentation: Public Hearing

Issue Statement

Smithfield Growth, LLC is requesting a preliminary subdivision of 86.64 acres of land in the Local 70 PUD Zoning District into 209 detached single-family residential lots, 94 attached single-family townhouses and 324 apartment units.

Financial Impact

The subdivision will provide tax-base, park dedication fee-in-lieu, and utilities system development fees.

Action Needed

The Town Council is respectfully requested to hold a public hearing to review the preliminary subdivision plat and make a decision to approve, approve with conditions or to deny based on the finding of fact for subdivisions.

Recommendation

Staff recommend approval of the Local 70 Residential Development preliminary plat, S-24-08, based on the finding of fact for subdivisions.

Approved: Town Manager Town Attorney

Attachments:

1. Staff report
2. Draft Finding of Fact
3. Application, narrative
4. Preliminary Plat & Plans
5. **Adjacent Property Owners Listing**



Staff Report

Public Hearing: S-24-08

Date: 2/4/25

REQUEST:

Smithfield Growth, LLC is requesting a preliminary subdivision of 86.64 acres of land in the 163-acre Local 70 PUD Zoning District into 209 detached single-family residential lots, 94 attached single-family townhouses and 324 apartment units.

PROPERTY LOCATION:

The property is located south of M. Durwood Stephenson Parkway, primarily east of Booker Dairy Road and north of Walmart on US 301 North.

APPLICATION DATA:

Applicant/Owner:	Smithfield Growth LLC
Consultant:	Summey Engineering Associates (Christian Vestal)
Project Name:	Local 70 Residential
Tax ID:	14057011X and 14057011Y
Acreage:	86.64-acres
Present Zoning:	Local 70 PUD District
Town/ETJ:	ETJ (Annexation petition submitted)
Existing Use:	Vacant Woods/open field
Proposed Use:	Mixed Use PUD
Fire District:	Smithfield
School Impacts:	Additional households with school-age children
Parks and Recreation:	Fee in lieu to be collected with final plat
Proposed Public Streets:	11,501 +/- linear feet of public and private.
Private Streets:	4,540 LF +/-
Proposed Sidewalks:	20,579 LF +/-
Proposed Trail	3,981 LF +/-
Proposed Sewer Line	11,754 LF +/- gravity and 1,835 LF +/- forced main.
Proposed Water Line	16,600 LF +/-
Public Utilities Provider	Town of Smithfield

ENVIRONMENTAL:

- There is 100-year flood area located in the southeast portion of the site adjacent to Walmart and M. Durwood Stephenson Parkway.

ADJACENT ZONING AND LAND USES: (SEE ATTACHED MAP)

	Zoning	Existing Land Uses
North	B-3	Vacant
South	B-3	Retail Commercial
West	R-10 Single Family Residential	Single Family Residential
East	N/A	N/A

PRELIMINARY PLAT/ANALYSIS:

Overview. The proposed subdivision has been designed to be in accordance with the approved Local 70 PUD Master Plan. The Preliminary Plat is in accordance with the conditional zoning with a few exceptions:

- Lacking the required 8' wide multi-purpose trail along M. Durwood Stephenson Parkway.
- Lacking the 5' wide public sidewalk along Booker Dairy Road.
- Lacking tree resource management, interior landscaping (street trees and foundation plantings) and lighting plans.
- Lacking Screening fence plans and details.
- Lacking distinction of public vs. private streets.

These items can be addressed with conditioning the construction plan approval meeting all UDO requirements.

HOA. The residential component of the community will have a master homeowners association governing open space and for-sale residential homes. There will be two sets of design guidelines for the community. The first set of design guidelines is for new construction and will be applied to the residential homes and the apartment complex. The guidelines will be administered by a Design Review Board (DRB) set up by the developers of Local 70. The design guidelines coupled with the Design Review Board will ensure that all design elements presented to the Town of Smithfield Planning Board and Town Council will be enforced. Such items include insuring that no vinyl siding will be allowed on the for-sale residential homes, appropriate screening, building setbacks (lot fit) and building heights. The DRB will also review the architectural submittals for the multi-family buildings and similar reviews of exterior building materials, massing, and access.

The Homeowners Association will have responsibility for the maintenance of all public open space and amenities provided in the landscape.

Architectural Requirements. The Conditional zoning established the architectural requirements:

- Residential lots with single car garages shall be at least 14' x 22' to accommodate a standard vehicle.
- That all single-family detached homes have standard sized 2-car garages.

- That all building facades be clad with cementitious siding (Hardy Board or sim product), masonry, EIFS or a combination of materials and that there be no vinyl siding.

1. Townhouses – Front Loaded (parking in the front).

- Buildings with no more than 7 units.
- Single or double garages.
- Garages setback 25' from the back of the public sidewalk.
- Units to be unique through the use of exterior materials, entrance features, house and trim colors.
- Front façade setbacks will stagger.
- Front facades will be cementitious siding, masonry, EIFS or a combination of materials.
- Building trim, soffits, railings and shutters may be of low maintenance materials.
- Garage door must have windows and visible hardware – doors will vary from door to door (style and color).
- Porches, if provided, will be a minimum of 4'-6' in depth.

2. Townhouses – Rear Loaded (parking in the rear).

- Front setback - minimum of 10'-0" from public sidewalk.
- Garages must be either 4'-0" from edge of ally pavement or min. 20'-0" from alley pavement.
- Units shall be individualized through the use of exterior materials, entrance features, primary house color, trim color.
- Front facades facing a public street, pedestrian pathway, or open space the materials may be cementitious siding, masonry, EIFS or a combination of materials.

3. Single-family Detached Homes – Front Loaded (parking in front).

- Front elevations on the same side of the street may only be repeated every fourth home.
- Garage doors must be a minimum of 25'-0" from back of public sidewalk or R.O.W.
- It is encouraged to have the garage door recede a minimum of 2'-0" from the primary front facade of the home or have the front porch project past the front elevation of the garage.
- Homes shall be individualized through the use of exterior materials, entrance features, primary house color, trim color.
- Primary building materials: For frontages facing a public street, pedestrian pathway, or open space the materials may be cementitious siding, masonry, EIFS or a combination of materials.
- It is encouraged to individualize each home with unique garage doors appropriate to the architectural style of the home. Garage doors must have windows and encouraged to have visible hardware.
- If front porches are provided, they must be a minimum of 6'-0" in depth.

4. Single-family Detached Homes – Rear Loaded (parking in rear).

- Front elevations on the same side of the street may only be repeated every fourth home.
- Homes are encouraged to be sited so that the front expression of the home (porch/stoop) is place a minimum of 10'-0" from the back of the public sidewalk.
- Garages must be either 4'-0" from edge of alley pavement or min. 20'-0" from alley pavement.
- The same color may not be repeated on homes next door to each other. The exception is the "Three Sister" rule allowing that within a mid-block application three homes may have the same elevation and color.

- e. Homes shall be individualized through the use of exterior materials, entrance features, primary house color, trim color.
- f. Primary building materials: For frontages facing a public street, pedestrian pathway, or open space the materials may be cementitious siding, masonry, or a combination of the two materials.
- g. It is encouraged to individualize each home with unique garage doors appropriate to the architectural style of the home.
- h. If front porches are provided, they must be a minimum of 6'-0" in depth.

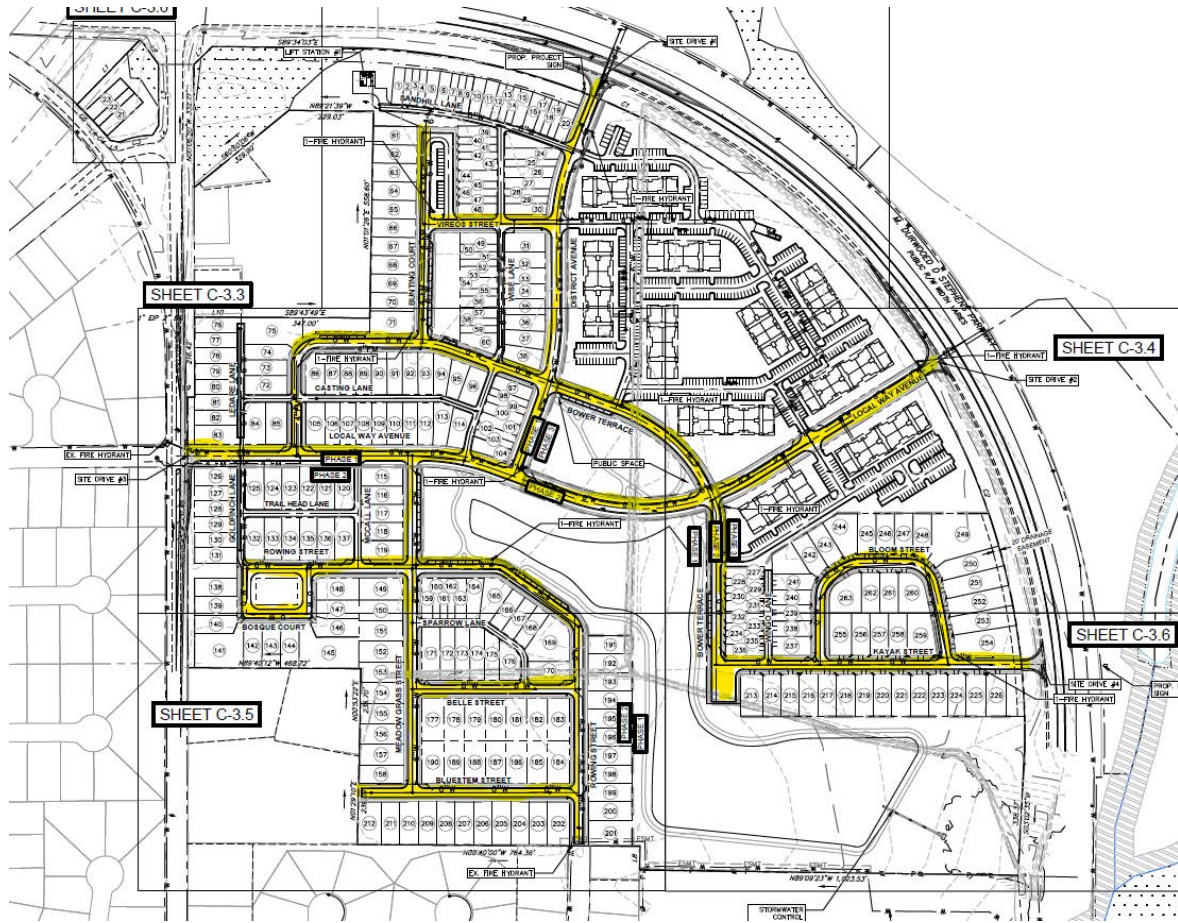
5. Multi-Family Residential.

- a. Multi-family buildings facing a public right-of-way must be set back a minimum of 14'-0" from the public sidewalk.
- b. For multi-family buildings with ground floor storefronts and uses other than residential the building may be placed a minimum of 14'-0" from the back of the public sidewalk.
- c. Primary building materials may be a combination of the following materials; Stucco/EIFS, masonry, cementitious siding, metal panels or vinyl siding. Note that buildings fronting on public streets, pathways or open space vinyl siding may be used only on the second floor and above.
- d. Architecture and building design should promote a consistent language across each building. Care should be taken to place windows, balconies, and entryways in an organized fashion.
- e. Buildings are encouraged to have elevations that articulate features of the buildings, creating shadow lines and breaks within the overall facade.
- f. Entries facing public streets, open spaces or pathways should be celebrated with additional architectural feature.

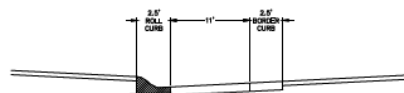
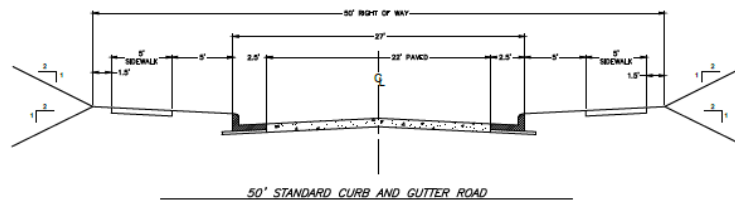
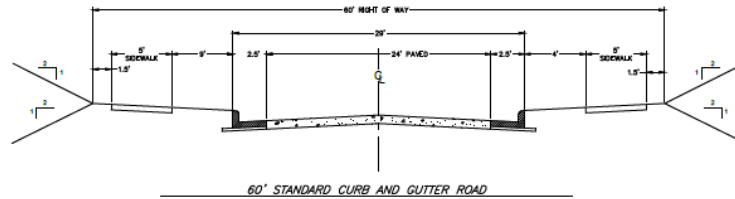
TIA. A TIA was completed, and the required improvements are shown in the plan set.

Streets. The development is a mix of public streets and private alleys generally consistent with the PUD Masterplan.

Public streets are highlighted in yellow below:



Local streets are proposed to be 27' wide b/b in 50' wide R/W with standard curb and gutter. The main thoroughfares are to be 29' wide b/b in 60' wide R/W with standard curb and gutter. Private alleys will be 11' wide with 2.5' roll curb and/or border curb. Lateral street stubs are appropriately placed. Sidewalks are proposed for both sides of streets.



Minimum Lot widths. The minimum lot widths in the preliminary plat submittal are compliant with the PUD Master Plan and conditions.

Utilities. Water, sewer, electric will be Town of Smithfield. A new pump station is planned for the northwest corner of the site.

FINDING OF FACT (STAFF OPINION):

To approve a preliminary plat, the Town Council shall make the following finding (staff's opinion in Bold/Italic):

1. The plat is consistent with the adopted plans and policies of the town; *The plat is consistent with the adopted comprehensive plan and conditional zoning master plan.*
2. The plat complies with all applicable requirements of this ordinance; *The plan complies with all applicable requirements of this ordinance with conditions.*
3. There exists adequate infrastructure (transportation and utilities) to support the plat as proposed. *There is adequate infrastructure.*
4. The plat will not be detrimental to the use or development of adjacent properties or other neighborhood uses. *The plat will not be detrimental to the use or development of adjacent properties or other neighborhood uses.*

RECOMMENDATION:

Staff recommend approval of the Local 70 Residential Development preliminary plat, S-24-08, with 12 conditions.

1. The preliminary plat approval is contingent on approval of construction documents meeting all UDO regulations and PUD Master Plan & conditions of approval.
2. That required minimum street frontages be provided for all lots in the development consistent with the Rezoning Master Plan Approval.
3. Subdivision entrance signs be shown on the construction plans and that separate sign permits be obtained prior to sign construction.
4. Draft HOA declarations be submitted that incorporates the architectural standards and other PUD CZ conditions of approval. The HOA declarations shall be reviewed by the Town Attorney prior to approval.
5. That the stormwater ponds be aerated.
6. A separate site plan application shall be submitted for the apartment complex.
7. Eliminate the street stub adjacent to Lot 216.
8. Provide an 8' wide public multi-use trail along M. Durwood Stephenson Parkway and 5' wide public sidewalk along Booker Dairy Road.
9. That a 50' setback be maintained along M. Durwood Stephenson Parkway and 35' setback along Booker Dairy Road.
10. All trees in the public right of way shall be maintained & replaced when needed by a homeowners/property Owners Association.

11. The homeowners association limit parking to one side of streets where street parking is allowed and that the parking stalls be marked in accordance with NCDOT Standards.
12. The fence along Booker Dairy Road and along the Booker Dairy Plantation subdivision be a 6-foot high opaque fence.

RECOMMENDED MOTION:

“Move to approve Local 70 Residential Development preliminary plat, S-24-08, with twelve conditions contained in the staff report based on the finding of fact for preliminary plat approval”

**Town of Smithfield
Preliminary Plat
Finding of Fact / Approval Criteria**

Application Number: S-24-08 **Project Name:** Local 70 Residential Development Preliminary Plat

Request: Smithfield Growth, LLC is requesting a preliminary subdivision of 86.64 acres of land in the Local 70 PUD Zoning District into 209 detached single-family residential lots, 94 attached single-family townhouses and 324 apartment units. The property is located south of M. Durwood Stephenson Parkway, primarily east of Booker Dairy Road and north of Walmart on US 301 North, further identified as Johnston County Tax IDs 14057011X and 14057011Y.

In approving an application for a preliminary plat in accordance with the principles, conditions, safeguards, and procedures specified herein, the Town Council may impose reasonable and appropriate conditions and safeguards upon the approval. The petitioner will have a reasonable opportunity to consider and respond to any additional requirements prior to approval or denial by the Town Council. The Town Council shall include in its comments a statement as to the consistency of the application with the Town's currently adopted Comprehensive Plan. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which the below requires.

The Town Council shall issue a preliminary plat if it has evaluated an application through a quasi-judicial process and determined that:

1. The plan is consistent with the adopted plans and policies of the town;
2. The plan complies with all applicable requirements of this ordinance;
3. There exists adequate infrastructure (transportation and utilities) to support the plan as proposed; and
4. The plan will not be detrimental to the use or development of adjacent properties or another neighborhood uses

Once all findings have been decided one of the two following motions must be made:

Motion to Approve: *Based upon satisfactory compliance with the above stated findings and fully contingent upon acceptance and compliance with all conditions as previously noted herein and with full incorporation of all statements and agreements entered into the record by the testimony of the applicant and applicant's representative, I move to approve Preliminary Plat Application # S-24-08 with conditions:*

1. 1. The preliminary plat approval is contingent on approval of construction documents meeting all UDO regulations and PUD Master Plan & conditions of approval.
2. That required minimum street frontages be provided for all lots in the development consistent with the Rezoning Master Plan Approval.
3. Subdivision entrance signs be shown on the construction plans and that separate sign permits be obtained prior to sign construction.
4. Draft HOA declarations be submitted that incorporates the architectural standards and other PUD CZ conditions of approval. The HOA declarations shall be reviewed by the Town Attorney prior to approval.

5. That the stormwater ponds be aerated.
6. A separate site plan application shall be submitted for the apartment complex.
7. Eliminate the street stub adjacent to Lot 216.
8. Provide an 8' wide public multi-use trail along M. Durwood Stephenson Parkway and 5' wide public sidewalk along Booker Dairy Road.
9. That a 50' setback be maintained along M. Durwood Stephenson Parkway and 35' setback along Booker Dairy Road.
10. All trees in the public right of way shall be maintained & replaced when needed by a homeowners/property Owners Association.
11. The homeowners association limit parking to one side of streets where street parking is allowed and that the parking stalls be marked in accordance with NCDOT Standards.
12. The fence along Booker Dairy Road and along the Booker Dairy Plantation subdivision be a 6-foot high opaque fence.

Motion to Deny: *Based upon failure to meet all of the above stated findings and for reasons stated therein, I move to deny Preliminary Plat Application # S-24-08 for the following stated reason:*

Record of Decision:

Based on a motion and majority vote of the Town of Smithfield Town Council for the Preliminary Plat Application # S-24-08 is hereby:

_____ **approved upon acceptance and conformity with the following conditions:**

1. The preliminary plat approval is contingent on approval of construction documents meeting all UDO regulations and PUD Master Plan & conditions of approval.
2. That required minimum street frontages be provided for all lots in the development consistent with the Rezoning Master Plan Approval.
3. Subdivision entrance signs be shown on the construction plans and that separate sign permits be obtained prior to sign construction.
4. Draft HOA declarations be submitted that incorporates the architectural standards and other PUD CZ conditions of approval. The HOA declarations shall be reviewed by the Town Attorney prior to approval.
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10. All trees in the public right of way shall be maintained & replaced when needed by a homeowners/property Owners Association.

11. The homeowners association limit parking to one side of streets where street parking is allowed and that the parking stalls be marked in accordance with NCDOT Standards.
12. The fence along Booker Dairy Road and along the Booker Dairy Plantation subdivision be a 6-foot high opaque fence.

_____ **denied for the noted reasons.**

Decision made this 4th day of February 2025 while in regular session.

M. Andy Moore, Mayor

ATTEST:

Elaine Andrews, Town Clerk



Town of Smithfield

Planning Department
 350 E. Market St Smithfield, NC 27577
 P.O. Box 761, Smithfield, NC 27577
 Phone 919-934-2116
 Fax: 919-934-1134

**Preliminary Subdivision Application
 General Information**

Development Name **Smithfield Growth 70**

Proposed Use **Residential**

Property Address(es) **Durwood Stevenson Pkwy**

Johnston County Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN# 260410-47-7462	TAX ID# 14057011Y
----------------------------	--------------------------

Project type? Single Family Townhouse Multi-Family Non-Residential Planned Unit Development (PUD)

OWNER/DEVELOPER INFORMATION

Company Name **Smithfield Growth, LLC** Owner/Developer Name **Carter Keller**

Address **1600 Colon Rd Sanford, NC 27330**

Phone **910-728-5714** Email **corey@carolinacommercialnc.com** Fax **n/a**

CONSULTANT/CONTACT PERSON FOR PLANS

Company Name **Summey Engineering Associates, PLLC** Contact Name **Christian Vestal**

Address **PO Box 968 Asheboro, NC 27204**

Phone **336-328-0902** Email **christian@summeyengineering.com** Fax **n/a**

DEVELOPMENT TYPE AND SITE DATE TABLE (Applicable to all developments)

ZONING INFORMATION

Zoning District(s)

If more than one district, provide the acreage of each:

Overlay District? Yes No

Inside City Limits? Yes No

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

Project Narrative

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- a) A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- b) A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- c) A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- d) A narrative explaining the intent of the project and/or your original or revised vision for the finished product;
- e) A statement showing the proposed density of the project with the method of calculating said density shown;
- f) Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision;
- g) A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- h) A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- i) Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- j) A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- k) A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).

STORMWATER INFORMATION

Existing Impervious Surface	0 ac	acres/sf	Flood Hazard Area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Proposed Impervious Surface	55 ac +/-	acres/sf	Neuse River Buffer	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Watershed protection Area	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Wetlands	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

If in a Flood Hazard Area, provide the FEMA Map Panel # and Base Flood Elevation 3720260400K/2604

NUMBER OF LOTS AND DENSITY

Total # of Single Family Lots	209	Overall Unit(s)/Acre Densities Per Zoning Districts
Total # of Townhouse Lots	94	Acreage in active open space
Total # of All Lots	303	Acreage in passive open space

324 apartment units

627 total residential

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed subdivision plan as approved by the Town.

I hereby designate Corey Mabus/Christian Vestal to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature  Date 11/5/2024

Signature _____ Date _____

REVIEW FEES

Major Subdivision (Submit 7 paper copies & 1 Digital copy on CD) \$500.00 + \$5.00 a lot

FOR OFFICE USE ONLY

File Number: _____ Date Submitted: _____ Date Received: _____ Amount Paid: _____

INFORMATION TO BE PROVIDED ON PRELIMINARY AND FINAL PLATS.

The preliminary plats shall depict or contain the information indicated in the following table. An "X" indicates that the information is required.

Information	Preliminary Plat
Vicinity map (6" W x 4" H) showing location of subdivision in relation to neighboring tracts, subdivision, roads, and waterways (to include streets and lots of adjacent developed or platted properties). Also include corporate limits, Town boundaries, county lines if on or near subdivision tract.	X
Boundaries of tract and portion to be subdivided, including total acreage to be subdivided, distinctly and accurately represented with all bearings and distances shown.	X
Proposed street layout and right-of-way width, lot layout and size of each lot. Number lots consecutively throughout the subdivision.	X
Name of proposed subdivision.	X
Statement from the Johnston County Health Department that a copy of the sketch plan has been submitted to them, if septic tanks or other onsite water or wastewater systems are to be used in the subdivision, AND/OR statement from the County Public Utilities that application has been made for public water and/or sewer permits.	X
Graphic scale.	X
North arrow and orientation.	X
Concurrent with submission of the Preliminary Plat to the Town, the subdivider or planner shall submit copies of the Preliminary Plat and any accompanying material to any other applicable agencies concerned with new development, including, but not limited to: District Highway Engineer, County Board of Education, U.S. Army Corps of Engineers, State Department of Natural Resources and Community Development, for review and recommendation.	X
List the proposed construction sequence.	X
Storm water plan -- see Article 10, Part VI.	X
Show existing contour lines with no larger than five-foot contour intervals.	X
New contour lines resulting from earth movement (shown as solid lines) with no larger than five-foot contour intervals (existing lines should be shown as dotted lines).	X
Survey plat, date(s) survey was conducted and plat prepared, the name, address, phone number, registration number and seal of the Registered Land Surveyor.	X
Names, addresses, and telephone numbers of all owners, mortgagees, land planners, architects, landscape architects and professional engineers responsible for the subdivision (include registration numbers and seals, where applicable).	X
Date of the drawing(s) and latest revision date(s).	X

<i>Information</i>	<i>Preliminary Plat</i>
The owner's name(s) of adjoining properties and Zoning District of each parcel within 100' of the proposed site.	X
State on plans any variance request(s).	X
Show existing buildings or other structures, water courses, railroads, bridges, culverts, storm drains, both on the land to be subdivided and land immediately adjoining. Show wooded areas, marshes, swamps, rock outcrops, ponds or lakes, streams or stream beds and any other natural features affecting the site.	X
The exact location of the flood hazard, floodway and floodway fringe areas from the community's FHBM or FIRM maps (FEMA). State the base flood elevation data for subdivision.	X
Show the minimum building setback lines for each lot.	X
Provide grading and landscape plans. Proposed plantings or construction of other devices to comply with the screening requirements of Article 10, Part II.	X
Show location of all proposed entrance or subdivision signage (see Section 10.23.1).	X
Show pump station detail including any tower, if applicable.	X
Show area which will not be disturbed of natural vegetation (percentage of total site).	X
Label all buffer areas, if any, and provide percentage of total site.	X
Show all riparian buffer areas.	X
Show all watershed protection and management areas per Article 10, Part VI.	X
Soil erosion plan.	X
Show temporary construction access pad.	X
Outdoor illumination with lighting fixtures and name of electricity provider.	X
The following data concerning proposed streets:	
Streets, labeled by classification (see Town of Smithfield construction standards) and street name showing linear feet, whether curb and gutter or shoulders and swales are to be provided and indicating street paving widths, approximate grades and typical street cross-sections. Private roads in subdivisions shall also be shown and clearly labeled as such.	X
Traffic signage location and detail.	X
Design engineering data for all corners and curves.	X
For office review; a complete site layout, including any future expansion anticipated; horizontal alignment indicating general curve data on site layout plan; vertical alignment indicated by percent grade, PI station and vertical curve length on site plan layout; the District Engineer may require the plotting of the ground profile and grade line for roads where special conditions or problems exist; typical section indicating the pavement design and width and the slopes, widths and details for either the curb and gutter or the shoulder and ditch proposed; drainage facilities and drainage.	X

<i>Information</i>	<i>Preliminary Plat</i>
Type of street dedication; all streets must be designated public. (Where public streets are involved which will be dedicated to the Town, the subdivider must submit all street plans to the UDO Administrator for approval prior to preliminary plat approval).	X
When streets have been accepted into the municipal or the state system before lots are sold, a statement explaining the status of the street in accordance with the Town of Smithfield construction standards.	X
If any street is proposed to intersect with a state maintained road, a copy of the application for driveway approval as required by the Department of Transportation, Division of Highways Manual on Driveway Regulations. (1) Evidence that the subdivider has applied for such approval. (2) Evidence that the subdivider has obtained such approval.	X XX
The location and dimensions of all:	
Utility and other easements.	X
Pedestrian and bicycle paths.	X
Areas to be dedicated to or reserved for public use.	X
The future ownership (dedication or reservation for public use to governmental body or for owners to duly constituted homeowners' association) of recreation and open space lands.	X
Required riparian and stream buffer per Article 10, Part VI.	X
The site/civil plans for utility layouts including:	
Sanitary sewers, invert elevations at manhole (include profiles).	X
Storm sewers, invert elevations at manhole (include profiles).	X
Best management practices (BMPs)	X
Stormwater control structures	X
Other drainage facilities, if any.	X
Impervious surface ratios	X
Water distribution lines, including line sizes, the location of fire hydrants, blow offs, manholes, force mains, and gate valves.	X
Gas lines.	X
Telephone lines.	X
Electric lines.	X
Plans for individual water supply and sewage disposal systems, if any.	X
Provide site calculations including:	
Acreage in buffering/recreation/open space requirements.	X
Linear feet in streets and acreage.	X
The name and location of any property or buildings within the proposed subdivision or within any contiguous property that is located on the US Department of Interior's National Register of Historic Places.	X

<i>Information</i>	<i>Preliminary Plat</i>
Sufficient engineering data to determine readily and reproduce on the ground every straight or curved line, street line, lot line, right-of-way line, easement line, and setback line, including dimensions, bearings, or deflection angles, radii, central angles and tangent distance for the center line of curved property lines that is not the boundary line of curved streets. All dimensions shall be measured to the nearest one-tenth of a foot and all angles to the nearest minute.	X
The accurate locations and descriptions of all monuments, markers, and control points.	X
Proposed deed restrictions or covenants to be imposed upon newly created lots. Such restrictions are mandatory when private recreation areas are established. Must include statement of compliance with state, local, and federal regulations.	X
A copy of the erosion control plan submitted to the Regional Office of NC- DNRCD, when land disturbing activity amounts to one acre or more.	X
All certifications required in Section 10.117.	X
Any other information considered by either the subdivider, UDO Administrator, Planning Board, or Town Council to be pertinent to the review of the plat.	X
Improvements guarantees (see Section 5.8.2.6).	

FOR OFFICE USE ONLY			
File Number: _____	Date Submitted: _____	Date Received: _____	Amount Paid: _____

REQUIRED FINDING OF FACT

Article 4 of the Town of Smithfield Unified Development Ordinance requires applications for a preliminary subdivision plat approval to address the following findings. The applicant has the burden of producing competent, substantial evidence tending to establish the facts and conditions which this section requires. The Town Council shall grant preliminary subdivision approval if it has evaluated an application through a quasi-judicial process and determined that:

- 1) The plan is consistent with the adopted plans and policies of the town;
The proposed Local 70 subdivision plan will strive to be consistent with the adopted plans and policies of the town. This development will be consistent with the previously approved CZ-24-02 PUD

- 2) The plan complies with all applicable requirements of this ordinance;
The proposed Local 70 subdivision plan will comply with all applicable requirements of the ordinance.

- 3) There exists adequate infrastructure (transportation and utilities) to support the plan as proposed; and
The Town of Smithfield has existing infrastructure in place to support this proposed plan. Water supply, sanitary sewer, and DOT permits will be obtained prior to final completion of plat and CO's

- 4) The plan will not be detrimental to the use or development of adjacent properties or other neighborhood uses.
The proposed Local 70 subdivision will not be detrimental to the surrounding properties or neighborhoods. Adequate buffers, stormwater retention, and provided open spaces will keep this development harmoniiious with the surrounding developments.

Smithfield Local 70 Preliminary Plat Narrative

Local 70 is a new, 163-acre, community within the Town of Smithfield, North Carolina. The community will be comprised of single-family homes for sale, a multi-family apartment complex, retail offerings, potential office space and potential industrial space. The community benefits from the existing M. Durwood Stephenson Parkway bifurcating the site to provide access to north side and south side of Local 70. The residential component will exist on the south and east side of M. Durwood Stephenson Parkway.

The Local 70 Preliminary Plat single family residential project is part of a mixed-use community (CZ 24-02) which has been guided by the current town of Smithfield zoning map and future land use plan.

The current preliminary plat design reflects a total of 16,019 +/- linear feet of roadway. This roadway is both a mixture of public right-of-way and private streets. All streets are proposed in accordance with the design standards adopted and approved for the CZ-24-02 plan. The plat also shows a total of 20,579 LF +/- of sidewalk, 3,981 LF +/- of trails with common open space and access.

The Town of Smithfield will provide both water and sewer service to the proposed development. The new water supply system will connect to the existing system in 4 locations. The new water system will contain 16,600 +/- LF of public extension. The new sewer system will connect to the existing public main in one location and will consist of 11,754 +/- LF of gravity sanitary sewer, 1 Pump station, and 1,835 +/- LF of force main.

The residential component of the community will have a master homeowners association governing the open space and for-sale residential homes. There will be two sets of design guidelines for the community. The first set of design guidelines is for new construction and will be applied to the residential homes and the apartment complex. The guidelines will be administered by a Design Review Board (DRB) set up by the developers of Local 70. The design guidelines coupled with the Design Review Board will insure that all design elements presented to the Town of Smithfield Planning Board and Town Council will be enforced. Such items include insuring that no vinyl siding will be allowed on the for-sale residential homes, appropriate screening, building setbacks (lot fit) and building heights. The DRB will also review the architectural submittals for the multifamily buildings and similar review of exterior building materials, massing, and access.

The Homeowners Association will have responsibility for the maintenance of all public open space and amenities provided in the landscape.

Local 70 Preliminary Plat

File Number:
S-24-08

Project Name:
Local 70

Location:
Booker Dairy Rd
M. Durwood
Stephenson Pkwy

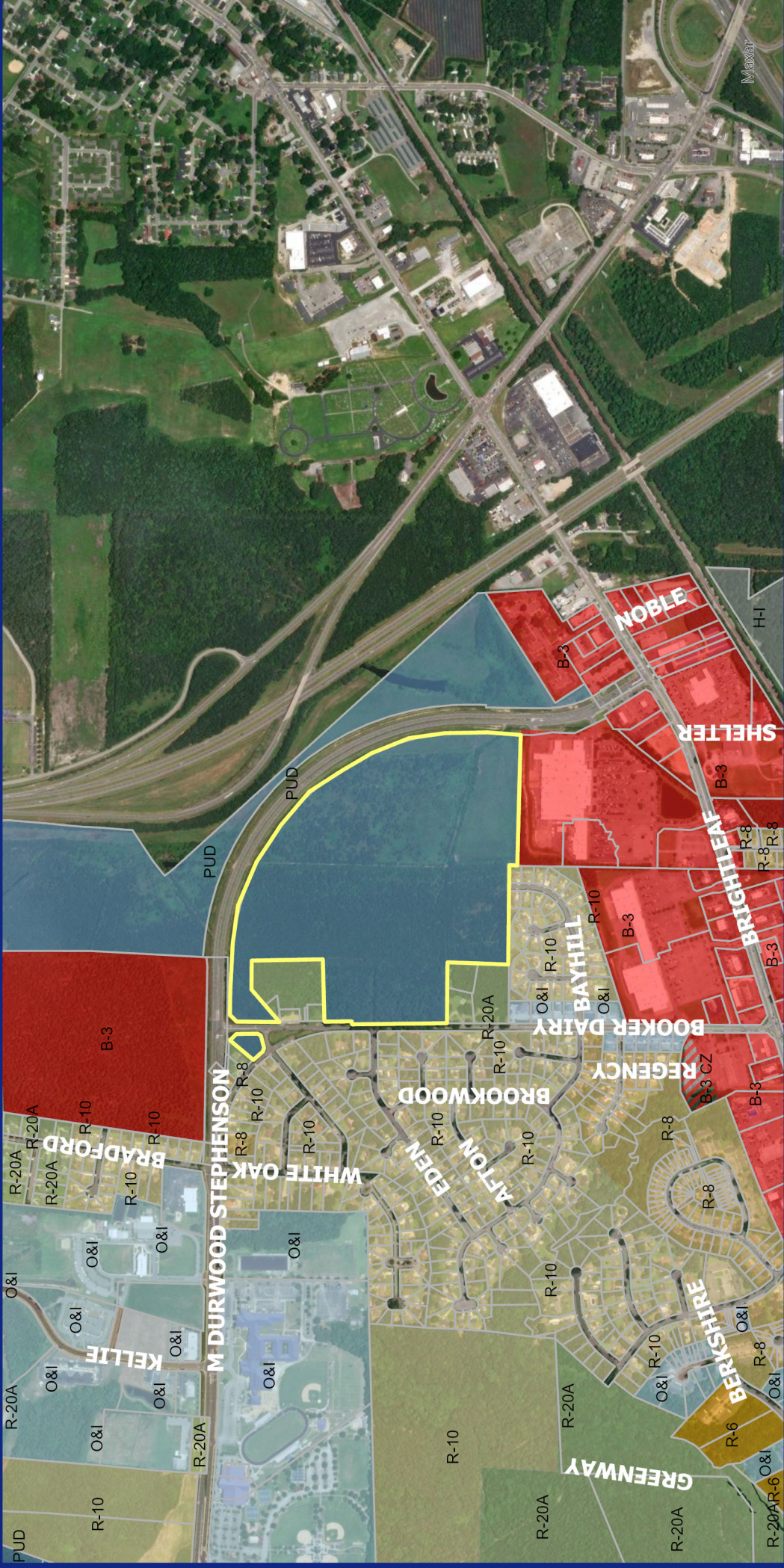
Tax ID#:
14057011X
14057011Y

Existing Zoning:
PUD

Owner/Applicant:
Smithfield Growth, LLC



1:13,345
Map created by Chloe Allen
Planner I on 11/25/2024



Maxar

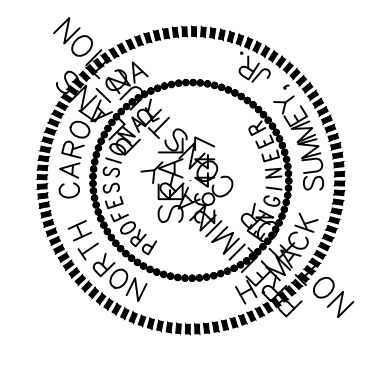
Sheet List Table

Sheet Number	Sheet Title
C-1	COVER
C-1.1	GENERAL NOTES
C-2.1	EXISTING CONDITIONS
C-3.1	OVERALL SITE & UTILITY PLAN
C-3.2	SITE & UTILITY PLAN 1
C-3.3	SITE & UTILITY PLAN 2
C-3.4	SITE & UTILITY PLAN 3
C-3.5	SITE & UTILITY PLAN 4
C-3.6	SITE & UTILITY PLAN 5
C-3.7	ENTRANCE
C-3.8	ENTRANCE
C-3.9	ENTRANCE
C-3.10	ENTRANCE
C-3.11	ENTRANCES CROSS SECTIONS
C-3.12	ENCROACHMENT PLAN
C-4.1	EROSION CONTROL PLAN
C-4.2	EROSION CONTROL PLAN
C-6.1	OVERALL PLAN & PROFILE
C-6.2	KAYAK STREET PLAN AND PROFILE
C-6.3	BLOOM STREET PLAN AND PROFILE
C-6.4	BOWER TERRACE PLAN AND PROFILE 1
C-6.5	BOWER TERRACE PLAN AND PROFILE 2
C-6.6	LOCAL WAY AVENUE PLAN AND PROFILE 1
C-6.7	LOCAL WAY AVENUE PLAN AND PROFILE 2
C-6.8	DISTRICT AVENUE PLAN AND PROFILE 1
C-6.9	SANDHILL LANE PLAN AND PROFILE
C-6.10	VIREOS STREET PLAN AND PROFILE
C-6.11	PLAN AND PROFILE 1
C-6.12	PLAN AND PROFILE 2
C-6.13	PLAN AND PROFILE 3
C-6.14	BUNTING COURT & GOLDFINCH LANE PLAN AND PROFILE
C-6.15	WISE LANE PLAN AND PROFILE
C-6.16	MCCALL LANE & SPARROW LANE PLAN AND PROFILE
C-6.17	MEADOW GRASS STREET PLAN AND PROFILE
C-6.18	BELLE STREET PLAN AND PROFILE
C-6.19	WINGO LANE & ROWING STREET PLAN AND PROFILE 1
C-6.20	ROWING STREET PLAN AND PROFILE 2
C-6.21	BLUESTEM STREET & TRAIL HEAD LANE PLAN AND PROFILE
C-6.22	LEDARE LANE PLAN AND PROFILE
C-6.23	CASTING LANE PLAN AND PROFILE
C-7.1	GRADING & DRAINAGE OVERAL
C-7.2	GRADING & DRAINAGE
C-7.3	GRADING & DRAINAGE
C-7.4	GRADING & DRAINAGE
C-7.5	GRADING & DRAINAGE
C-7.6	GRADING & DRAINAGE
C-8.1	WET WELL AND PUMP STATION LAYOUT
C-8.2	8.2 PUMP STATION AND FORMCEMAIN DETAILS
C-9.1	STREET DETAILS 1
C-9.2	STREET DETAILS 2
C-9.3	WATER DETAILS
C-9.4	WATER DETAILS 2
C-9.5	WATER DETAILS 3
C-9.6	SANITARY SEWER DETAILS 1
C-9.7	SANITARY SEWER DETAILS 2
C-9.8	SANITARY SEWER DETAILS 3
C-9.9	STORM SEWER DETAILS
C-9.10	EROSION CONTROL DETAILS 1
C-9.11	EROSION CONTROL DETAILS 2
L-1	OVERALL LANDSCAPE PLAN
LA-1	LANDSCAPE PLAN - BLOWUP
LA-2	LANDSCAPE PLAN - BLOWUP
LA-3	LANDSCAPE PLAN - BLOWUP
LA-4	LANDSCAPE PLAN - BLOWUP
LA-5	LANDSCAPE PLAN - BLOWUP

SUBDIVISION DEVELOPMENT PLANS
FOR
LOCAL 70 RESIDENTIAL DEVELOPMENT

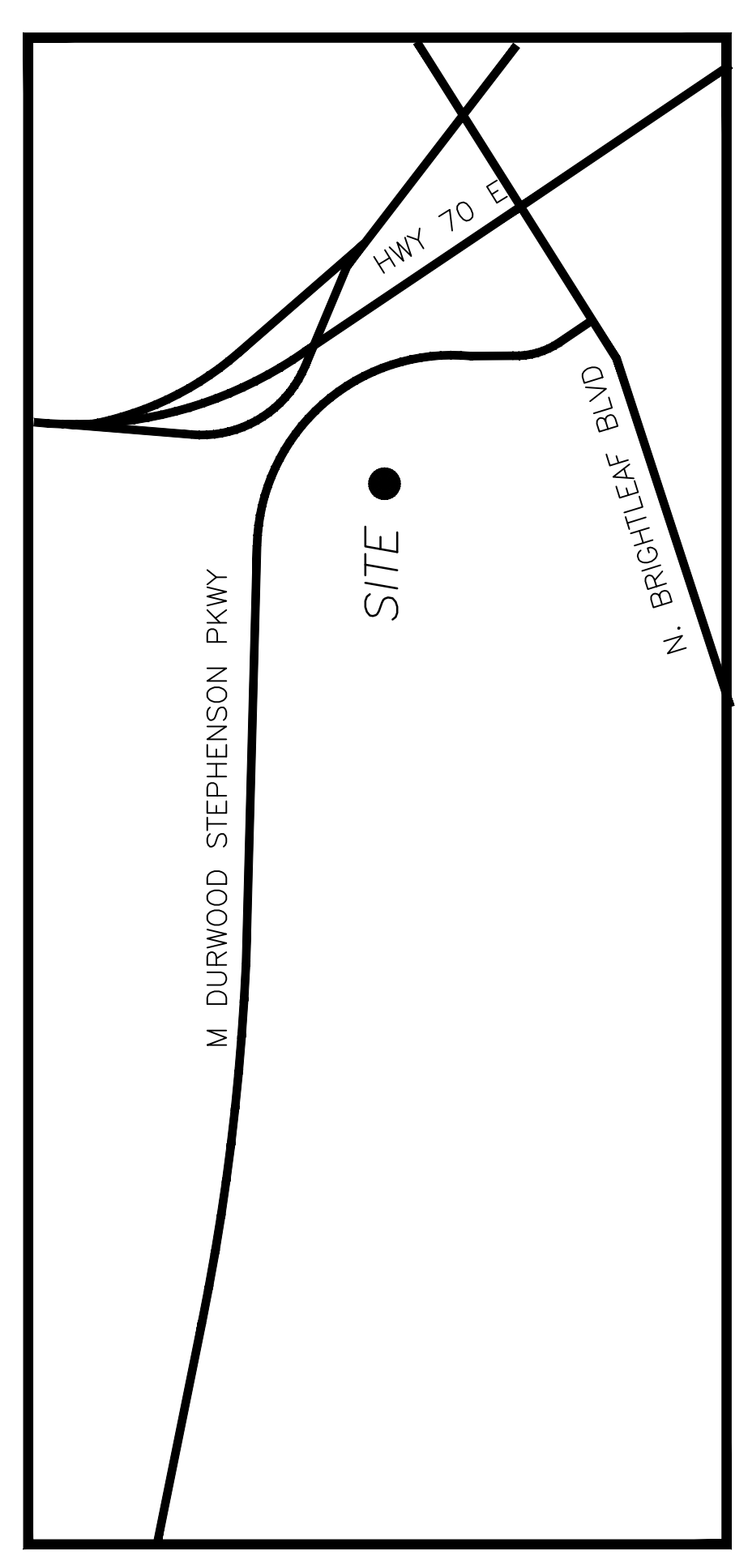
M DURWOOD STEPHENSON PKWY
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

PROJECT NO.: E-9516
SEPTEMBER 2024



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Engineering - Land Planning - Consulting

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GENERAL SITE NOTES:

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY (PROVIDED BY: SUMMEY SURVEYING).
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN, ARCHITECTURAL PLANS, AND/OR ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREIN BEFORE BEGINNING CONSTRUCTION.
5. THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND R.O.W.'S. PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
6. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ET, SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
7. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURBS AND GUTTERS, ROADSIDE DRAINAGE DITCHES, AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MATTER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS
9. ALL PERMITS RELATIVE TO PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE TO STATE, COUNTY, AND LOCAL CODES.
10. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES IS NOT NECESSARILY SHOWN ON PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR ON HIS INITIATIVE AND AT NO EXTRA COST SHALL HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF ITEMS SUCH AS PIPE OR OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DUE TO UNDERGROUND STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL NONSUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CALL 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 5 WORKING DAYS PRIOR TO ANY DIGGING.
11. SEEDING TO BE INSTALLED TO NDEQ REQUIREMENT & STANDARD PRACTICES.
12. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.
13. VISIT SITE AND BRING TO THE ENGINEER'S ATTENTION IN WRITING ANY PROBLEMS OR DISCREPANCIES WITH THE SITE OR PROJECT PRIOR TO CONSTRUCTION.
14. CHECK ALL "VERIFY" DIMENSIONS NOTED ON PLANS. REPORT ANY DISCREPANCIES TO THE ENGINEER IN WRITING PRIOR TO ANY FURTHER CONSTRUCTION.
15. USE THE ARCHITECT'S DRAWINGS FOR BUILDING DIMENSIONS.

CONTRACTOR NOTES:

1. ALL DIMENSIONS AND RADII ARE OUTSIDE FACE OF BUILDING OR TO FACE OF CURB, OR TO THE CENTER OF STRUCTURES SUCH AS INLETS, SIGN POSTS, ETC., UNLESS OTHERWISE NOTED.
2. CONTACT ENGINEER FOR OBSERVATION OF CONSTRUCTION RELATED TO REQUIRED FEDERAL, STATE, OR LOCAL CERTIFICATIONS INCLUDING BUT NOT LIMITED TO PROOF ROLL AND ASPHALT PLACEMENT. PROVIDE 24 HOUR NOTICE TO ENGINEER FOR REQUIRED CONSTRUCTION OBSERVATION RELATED TO CERTIFICATION OF ROADWAY, WATER SYSTEM, PAVEMENT, ETC.
3. KEEP ALL PLANTING AND GRASS AREAS FREE OF DEBRIS, STONES, CONSTRUCTION MATERIALS, ETC., RESPONSIBLE FOR NOT DAMAGING EXISTING PLANTING TO REMAIN.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND UTILITIES WHETHER SHOWN ON THE SITE PLAN OR NOT. THOSE SHOWN ARE BASED ON THE SURVEY PROVIDED AND MAY NOT BE ALL INCLUSIVE. CONTACT UTILITY LOCATION SERVICE OR OTHER APPROPRIATE UTILITY LOCATION SERVICE FOR UTILITY IDENTIFICATION PRIOR TO ANY WORK. CONTRACTOR TO PROTECT ALL UTILITIES TO REMAIN – TYPICAL. CONTACT ALL UTILITY COMPANIES TO INSURE THE UTILITIES ARE SHUT DOWN PRIOR TO THE START OF ANY DEMOLITION AND/ OR SITE WORK.
5. PATCH / REPAIR STREETS, STRUCTURES, ETC. AS NECESSARY AFTER CONNECTION OF PROPOSED UTILITIES.
6. SEE PLAN SET FOR PROPOSED GRADES AND EROSION CONTROL.
7. CIVIL/SITE CONTRACTOR SHALL FIELD VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. CIVIL/SITE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE LOCAL MUNICIPALITY AND ARCHITECT PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL CALL 811 5 WORKING DAYS HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
8. CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPALITY PUBLIC WORKS PRIOR TO ANY CONSTRUCTION ON STREET RIGHTS-OF-WAY
9. ANY CONSTRUCTION WITHIN THE LOCAL MUNICIPALITY RIGHTS-OF WAY ARE TO BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS REGARDING MATERIALS, INSTALLATION, AND TESTING, UNLESS OTHERWISE IN THE CONTRACT DOCUMENTS. ANY CONSTRUCTION WITHIN THE RIGHTS-OF-WAY SHALL BE PROTECTED WITH SIGNAGE AND TRAFFIC SAFETY DEVICES IN ACCORDANCE WITH THE NORTH CAROLINA STANDARDS AND GUIDELINES ALSO THE CONTRACTOR SHALL HAVE "UTILITY WORK AHEAD" SIGNS LOCATED AT ALL LOCATIONS WHEN ENTERING THE RIGHTS-OF-WAY.

UTILITY NOTES: (IF APPLICABLE)

1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF CONTRACTOR OR GENERAL CONTRACTOR.
3. SEE ELECTRICAL ENGINEERING SITE PLAN FOR LOCATION OF ALL SITE LIGHTING AND REQUIREMENTS
4. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
6. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED IN THESE PLANS.
7. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
8. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
9. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4" /FT FOR 4" LINES AND 2) 1/8" /FT FOR 6" LINES. 6" CLEANOUTS SHALL BE PLACED AT 75' INTERVALS. 4" CLEANOUTS SHALL BE PLACED AT 50' INTERVALS
10. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0 IN NON-TRAFFIC AREAS AND 5'-0 MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
11. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN. CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
12. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
13. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC. THAT MAY BE REQUIRED.
14. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THIS CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
15. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
16. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
17. CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
18. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
19. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
20. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY PUBLIC WORKS AND CROSS CONNECTION CONTROL, REGULATIONS AND STANDARDS.
21. SITE UTILITY CONTRACTOR TO PROVIDE WATER AND SANITARY SEWER TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
22. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE A HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
23. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE LOCAL MUNICIPALITY PUBLIC WORKS STANDARDS. INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT
24. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAPPED ACCESSIBILITY, NATIONAL ELECTRICAL CODES, AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AS APPLICABLE AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION AND LATEST VERSION OF NC DOT POLICIES & PROCEDURES FOR ACCOMMODATING UTILITIES ON HIGHWAY RIGHTS-OF-WAY.
25. LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE OR SCHEMATIC. THE LOCATIONS ARE BASED ON ACTUAL FIELD SURVEYS AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND UNDERGROUND STRUCTURES AND VERIFY REQUIRE COVER AND CLEARANCES PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE ENGINEER.
26. CONTRACTOR SHALL CALL 811 AT LEAST 5 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.
28. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
29. ALL UTILITIES MUST BE LOCATED UNDERGROUND AND COORDINATED WITH THE LOCAL MUNICIPALITY OR LOCAL UTILITY COMPANY.

PRELIMINARY PLANS NOT FOR REVIEW

Scale:	AS NOTED
Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9516

Sheet No.

GENERAL NOTES

LOCAL 70 RESIDENTIAL DEVELOPMENT

HWY 70

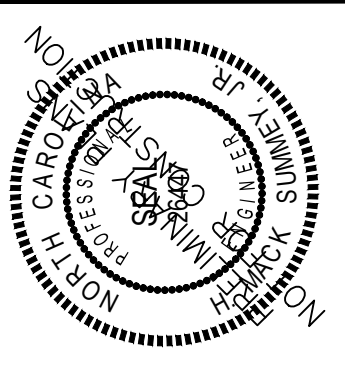
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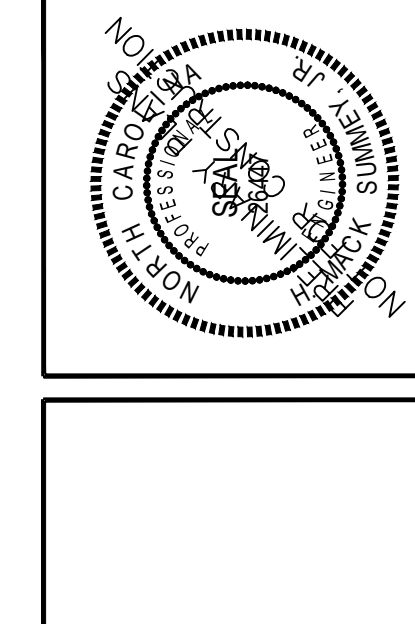
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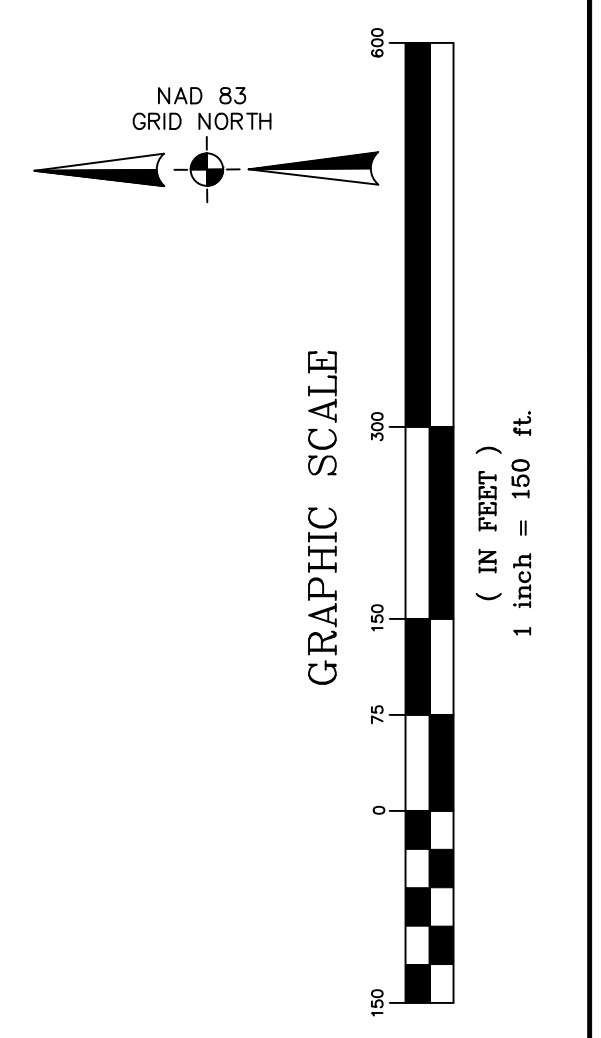
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No.	Date:	Description:

OVERALL SITE AND UTILITY PLAN
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Job No.:	E-9916
Checked By:	HMSJ
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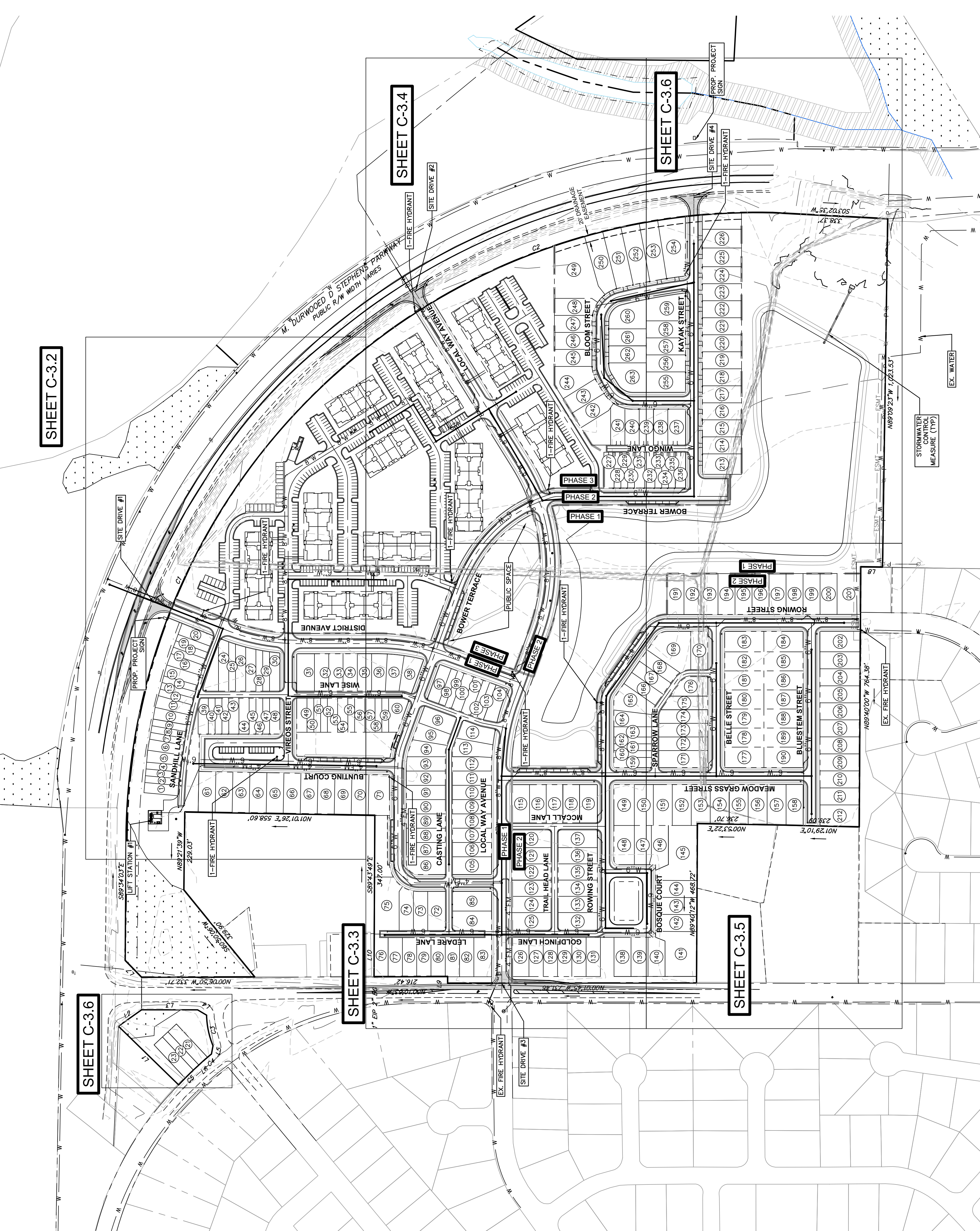


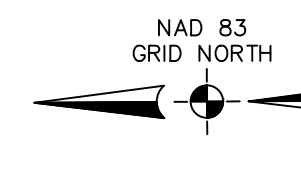
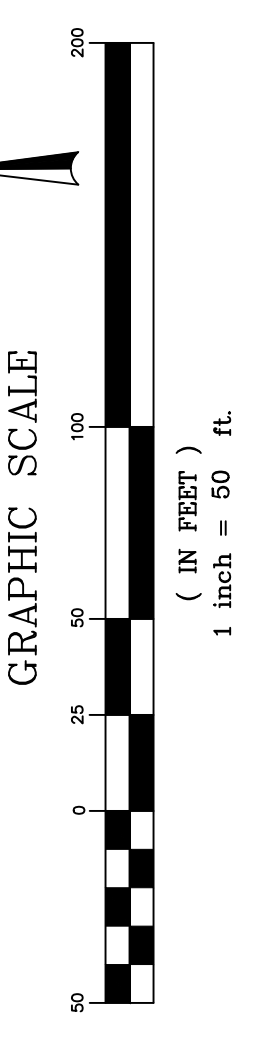
LEGEND

[Hatched Box]	PUBLIC RIGHT-OF-WAY
[Dotted Box]	PRIVATE RIGHT-OF-WAY

SITE DATA

- TOTAL PARCEL AREA: 86.72 AC.
- TOTAL AREA IN ROW: 15.07 AC
- PARCEL AREA MINUS ROW: 71.65 AC
- TOTAL AREA IN LOTS: 31.20 AC
- TOTAL NUMBER OF RESIDENCES: 590
- TOTAL NUMBER OF TOWNHOMES: 75 (60 PHASE 1 (15 PHASE 2), 15 PHASE 3)
- TOTAL NUMBER OF SFR: 188 (43-47 REAR LOTS PHASE 2, 4-47 FRONT LOTS PHASE 2, 48-50 FRONT LOTS PHASE 2)
- TOTAL NUMBER OF MEU: 324 (PHASE 3)
- TOTAL OPEN SPACE AREA: 40.02 AC (46.15%)
- TOTAL RECREATION SPACE: 7.1 AC (8.19%)
- TOTAL PARKING REQUIRE: 150
- TOWNHOMES: 376
- SINGLE FAMILY: 624
- MULTI-FAMILY: 1,152
- TOTAL PER ACRE: 6.8
- PARCEL NO. 26041047746, 260406384891
- EXISTING ZONING - PUD
- PROPOSED ZONING - PUD
- NCIFIRM PANEL NO.: 372026400K
- WATER AND WASTEWATER SERVICES PROVIDED BY CITY OF SMITHFIELD
- PROPOSED STREETS, WATER, SEWER, AND STORMWATER TO BE MAINTAINED BY THE CITY OF SMITHFIELD
- PERMITS TO BE OBTAINED INCLUDE:
 - NC DOT DRIVEWAY PERMIT
 - NC DOT TRAILING PERMIT
 - NCDEQ EROSION CONTROL PERMIT
 - NCDEQ PUBLIC WATER AND SEWER EXTENSIONS
- DETAILED CONSTRUCTION AND CIVIL ENGINEERING PLANS TO INCLUDE:
 - SITE GRADING, EROSION CONTROL, AND STORM DRAINAGE
 - ALL SUPPORTING PLANS, DETAILS, AND SPECIFICATIONS





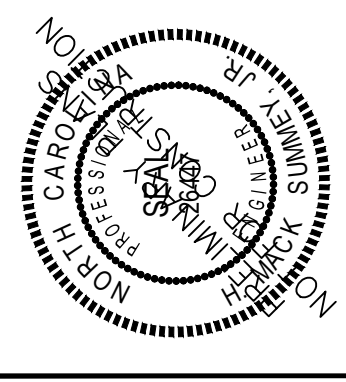
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Sheet No. C-3.2

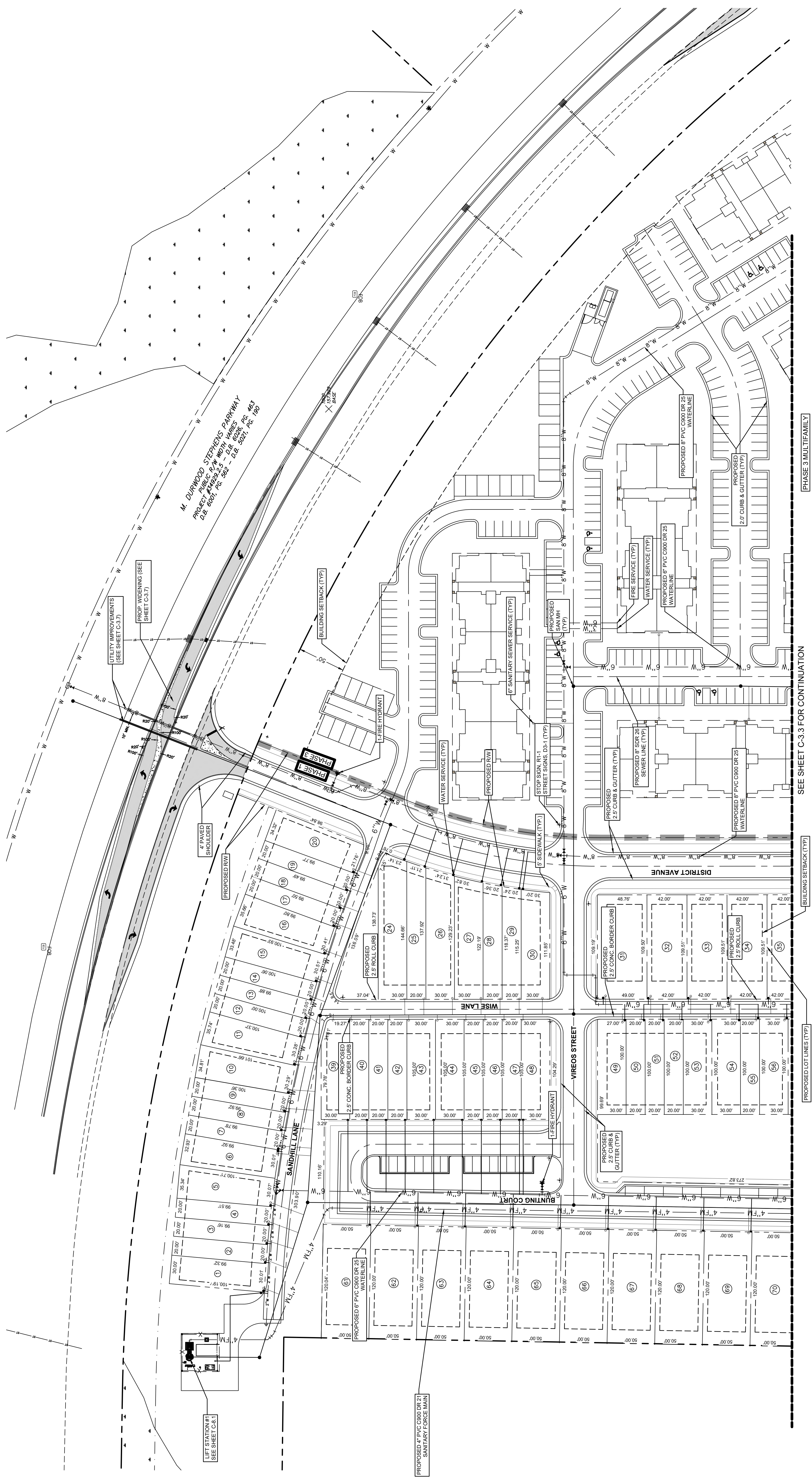
SITE AND UTILITY PLAN
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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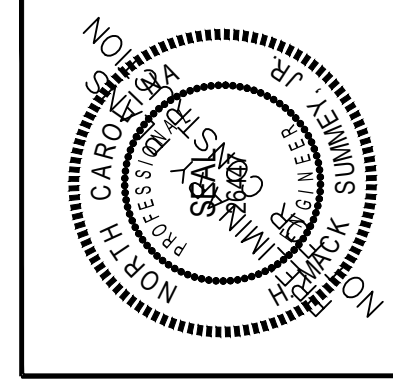


PRELIMINARY PLANS NOT FOR REVIEW



SEE PLAN & PROFILE
 SHEETS C-6.1 - C-6.23 FOR
 WATERLINE VALVES AND APPURTENANCES

SEE SHEET C-3.3 FOR CONTINUATION



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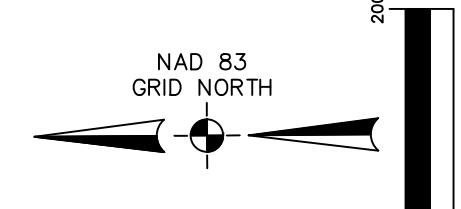
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SITE AND UTILITY PLAN
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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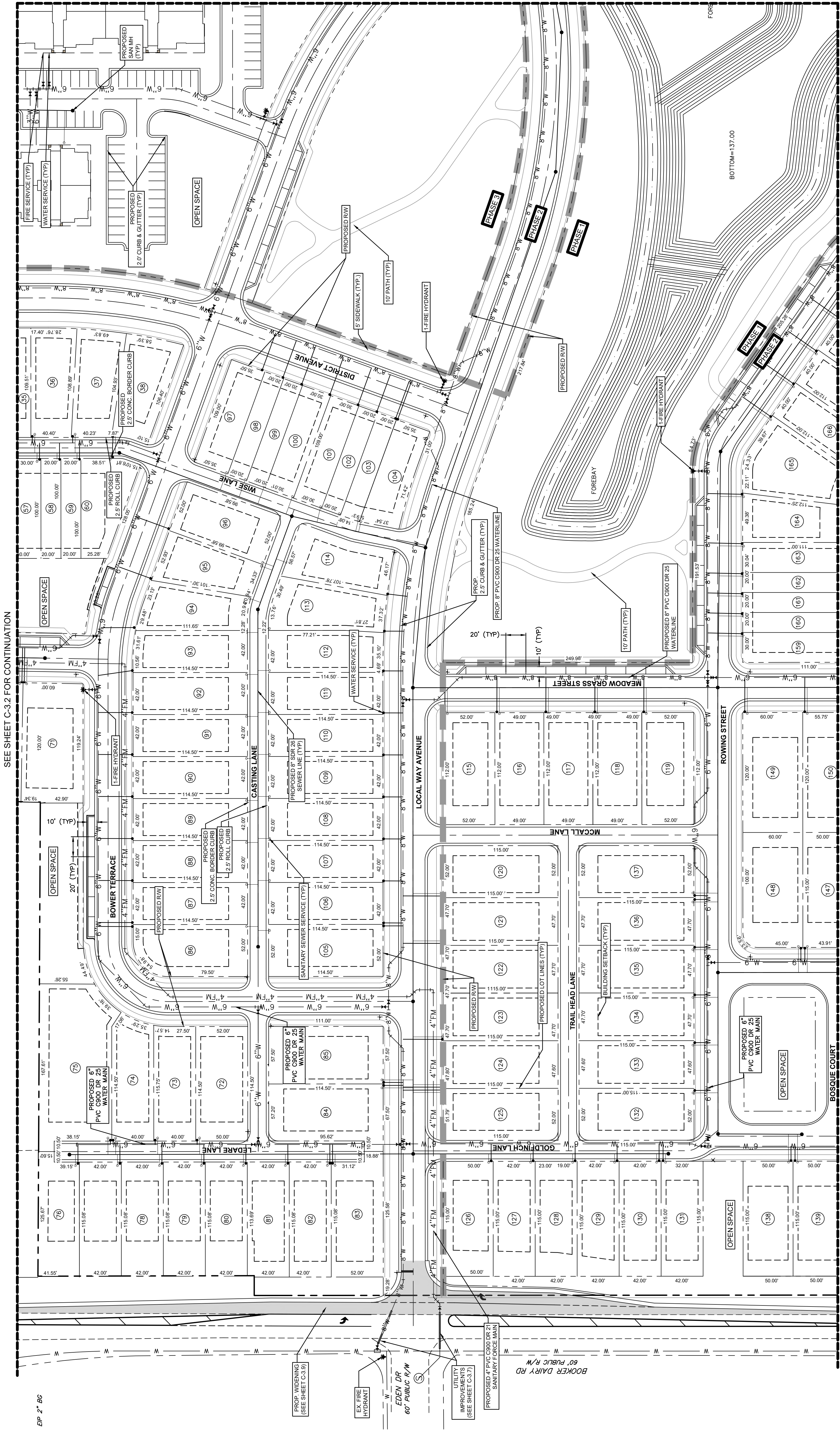


GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.



PRELIMINARY PLANS NOT FOR REVIEW

SEE SHEET C-3.4 FOR CONTINUATION

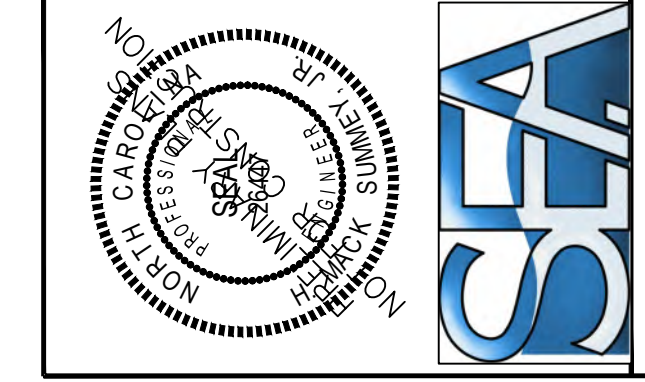


SEE SHEET C-3.2 FOR CONTINUATION

SEE SHEET C-3.5 FOR CONTINUATION

SEE PLAN & PROFILE SHEETS C-8.1 - C-8.5 FOR WATERLINE VALUES AND APPURTENANCES

EP 2' BC



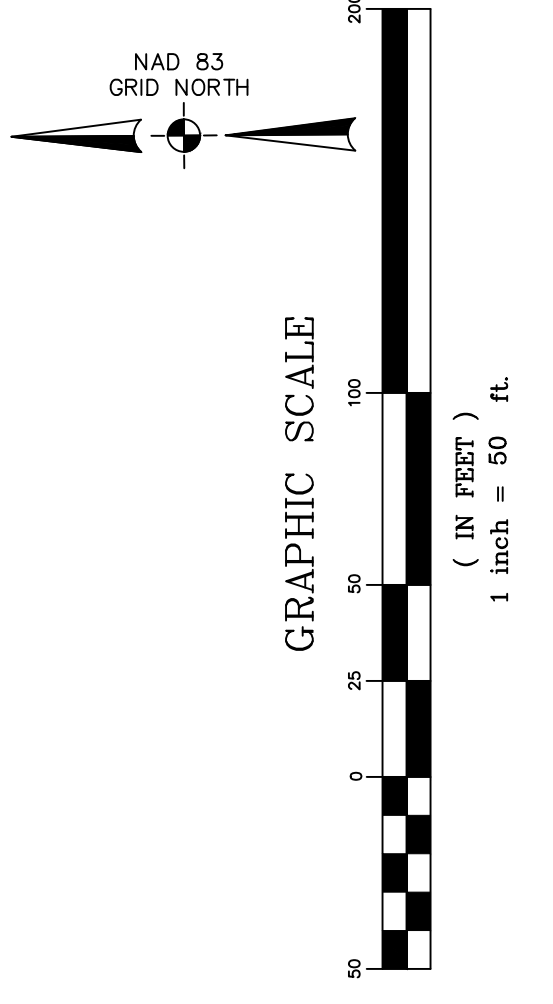
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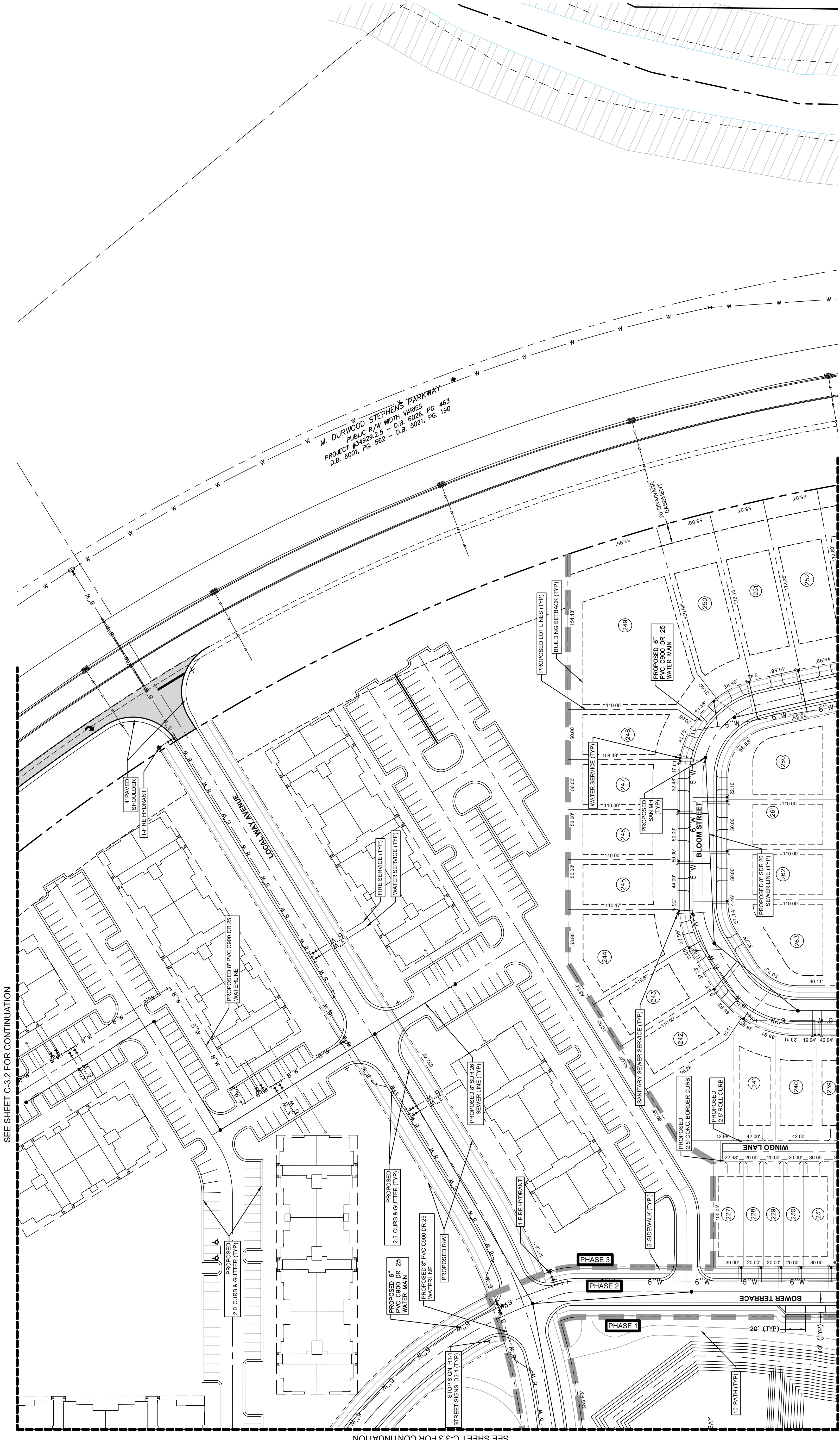
SITE AND UTILITY PLAN
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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Sheet No. **C-3.4**



PRELIMINARY PLANS NOT FOR REVIEW



SEE SHEET C-3.2 FOR CONTINUATION

SEE SHEET C-3 FOR CONTINUATION

SEE PLAN & PROFILE SHEETS FOR CURB WATERLINE VALVES AND APPURTENANCES

SEE SHEET C-3.6 FOR CONTINUATION

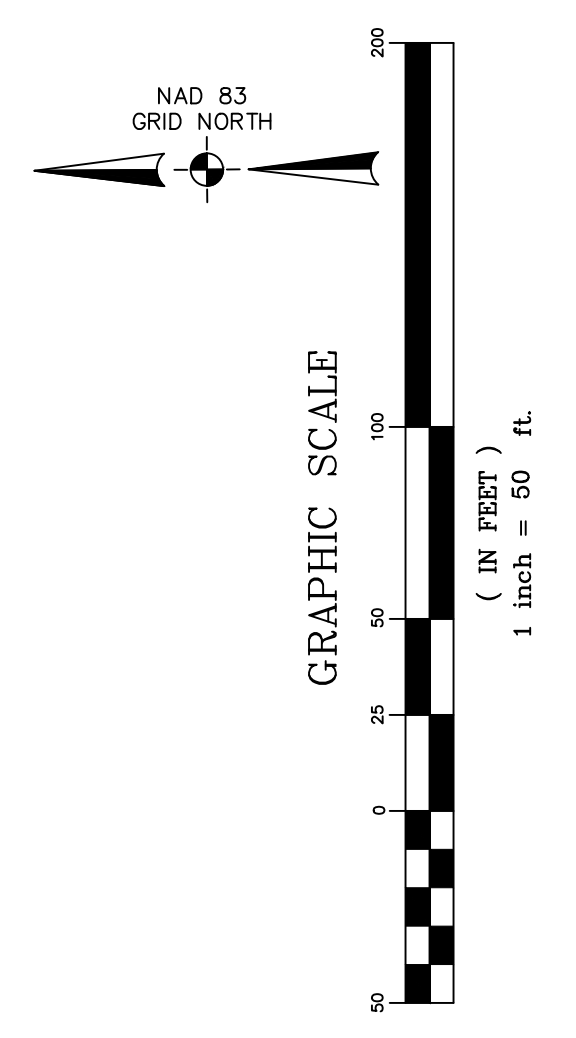
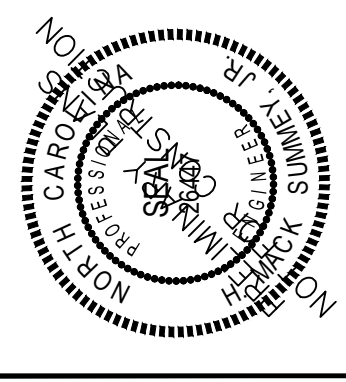
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Sheet No. C-3.6

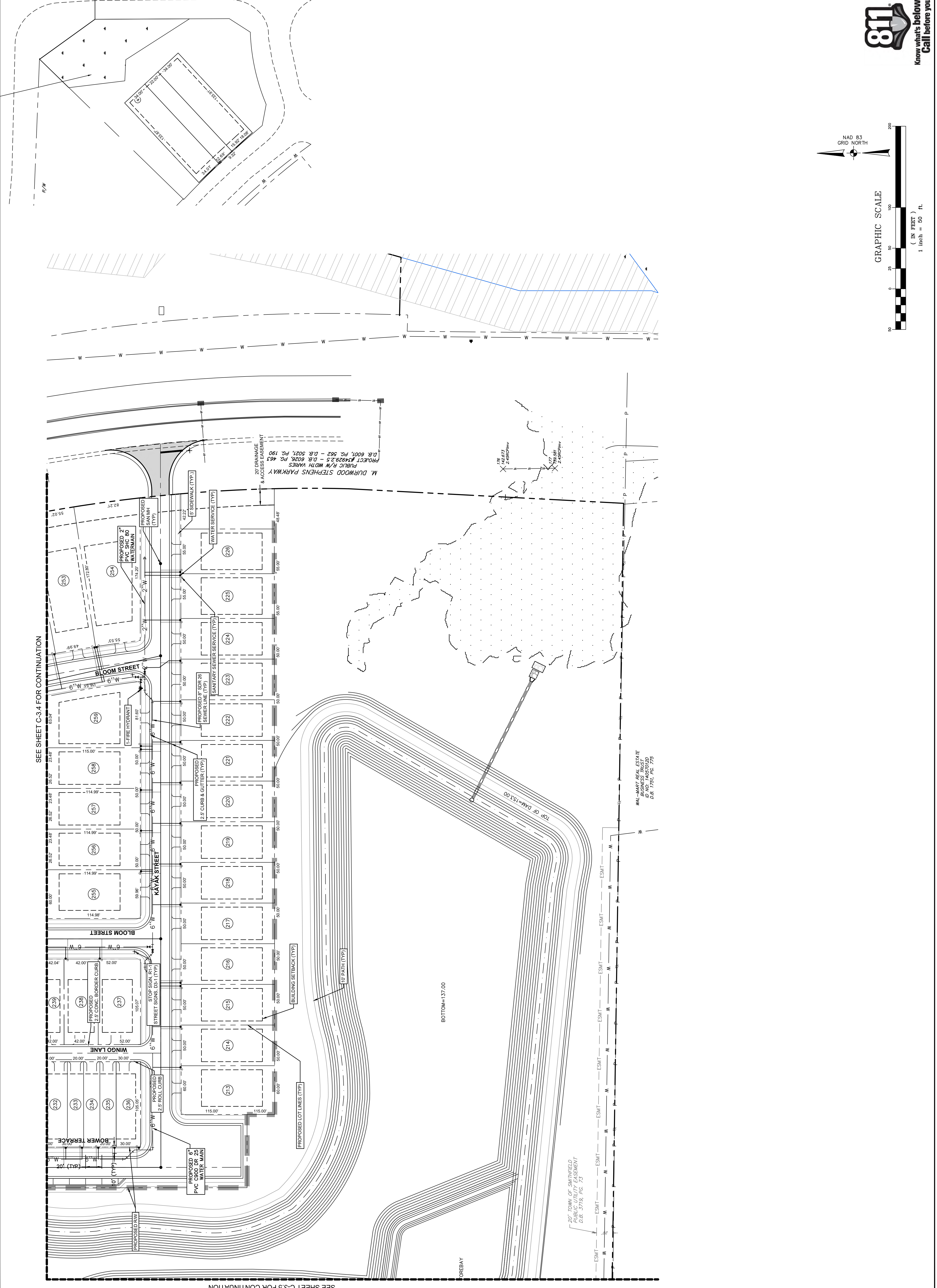
SITE AND UTILITY PLAN
LOCAL 70 RESIDENTIAL DEVELOPMENT
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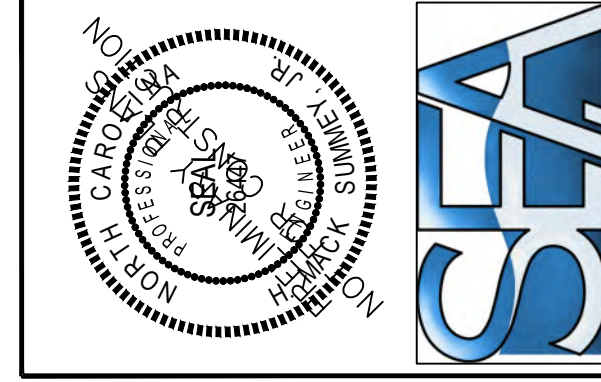


PRELIMINARY PLANS NOT FOR REVIEW



SEE SHEET C-3.4 FOR CONTINUATION

SEE SHEET C-3.5 FOR CONTINUATION



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No.	Date:	Description:

ENTRANCE #1 IMPROVEMENTS
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Job No.:	E-9916
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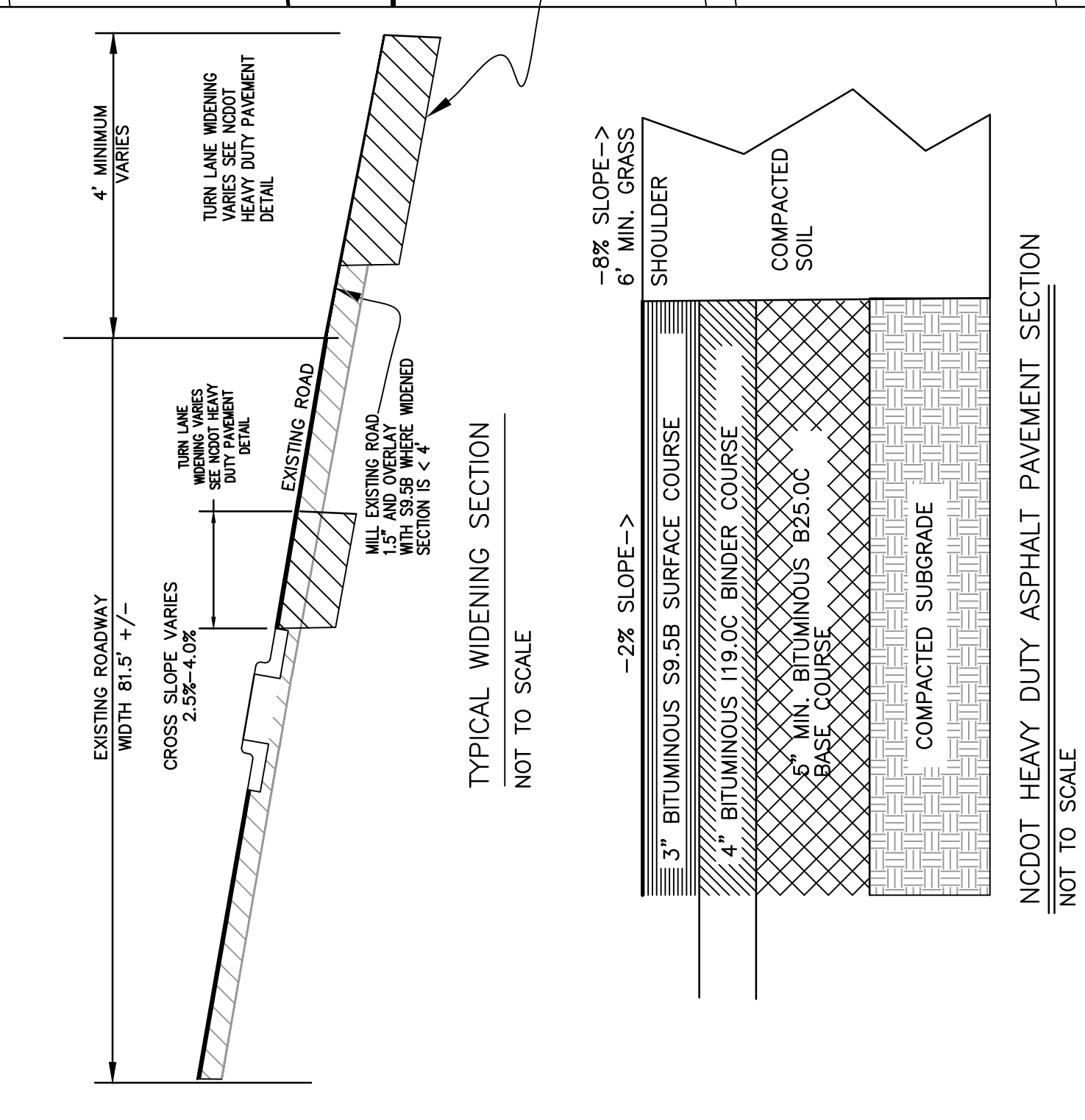
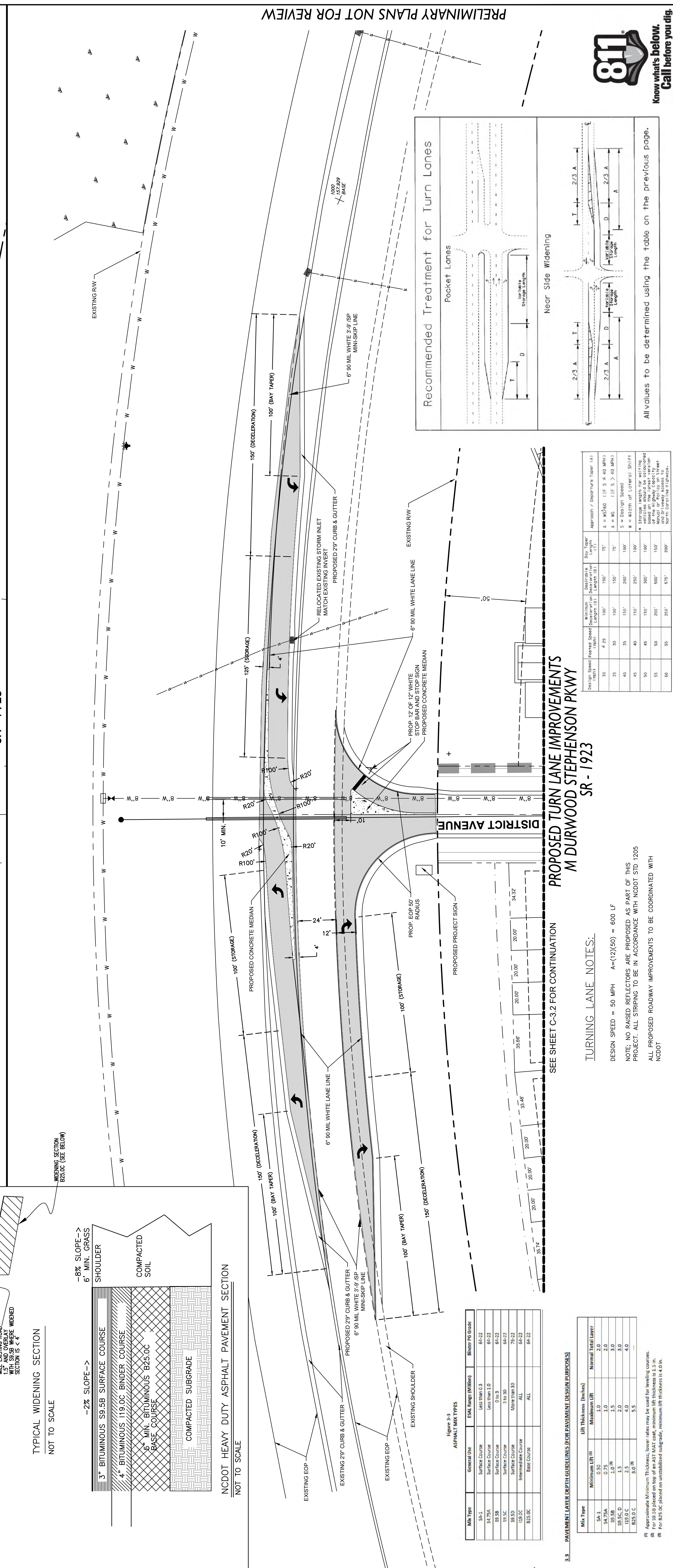
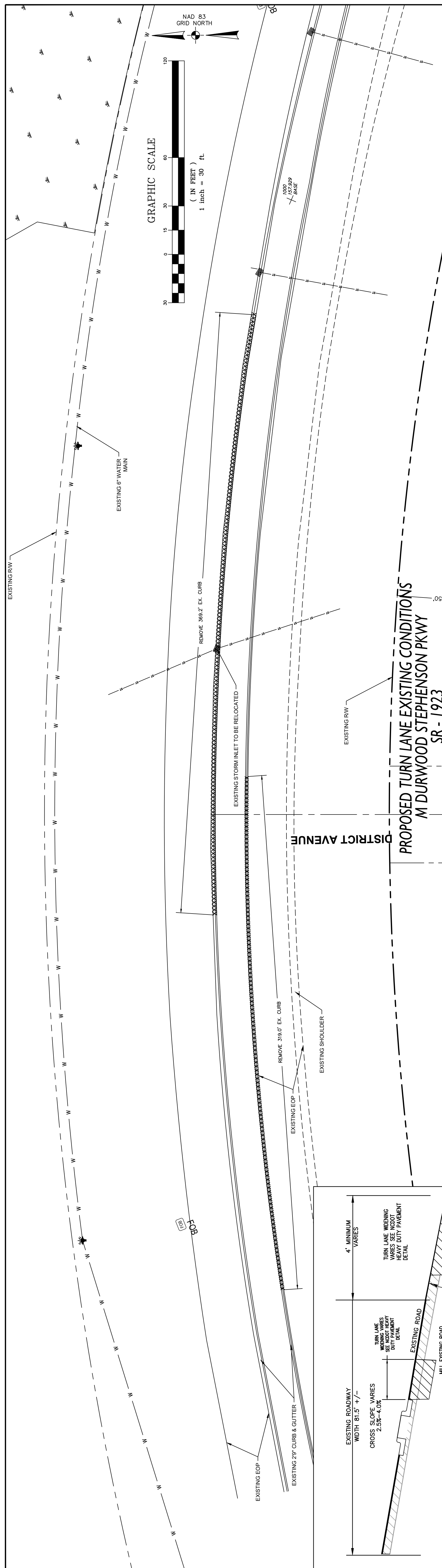


Figure 3-3.3
ASPHALT MIX TYPES

Mix Type	General Use	ESM Range (Million)	Blinder PG Grade
SA-1	Surface Course	Less than 0.3	61-22
SA-75A	Surface Course	Less than 1.0	61-22
SA-75B	Surface Course	0 to 3	61-22
SA-75C	Surface Course	3 to 30	61-22
SA-75D	Surface Course	More than 30	61-22
SA-75E	Surface Course	ALL	61-22
SA-75F	Base Course	ALL	61-22

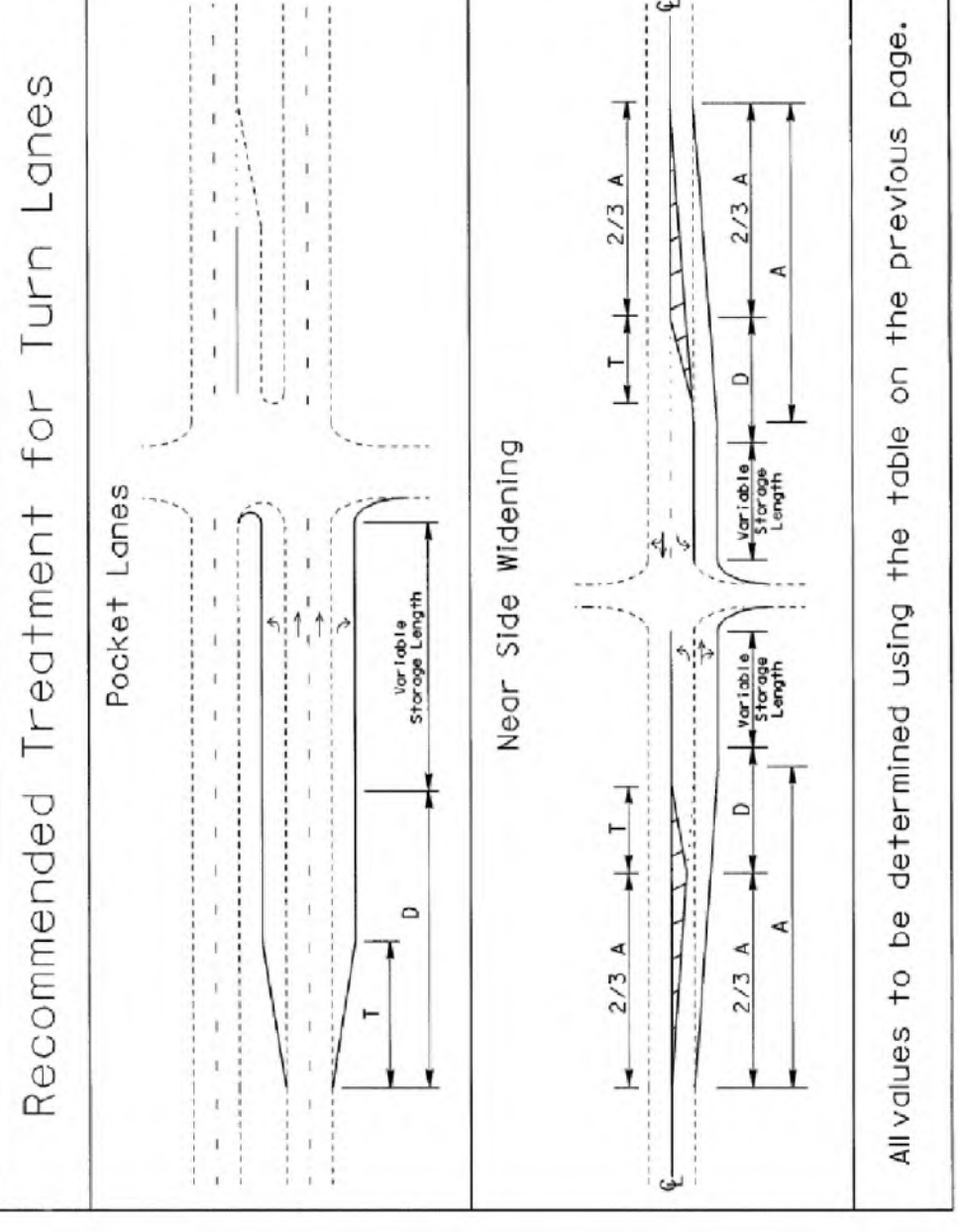
3.3. PAVEMENT LAYER DEPTHS/GUIDELINES (FOR PAVEMENT DESIGN PURPOSES)

Mix Type	Minimum LTR (in)	Maximum LTR (in)	Normal Total Layer (in)
SA-1	0.50	1.0	2.0
SA-75A	0.75	1.0	2.0
SA-75B	1.0	1.5	3.0
SA-75C	1.5	2.0	4.0
SA-75D	2.0	2.5	4.0
SA-75E	2.5	3.0	4.0
SA-75F	3.0	3.5	4.0

(R) Approximate Minimum Thickness; lower values may be used for leveling courses.
 (S) For 59.5B placed on top of an AS7 MAT coat, minimum lift thickness is 1.5 in.
 (B) For B25.0C placed on unsealed subgrade, minimum lift thickness is 4.0 in.

TURNING LANE NOTES:
 DESIGN SPEED = 50 MPH A=(12)(50) = 600 LF
 NOTE: NO RAISED REFLECTORS ARE PROPOSED AS PART OF THIS PROJECT. ALL STRIPING TO BE IN ACCORDANCE WITH NCDOT STD 1205
 ALL PROPOSED ROADWAY IMPROVEMENTS TO BE COORDINATED WITH NCDOT

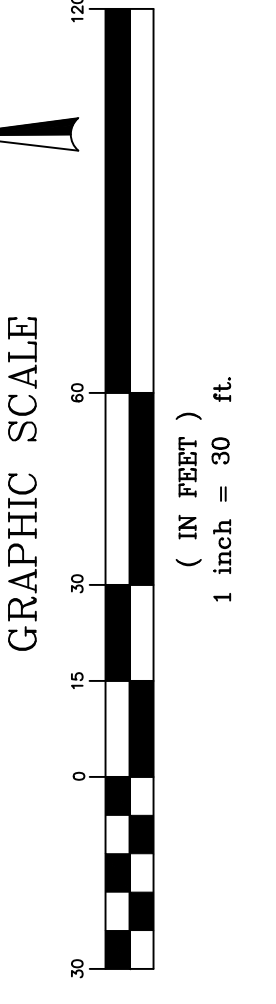
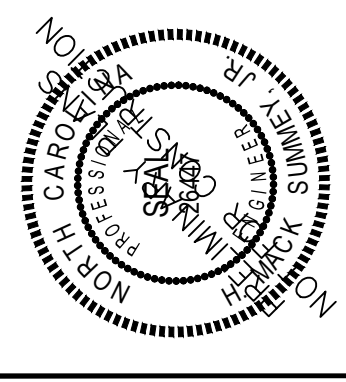
Design Speed (mph)	Vehicle Length (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)	Vehicle Spacing (ft)
30	4.25	100'	100'	100'	100'	100'	100'	100'	100'	100'
35	5.0	100'	100'	100'	100'	100'	100'	100'	100'	100'
40	5.75	100'	100'	100'	100'	100'	100'	100'	100'	100'
45	6.5	100'	100'	100'	100'	100'	100'	100'	100'	100'
50	7.25	100'	100'	100'	100'	100'	100'	100'	100'	100'
55	8.0	100'	100'	100'	100'	100'	100'	100'	100'	100'
60	8.75	100'	100'	100'	100'	100'	100'	100'	100'	100'



All values to be determined using the table on the previous page.



PRELIMINARY PLANS NOT FOR REVIEW



PROPOSED TURN LANE IMPROVEMENTS
 M DURWOOD STEPHENSON PKWY
 SR - 1923

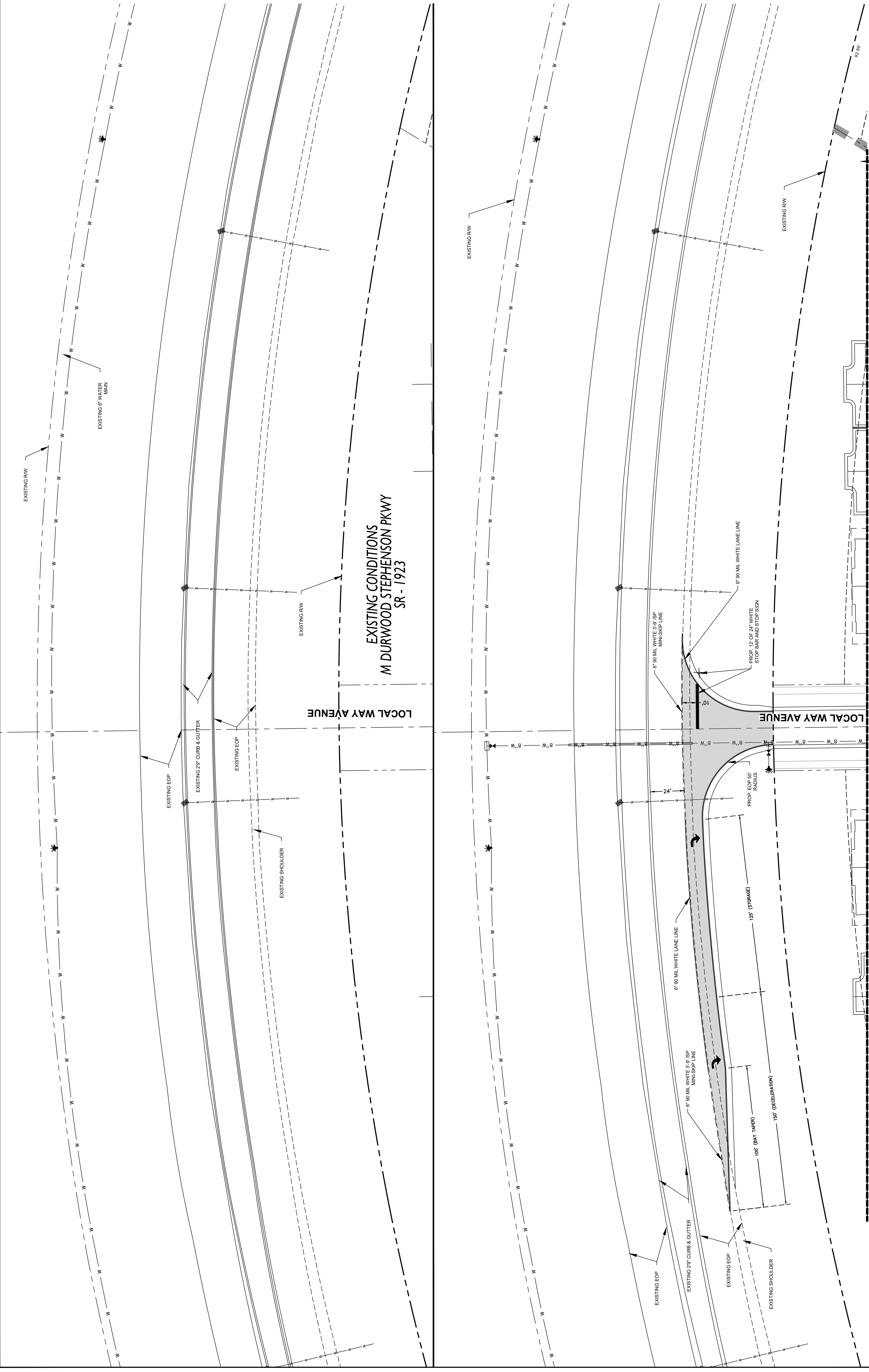
SEE SHEET C-3.3 FOR CONTINUATION

TURNING LANE NOTES:

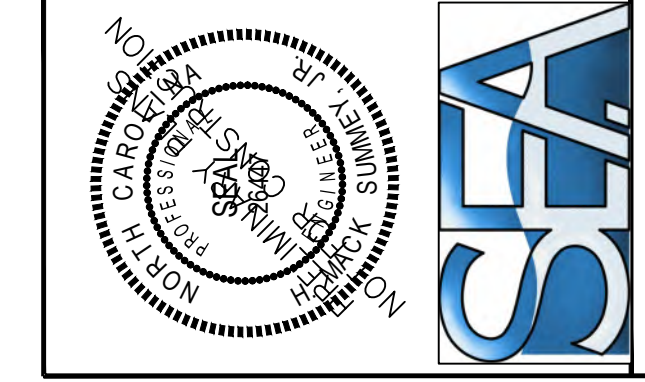
DESIGN SPEED = 50 MPH A=(12)(50) = 600 LF

NOTE: NO RAISED REFLECTORS ARE PROPOSED AS PART OF THIS PROJECT. ALL STRIPING TO BE IN ACCORDANCE WITH NCDOT STD 1205
 ALL PROPOSED ROADWAY IMPROVEMENTS TO BE COORDINATED WITH NCDOT

PRELIMINARY PLANS NOT FOR REVIEW



No.	Date:	Description:	By:



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 Asheville, NC 27204
 Phone: 336-328-0922 Fax: 336-328-0922
 Email: info@summeyengineering.com
 NC Professional Engineering Firm License No. P-0336

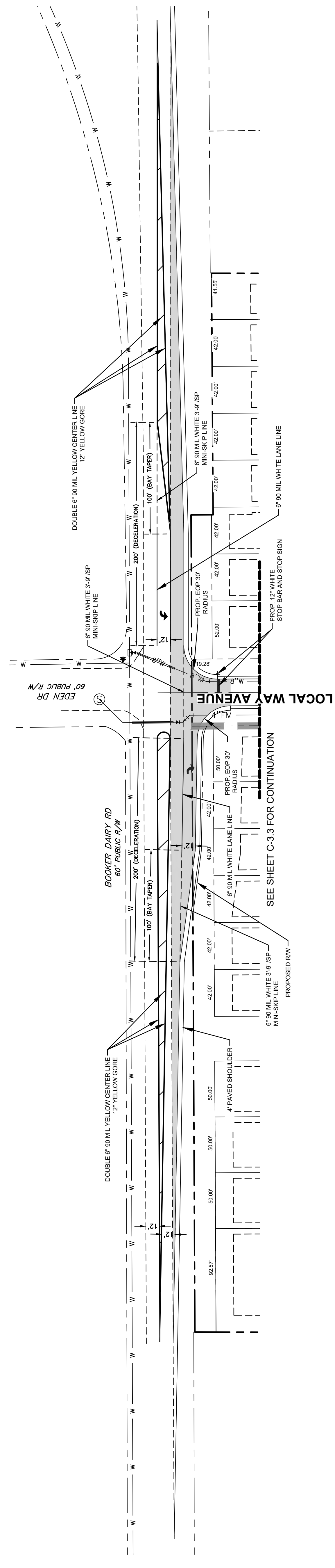
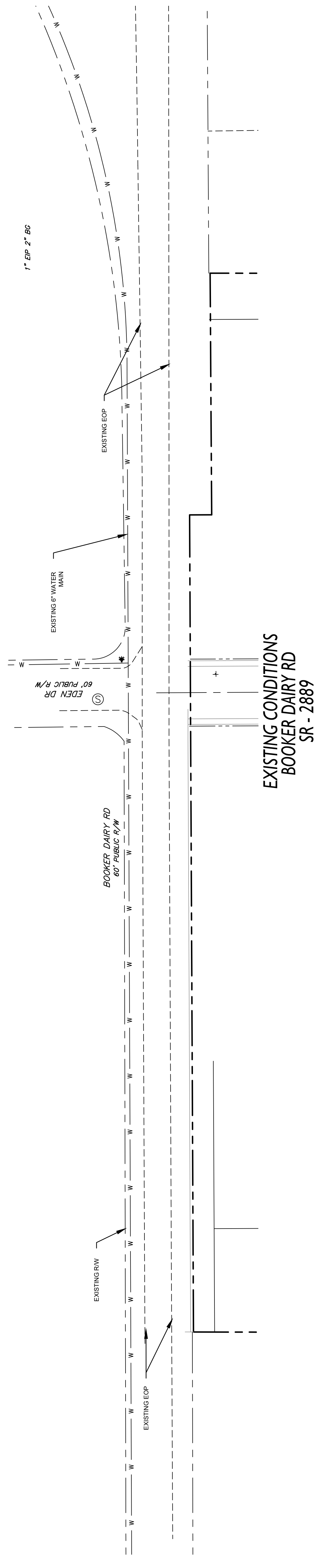
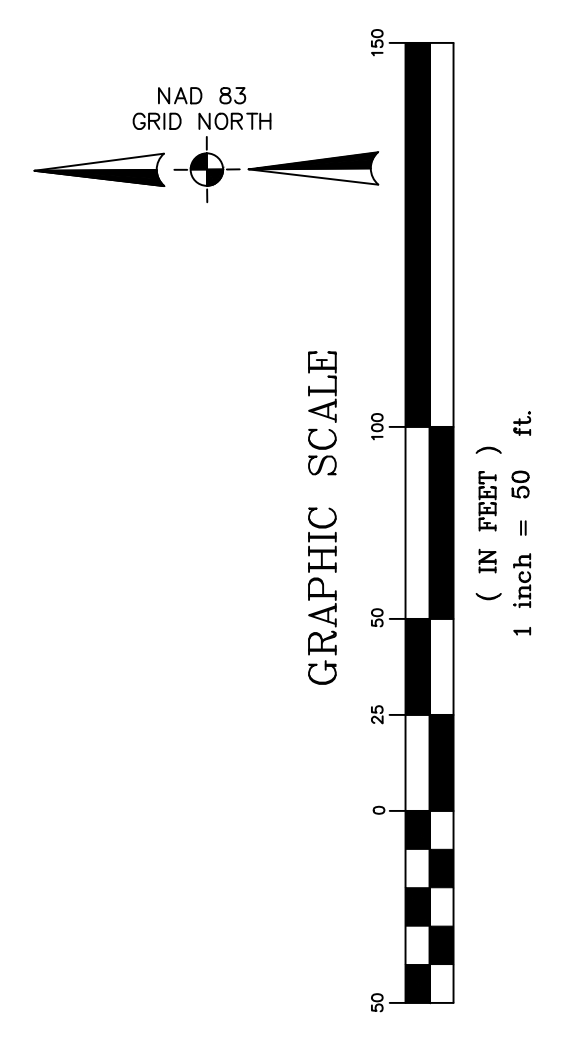
No.	Date:	Description:	By:

ENTRANCE #2 IMPROVEMENTS
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. **C-3.9**

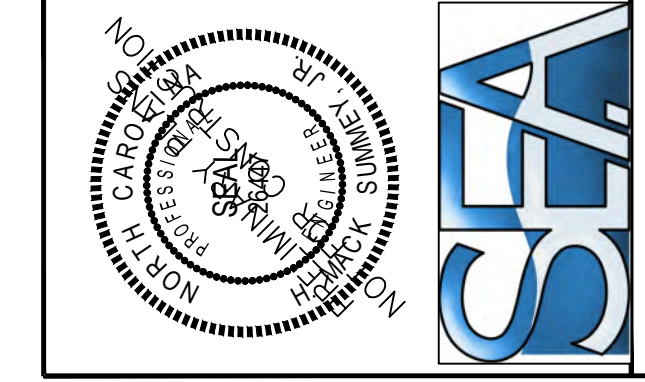
PRELIMINARY PLANS NOT FOR REVIEW



PROPOSED TURN LANE IMPROVEMENTS
BOOKER DAIRY RD
SR - 2889

TURNING LANE NOTES:

DESIGN SPEED = 50 MPH A=(12)(50) = 600 LF
 NOTE: NO RAISED REFLECTORS ARE PROPOSED AS PART OF THIS PROJECT. ALL STRIPING TO BE IN ACCORDANCE WITH NCDOT STD 1205
 ALL PROPOSED ROADWAY IMPROVEMENTS TO BE COORDINATED WITH NCDOT

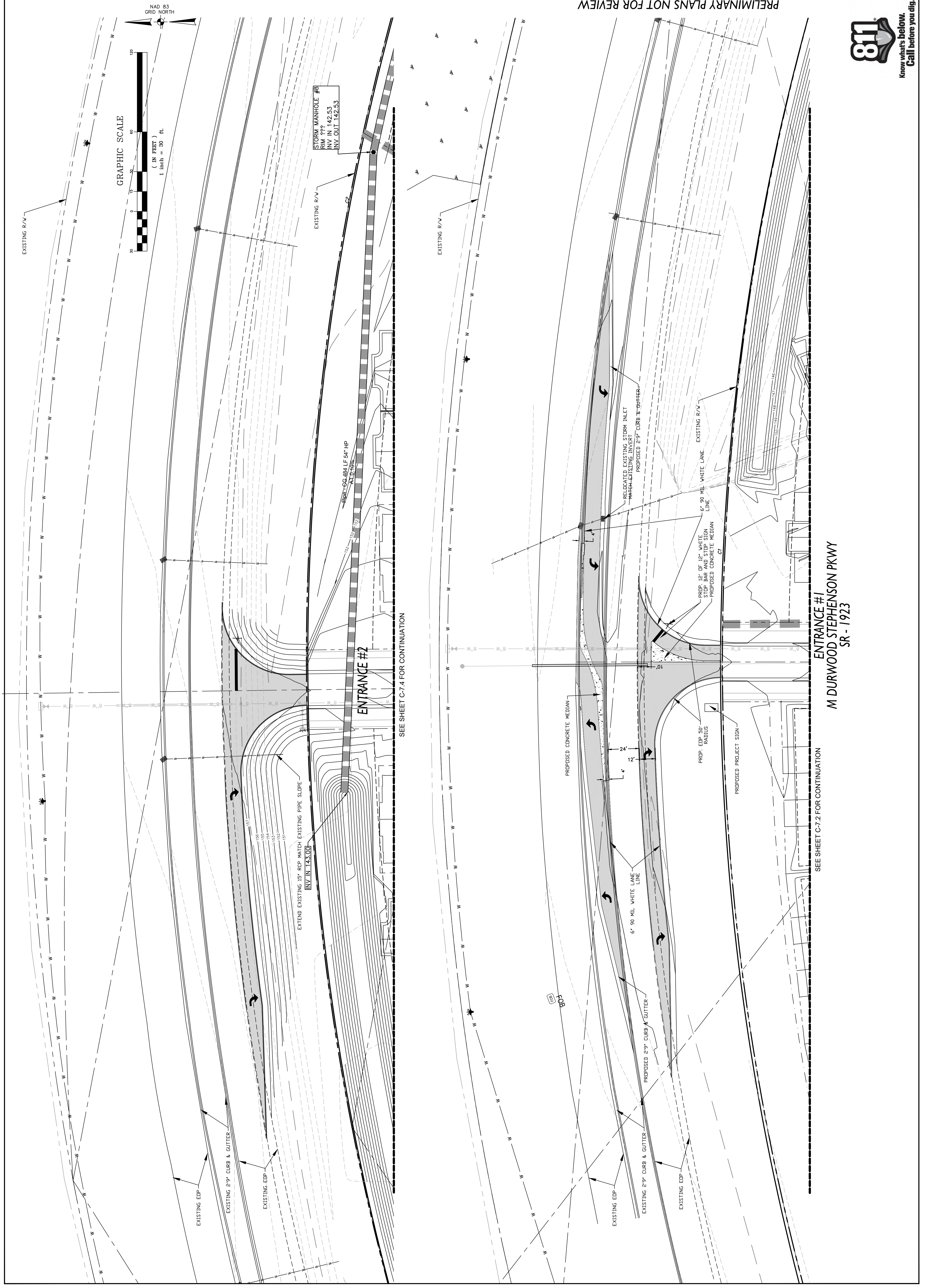


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ENTRANCE #1 & #2 GRADING
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. **C-310**



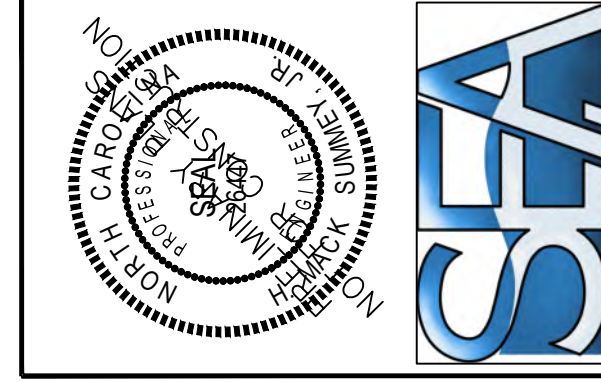
PRELIMINARY PLANS NOT FOR REVIEW



ENTRANCE #1
M DURWOOD STEPHENSON PKWY
SR - 1923

SEE SHEET C-7.2 FOR CONTINUATION

SEE SHEET C-7.4 FOR CONTINUATION



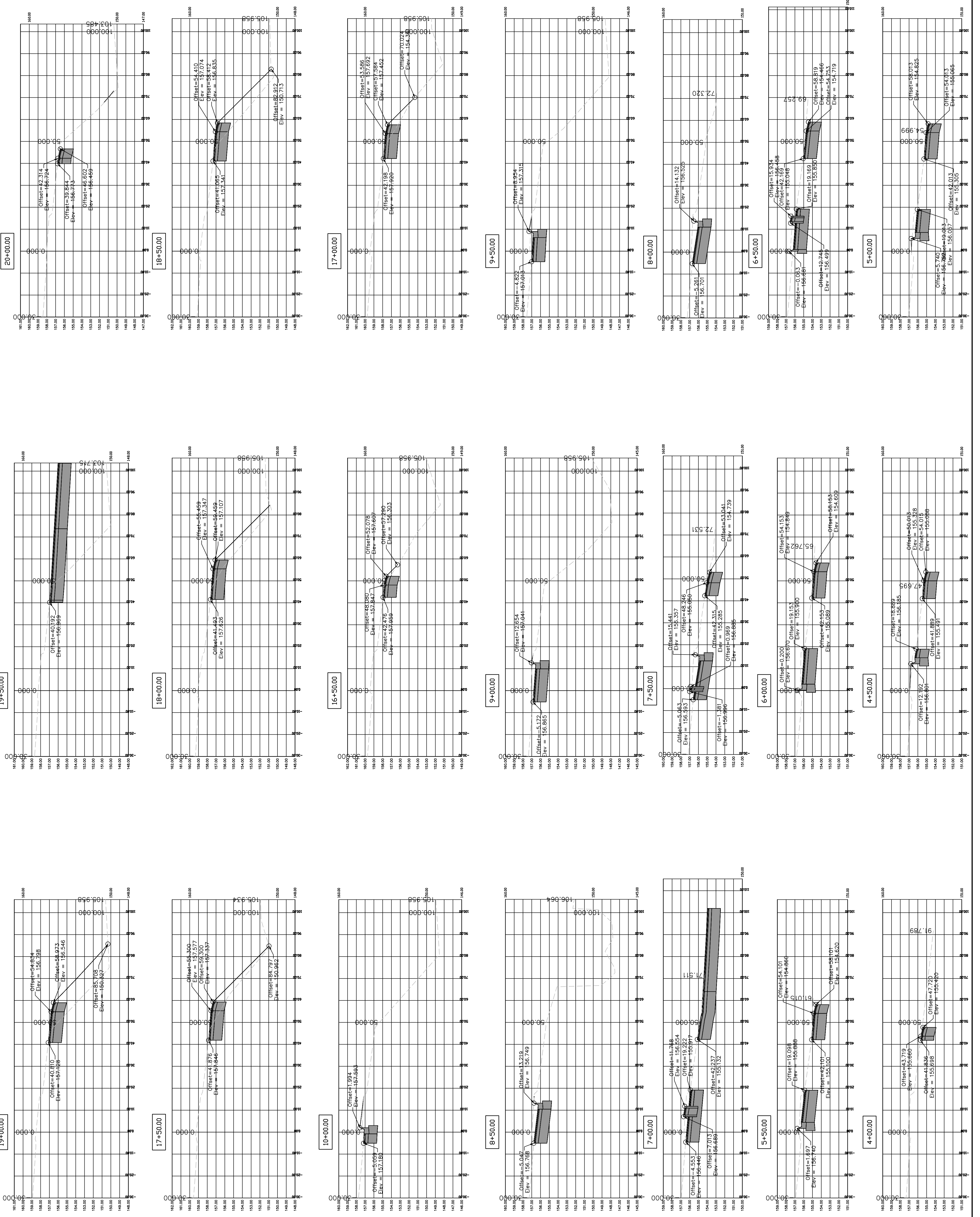
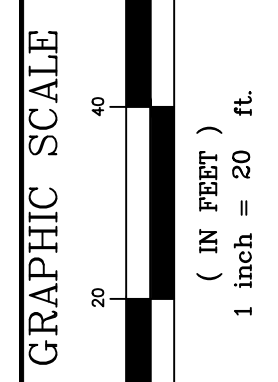
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No.	Date:	Description:

ENTRANCES CROSS SECTIONS
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Job No.:	E-9916
Checked By:	HMSJ
Drawn By:	CM/JM
Date:	MONTH YEAR
Scale:	AS NOTED
Sheet No.:	C-3 of 11

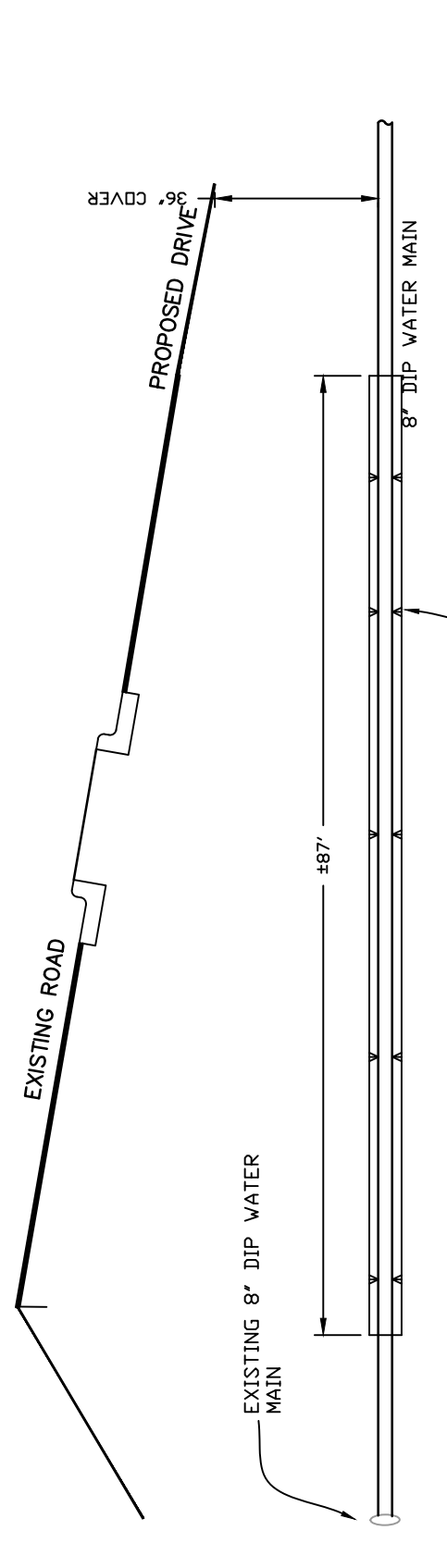
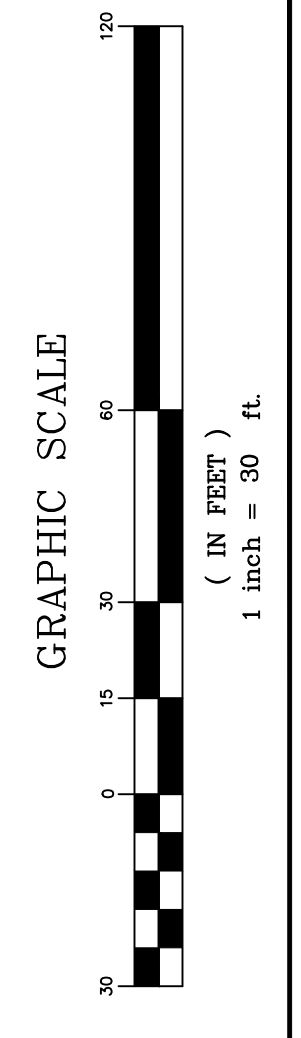
PRELIMINARY PLANS NOT FOR REVIEW



No.	Date:	Description:

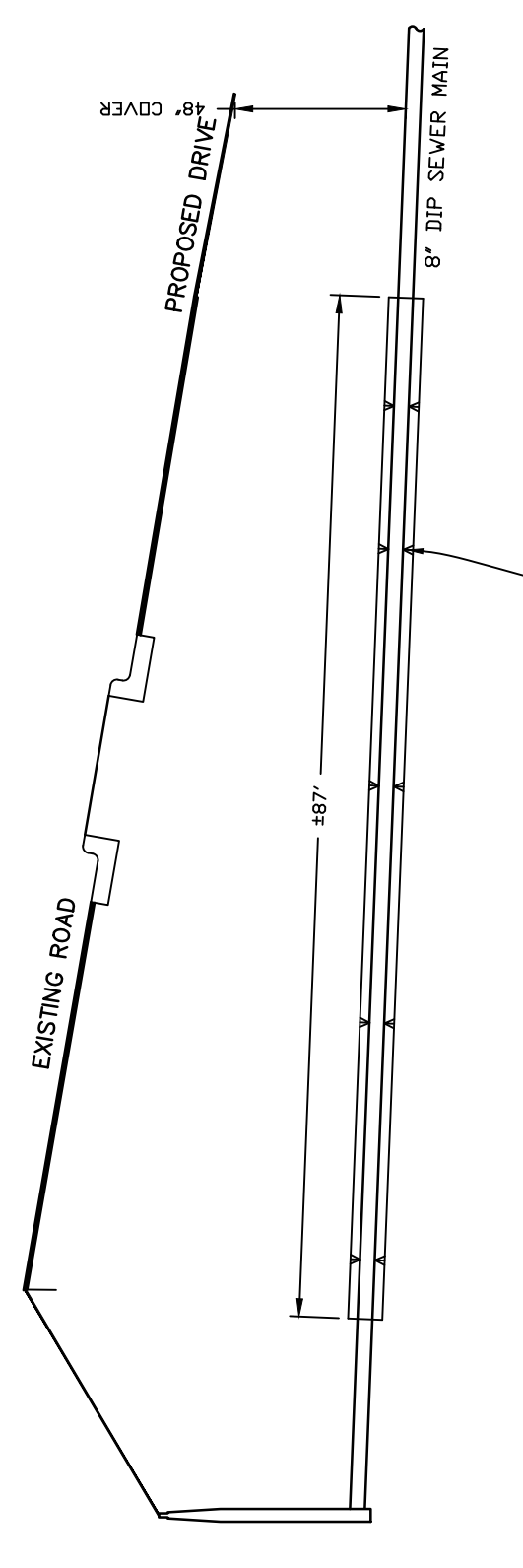
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Checked By:	HMSJ
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Scale:	AS NOTED
Sheet No.:	C-3.1/2

PRELIMINARY PLANS NOT FOR REVIEW



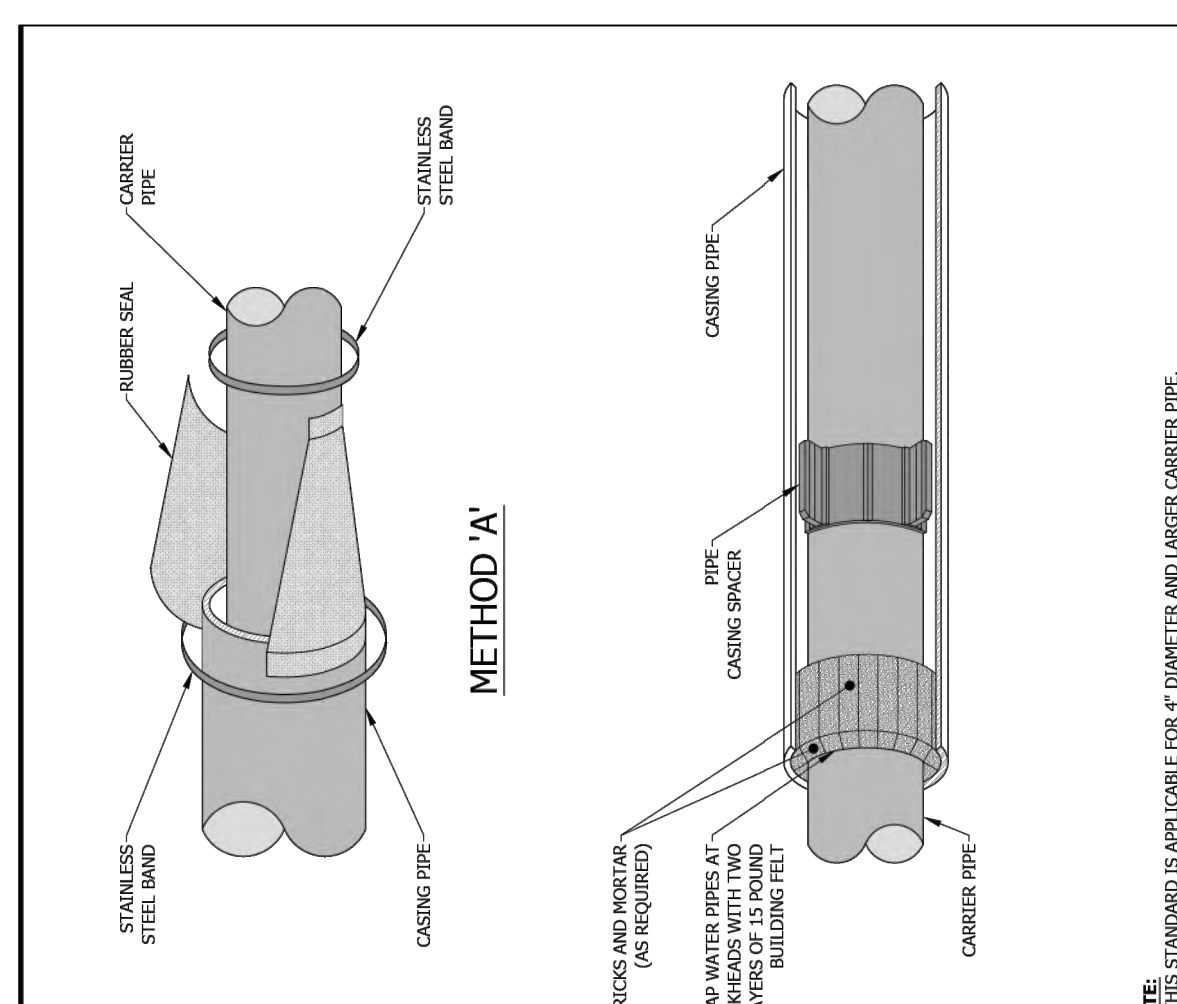
- NOTES:**
1. ALL BORES AND TAPS TO BE IN LOCATION THAT IS SHOWN ON PLANS, AND ANY VARIATION TO BE COORDINATED WITH THE MUNICIPALITY AND ENGINEER.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ANY EXISTING UTILITIES AND FOR ANY DAMAGE RESULTING TO LOCATED UTILITIES.
 3. IF THE GRADE OF THE PIPE AT THE JACKING END IS BELOW THE GROUND SURFACE, THE CONTRACTOR SHALL PROVIDE PROPERLY PLACED AND BRACED END JOINTS OF THE PIPE. SUCH WORK SHALL BE SHEETED SECURELY AND BRACED IN ACCORDANCE WITH OSHA TRENCH SAFETY REQUIREMENTS. AN IN-HOUSE INSPECTION INSPECTION SHALL BE PERFORMED ON ALL JOINTS FROM BECOMING FIRMLY SET IN THE SOIL.
 4. THE CONTRACTOR/DOWNER'S RESPONSIBILITY TO ENSURE THE MAINS ARE MAINTAINED CORRECTLY PRIOR TO BORING OPERATION.
 5. PER NCAI RULES 12" MIN. SEPARATION BETWEEN WATER AND OTHER SAN. SEWER.

WATER BORE DETAIL
SCALE: NONE



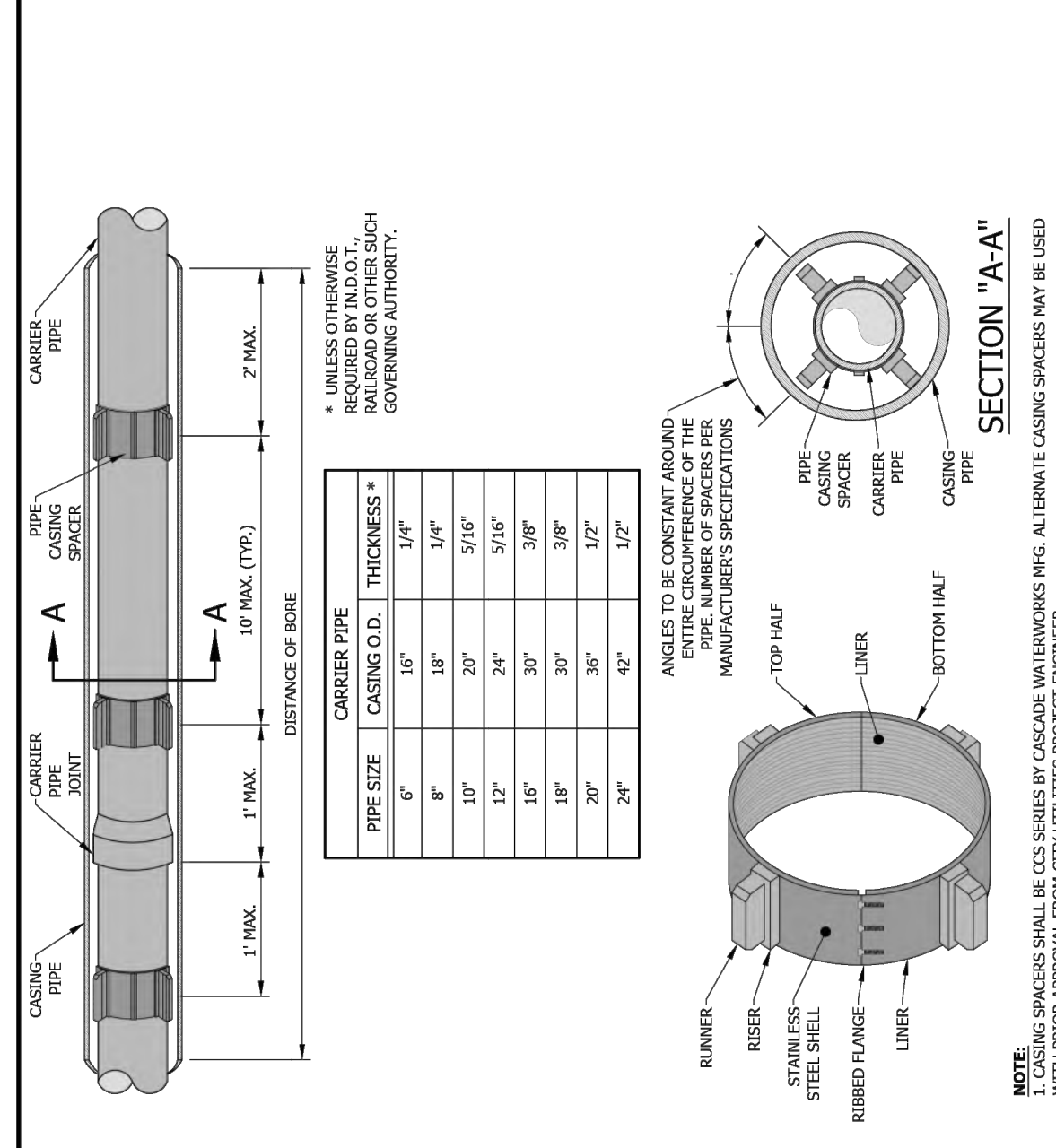
SEWER BORE DETAIL
SCALE: NONE

CASING SPACERS SHALL BE SPACED A MAXIMUM OF EIGHT (8) FEET APART ALONG THE LENGTH OF THE CARRIER PIPE WITH ONE CASING SPACER WITHIN TWO (2) FEET OF EACH SIDE OF A PIPE JOINT AND THE REST EVENLY SPACED.



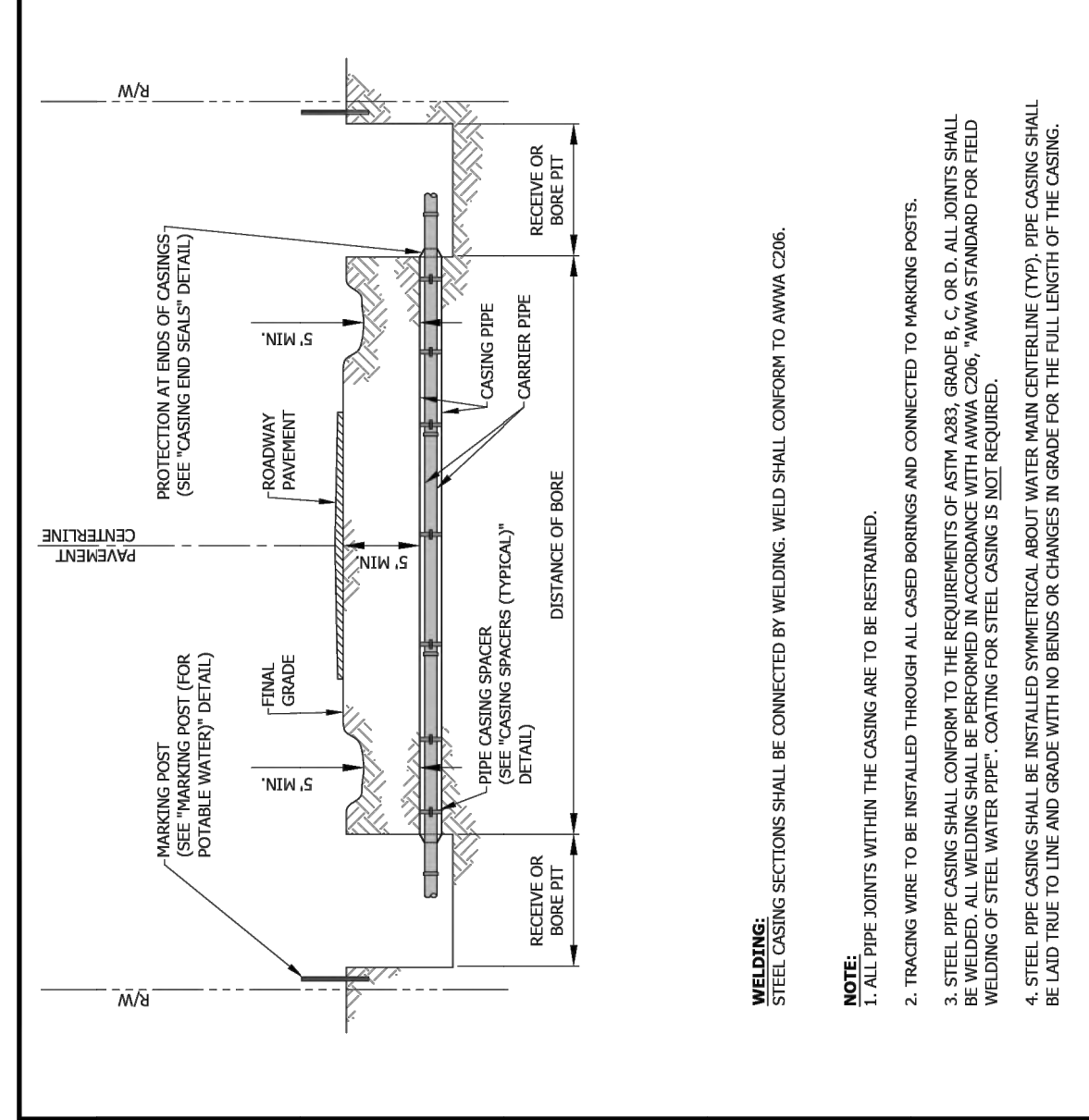
DW19 - TYPICAL CASING END SEALS
SCALE: NONE

NOTE: 1. THIS STANDARD IS APPLICABLE FOR 4" DIAMETER AND LARGER CARRIER PIPE.



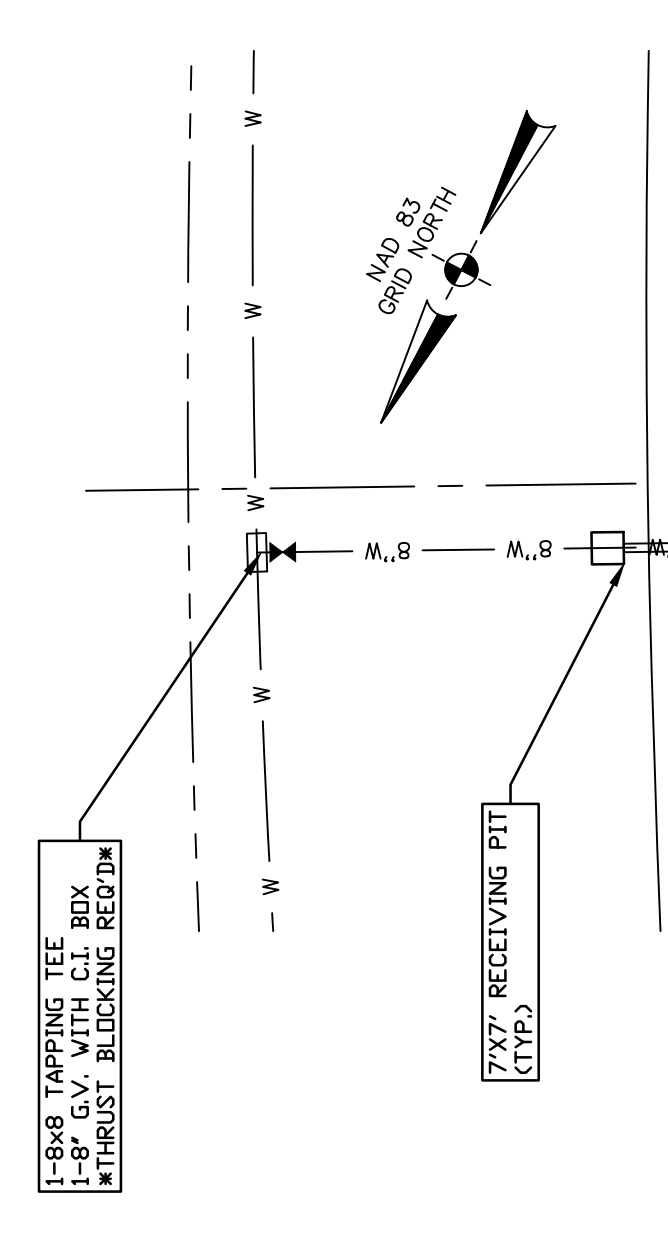
DW18 - TYPICAL CASING SPACERS
SCALE: NONE

NOTE: 1. ANGLES TO BE CONSTANT AROUND THE PIPE. NUMBER OF SPACERS PER MANUFACTURER'S SPECIFICATIONS. 2. CITY UTILITIES APPROVED CASING SPACERS AND END SEALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. USE A VENDOR'S CONFIGURATION AND PROVIDE THE MANUFACTURER WITH THE FOLLOWING INFORMATION: CARRIER PIPE SIZE, CASING PIPE SIZE, AND CASING LENGTH.

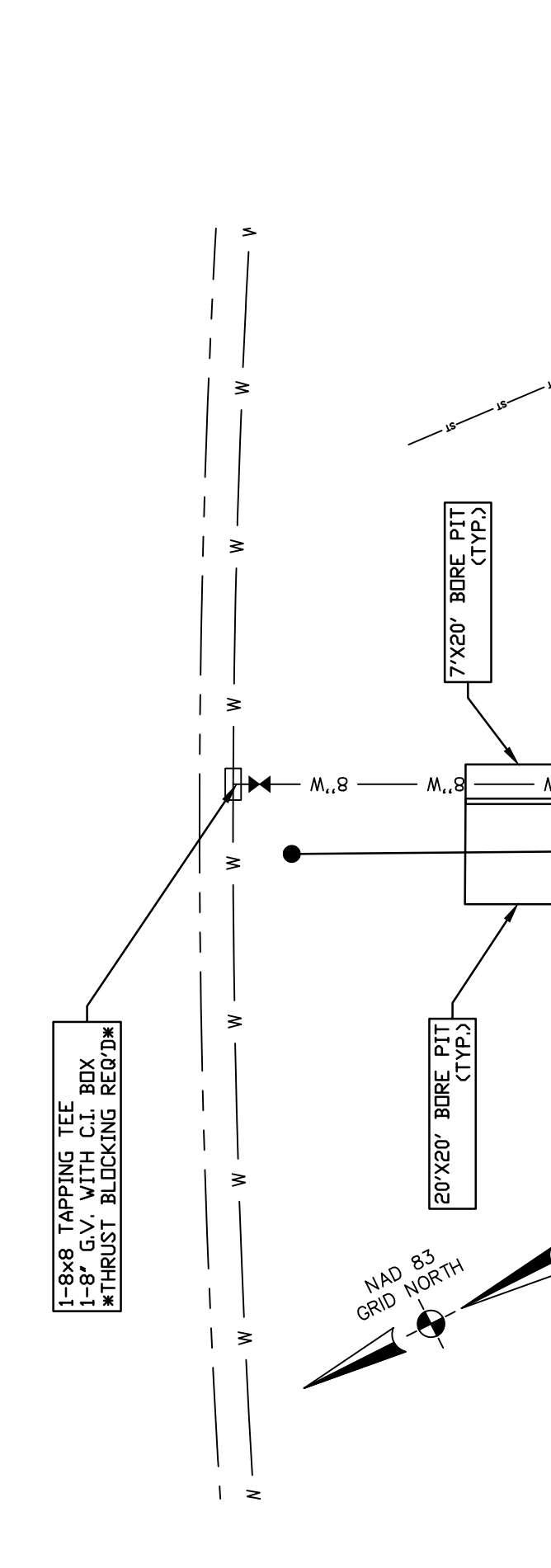
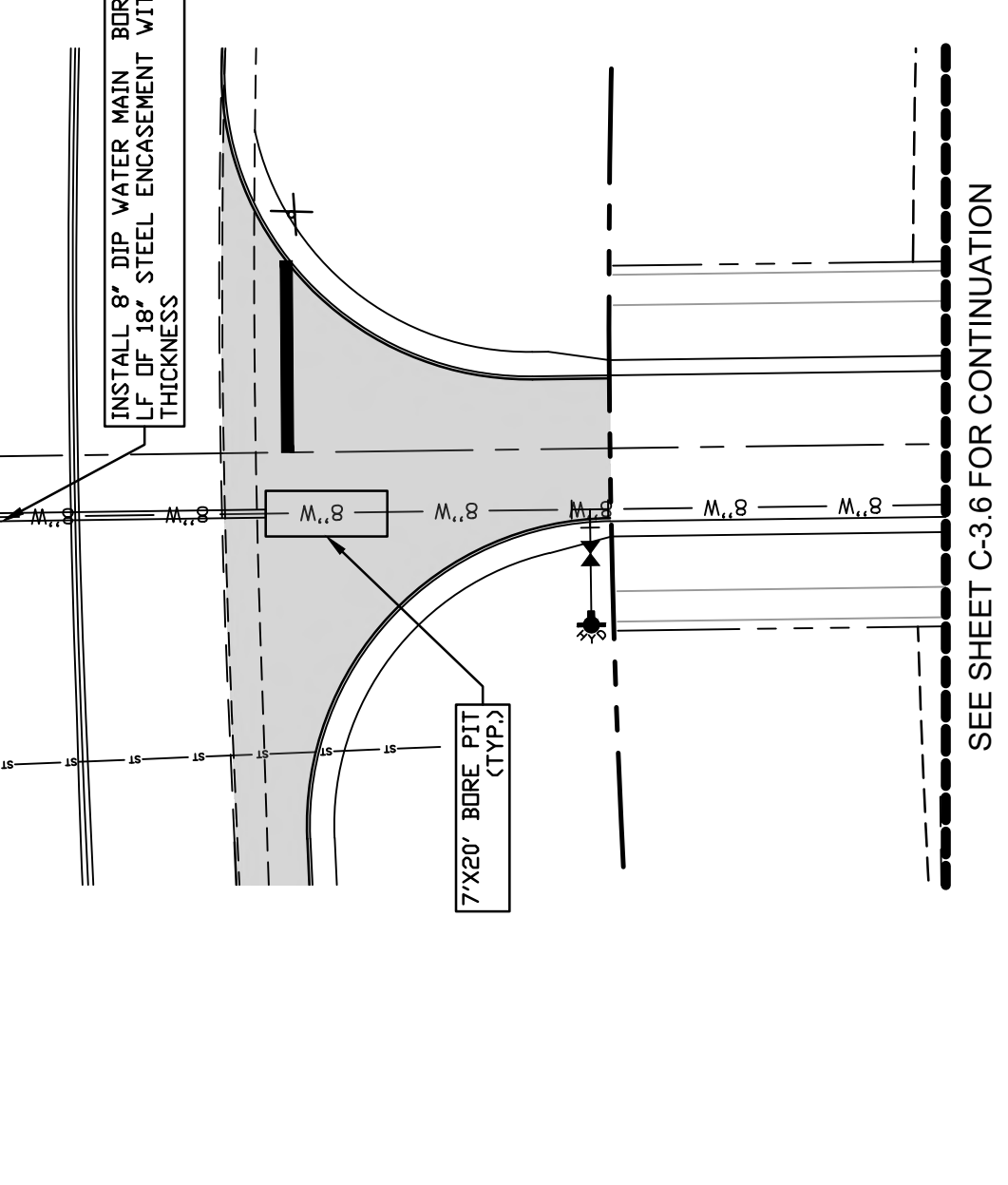


DW17 - TYPICAL JACK AND BORE CASING PIPE
SCALE: NONE

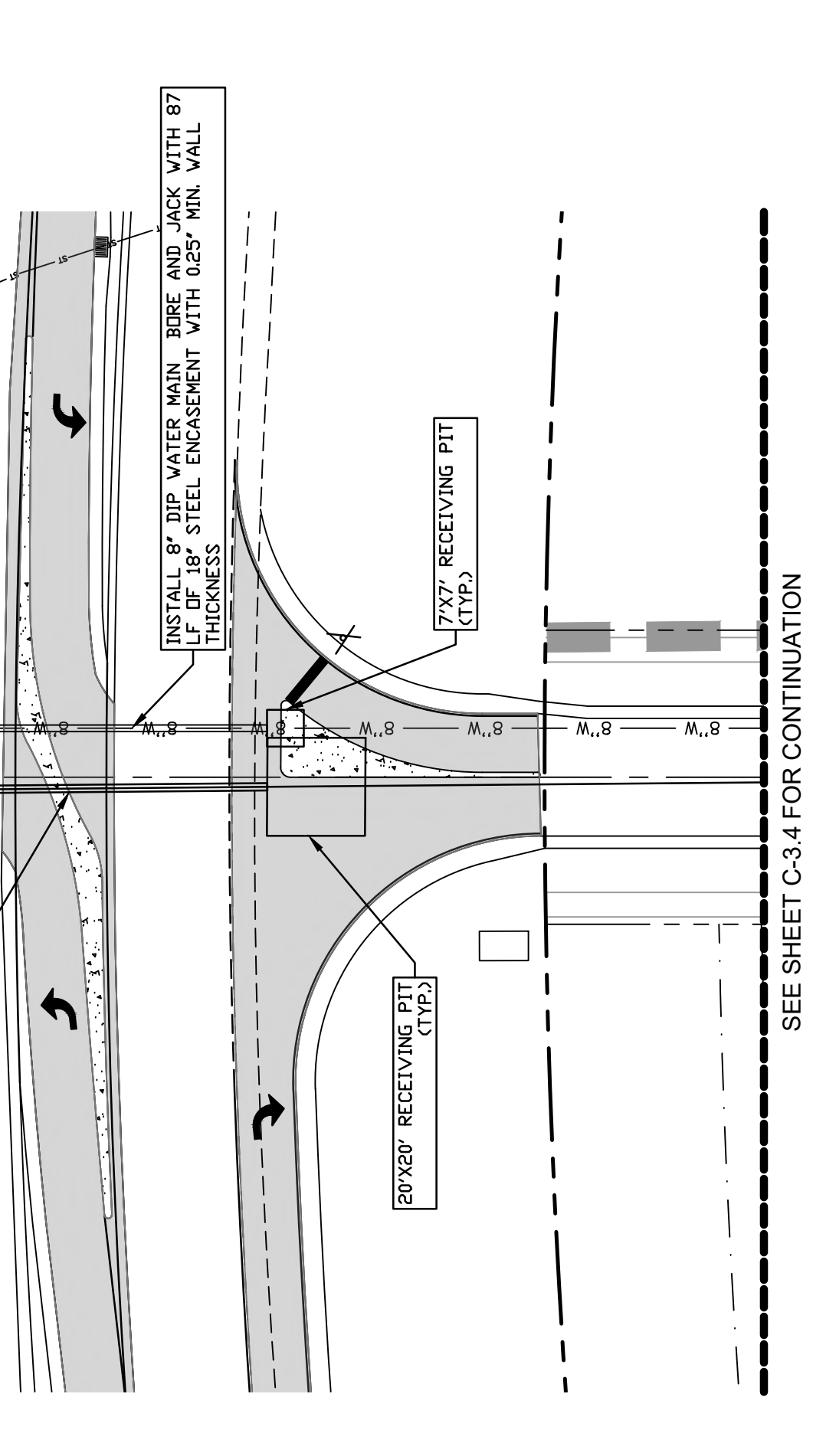
- WELDING:** STEEL CASING SECTIONS SHALL BE CONNECTED BY WELDING. WELD SHALL CONFORM TO AWWA C200.
- NOTE:**
1. ALL PIPE JOINTS WITHIN THE CASING ARE TO BE RESTRAINED.
 2. TAPPING WIRE TO BE INSTALLED THROUGH ALL CASING BORINGS AND CONNECTED TO MARKING POSTS.
 3. STEEL CASING SHALL BE WELDED TO THE UNDERGROUND MAINS AT ALL JOINTS WITHIN THE CASING. WELDING SHALL BE IN ACCORDANCE WITH AWWA C200. WELDING SHALL BE PERFORMED BY A LICENSED WELDER. WELDING OF STEEL WATER PIPE COATING FOR STEEL CASING IS NOT REQUIRED.
 4. STEEL PIPE CASING SHALL BE INSTALLED SYMMETRICAL ABOUT WATER MAIN CENTERLINE (TYP). PIPE CASING SHALL BE LAID TRUE TO LINE AND GRADE WITH NO BENDS OR CHANGES IN GRADE FOR THE FULL LENGTH OF THE CASING.



DW18 - TYPICAL CASING SPACERS
SCALE: NONE



DW17 - TYPICAL JACK AND BORE CASING PIPE
SCALE: NONE

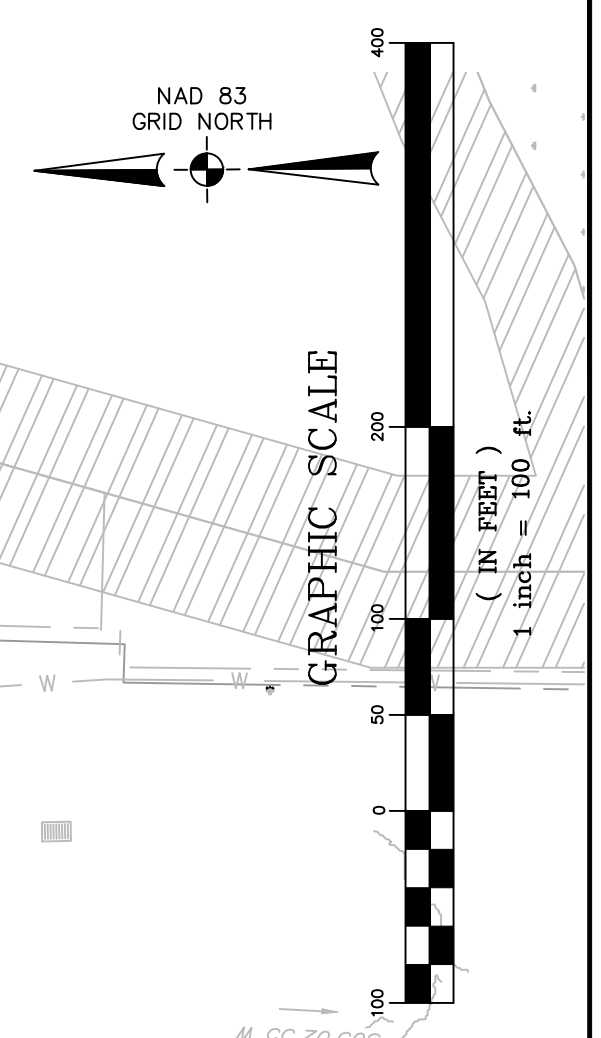


PROPOSED UTILITY IMPROVEMENTS
M DURWOOD STEPHENSON PKWY
SR - 1923

SEE SHEET C-3.4 FOR CONTINUATION

SEE SHEET C-3.6 FOR CONTINUATION

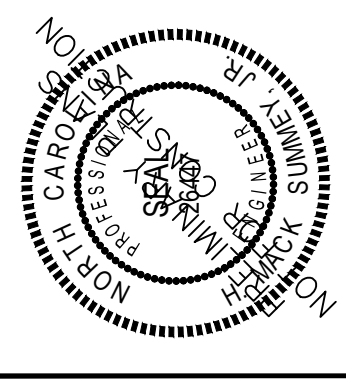
SEE SHEET C-3.3 FOR CONTINUATION



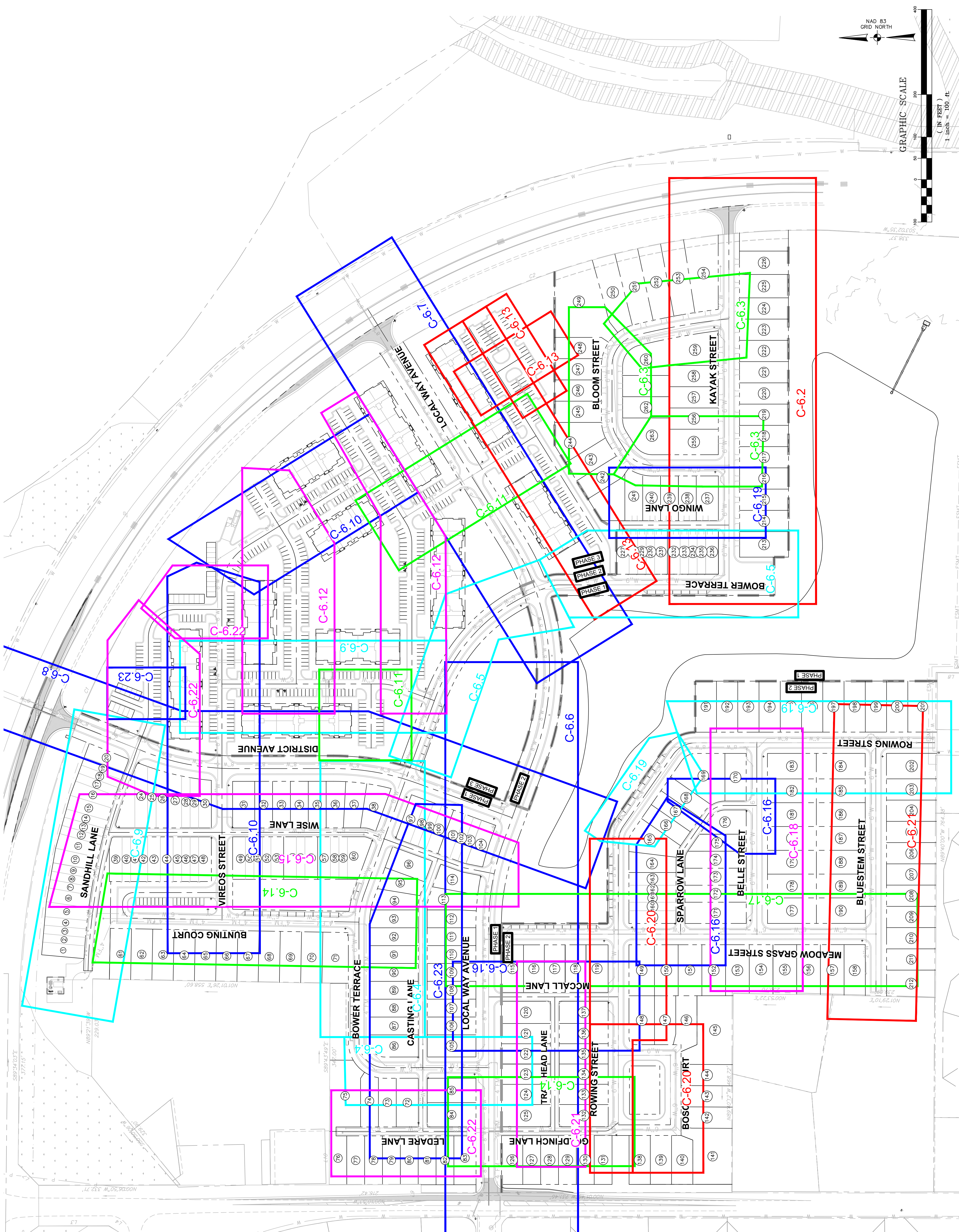
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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

OVERALL PLAN & PROFILE
LOCAL 70 RESIDENTIAL DEVELOPMENT
HWY 70
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Summey Engineering Associates, PLLC
Engineering - Consulting - Surveying
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Asheboro, NC 27204
Phone: 336-328-0902 Fax: 336-328-0922
E-mail: info@summeyengineering.com
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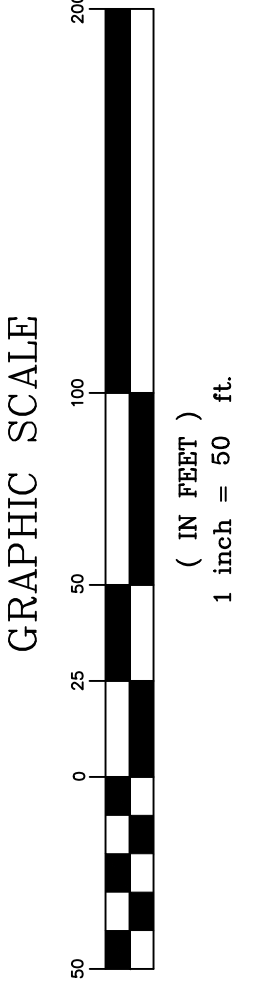


PRELIMINARY PLANS NOT FOR REVIEW





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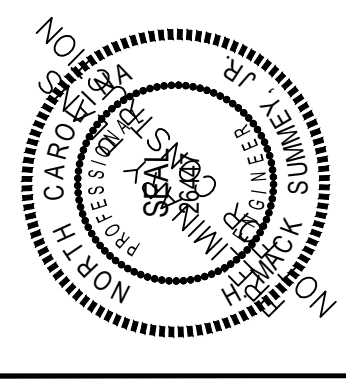
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Job No.:	E-9916

Sheet No. C-6.4

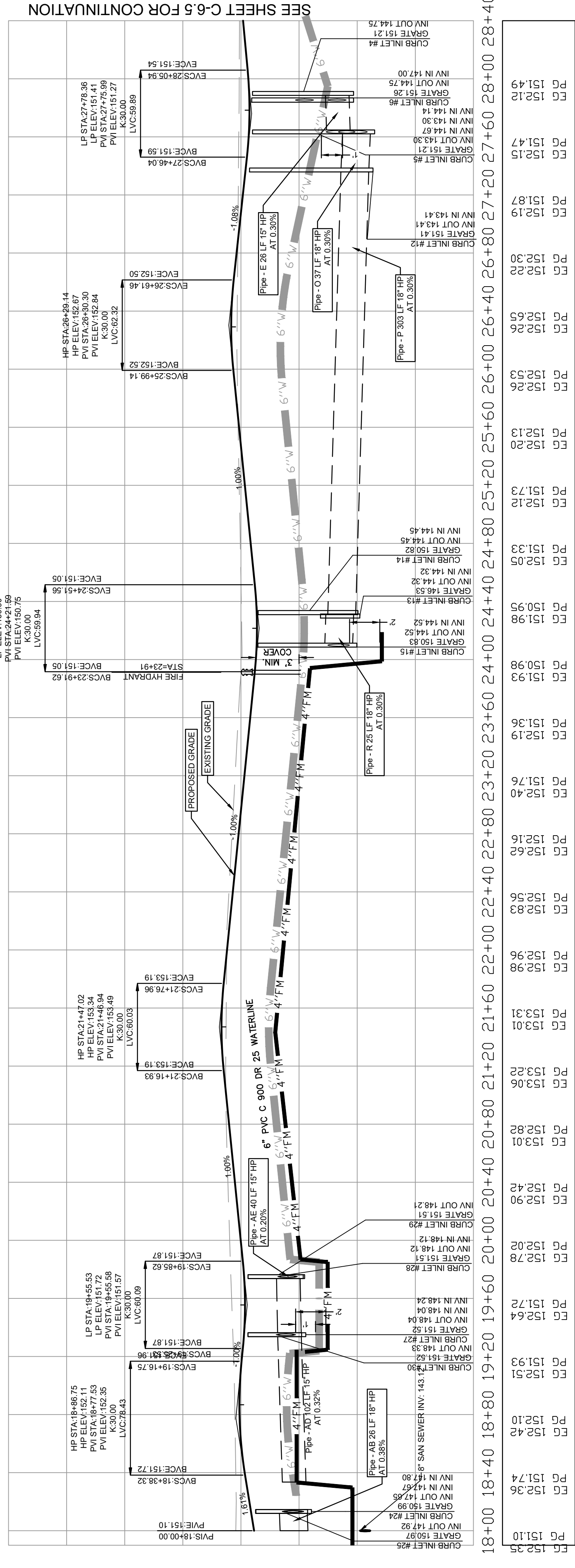
BOWER TERRACE PLAN AND PROFILE I
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.:	
Date:	
Description:	
By:	

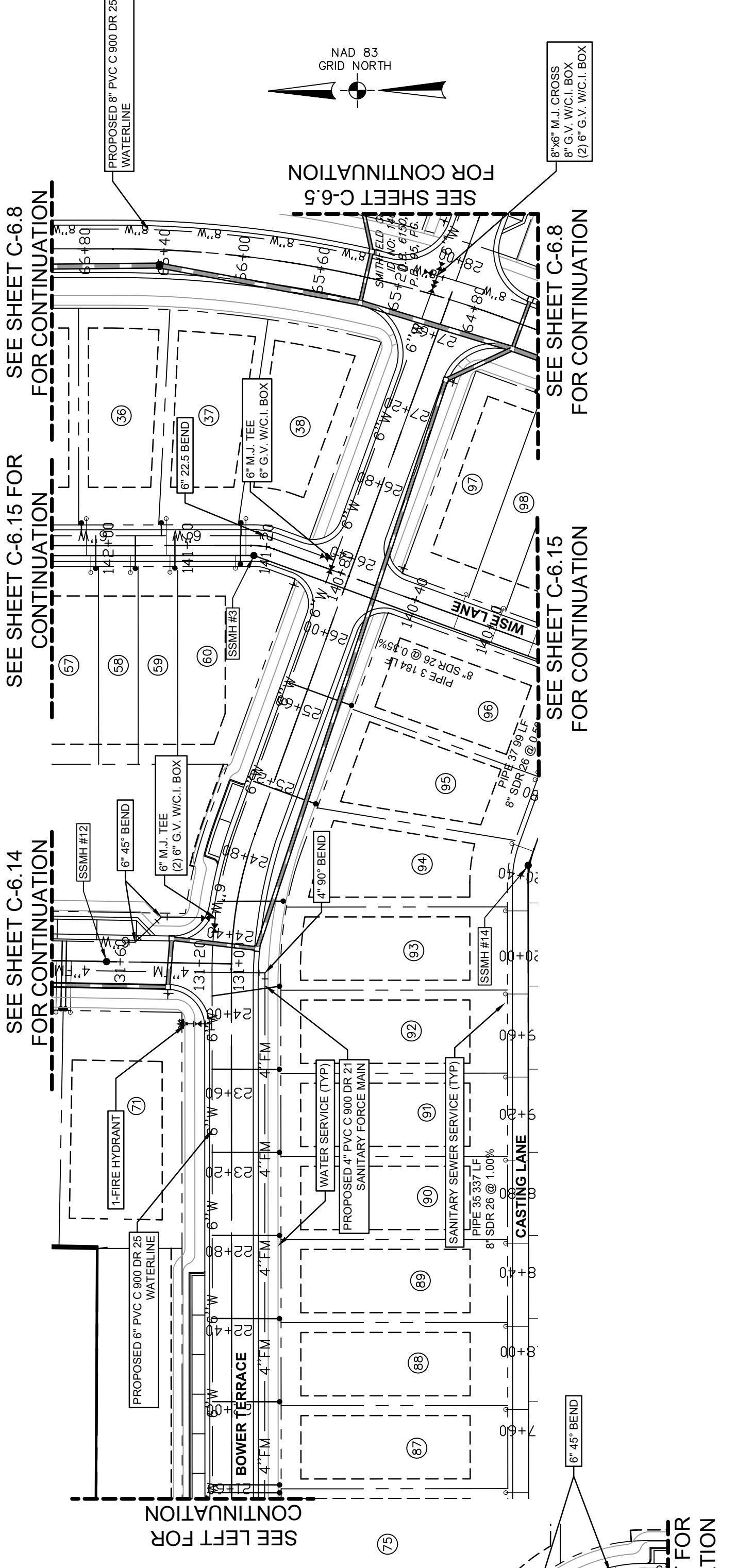
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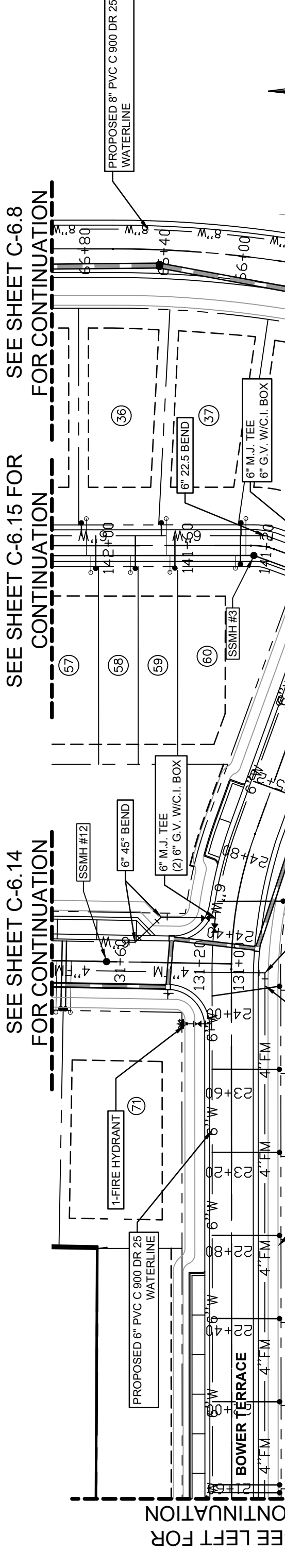
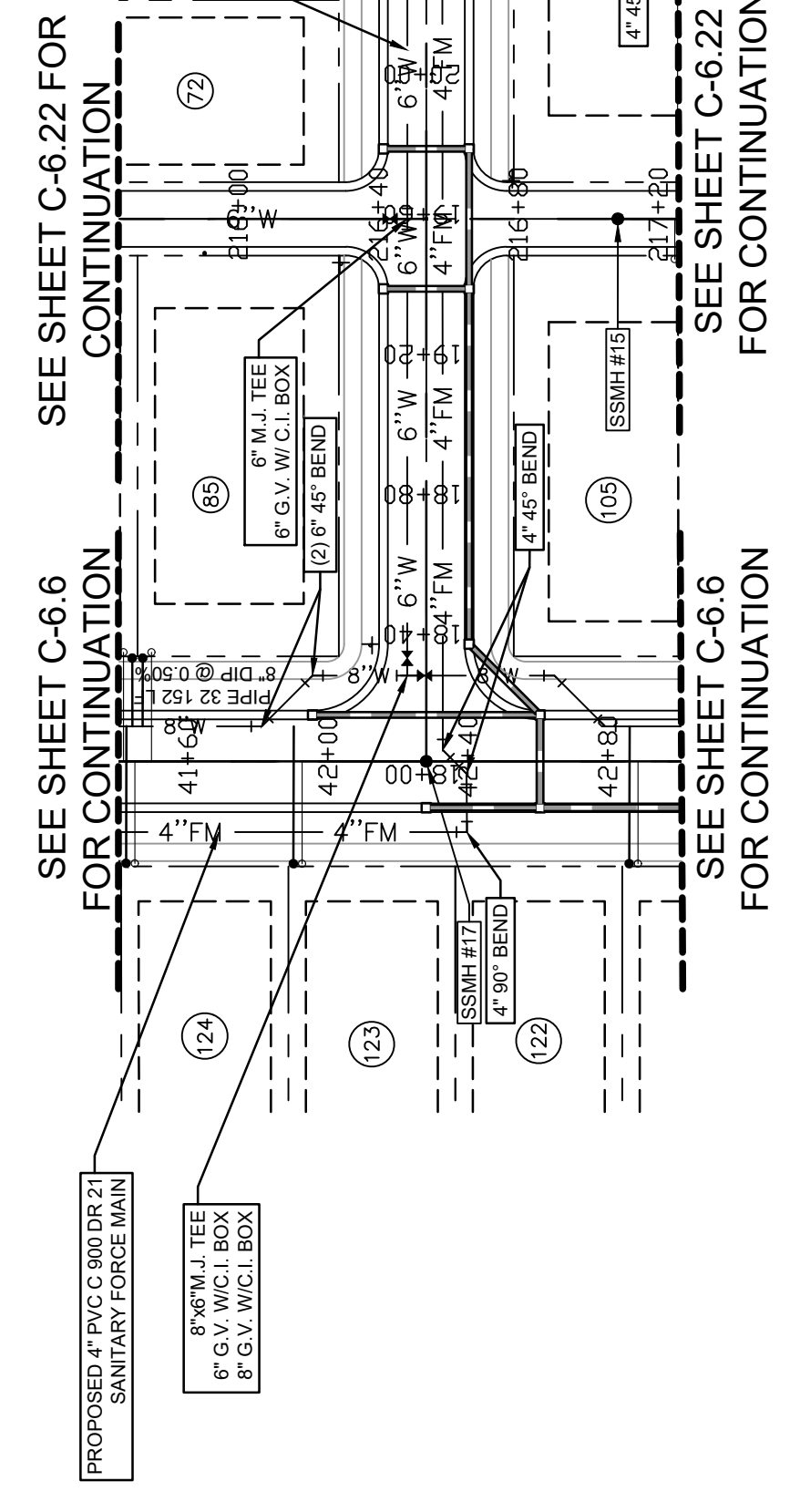
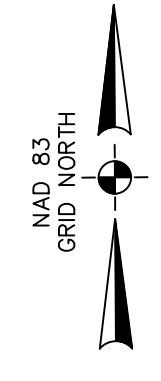
PRELIMINARY PLANS NOT FOR REVIEW

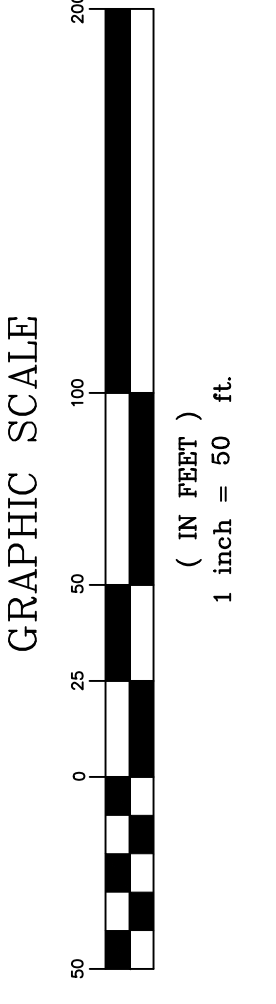


168
164
160
156
152
148
144
140
136



BOWER TERRACE
50' PUBLIC R/W
PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.





Scale:	AS NOTED
Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

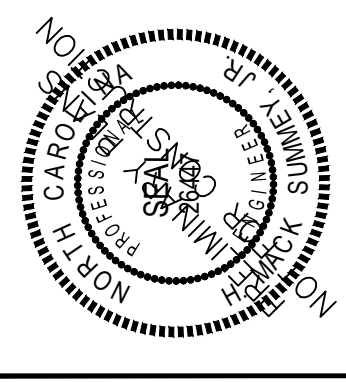
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LOCAL 70 RESIDENTIAL DEVELOPMENT
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
 HWY 70

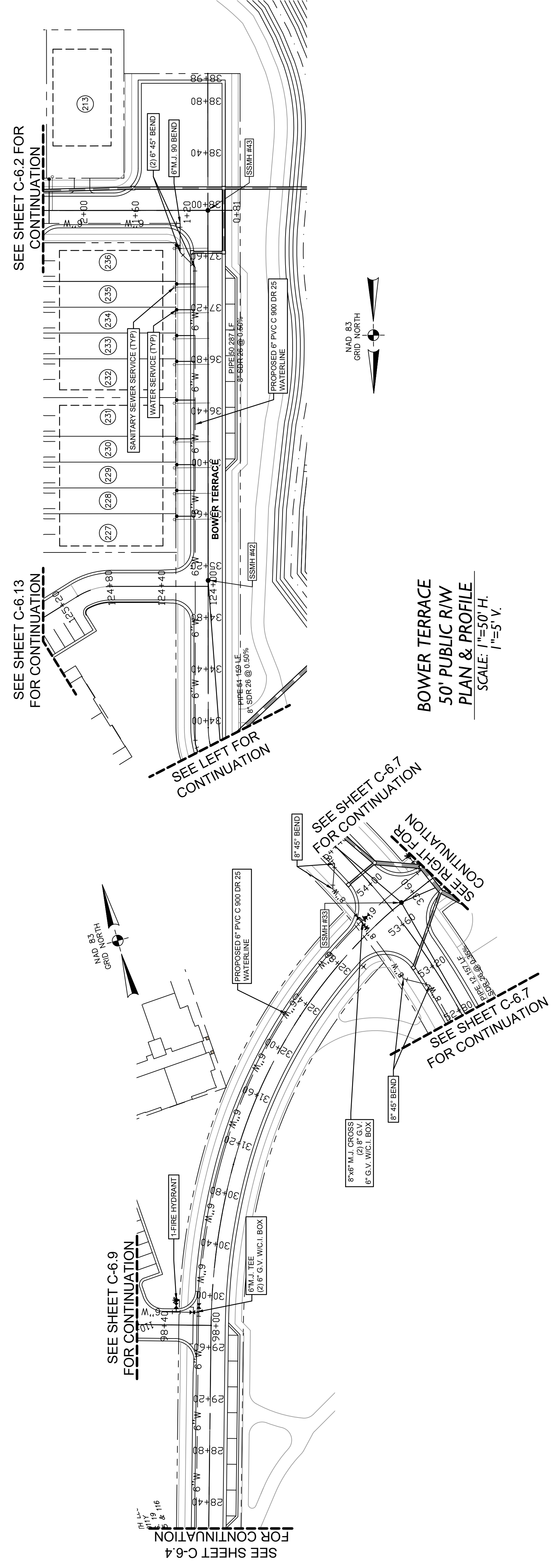
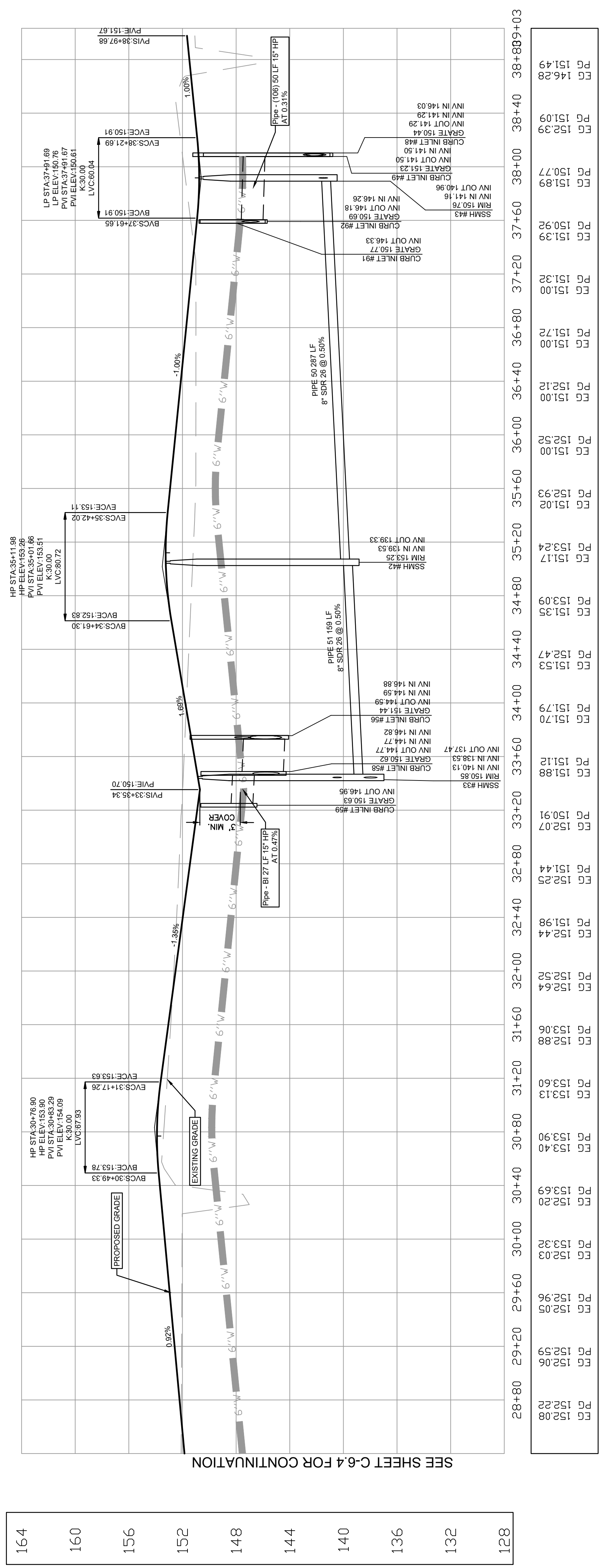
BOWER TERRACE PLAN AND PROFILE 2

No.	Date:	Description:

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PRELIMINARY PLANS NOT FOR REVIEW



BOWER TERRACE
50' PUBLIC R/W
PLAN & PROFILE
 SCALE: 1"=50'H.

SEE SHEET C-6.2 FOR CONTINUATION

SEE SHEET C-6.13 FOR CONTINUATION

SEE LEFT FOR CONTINUATION

SEE SHEET C-6.7 FOR CONTINUATION

SEE RIGHT FOR CONTINUATION

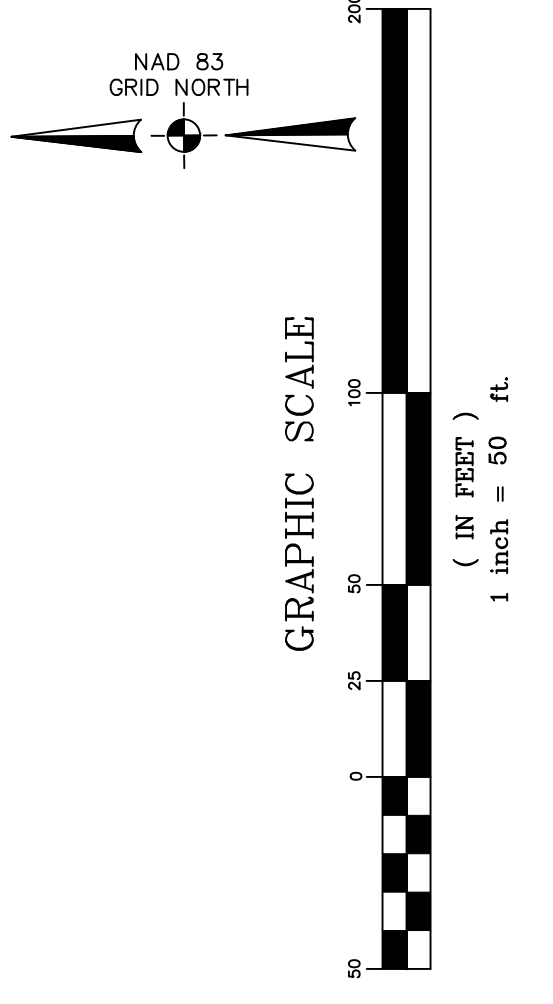
SEE SHEET C-6.7 FOR CONTINUATION

SEE SHEET C-6.9 FOR CONTINUATION

SEE SHEET C-6.4 FOR CONTINUATION



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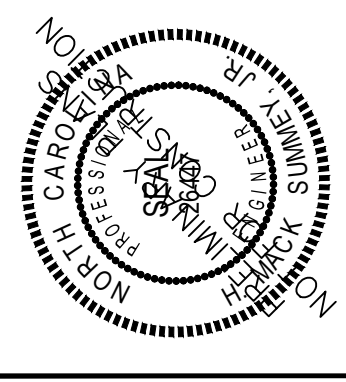
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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. C-6.17

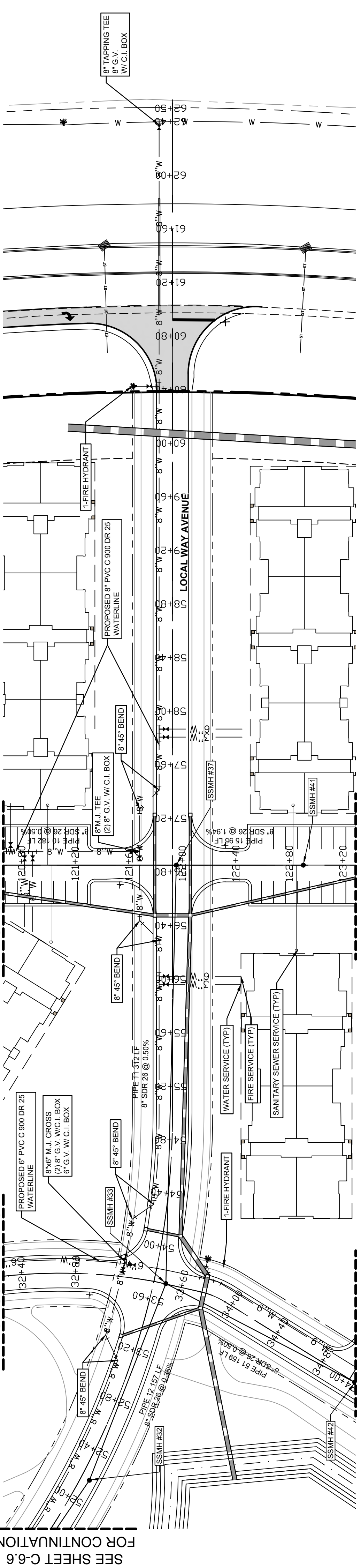
LOCAL WAY AVENUE PLAN AND PROFILE 2
LOCAL 70 RESIDENTIAL DEVELOPMENT
HWY 70
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:
By:		

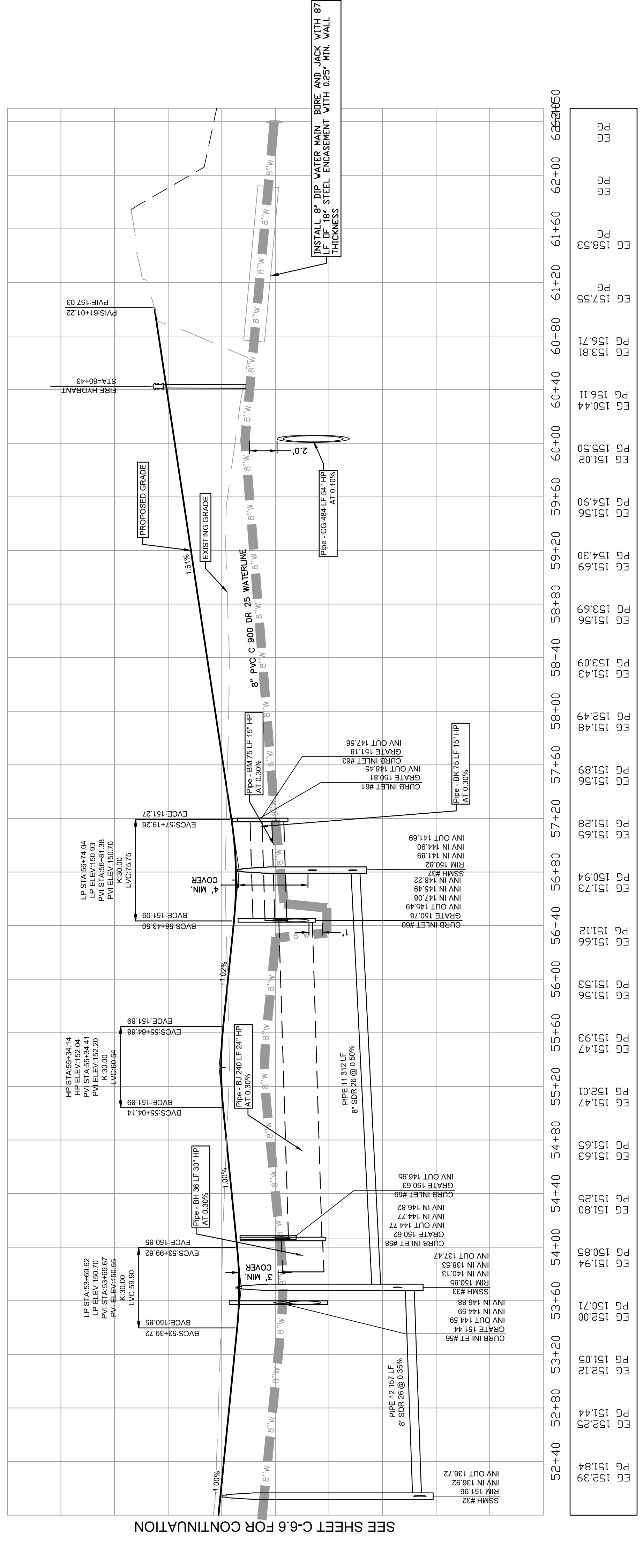
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PRELIMINARY PLANS NOT FOR REVIEW



**LOCAL WAY AVENUE
60' PUBLIC R/W
PLAN & PROFILE**
SCALE: 1"=50' H.
1"=5' V.



SEE SHEET C-6.11
FOR CONTINUATION

SEE SHEET C-6.5
FOR CONTINUATION

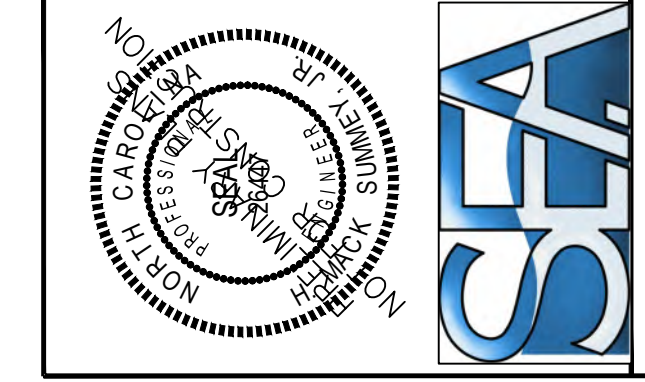
FOR CONTINUATION
SEE SHEET C-6.6

SEE SHEET C-6.11
FOR CONTINUATION

SEE SHEET C-6.5
FOR CONTINUATION

SEE SHEET C-6.6 FOR CONTINUATION

168	164	160	156	152	148	144	140	136	132	128
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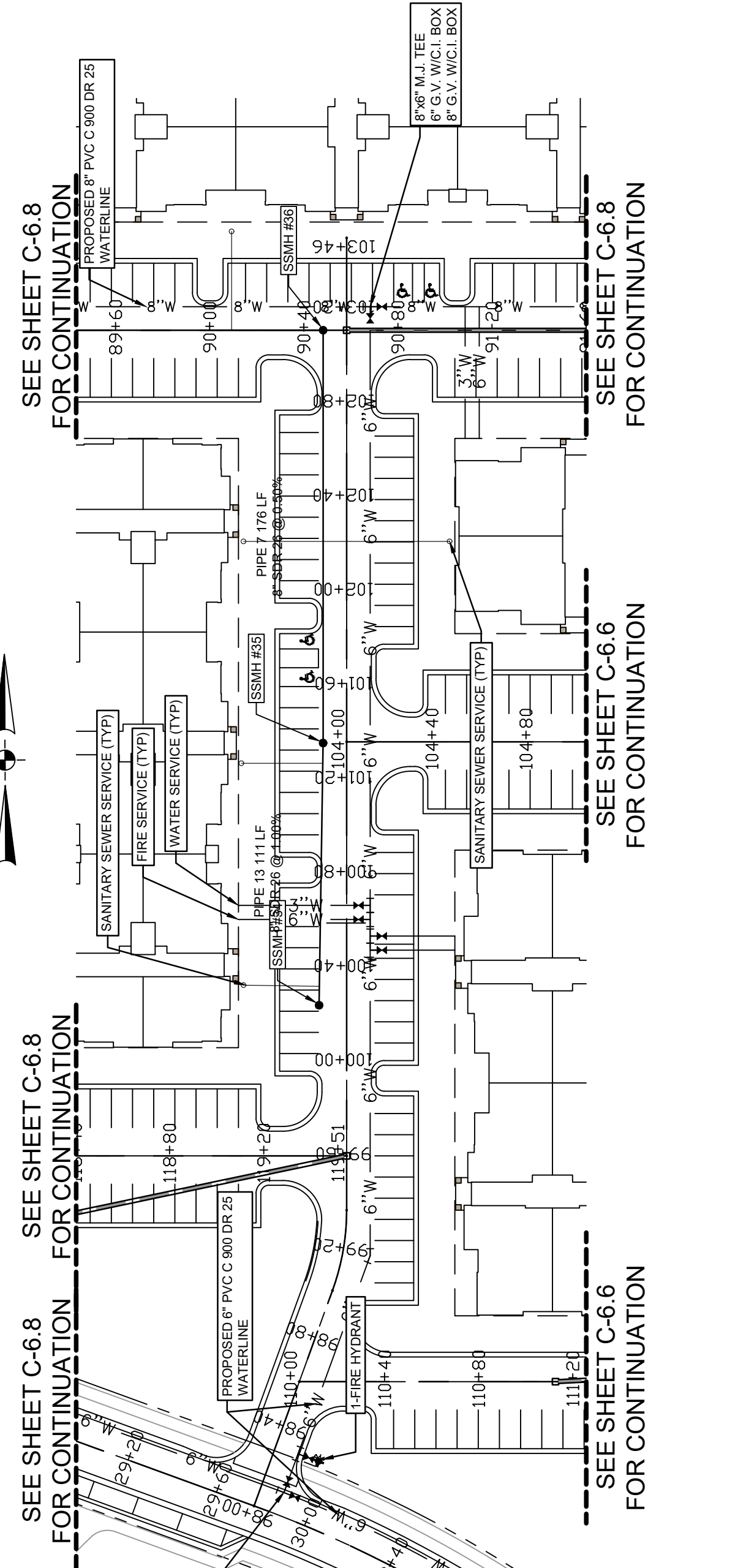
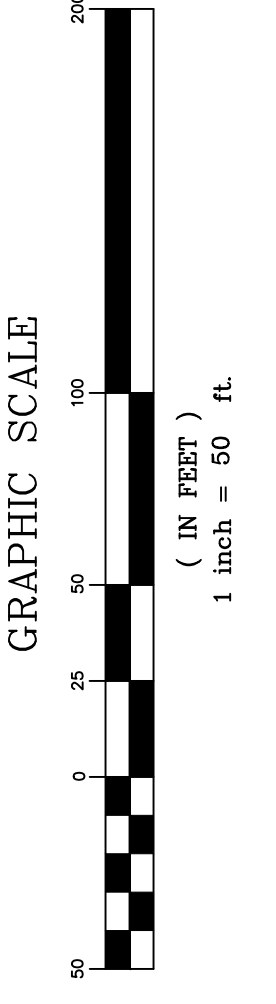


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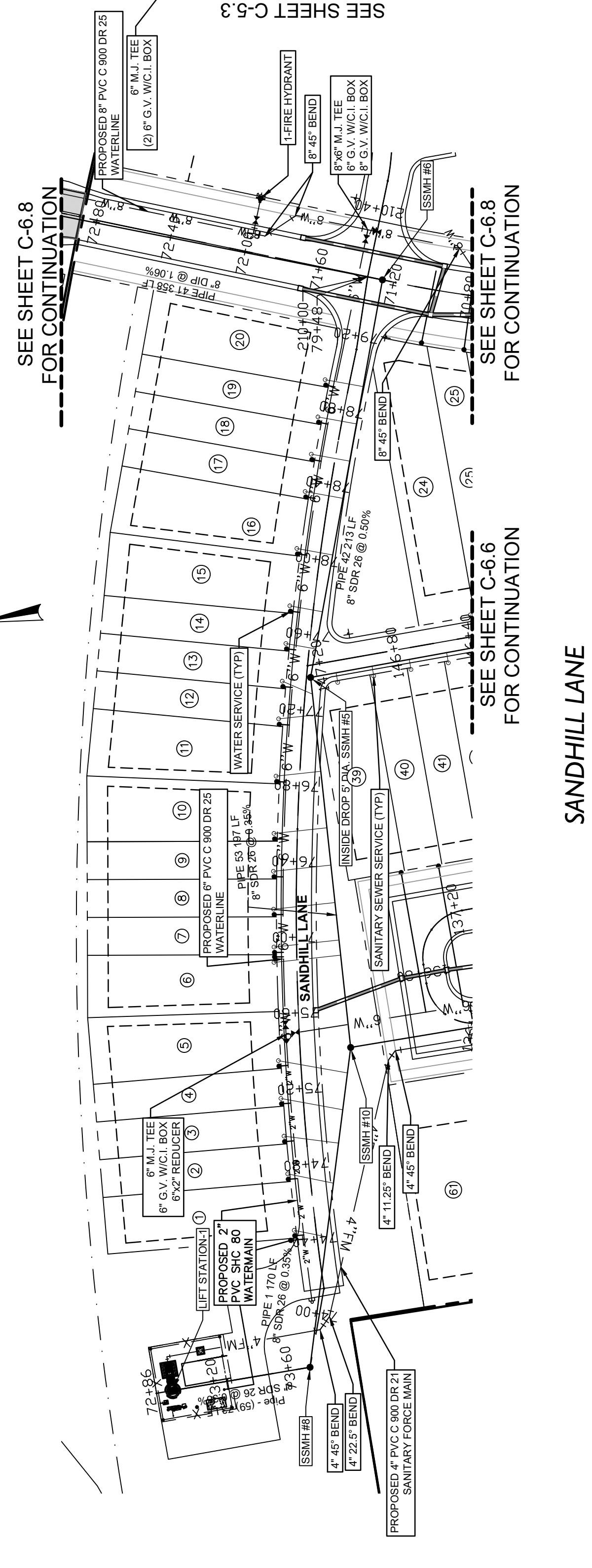
No.	Date:	Description:	By:

SANDHILL LANE PLAN AND PROFILE
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

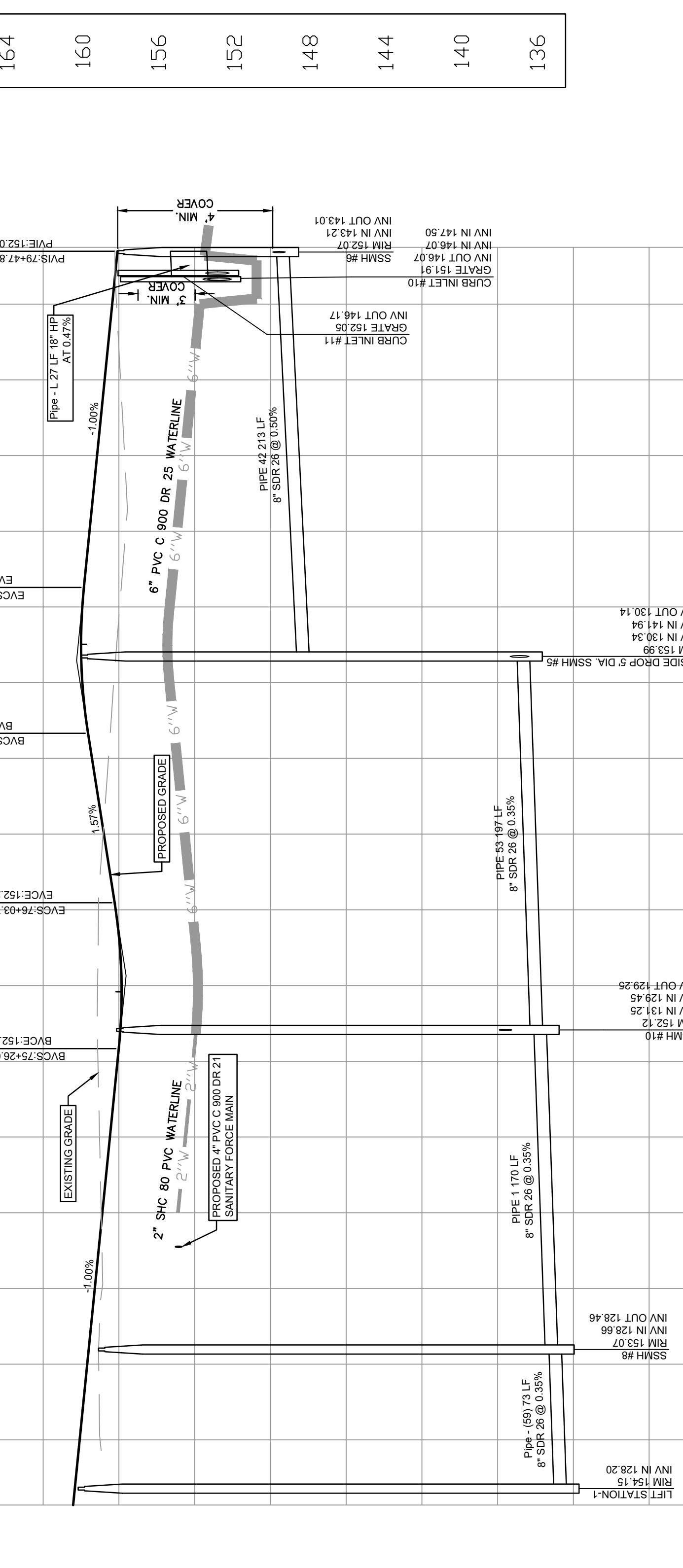
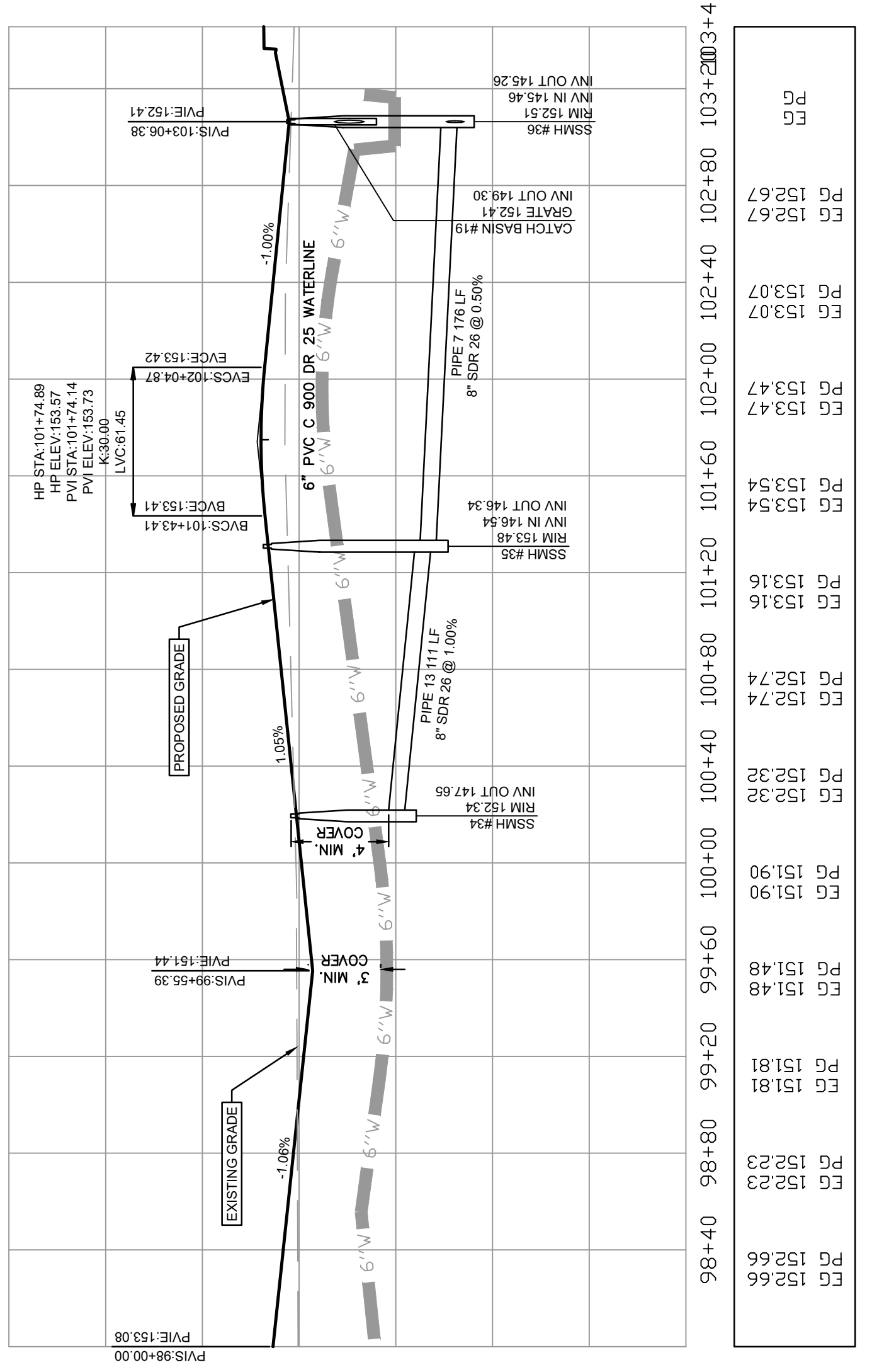
Scale:	AS NOTED
Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916



PARKING LOT PLAN & PROFILE
 SCALE: 1"=50'H.
 1"=5' V.

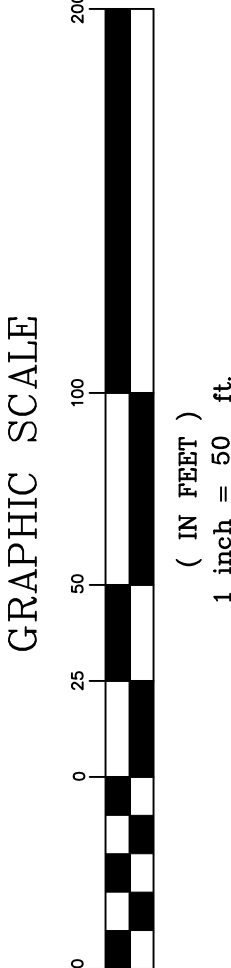


SANDHILL LANE 21' PRIVATE RW PLAN & PROFILE
 SCALE: 1"=50'H.
 1"=5' V.





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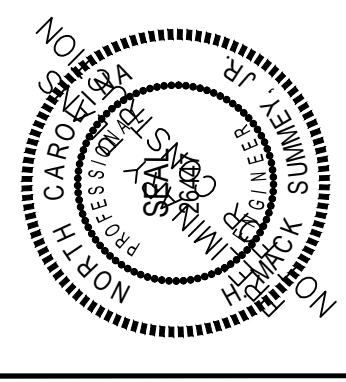


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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

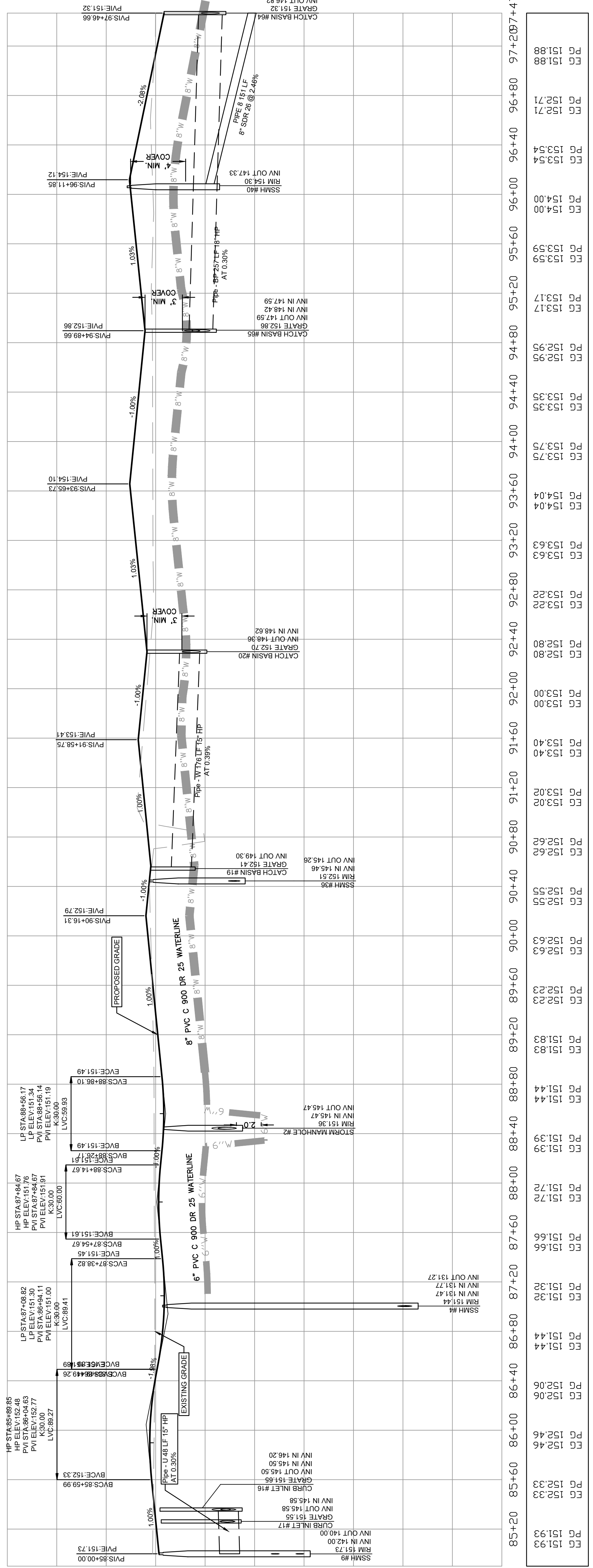
VIREOS STREET PLAN AND PROFILE
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.:	
Date:	
Description:	
By:	

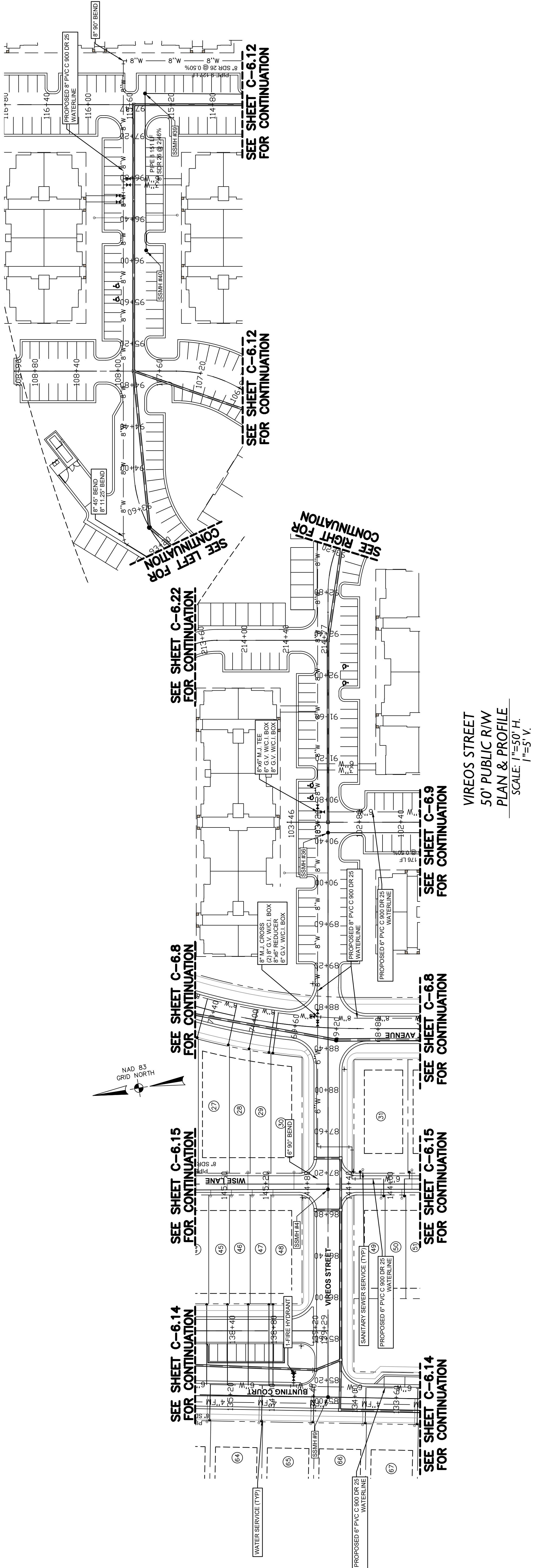
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 Ashboro, NC 27204
 Phone: 336-328-0922 Fax: 336-328-0922
 E-mail: info@summeyengineering.com
 NC Professional Engineering Firm License No. P-0336



PRELIMINARY PLANS NOT FOR REVIEW



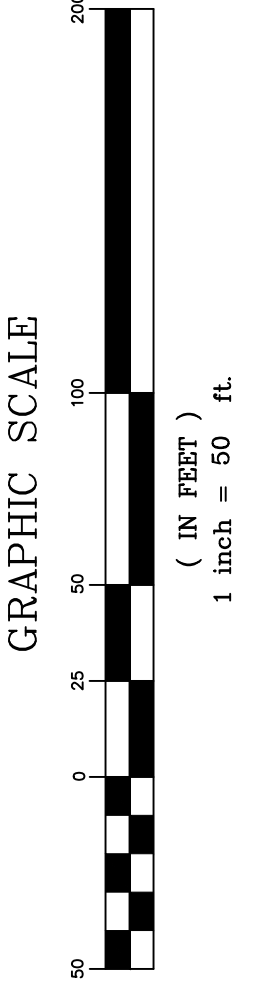
164	160	156	152	148	144	140	136	132	128	124
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VIREOS STREET
 50' PUBLIC R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.

SEE SHEET C-6.14 FOR CONTINUATION
 SEE SHEET C-6.15 FOR CONTINUATION
 SEE SHEET C-6.8 FOR CONTINUATION
 SEE SHEET C-6.9 FOR CONTINUATION
 SEE SHEET C-6.8 FOR CONTINUATION
 SEE SHEET C-6.15 FOR CONTINUATION
 SEE SHEET C-6.8 FOR CONTINUATION
 SEE SHEET C-6.12 FOR CONTINUATION
 SEE SHEET C-6.12 FOR CONTINUATION





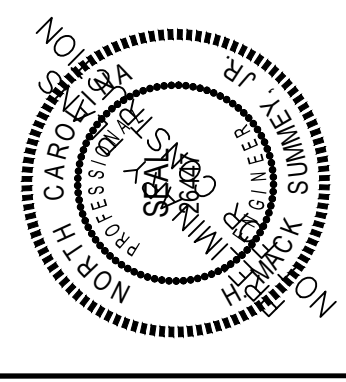
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Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. C-6.11

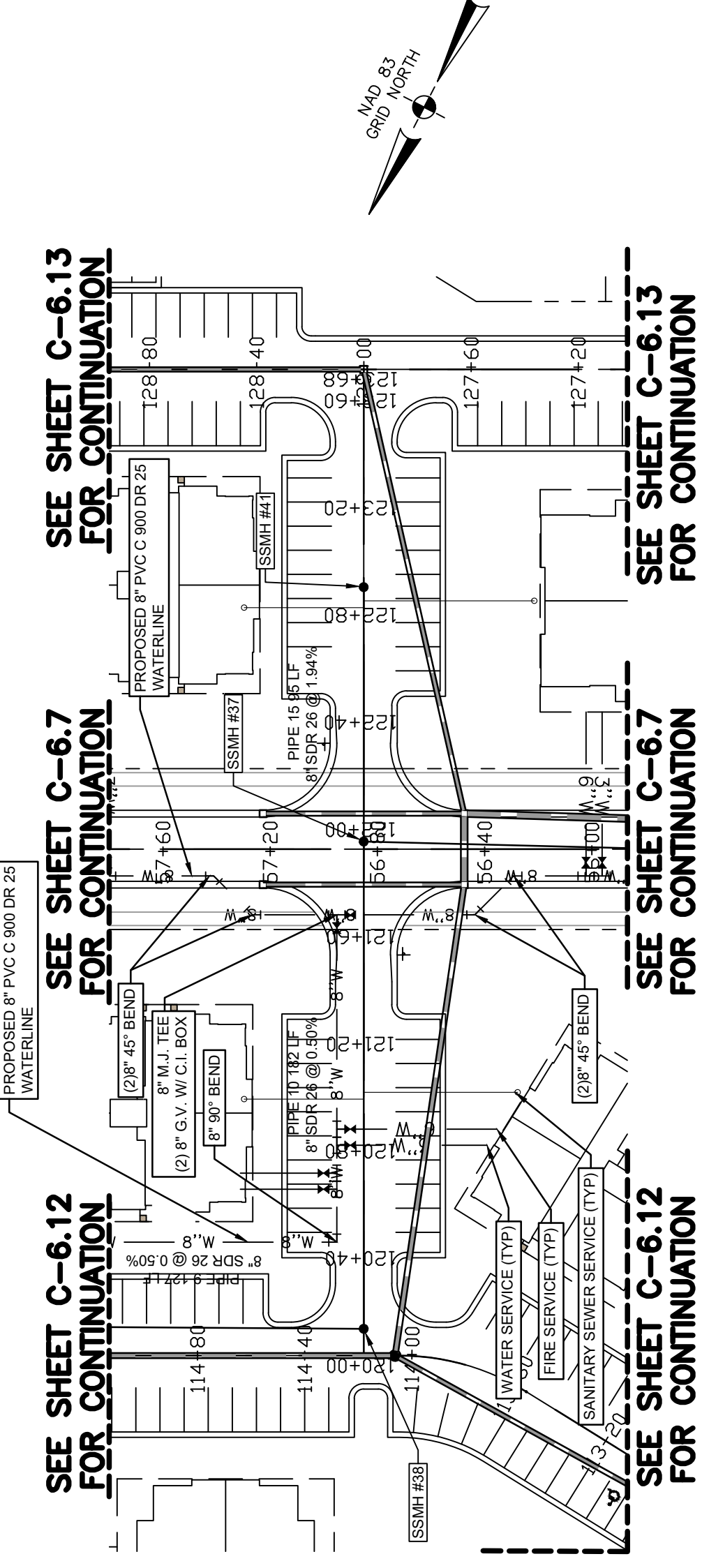
PLAN AND PROFILE I
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:
By:		

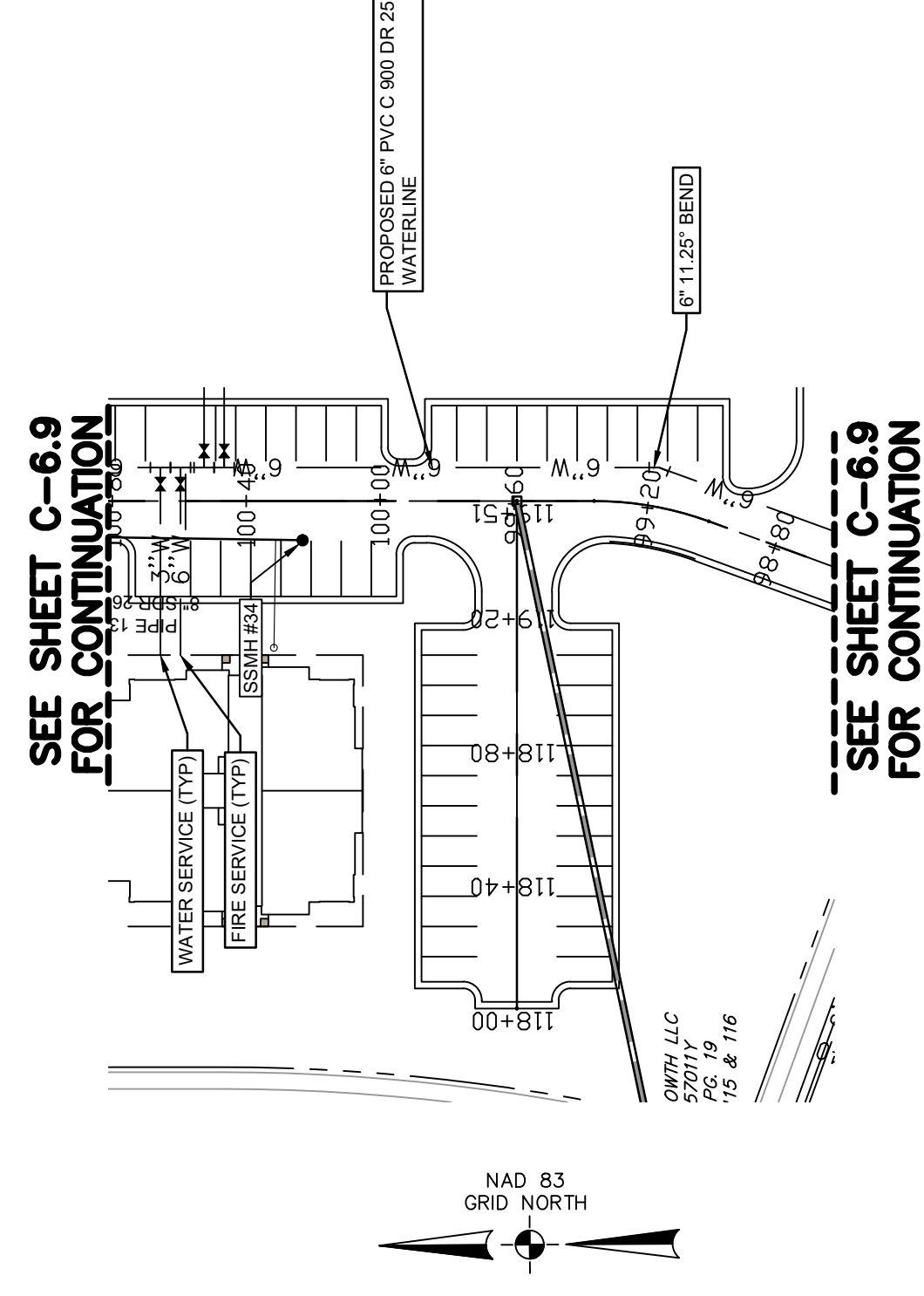
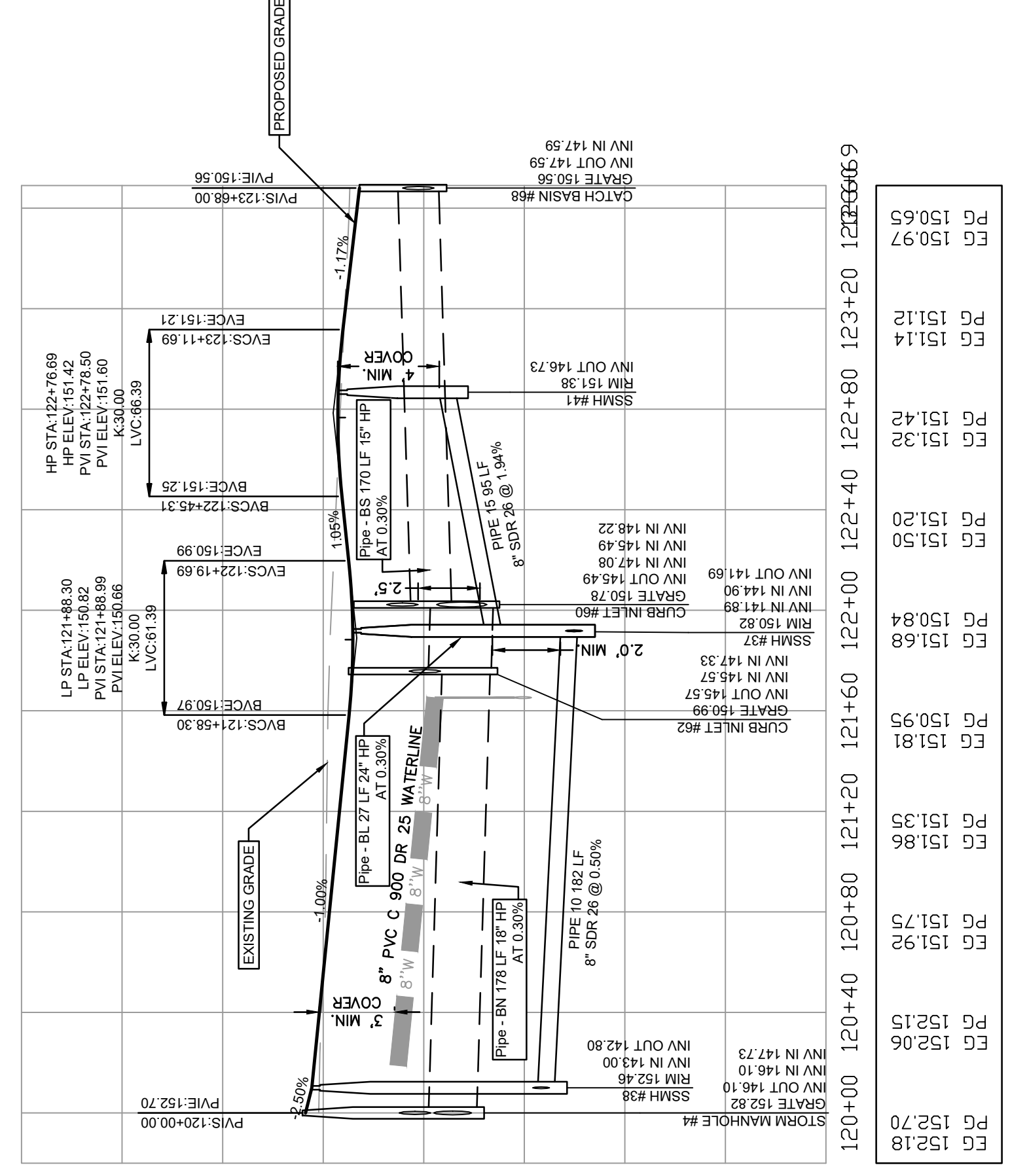
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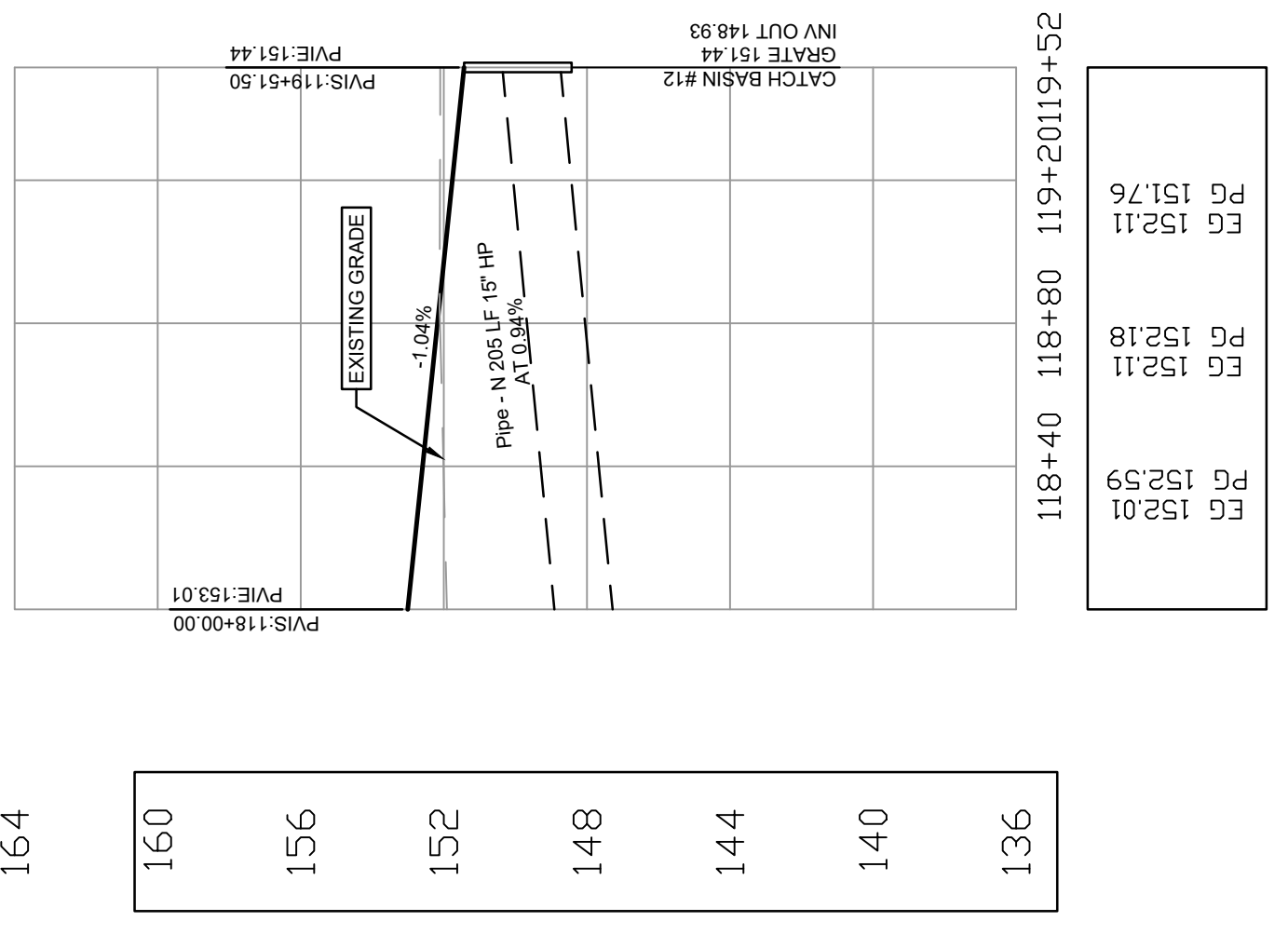
PRELIMINARY PLANS NOT FOR REVIEW

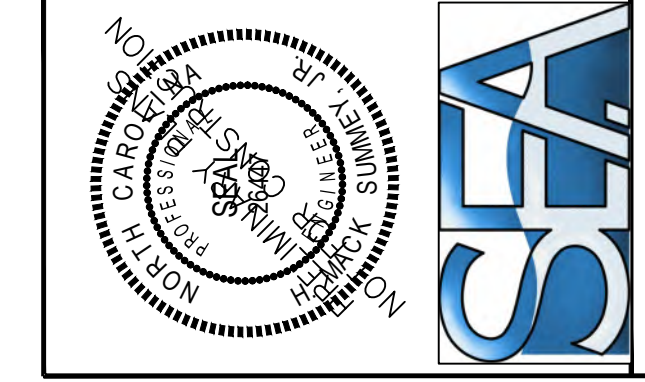


**PARKING LOT
 PLAN & PROFILE**
 SCALE: 1"=50' H.
 1"=5' V.



**PARKING LOT
 PLAN & PROFILE**
 SCALE: 1"=50' H.
 1"=5' V.



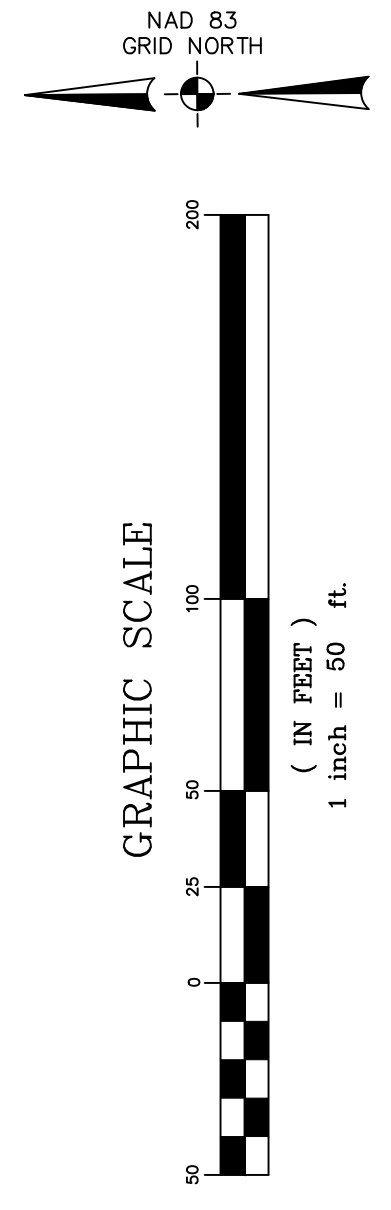


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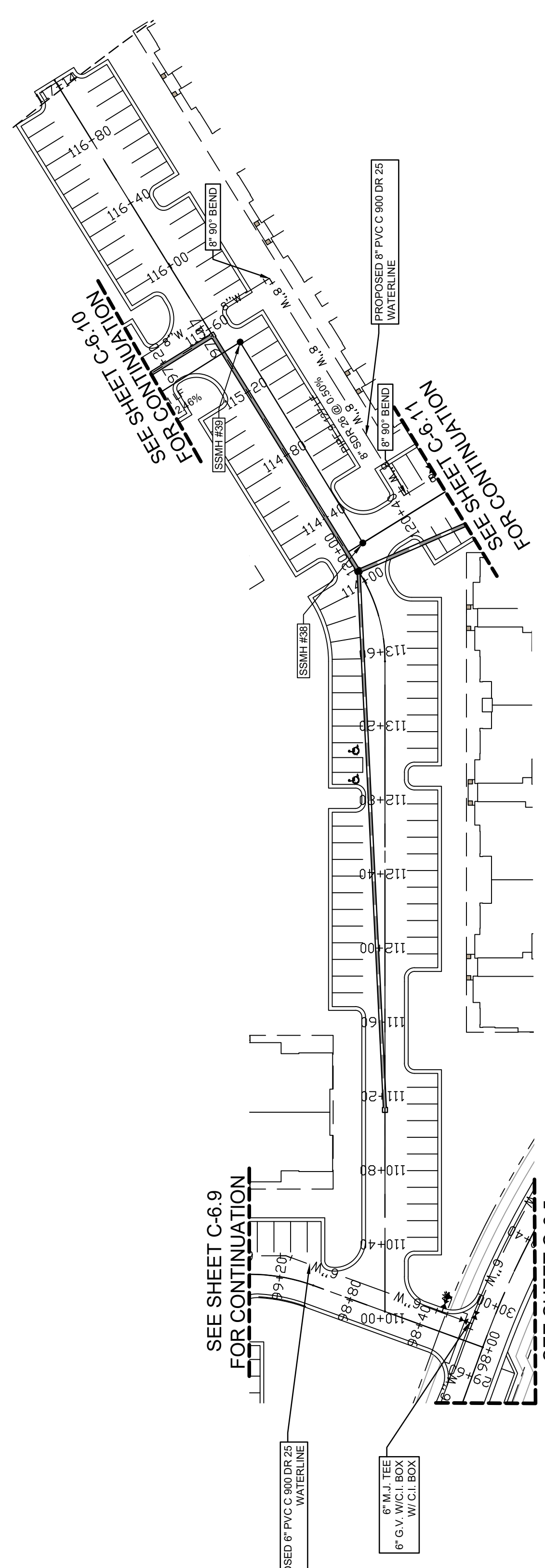


PLAN AND PROFILE 2
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

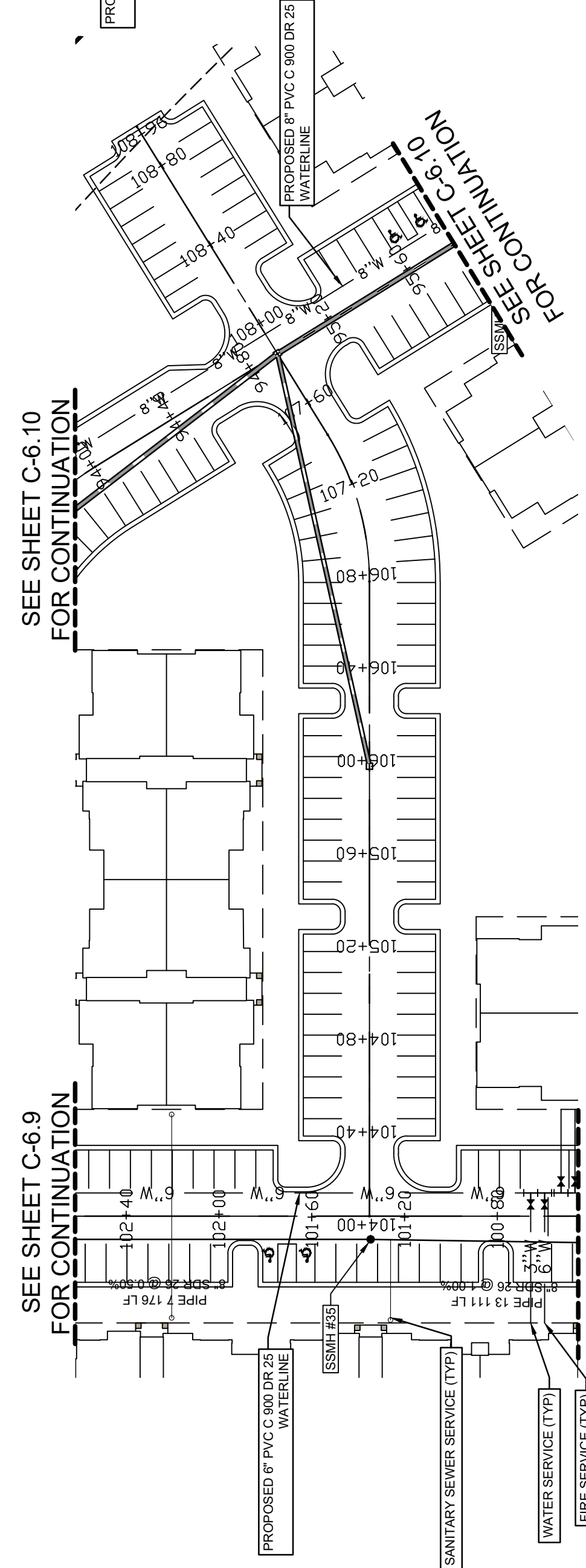
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Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916



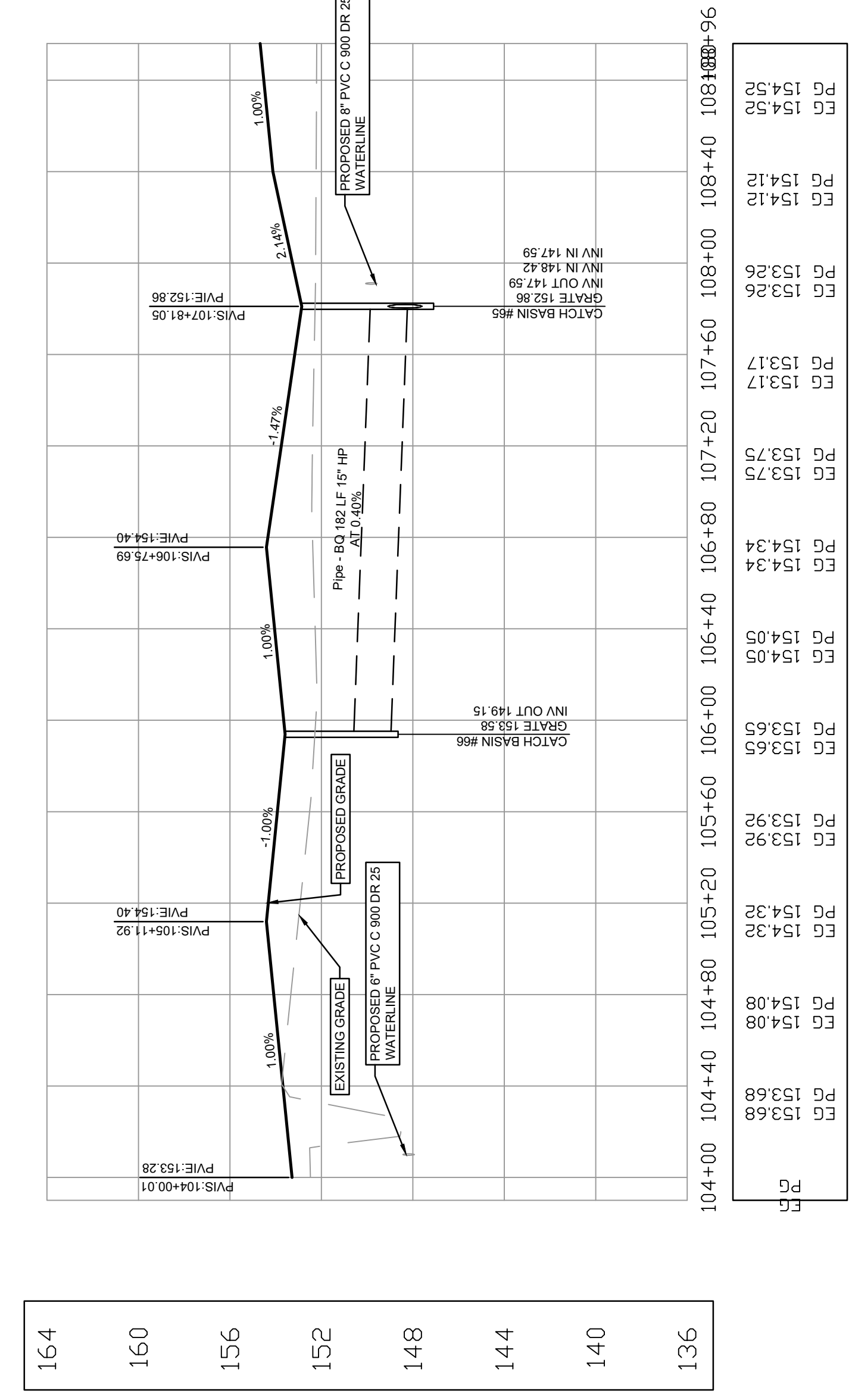
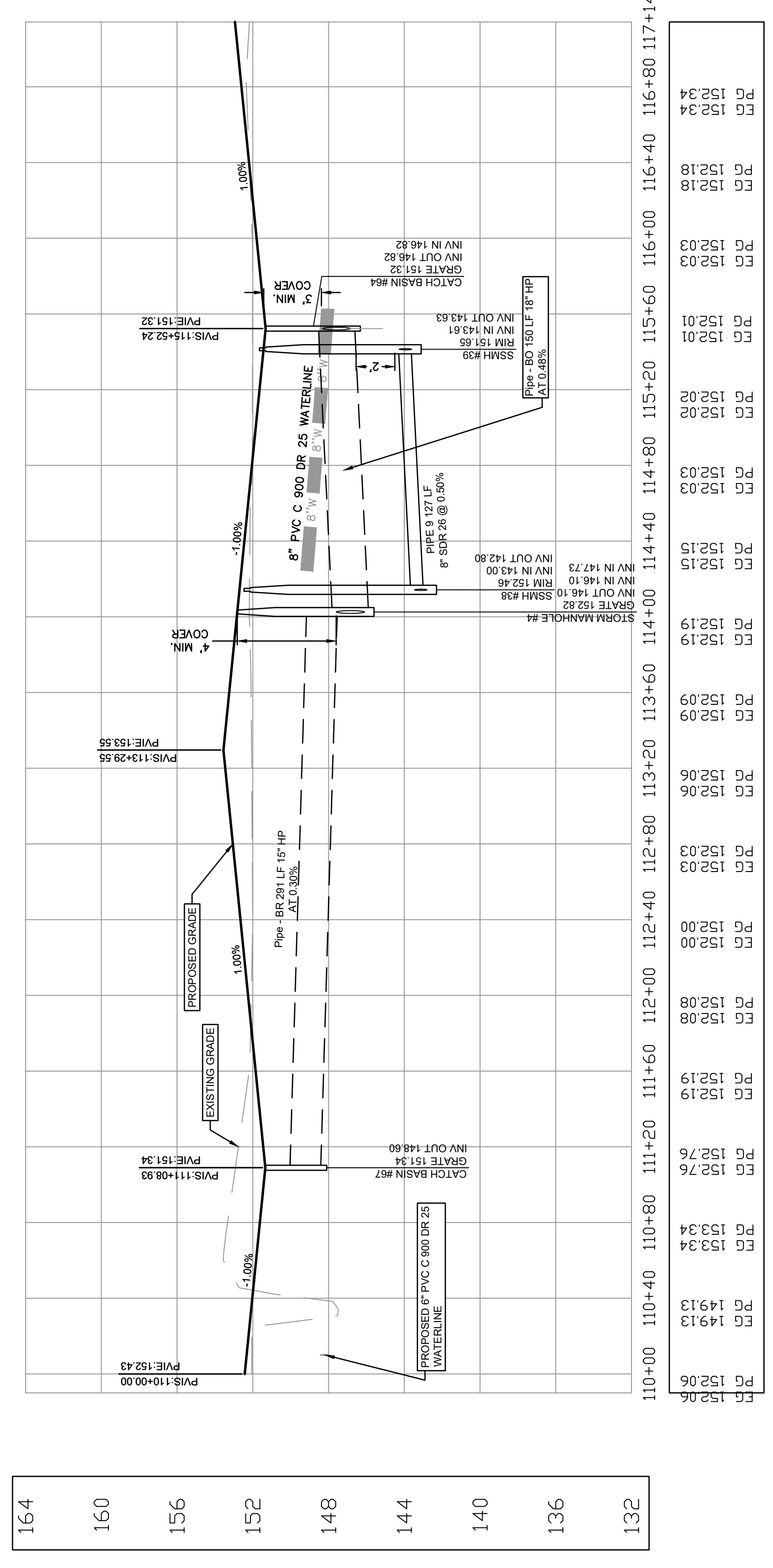
PRELIMINARY PLANS NOT FOR REVIEW

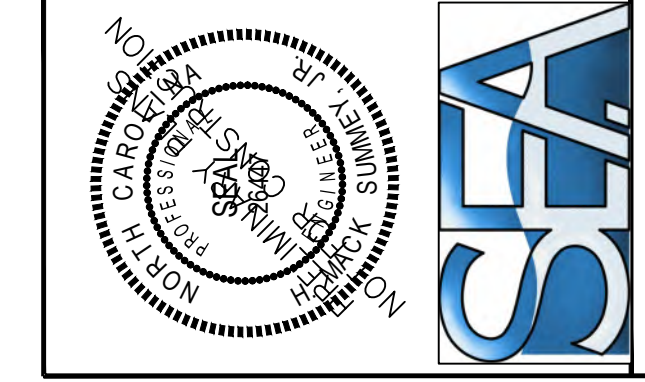


ROAD 10
 50' PUBLIC R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



ROAD 9
 50' PUBLIC R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



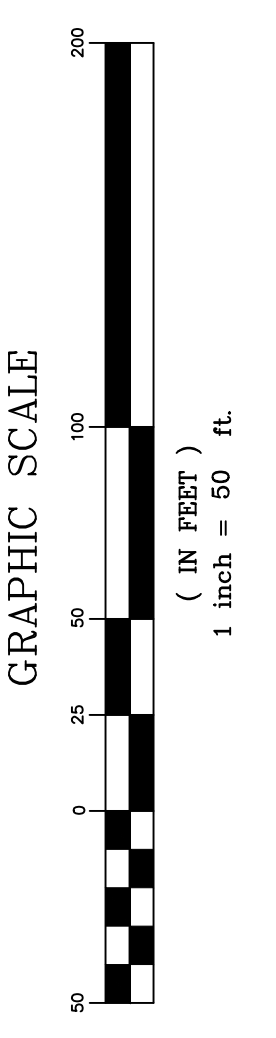


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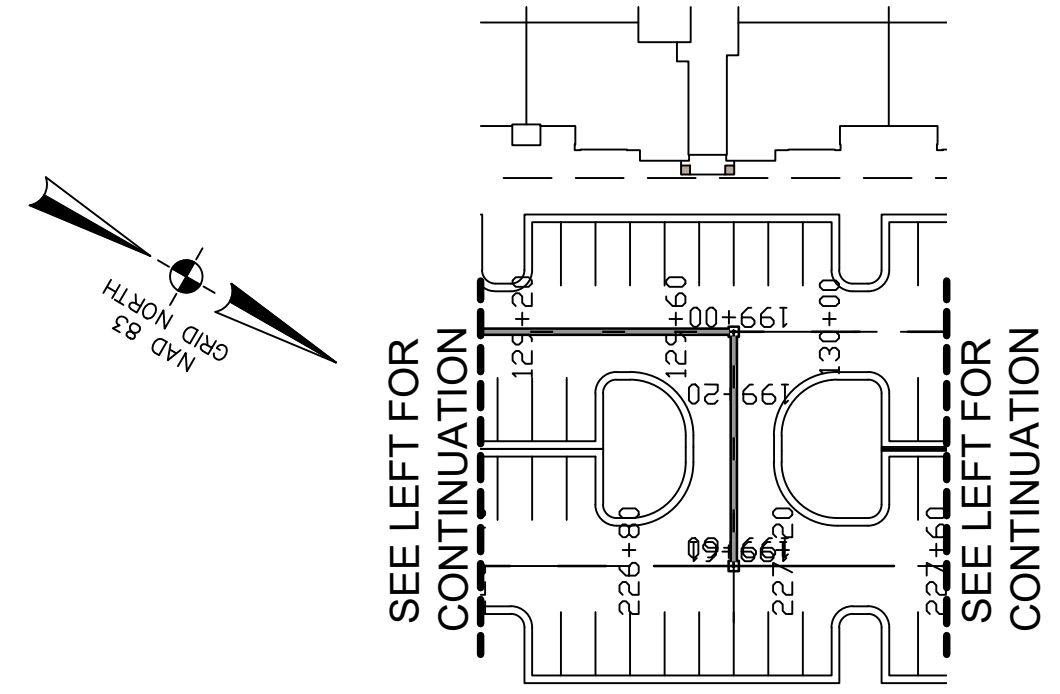
No.	Date:	Description:

PLAN AND PROFILE 3
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

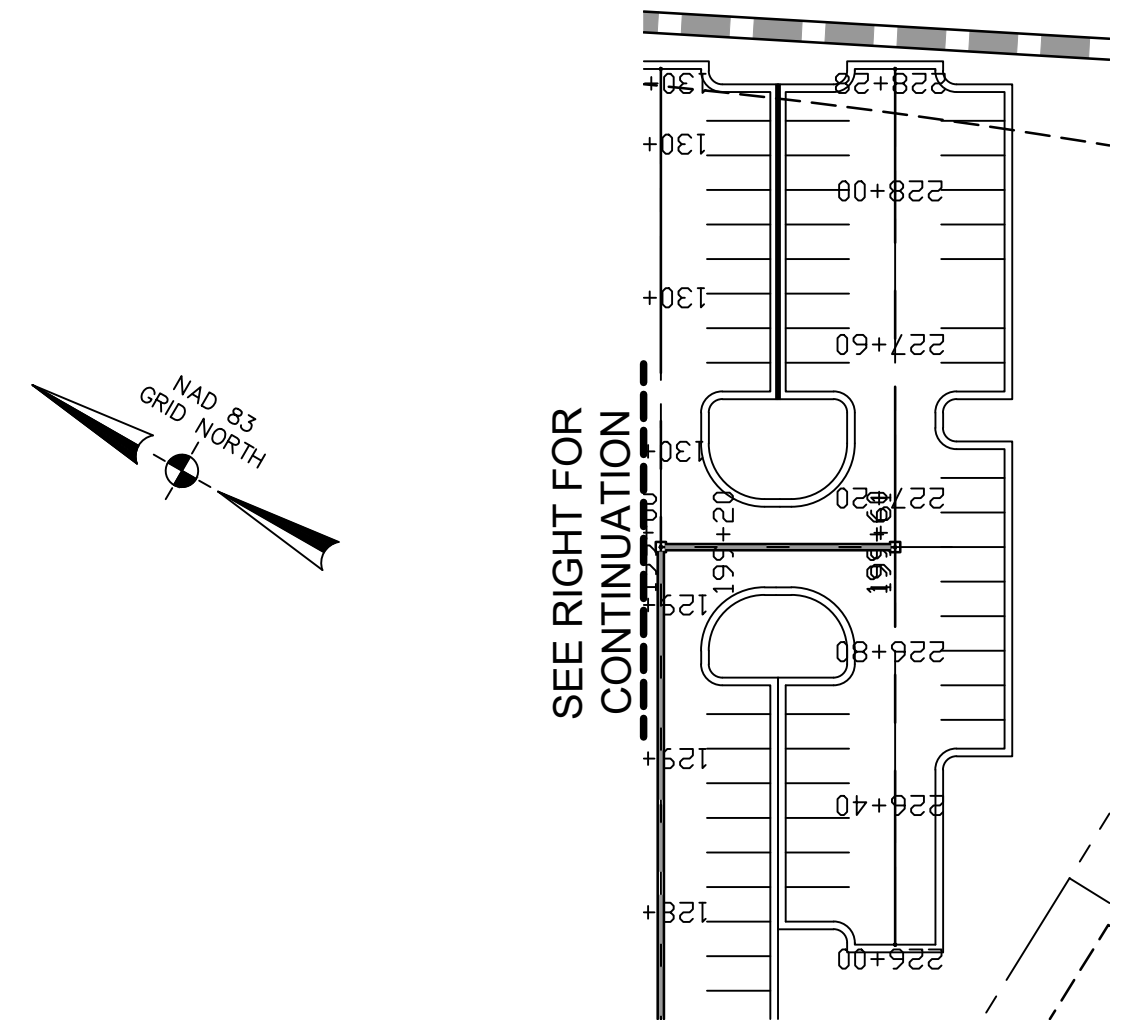
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Checked By:	HMSJ
Job No.:	E-9916



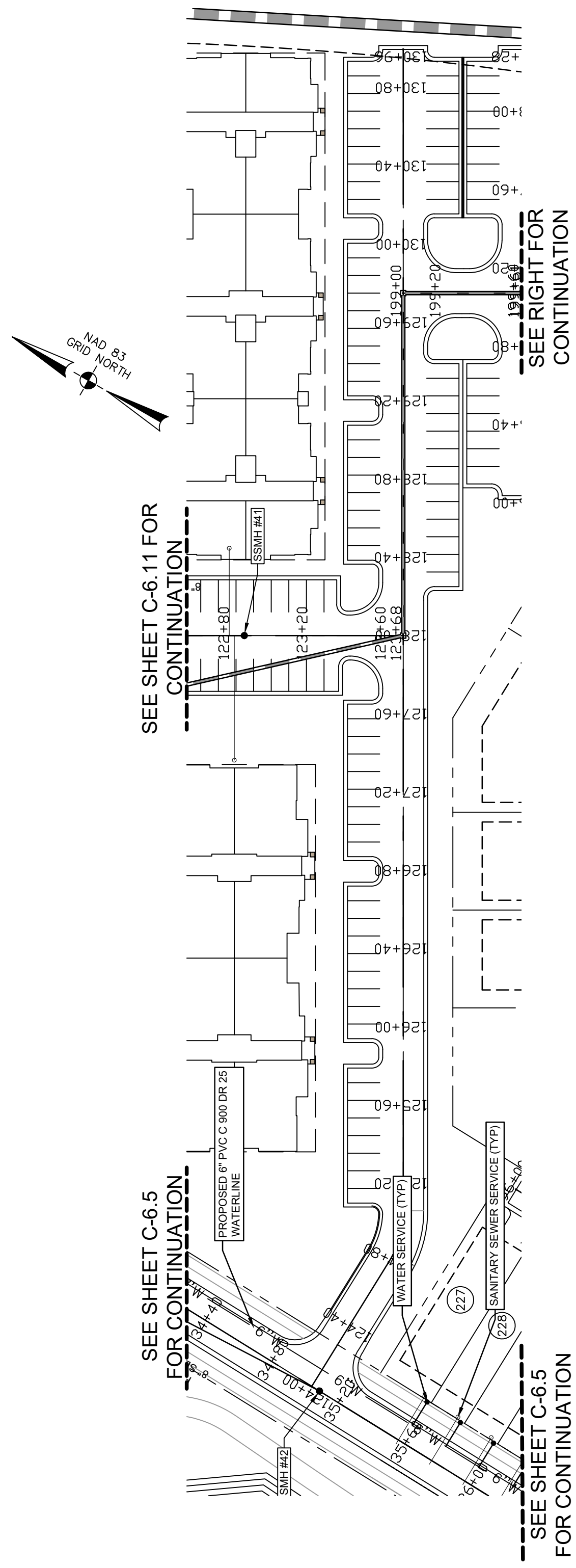
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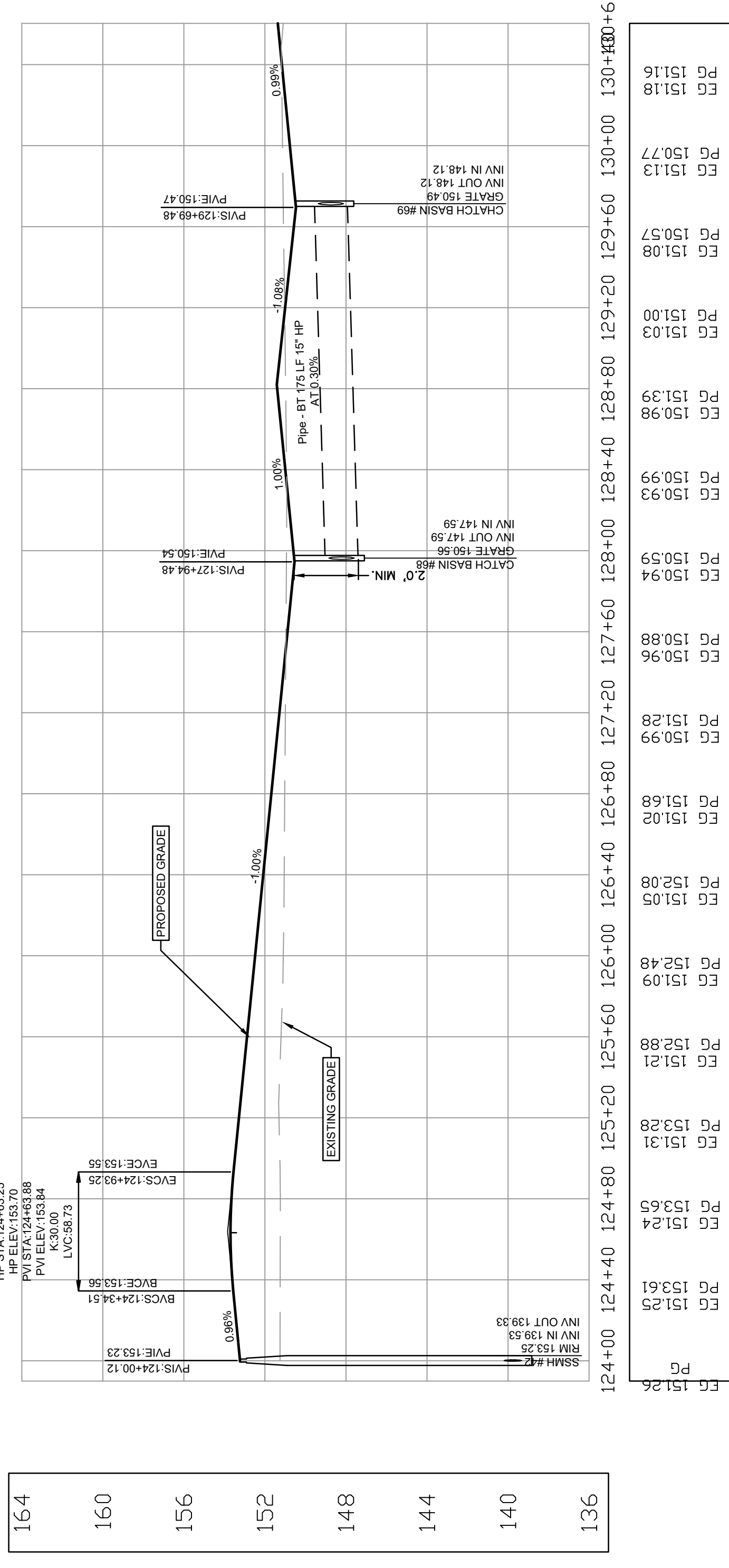
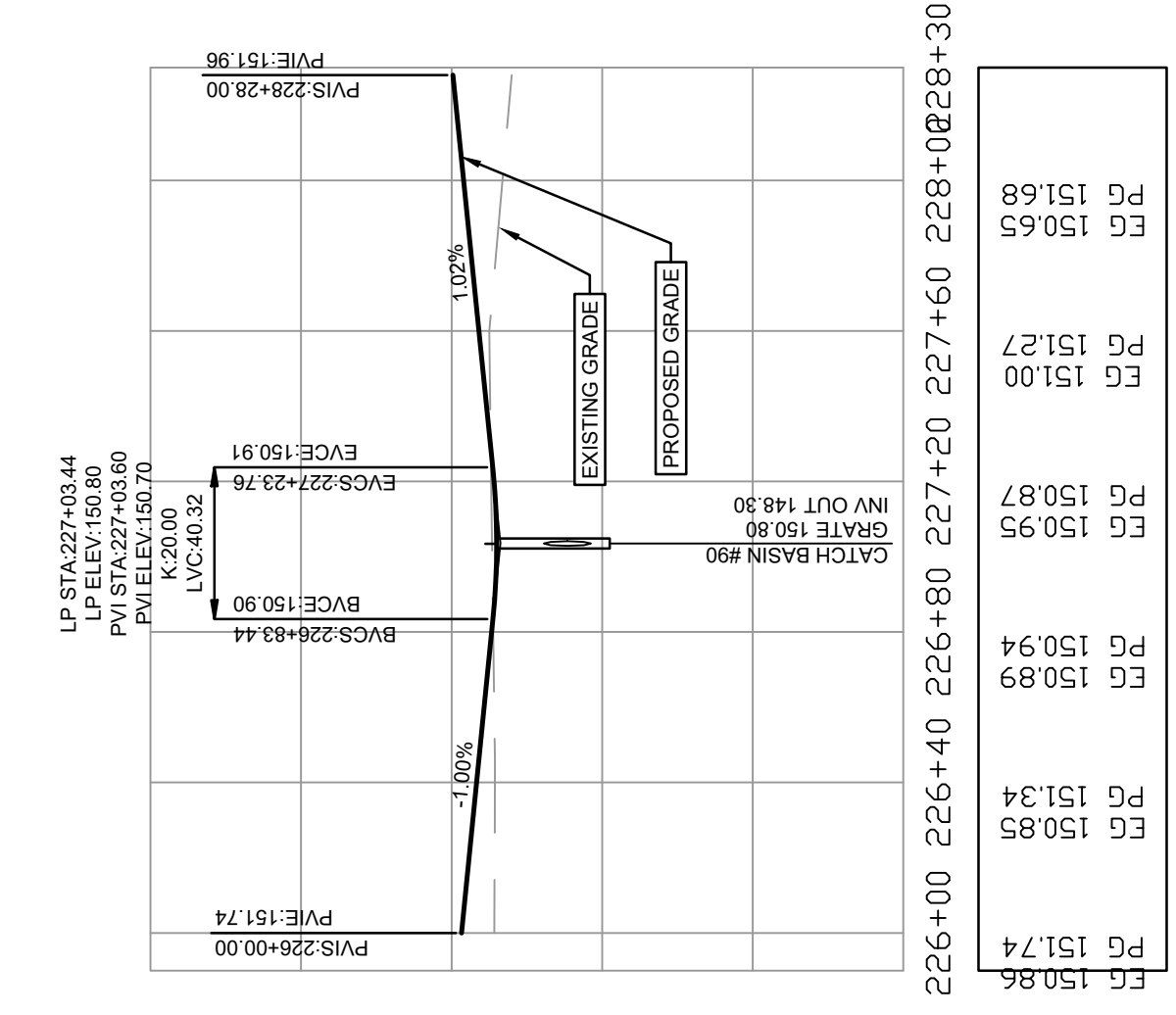
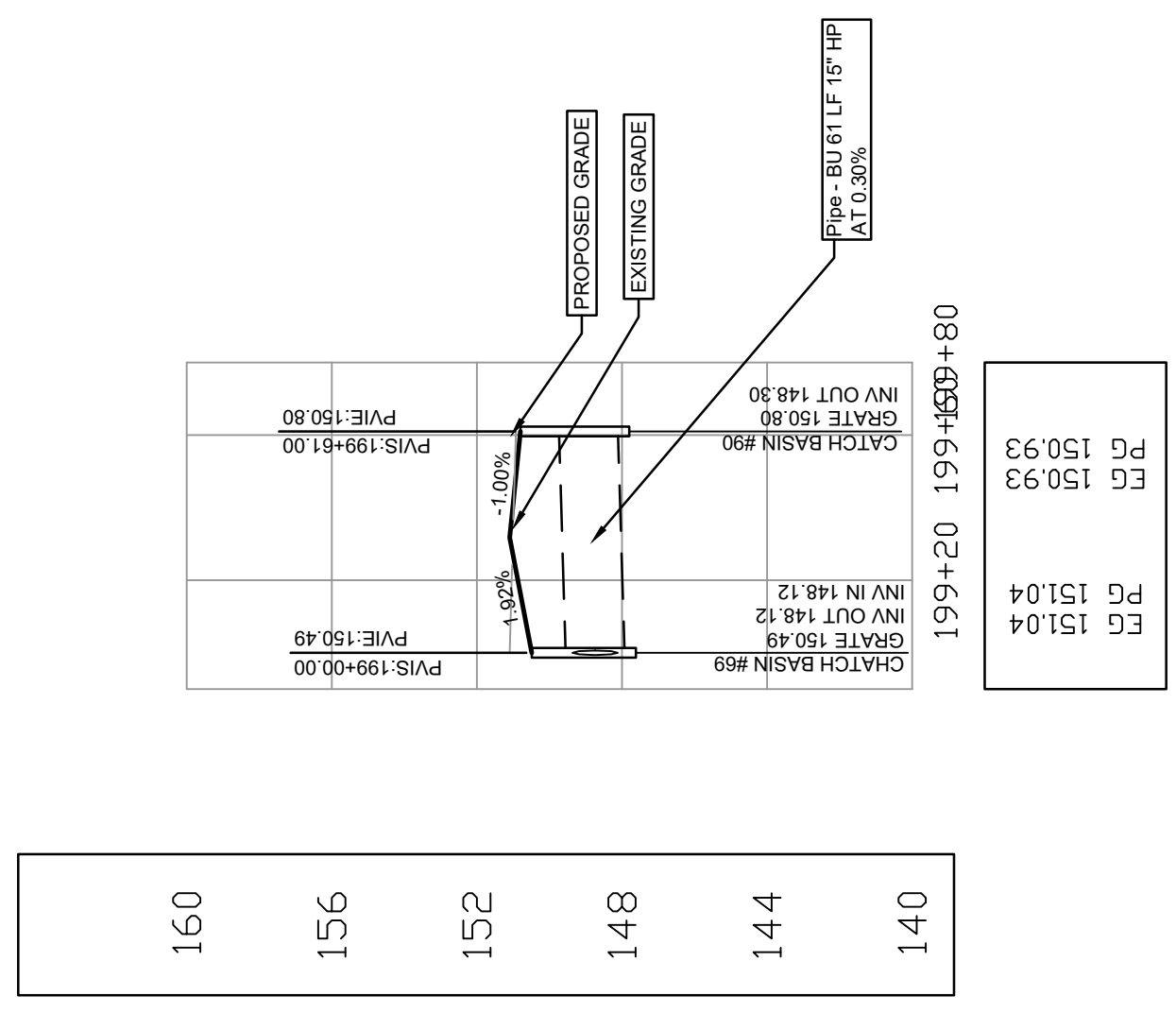
PARKING LOT PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.

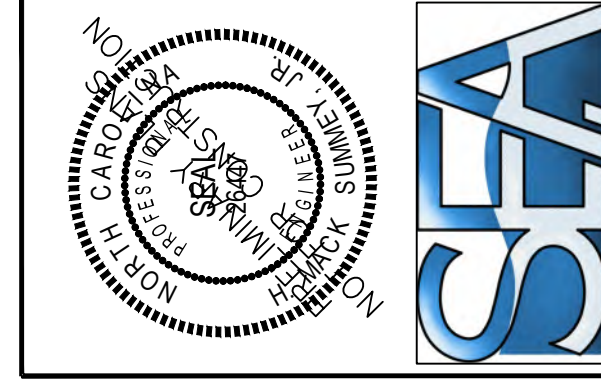


PARKING LOT PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



PARKING LOT PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



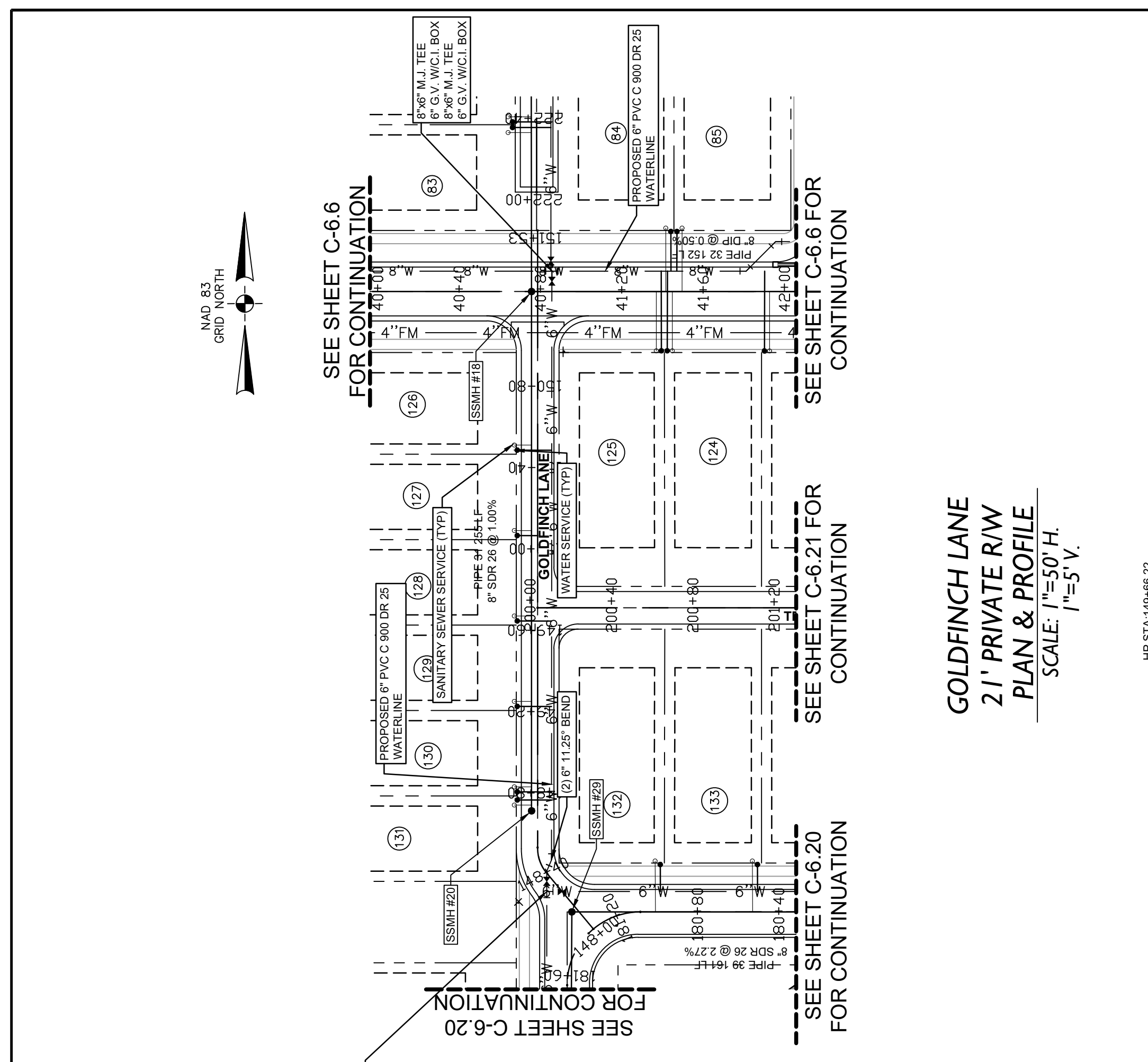
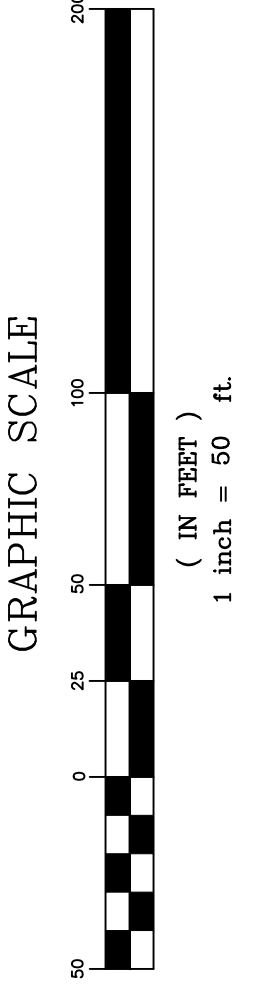


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 E-mail: info@summeyeng.com
 NC Professional Engineering Firm License No. P-0326

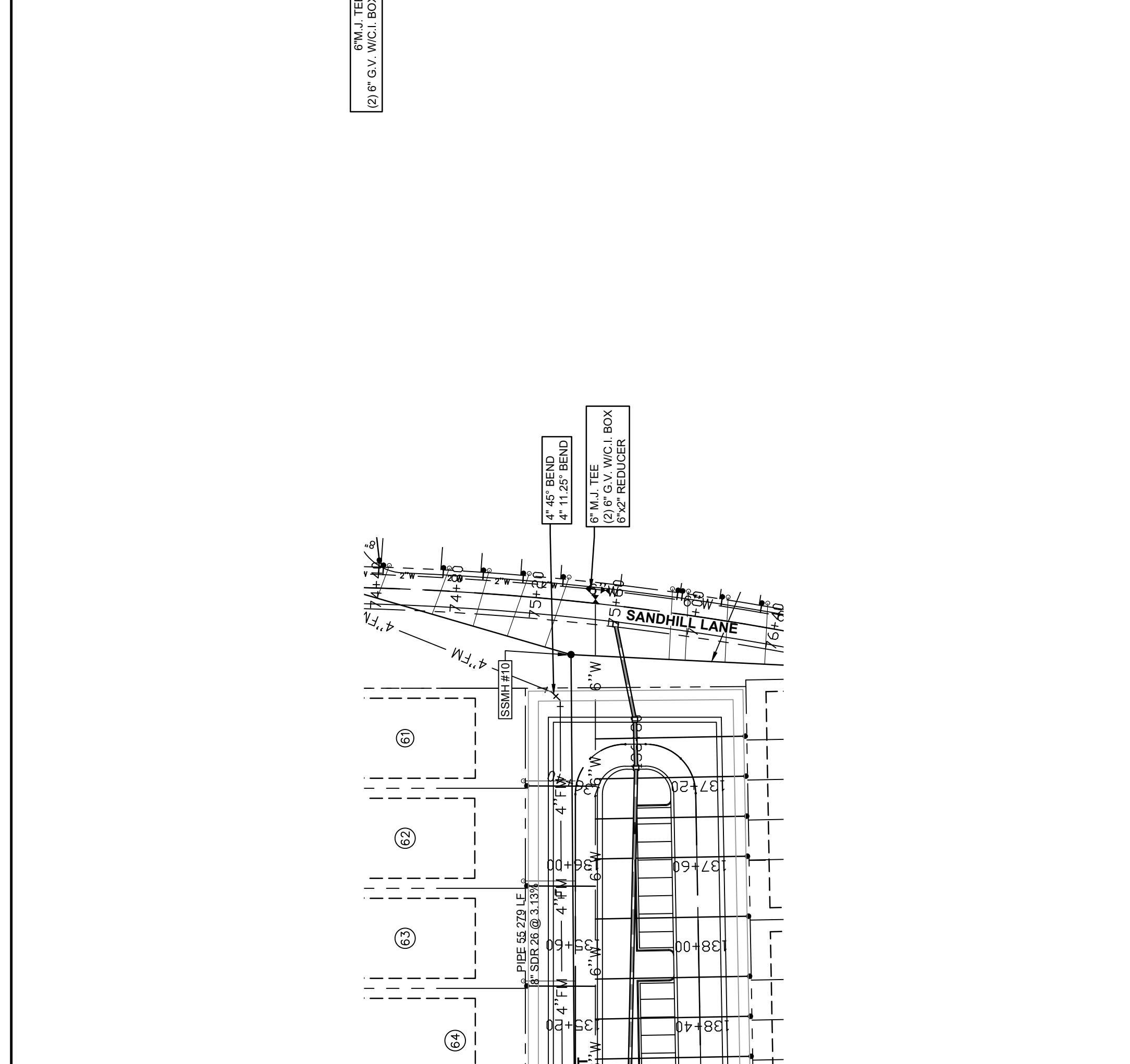
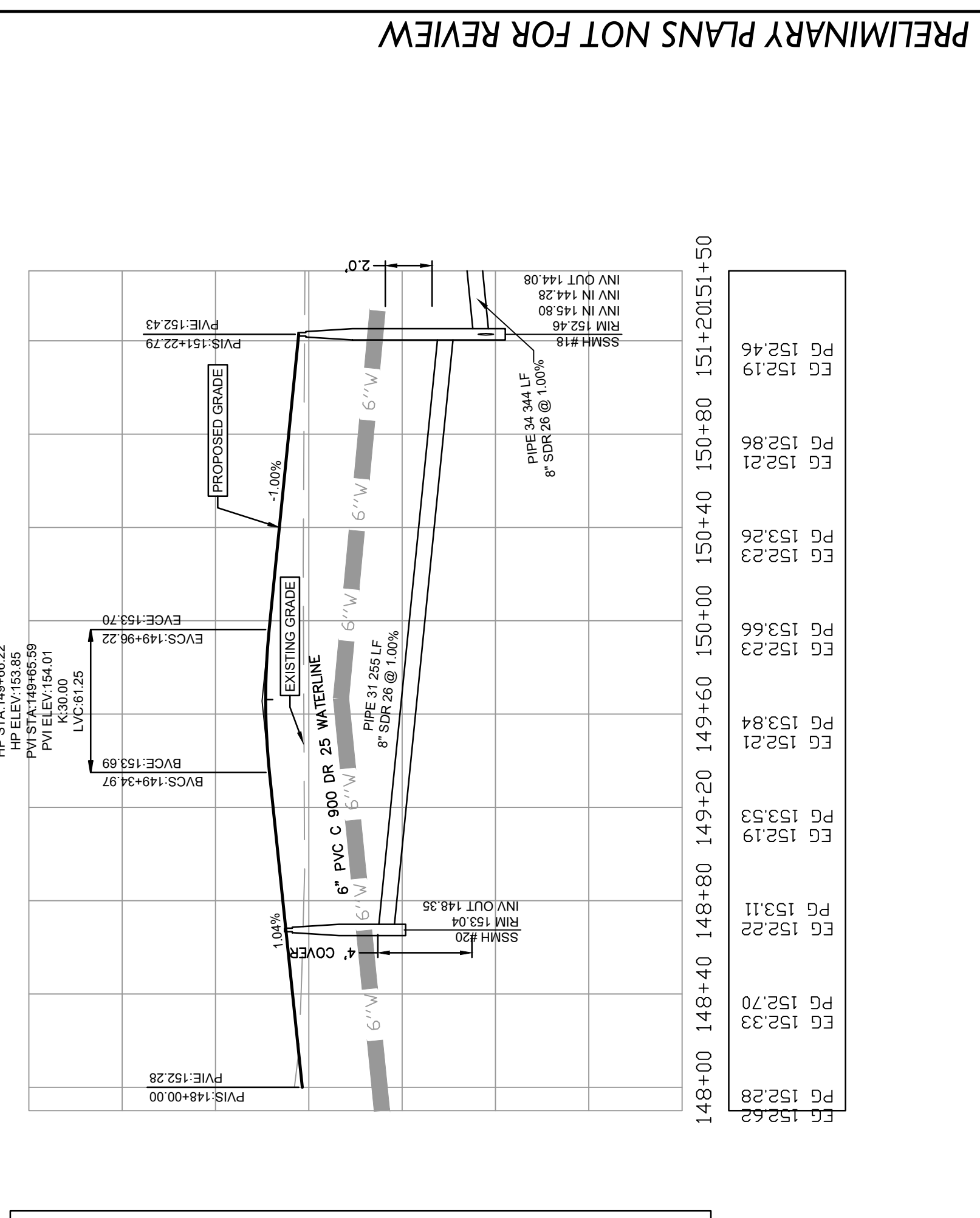
No.	Date:	Description:

BUNTING COURT & GOLDFINCH LANE
 PLAN AND PROFILE
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

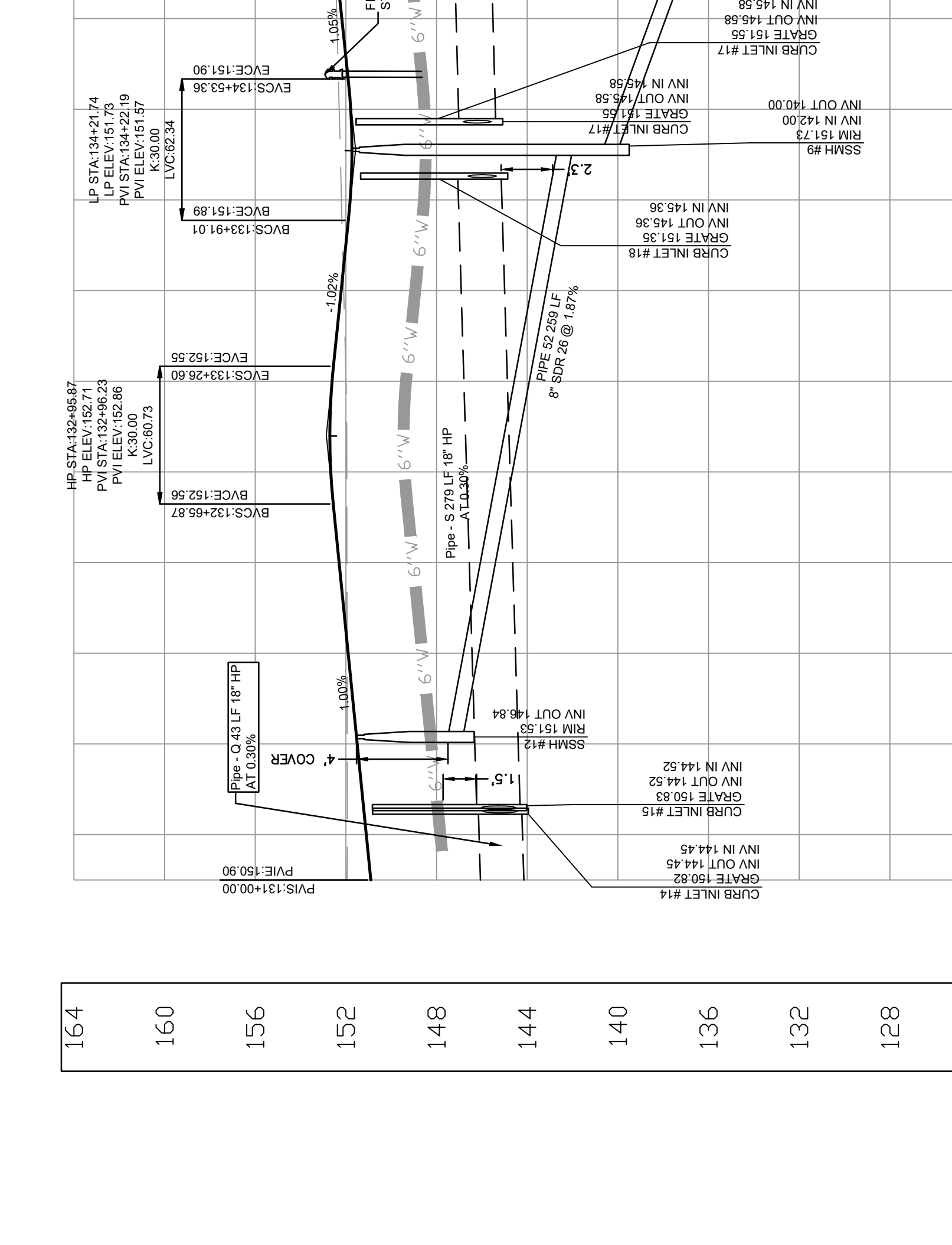
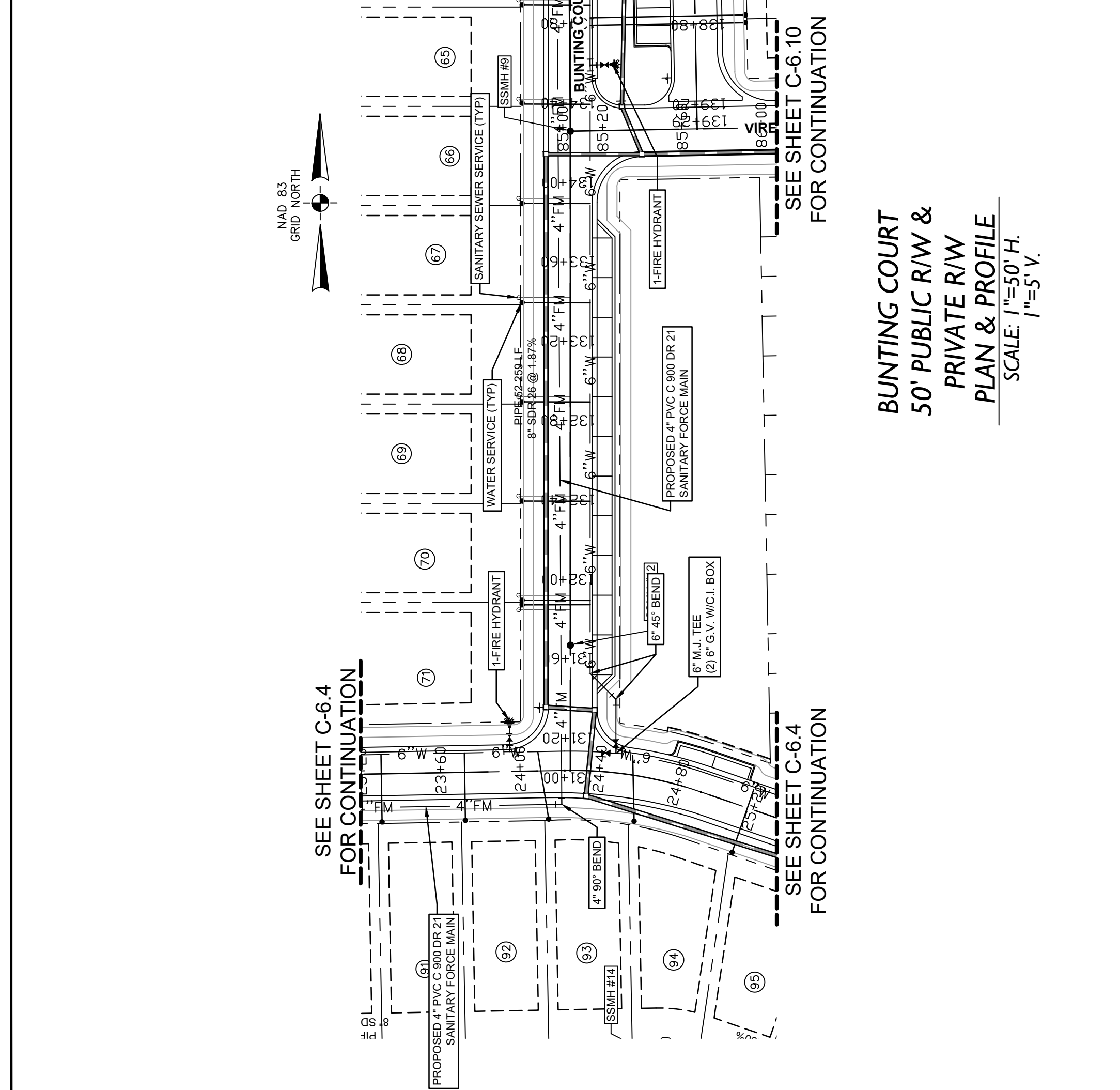
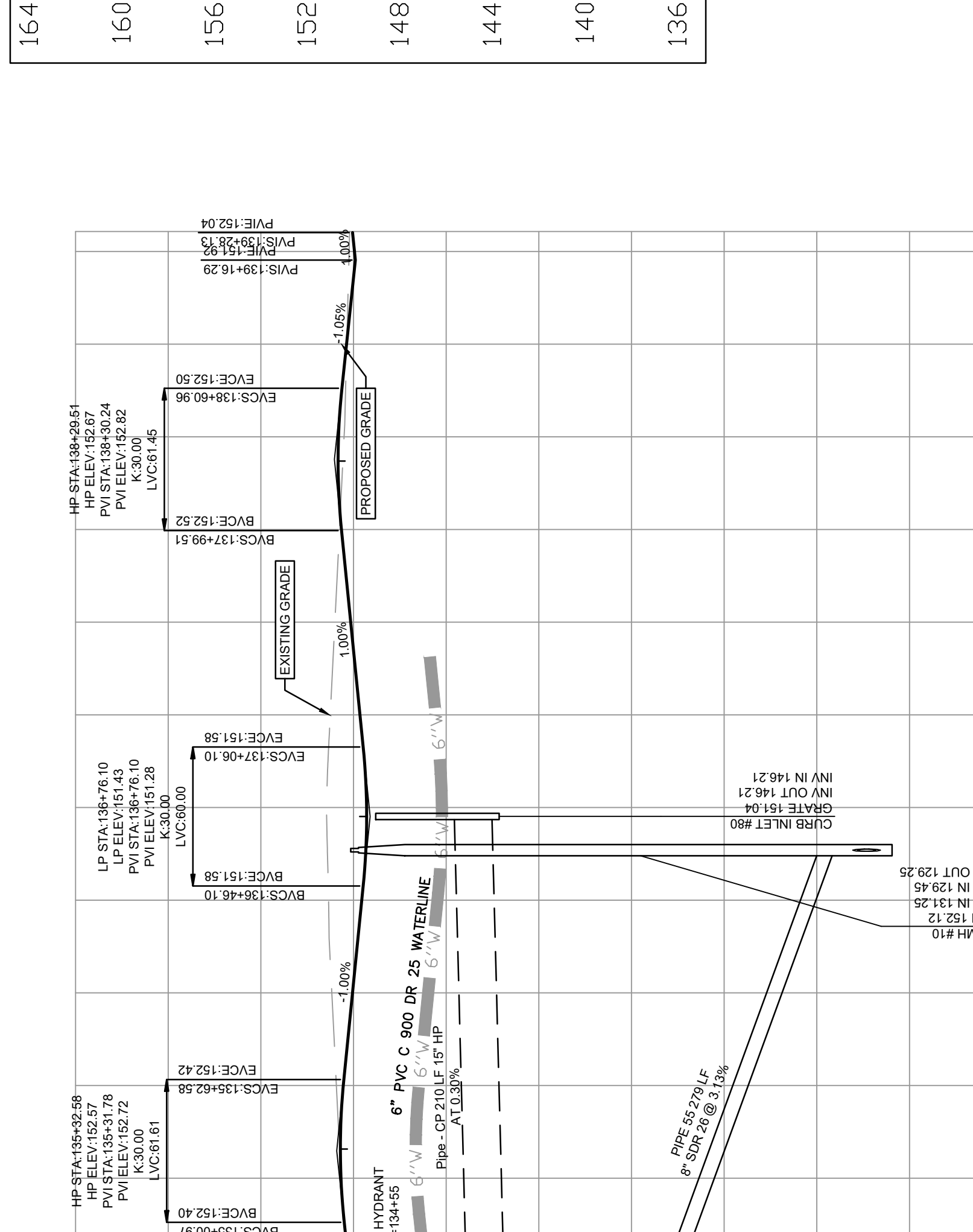
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Date:	MONTH YEAR
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Job No.:	E-9916

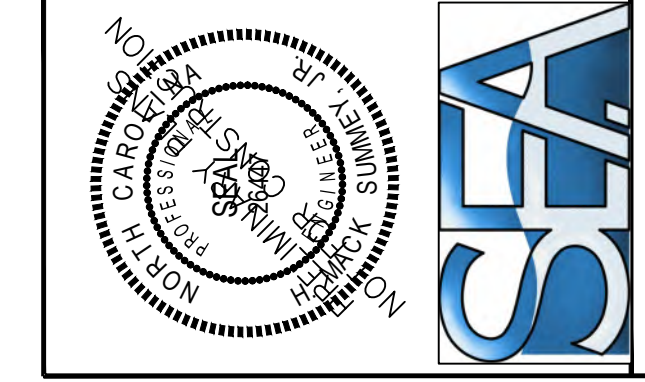


GOLDFINCH LANE
 21' PRIVATE R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



BUNTING COURT
 50' PUBLIC R/W &
 PRIVATE R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



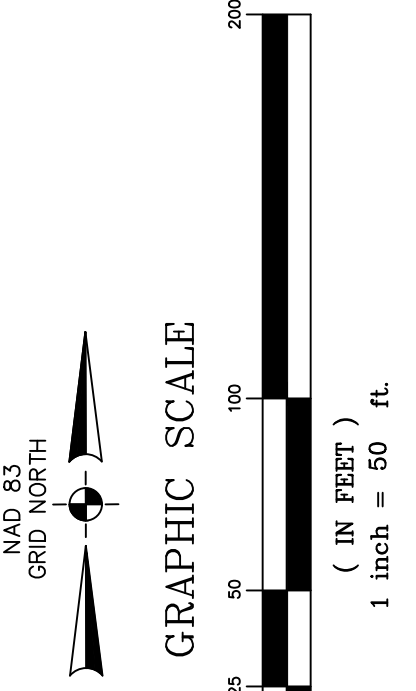


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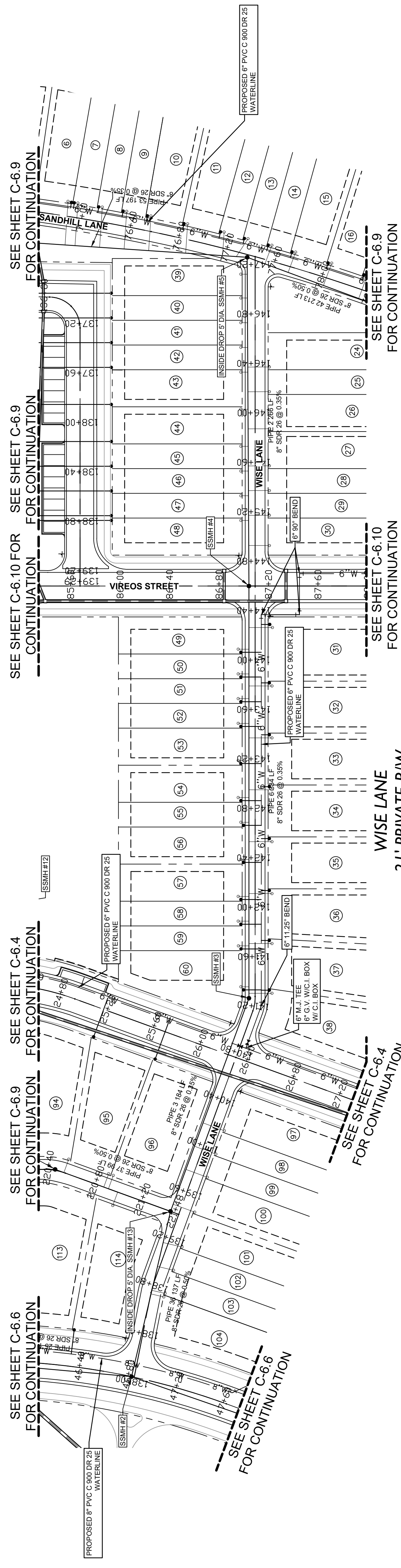
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WISE LANE PLAN AND PROFILE
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

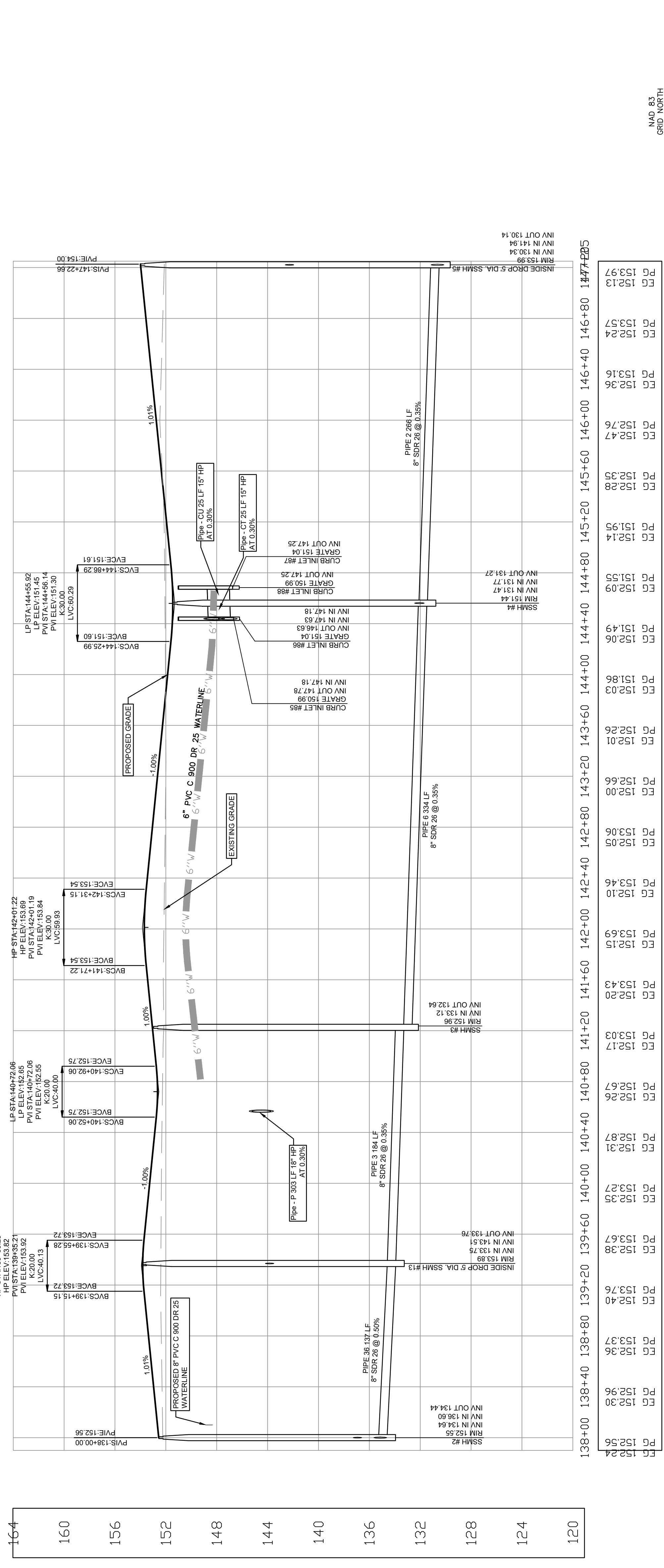
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Job No.:	E-9916

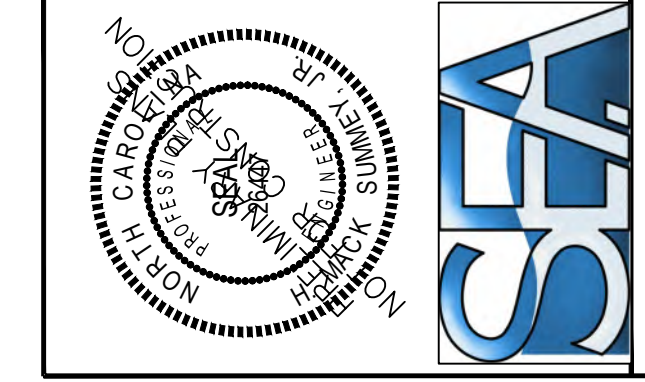


PRELIMINARY PLANS NOT FOR REVIEW



WISE LANE
 21' PRIVATE R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



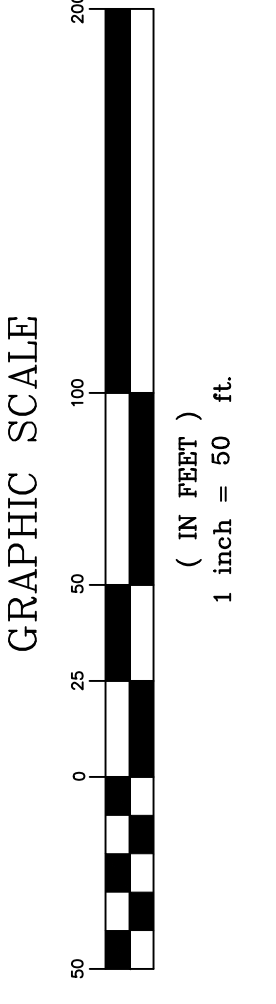


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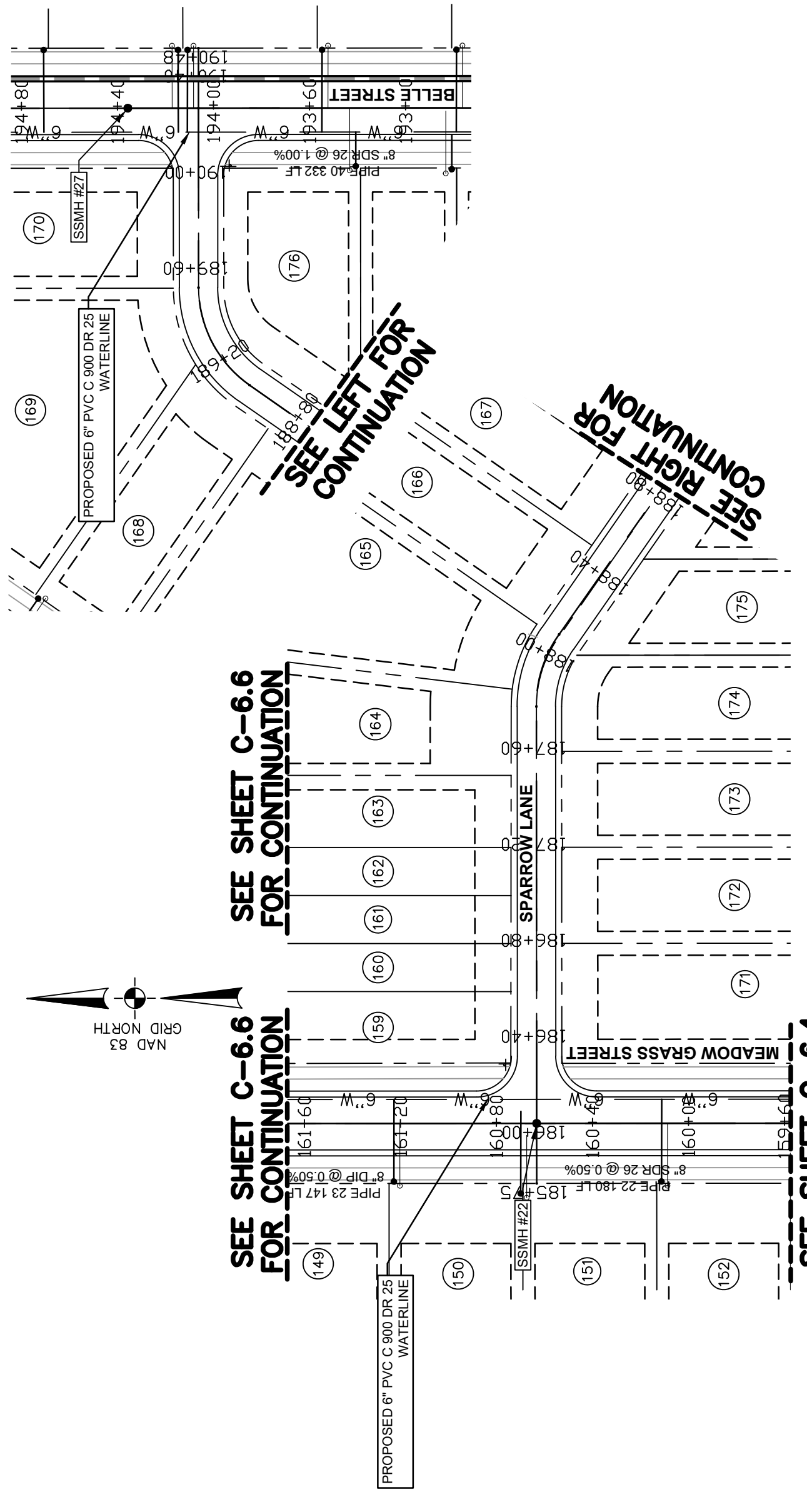
No.	Date:	Description:	By:

MCCALL LANE & SPARROW LANE PLAN AND PROFILE
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

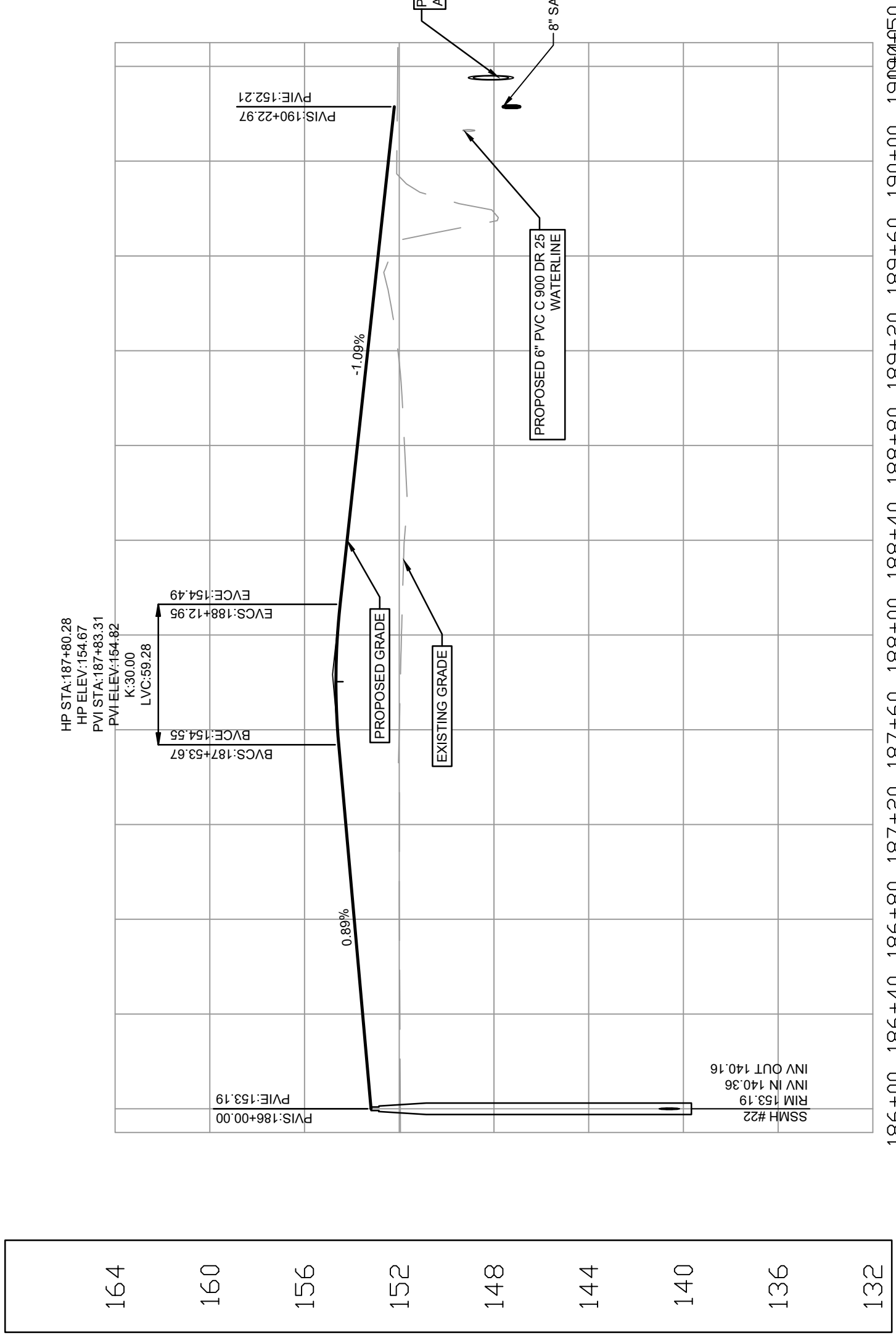
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Job No.:	E-9916



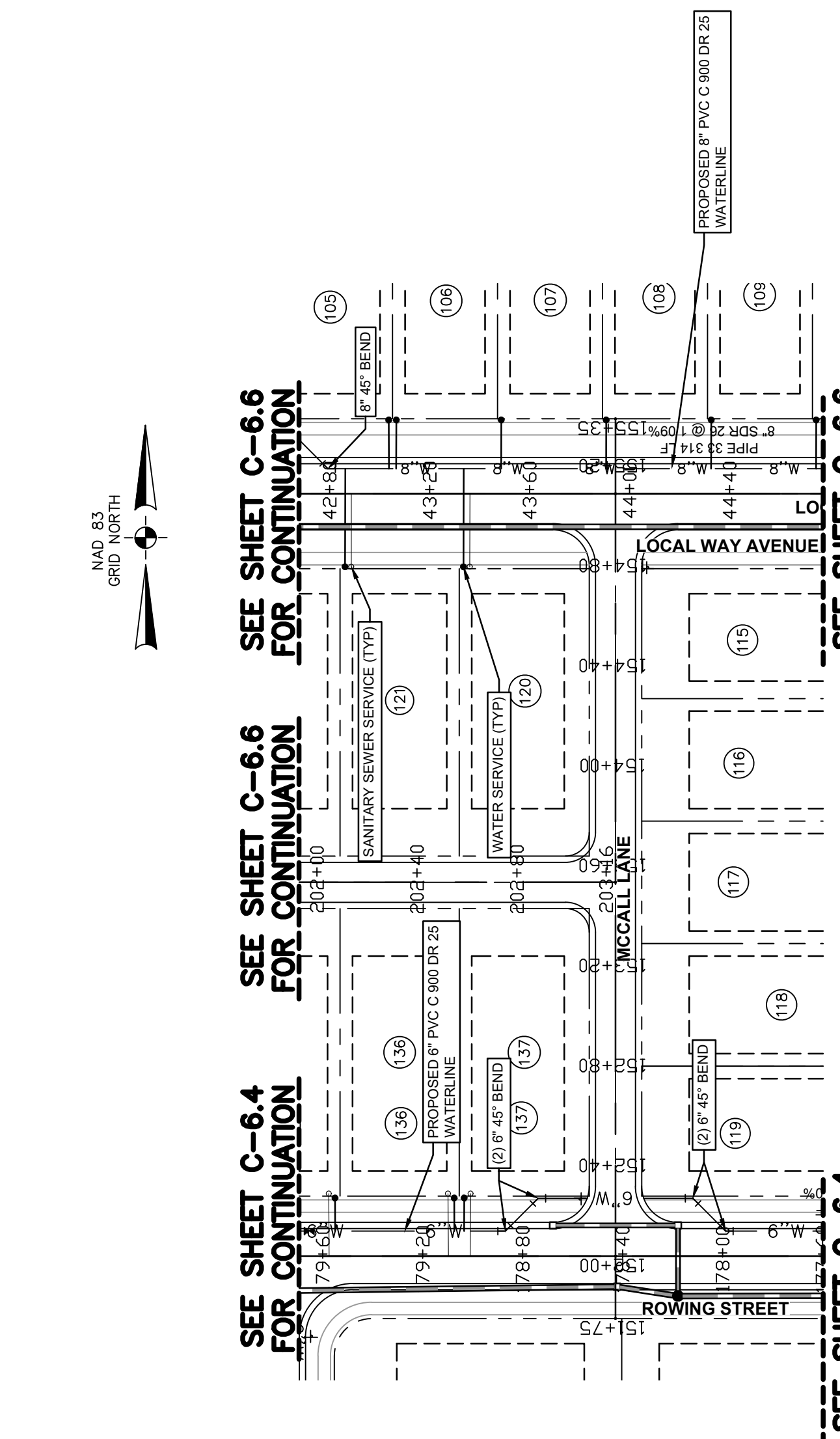
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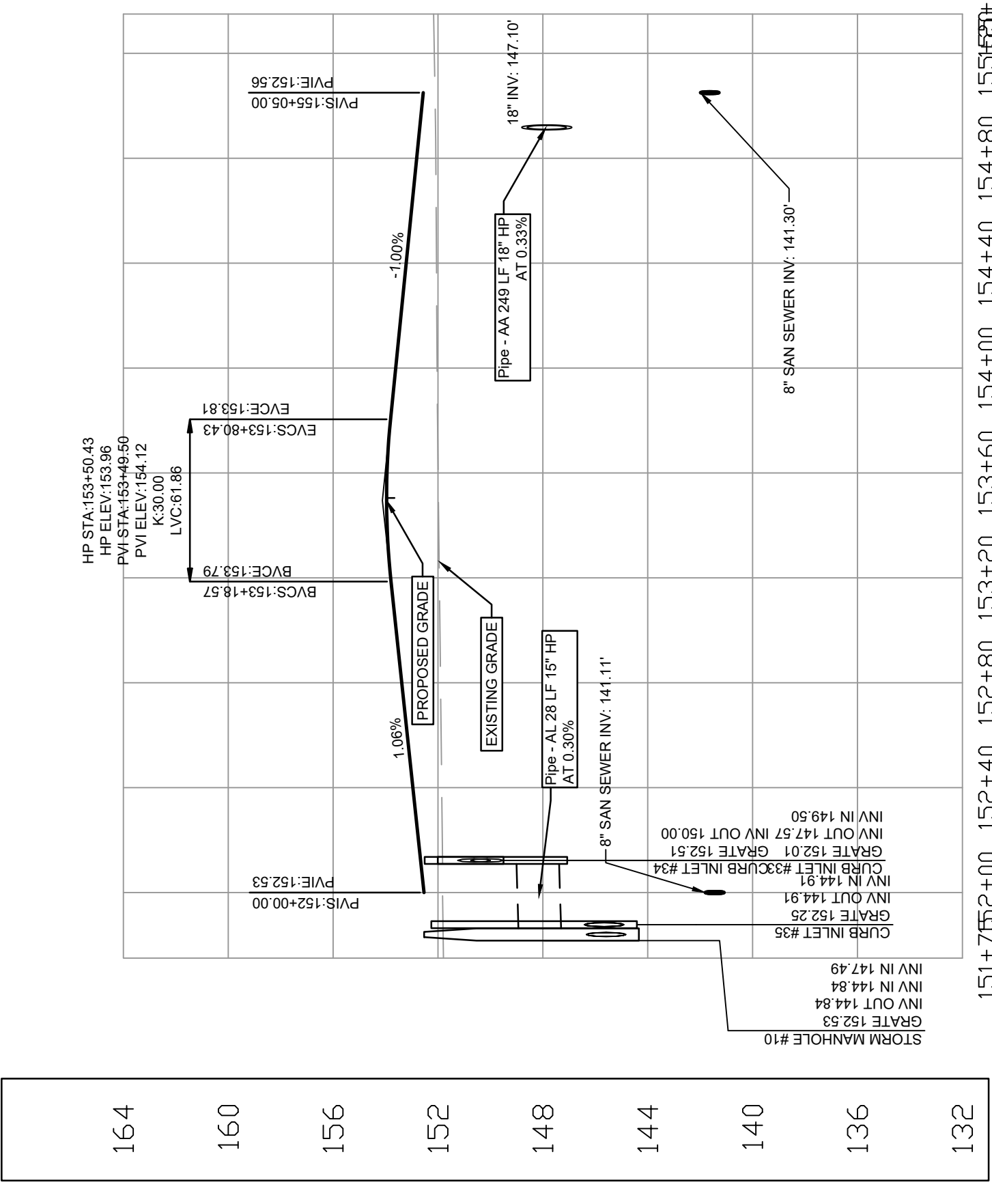
SPARROW LANE
 21' PRIVATE R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



EG 151.95	PG 153.19
EG 151.98	PG 153.53
EG 152.00	PG 153.90
EG 151.99	PG 154.26
EG 152.00	PG 154.60
EG 151.91	PG 154.91
EG 151.79	PG 154.20
EG 153.76	PG 153.76
EG 152.06	PG 153.33
EG 152.38	PG 152.89
EG 152.46	PG 152.46
EG 152.06	PG 152.06
EG 152.06	PG 152.06



MCCALL LANE
 21' PRIVATE R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



EG 151.83	PG 152.53
EG 151.86	PG 152.96
EG 151.90	PG 153.38
EG 153.81	PG 153.81
EG 152.00	PG 152.00
EG 152.03	PG 153.61
EG 152.06	PG 153.21
EG 152.08	PG 152.81
EG 152.14	PG 152.14

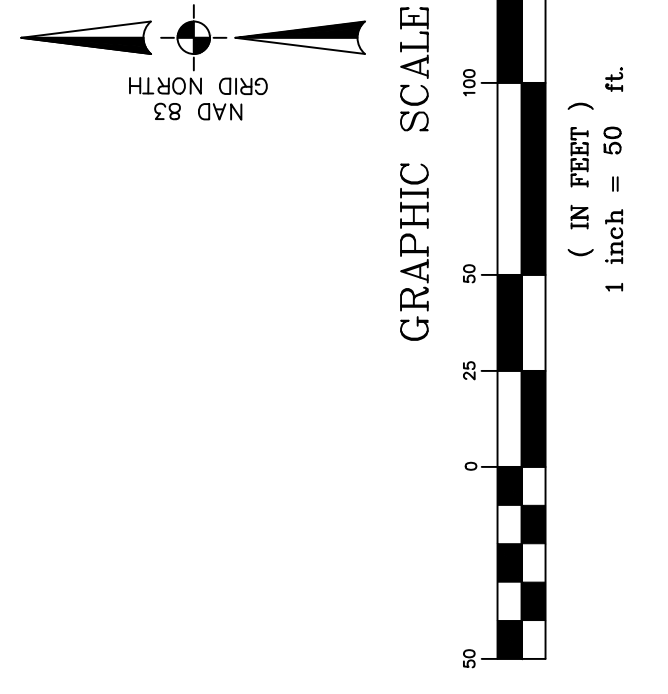
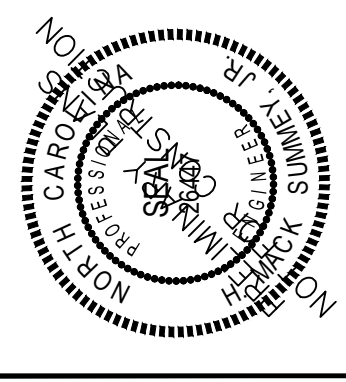
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Job No.:	E-9916

Sheet No. C-6.18

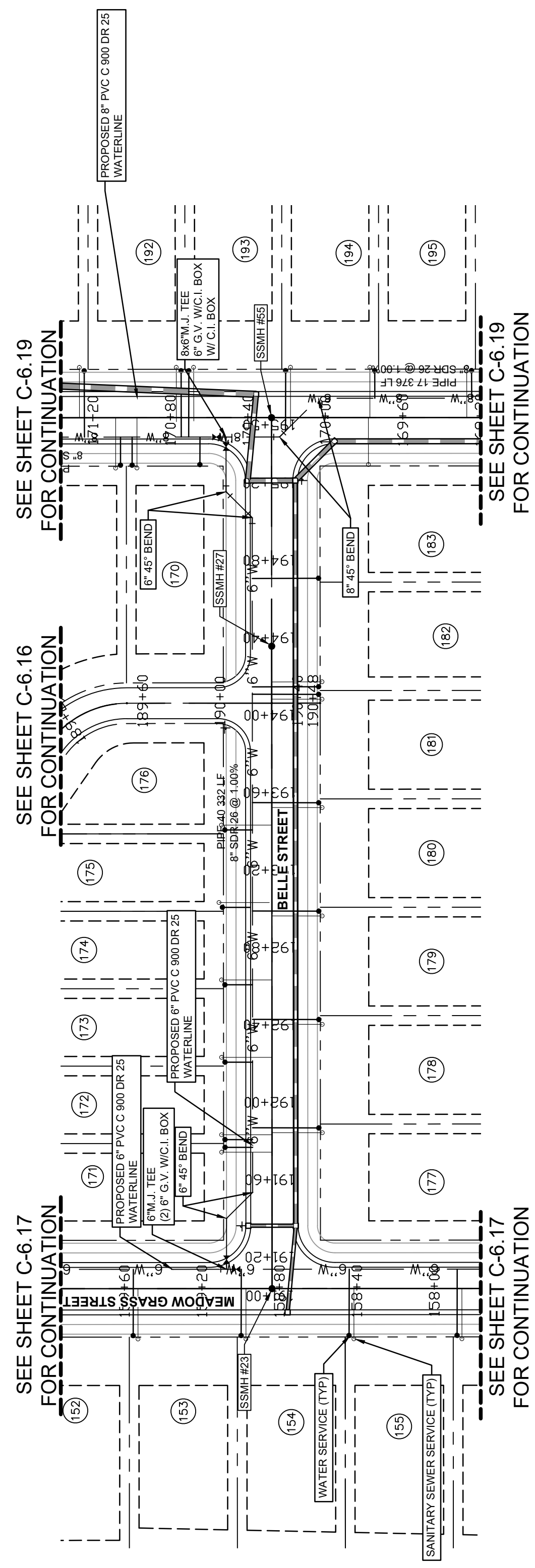
BELLE STREET PLAN AND PROFILE
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:
By:		

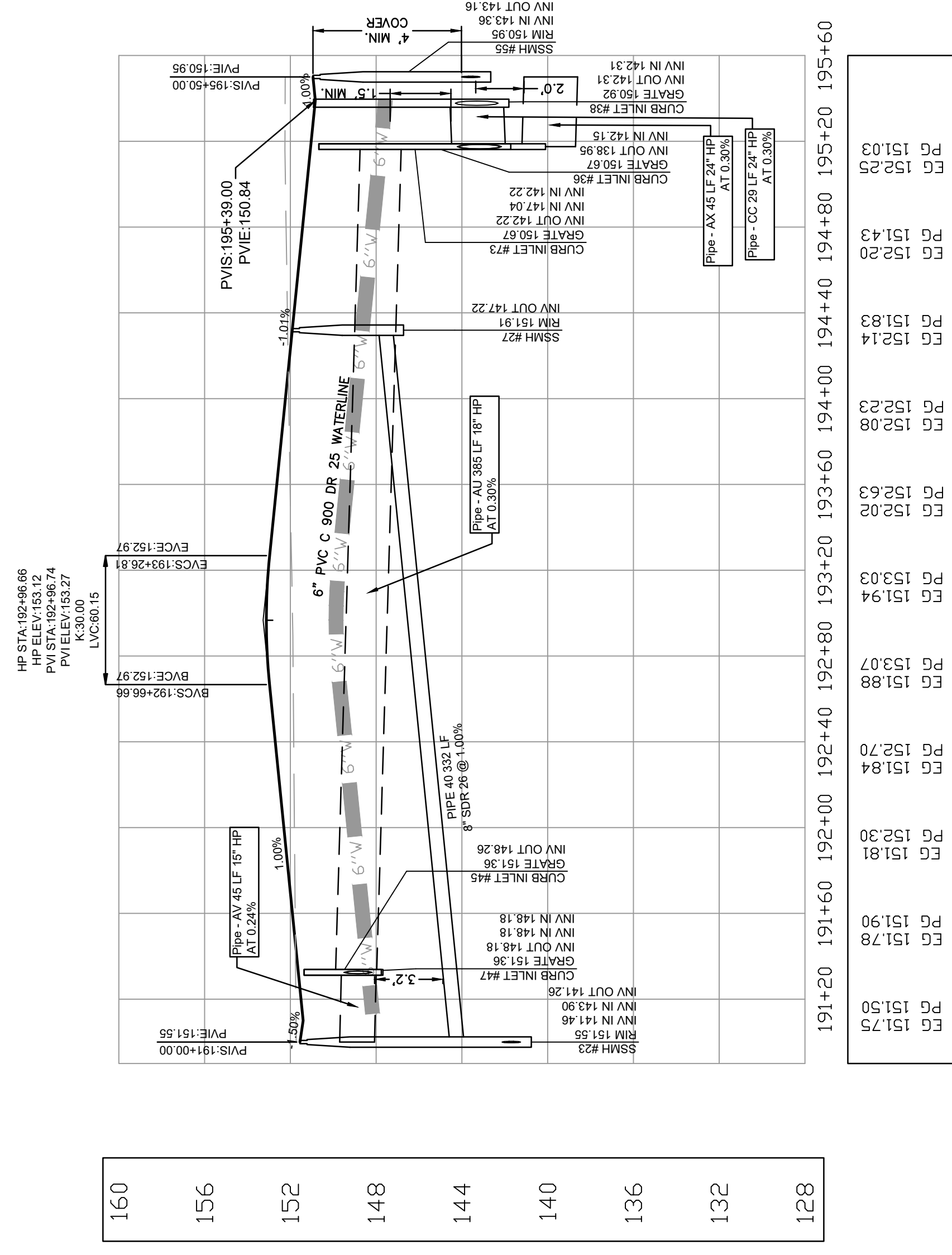
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PRELIMINARY PLANS NOT FOR REVIEW



**BELLE STREET
 50' PUBLIC R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.**



160	EG 151.75
156	EG 151.81
152	EG 151.84
148	EG 151.87
144	EG 151.94
140	EG 152.02
136	EG 152.14
132	EG 152.23
128	EG 152.30

HP STA: 192+66.66
 HP ELEV: 153.12
 PVI: 151.9674
 K: 30.00
 LVC: 60.15

SEE SHEET C-6.17 FOR CONTINUATION

SEE SHEET C-6.16 FOR CONTINUATION

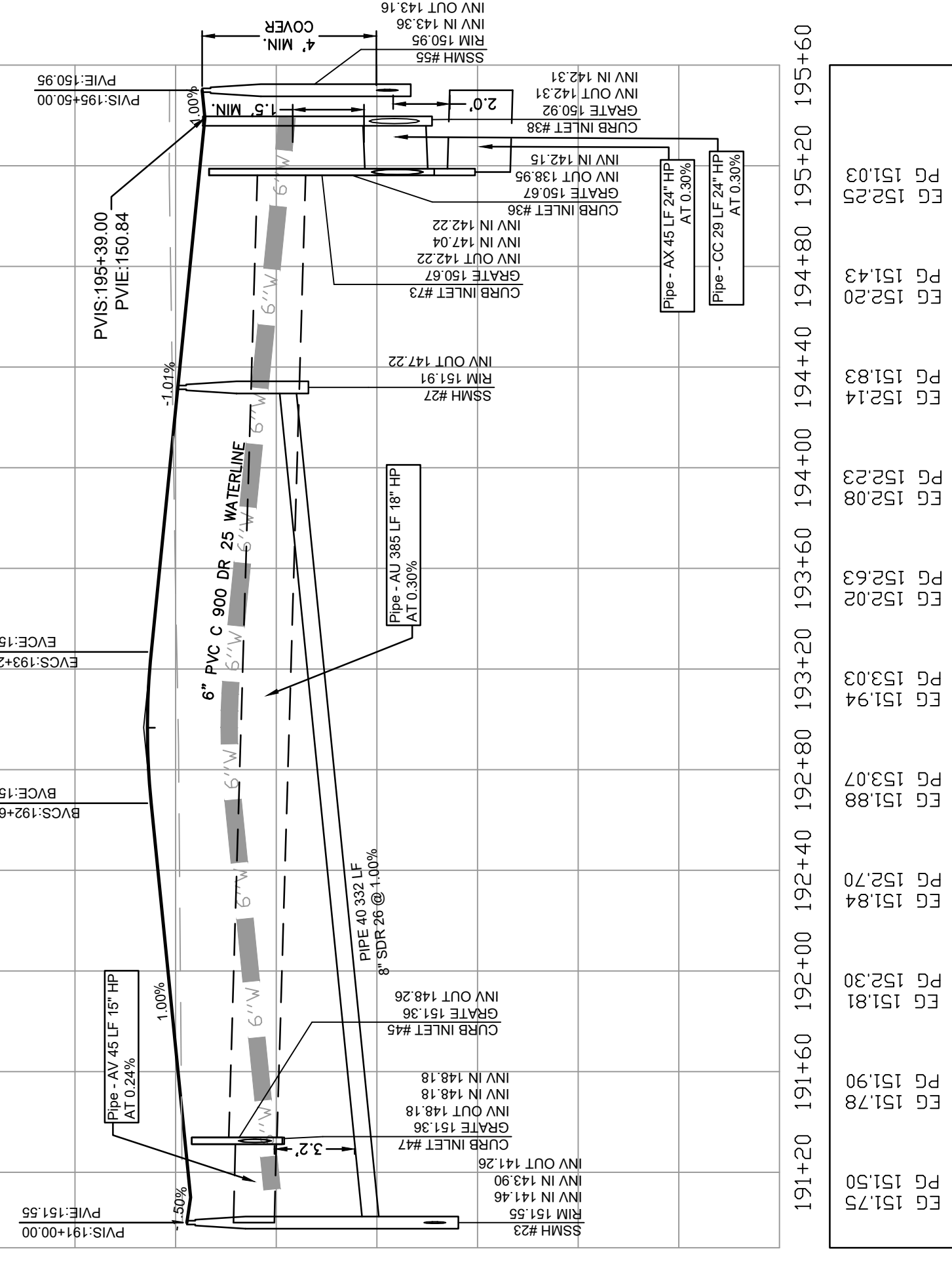
SEE SHEET C-6.19 FOR CONTINUATION

SEE SHEET C-6.17 FOR CONTINUATION

SEE SHEET C-6.16 FOR CONTINUATION

SEE SHEET C-6.19 FOR CONTINUATION

160	EG 151.75
156	EG 151.81
152	EG 151.84
148	EG 151.87
144	EG 151.94
140	EG 152.02
136	EG 152.14
132	EG 152.23
128	EG 152.30



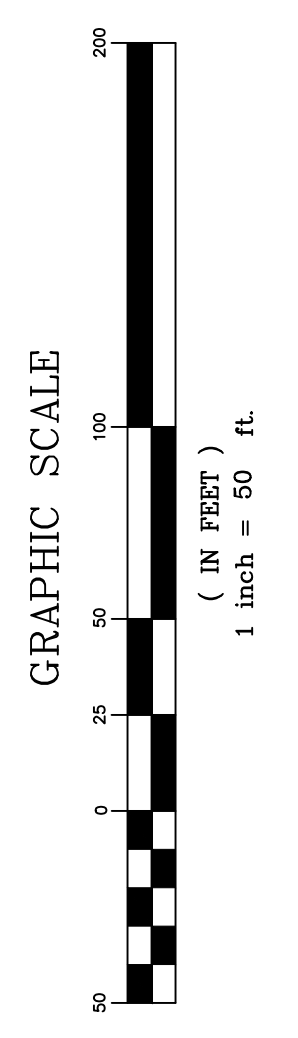
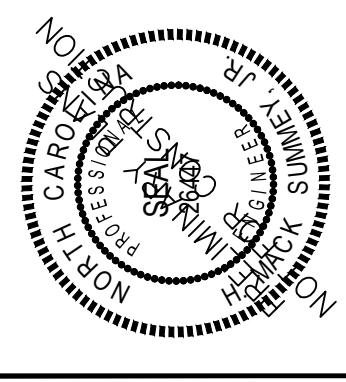
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Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9516

Sheet No. C-6.19

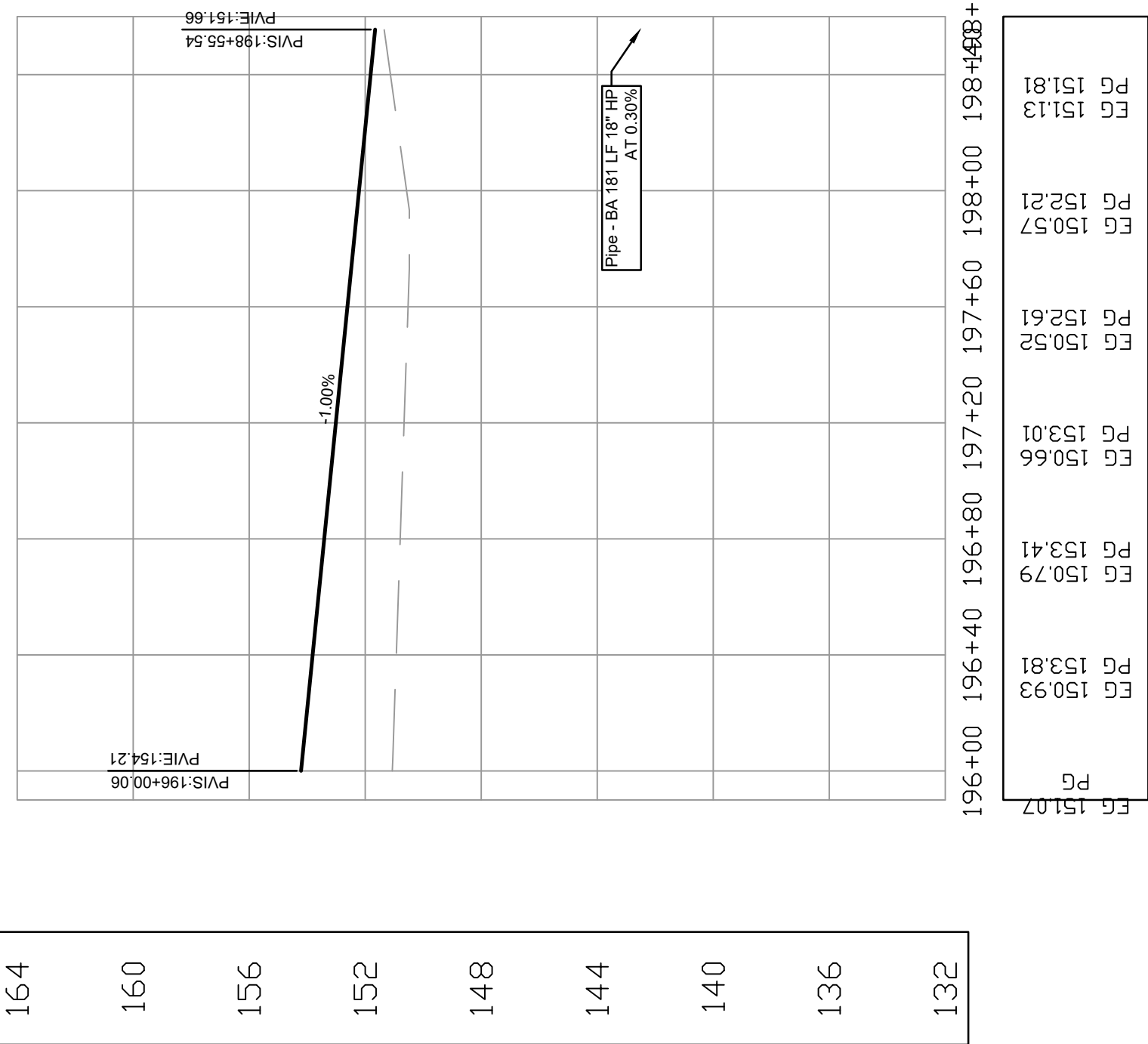
**WINGO LANE & ROWING STREET
PLAN AND PROFILE 1**
LOCAL 70 RESIDENTIAL DEVELOPMENT
HWY 70
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:
By:		

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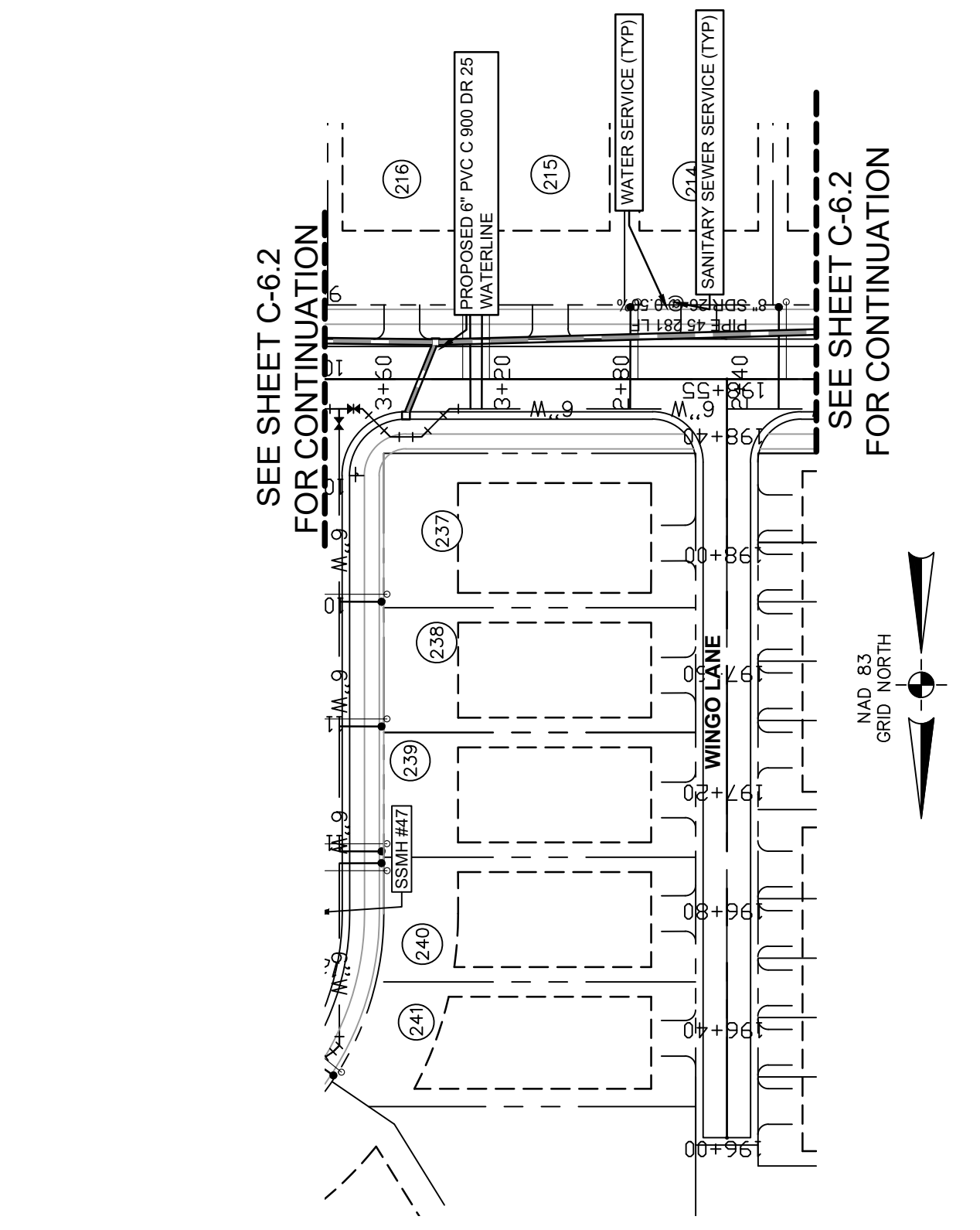


PRELIMINARY PLANS NOT FOR REVIEW

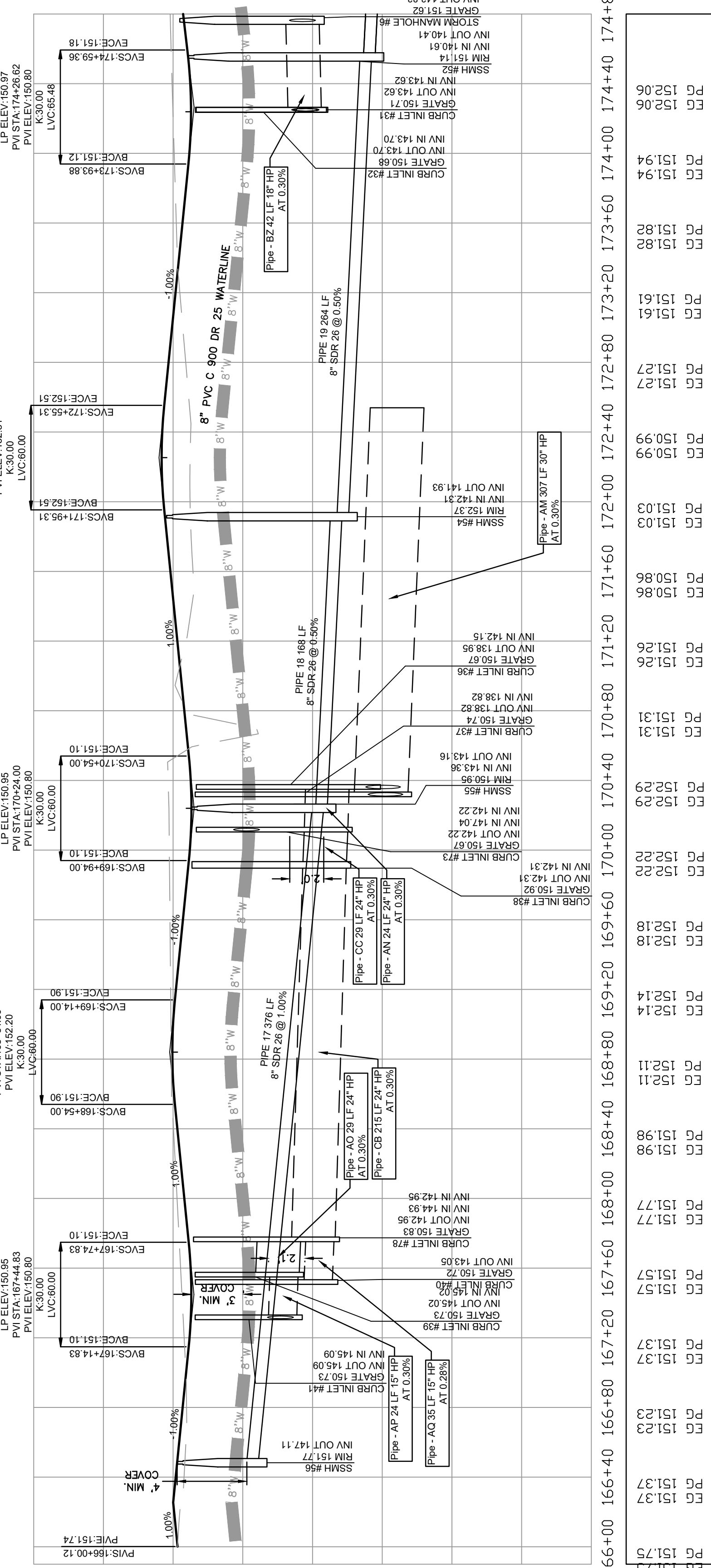


164
160
156
152
148
144
140
136
132

EG 151.07
EG 150.93
PG 153.81
EG 150.79
PG 153.41
EG 150.66
PG 153.01
EG 150.52
PG 152.61
EG 150.57
PG 152.21
EG 151.13
PG 151.81

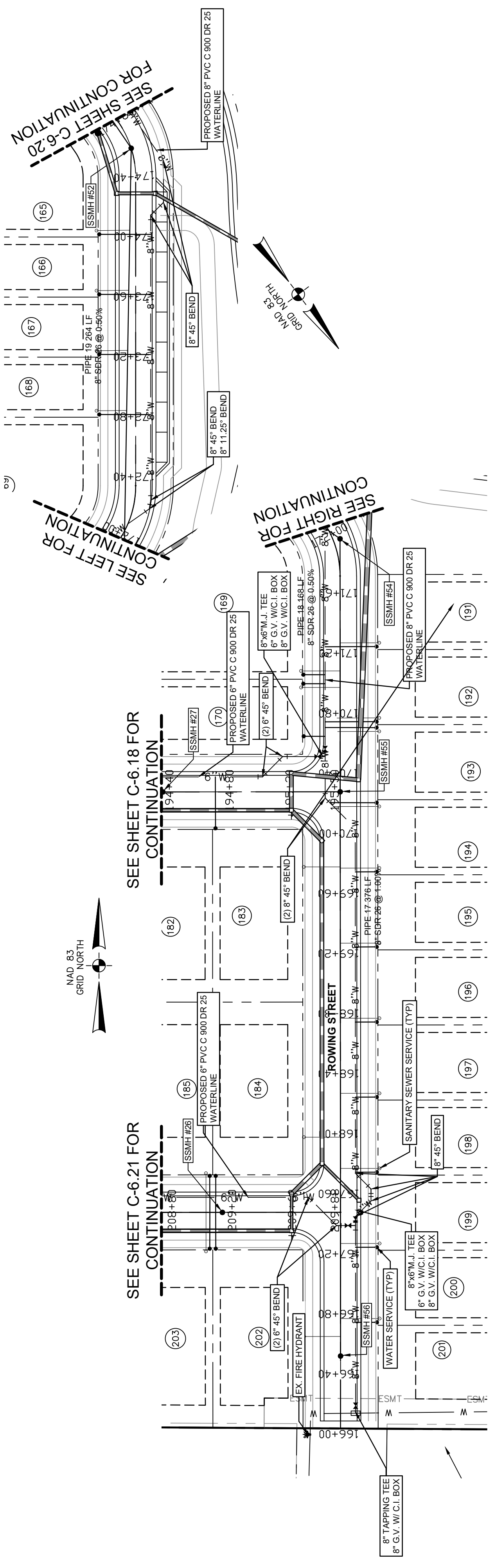


**WINGO LANE
21' PRIVATE R/W
PLAN & PROFILE
SCALE: 1"=50' H.
1"=5' V.**



160
156
152
148
144
140
136
132
128

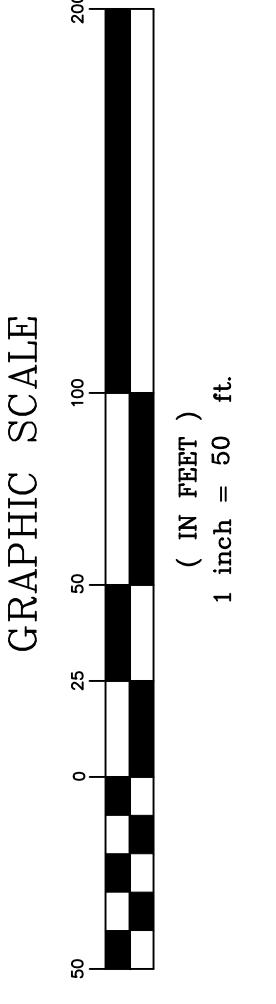
EG 151.75
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EG 152.22
EG 152.22
EG 152.29
EG 151.31
EG 151.26
EG 151.26
EG 150.86
EG 151.03
EG 150.99
EG 151.27
EG 151.61
EG 151.82
EG 151.94
EG 152.06



**ROWING STREET
50' PUBLIC R/W
PLAN & PROFILE
SCALE: 1"=50' H.
1"=5' V.**



Know what's below.
Call before you dig.



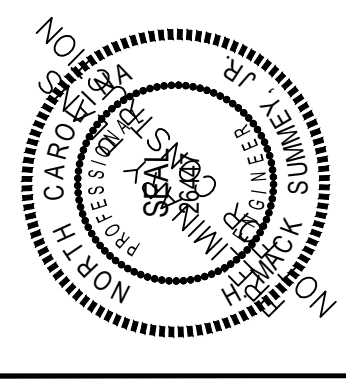
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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. C-6.19

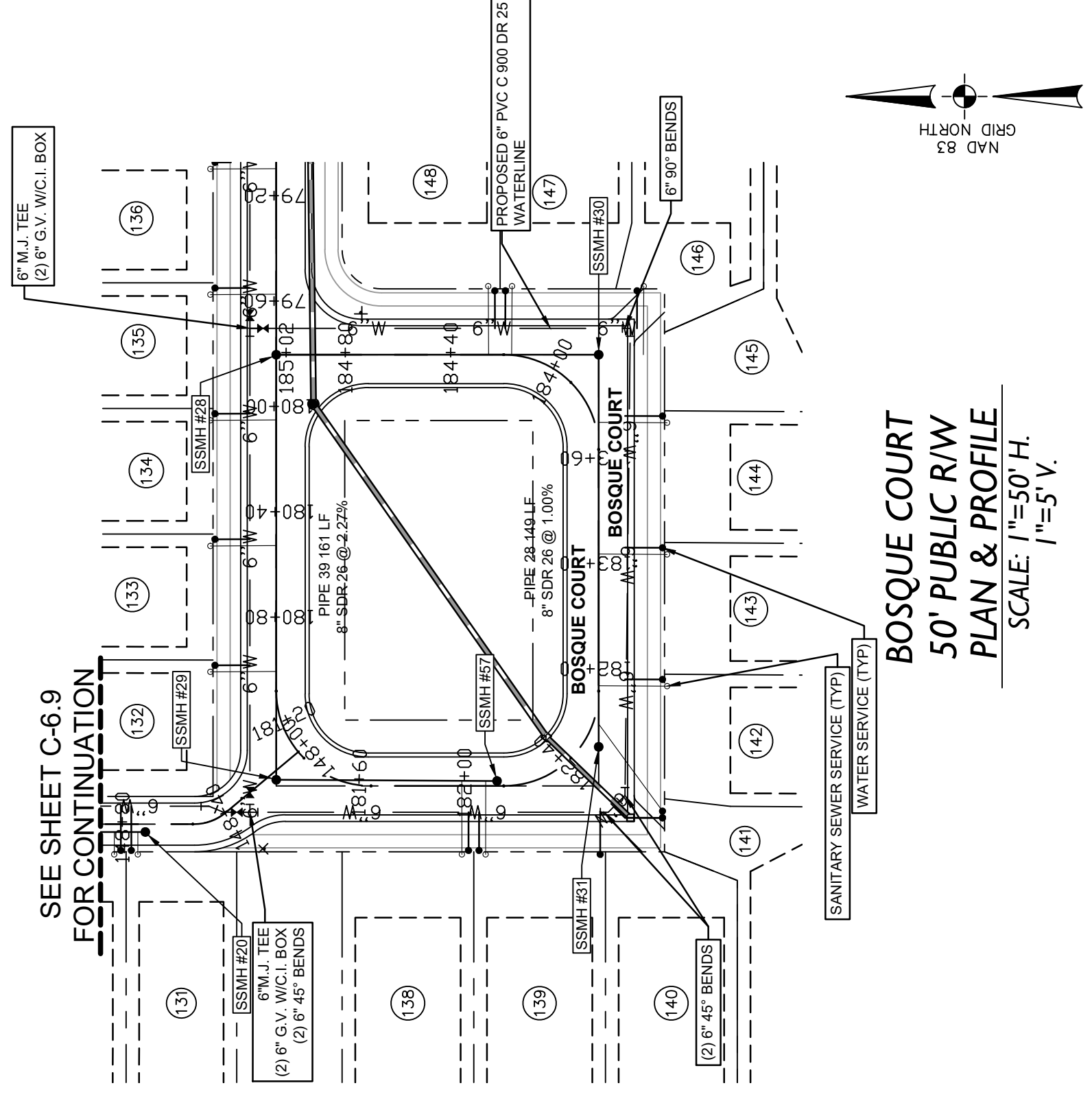
ROWING STREET PLAN AND PROFILE 2
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:

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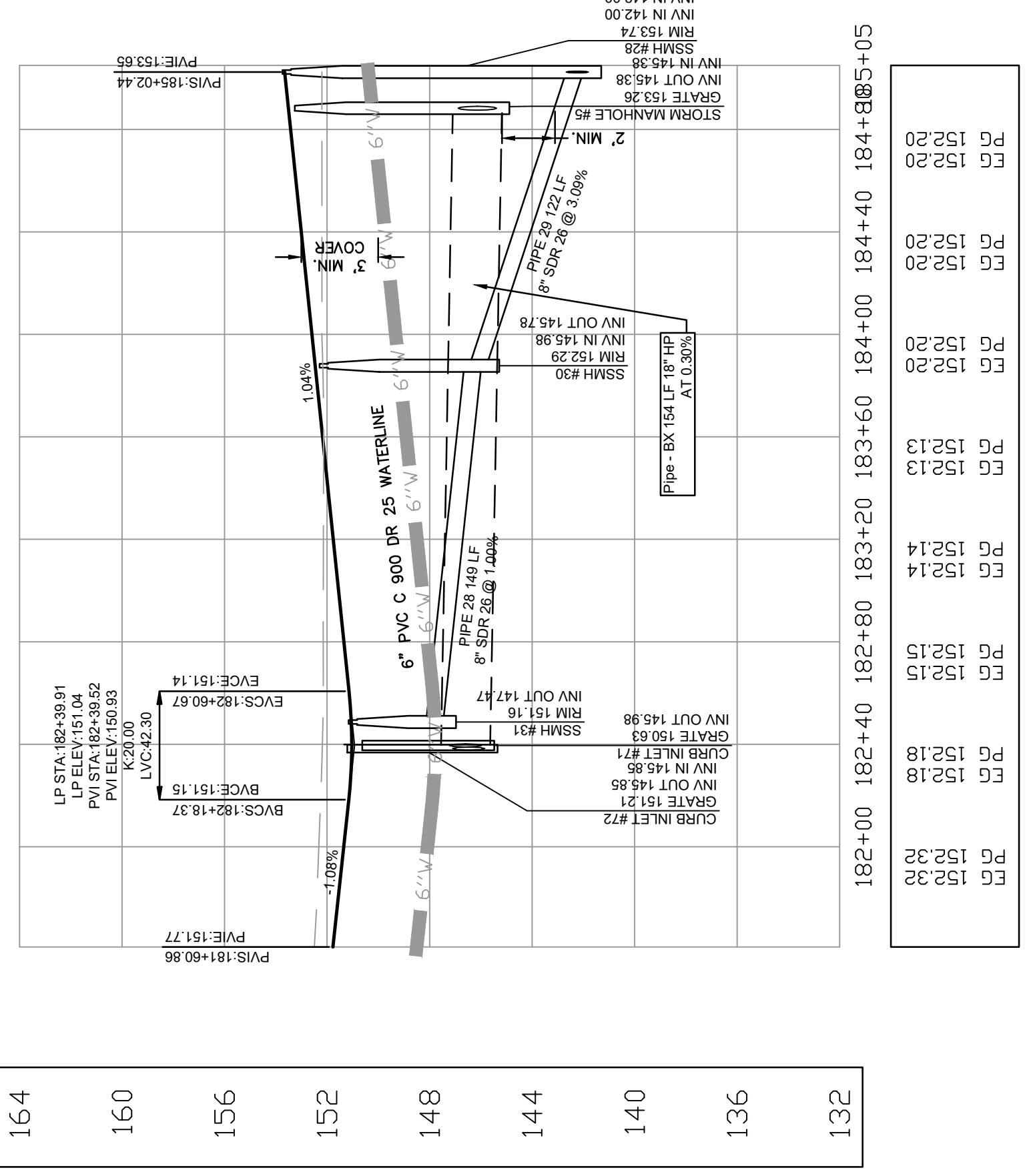


PRELIMINARY PLANS NOT FOR REVIEW



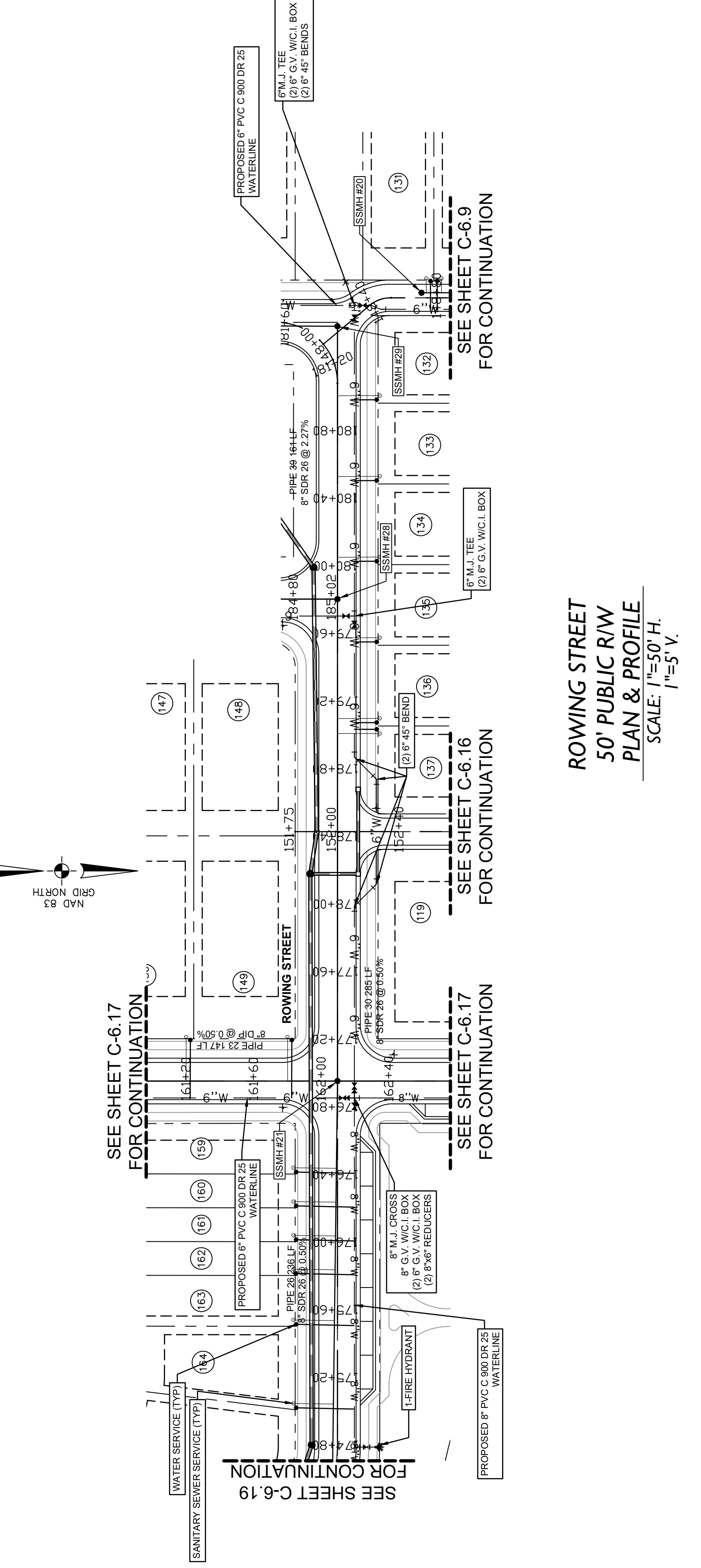
BOSQUE COURT
 50' PUBLIC R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.

SEE SHEET C-6.9
 FOR CONTINUATION



164
160
156
152
148
144
140
136
132

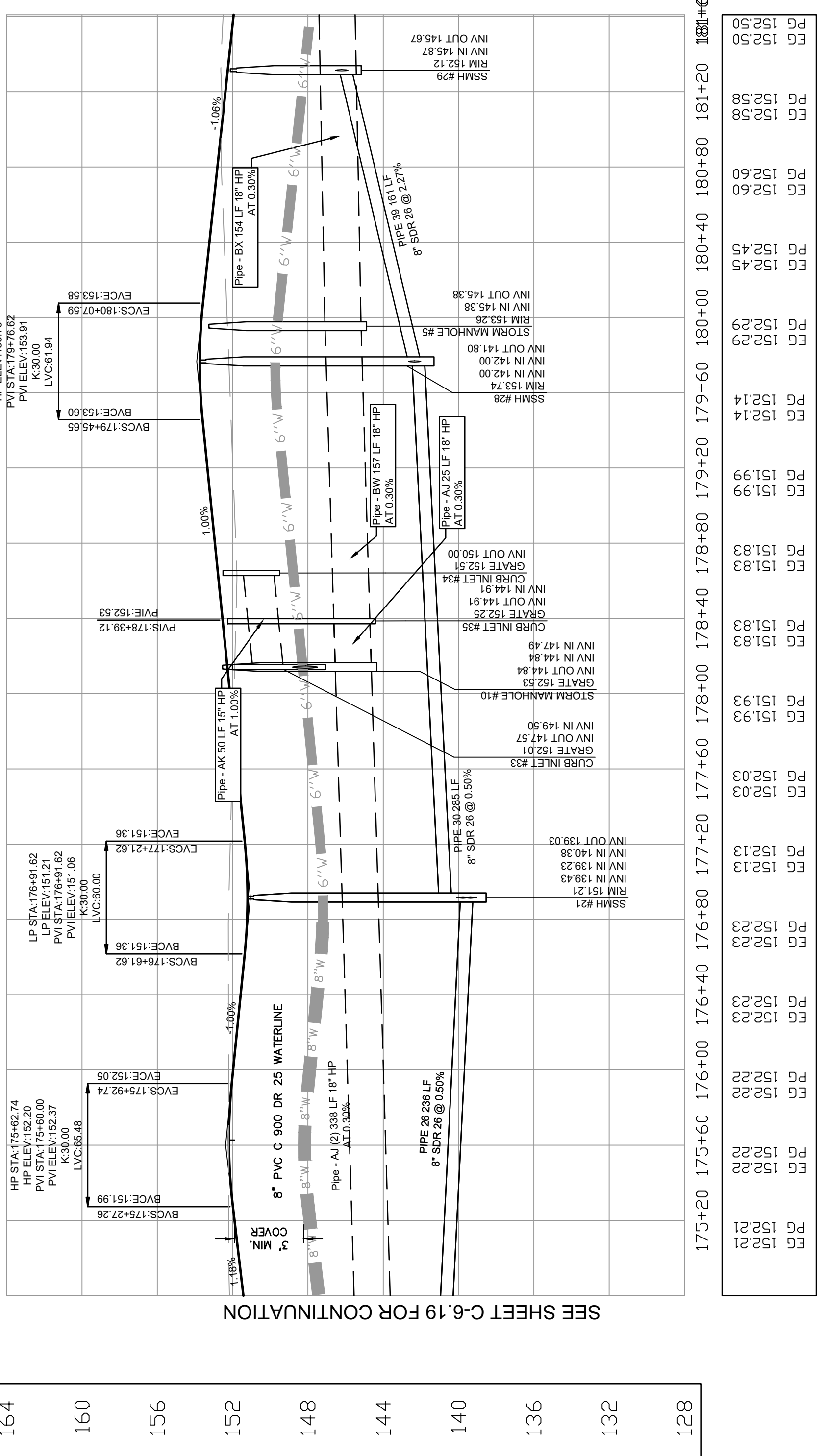
EG 152.32	182+00
EG 152.18	182+40
EG 152.15	182+80
EG 152.14	183+20
EG 152.13	183+60
EG 152.20	184+00
EG 152.20	184+40
EG 152.20	184+80
EG 152.20	184+85+05



ROWING STREET
 50' PUBLIC R/W
 PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.

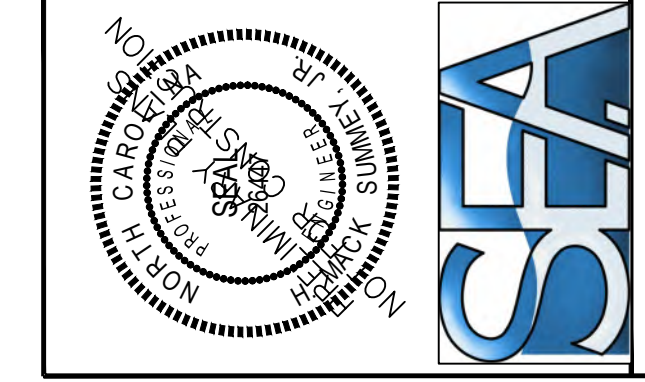
SEE SHEET C-6.17
 FOR CONTINUATION

SEE SHEET C-6.19
 FOR CONTINUATION



164
160
156
152
148
144
140
136
132
128

EG 152.21	175+20
EG 152.22	175+60
EG 152.23	176+00
EG 152.23	176+40
EG 152.23	176+80
EG 152.13	177+20
EG 152.03	177+60
EG 151.93	178+00
EG 151.83	178+40
EG 151.83	178+80
EG 151.99	179+20
EG 152.14	179+60
EG 152.29	180+00
EG 152.45	180+40
EG 152.60	180+80
EG 152.58	181+20
EG 152.50	181+60



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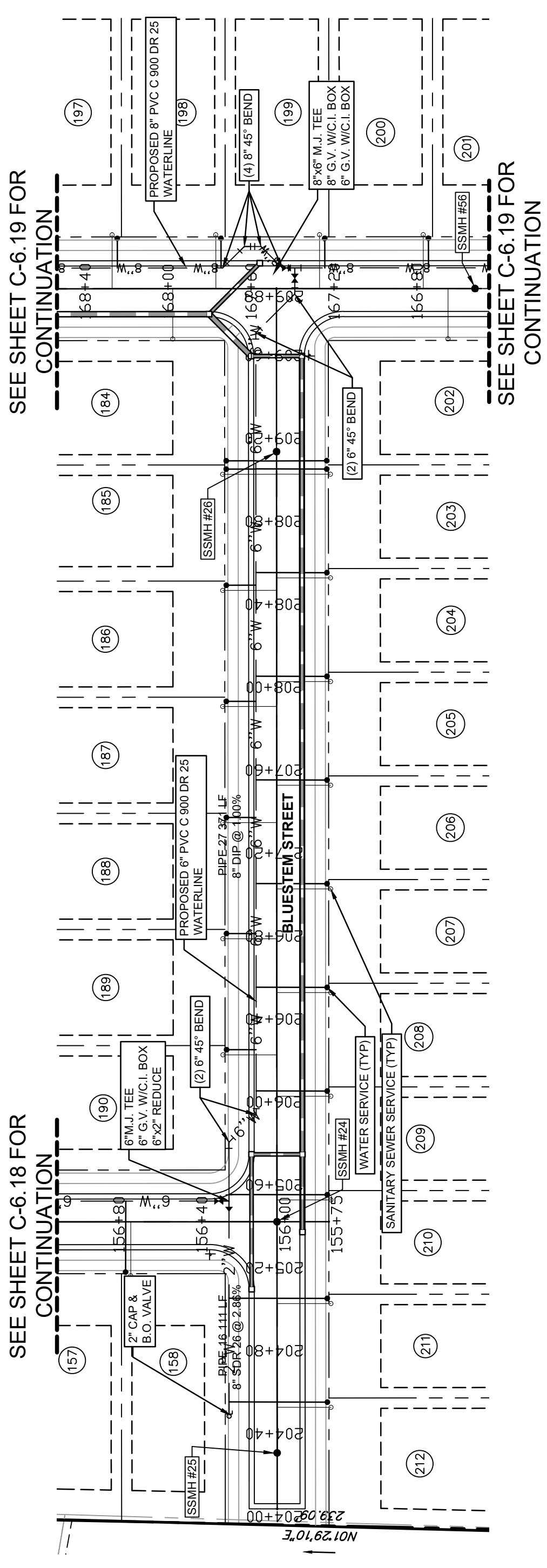
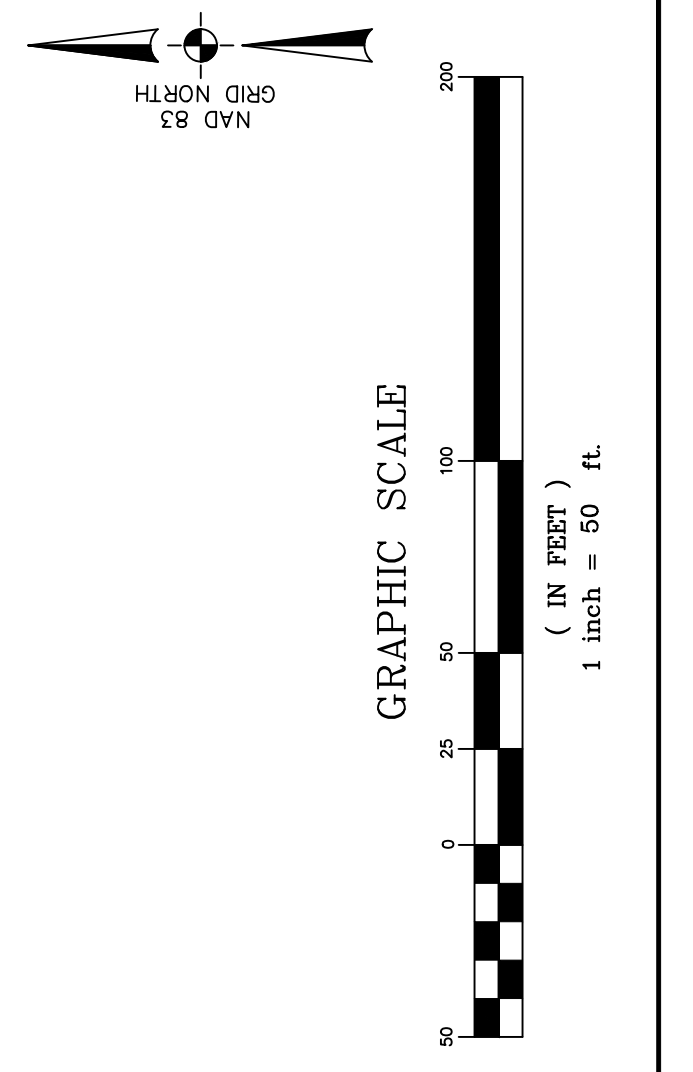
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BLUESTEM STREET & TRAIL HEAD LANE
PLAN AND PROFILE
LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

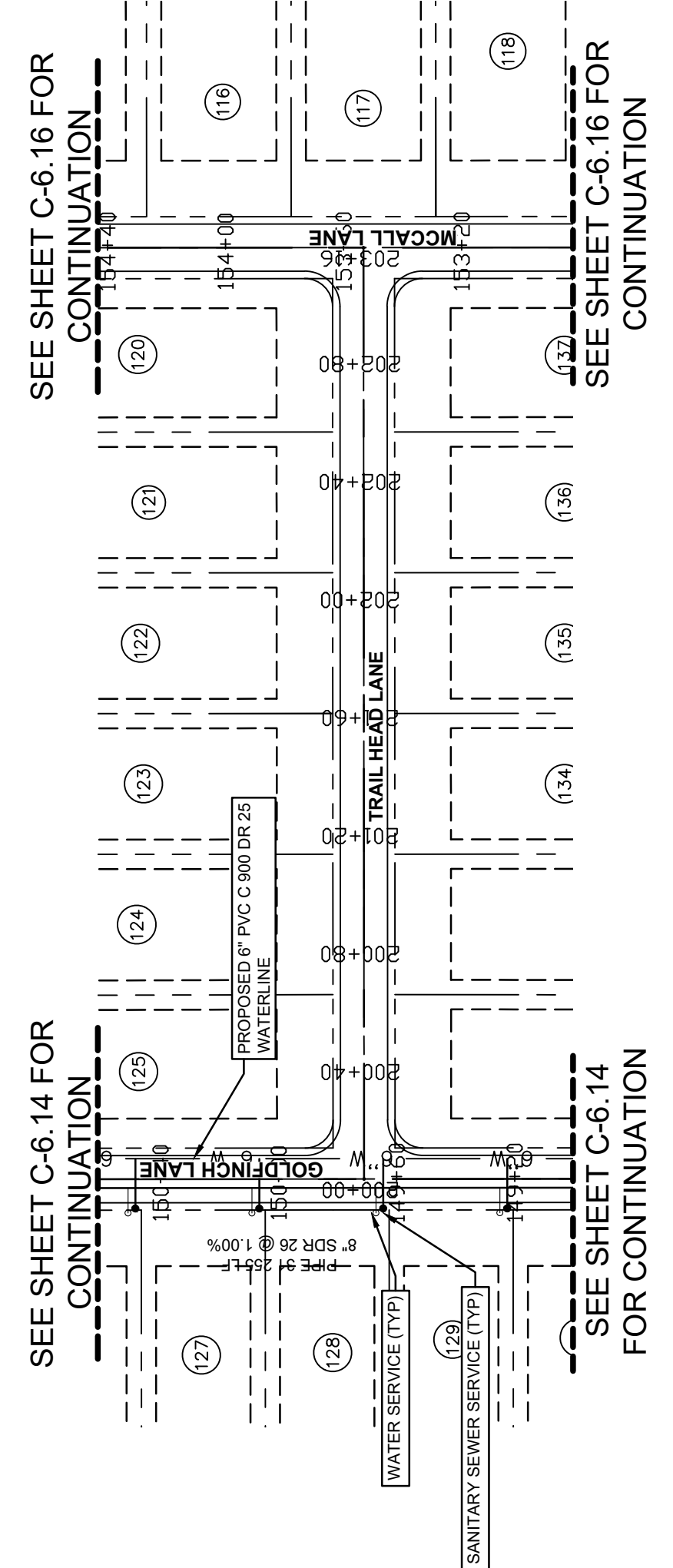
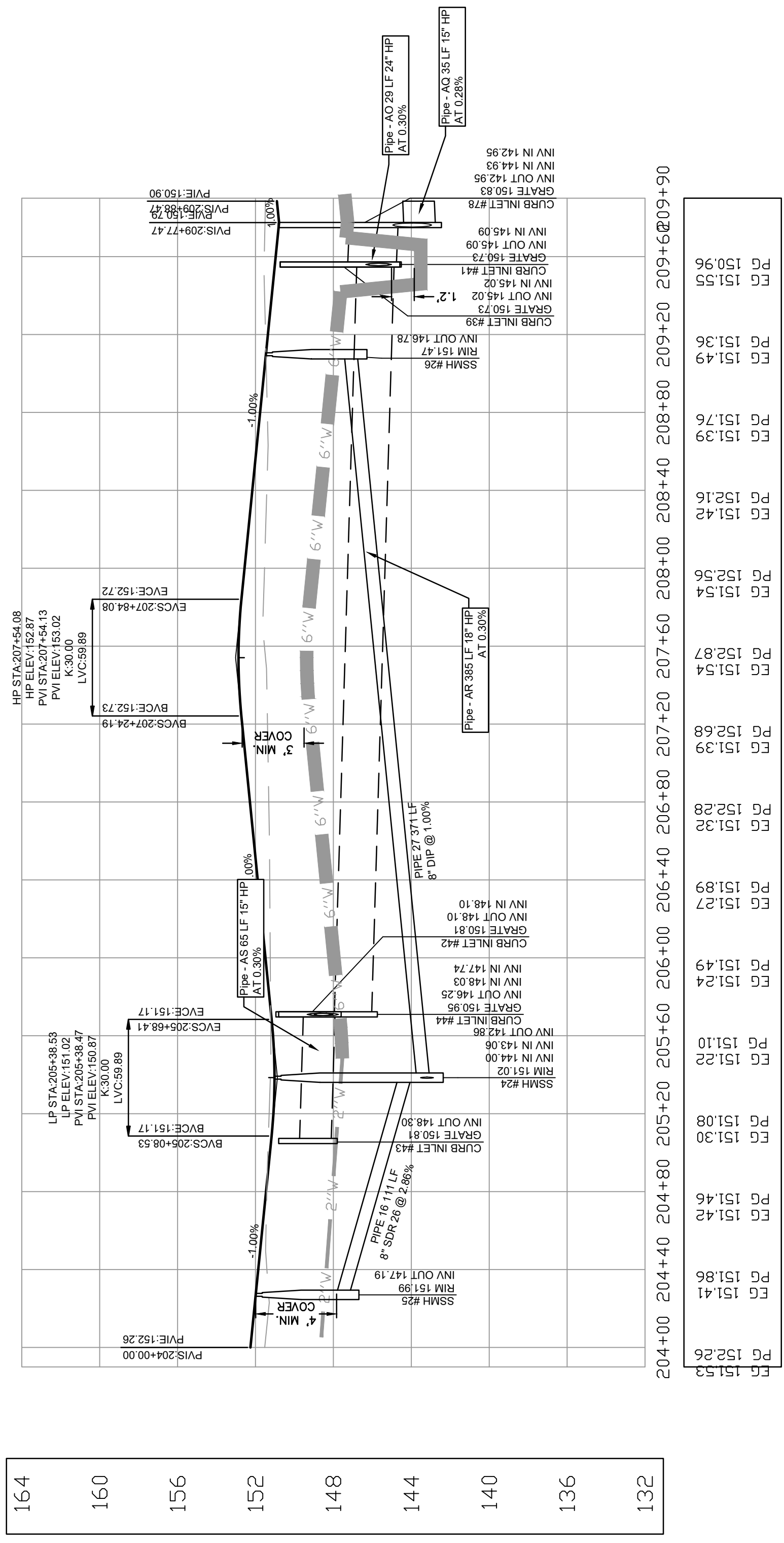
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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. **C-6.121**

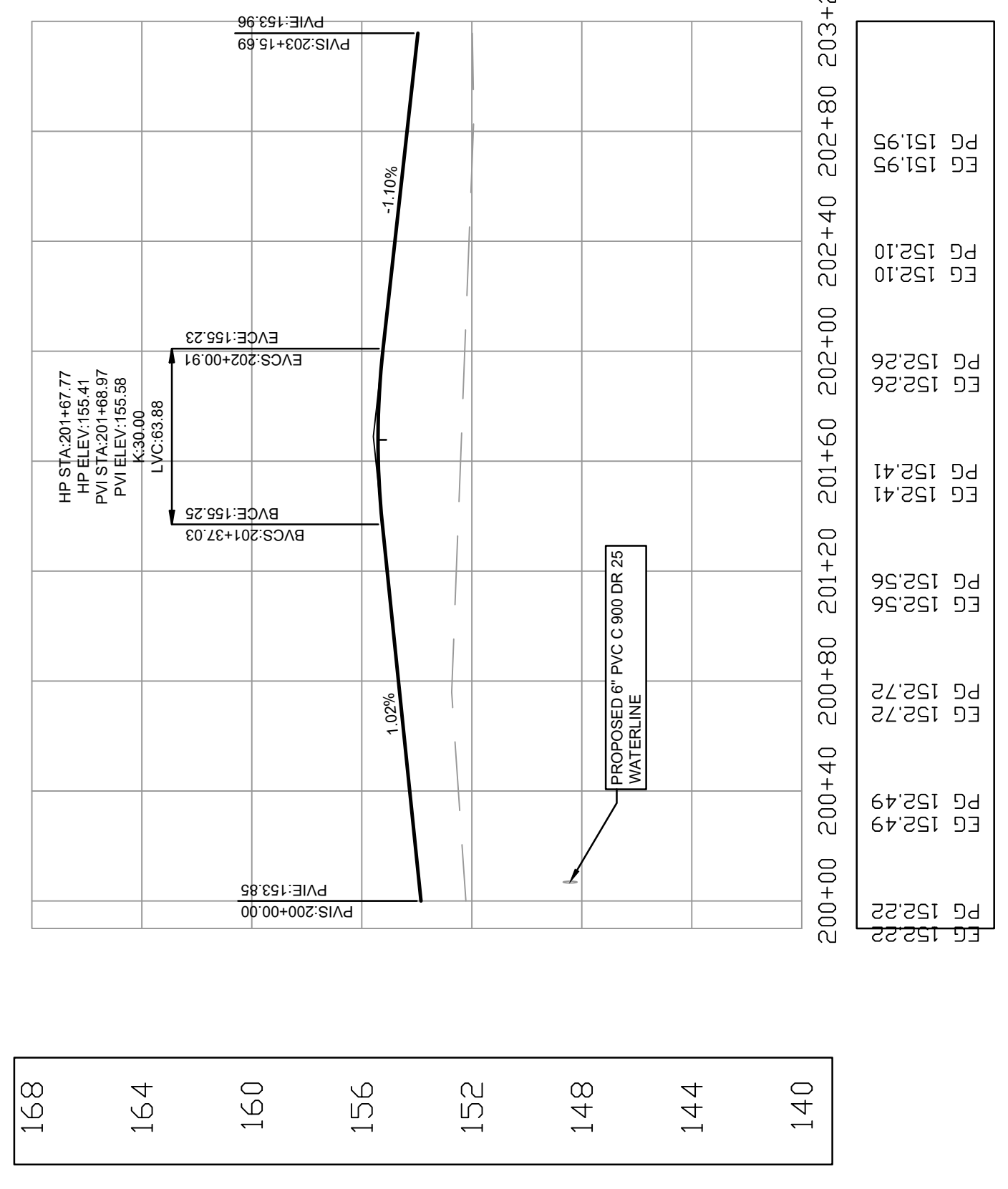
PRELIMINARY PLANS NOT FOR REVIEW



BLUESTEM STREET
50' PUBLIC R/W
PLAN & PROFILE
 SCALE: 1"=50' H.



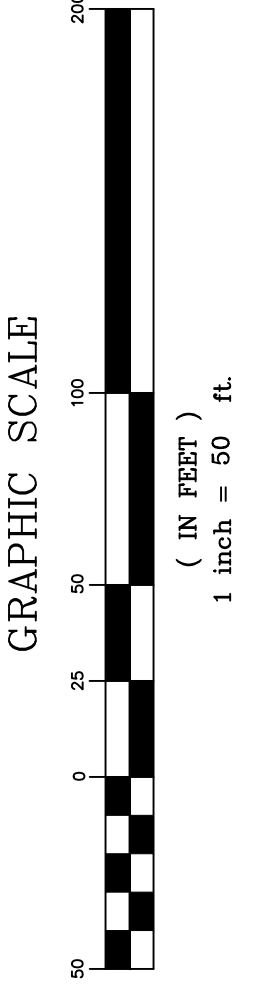
TRAIL HEAD LANE
21' PRIVATE R/W
PLAN & PROFILE
 SCALE: 1"=50' H.



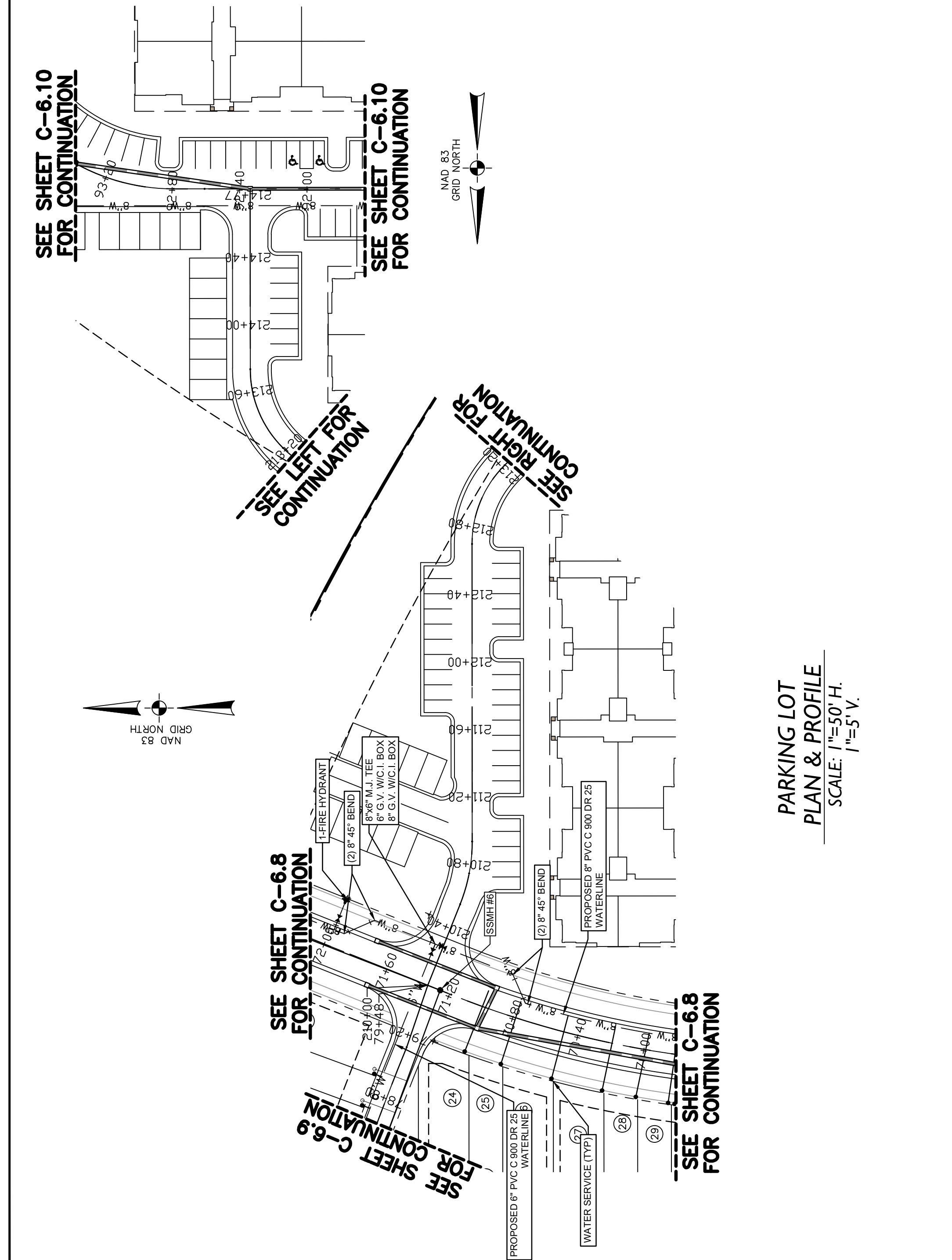
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LEDARE LANE PLAN AND PROFILE
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

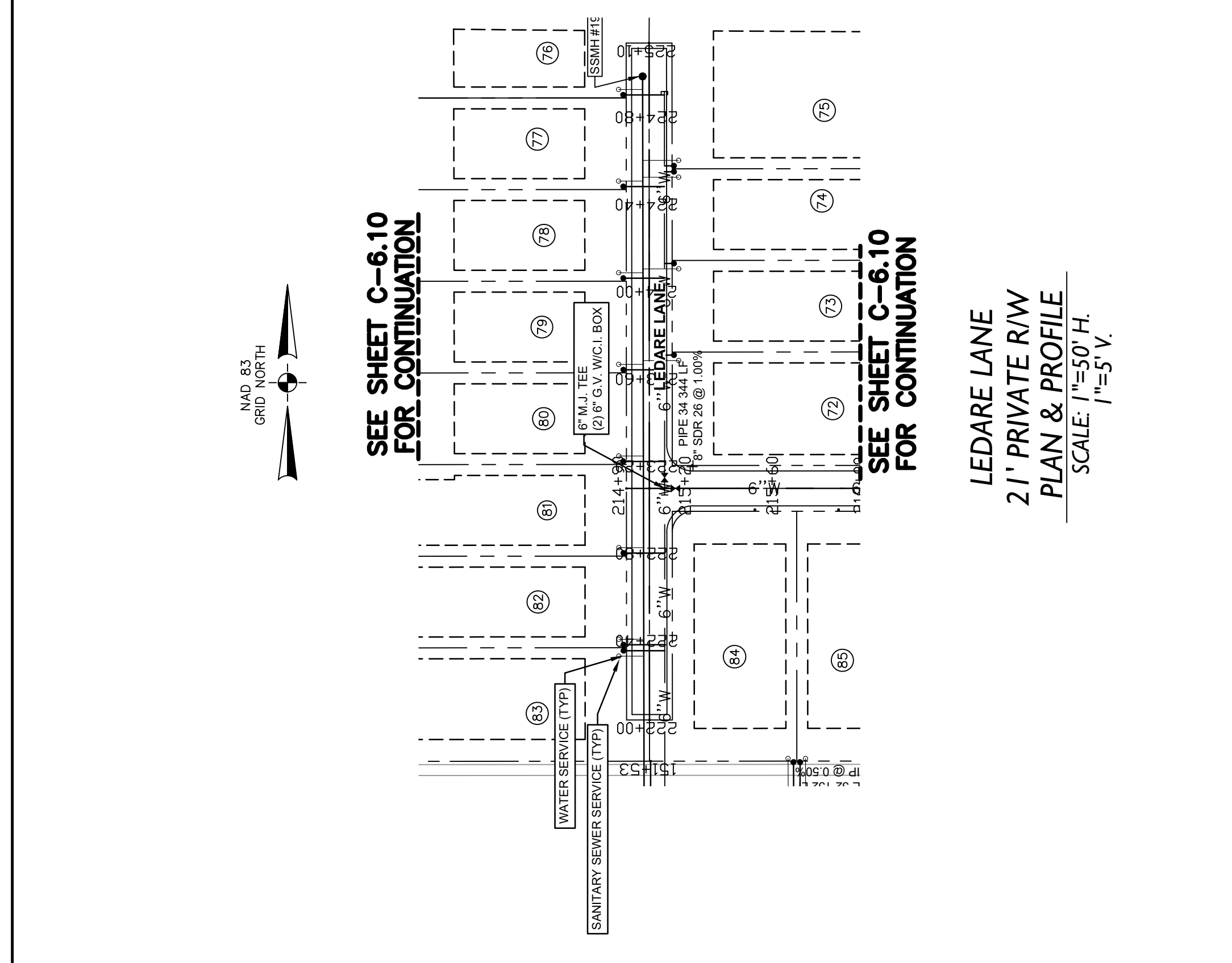
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Checked By:	HMSJ
Job No.:	E-9916



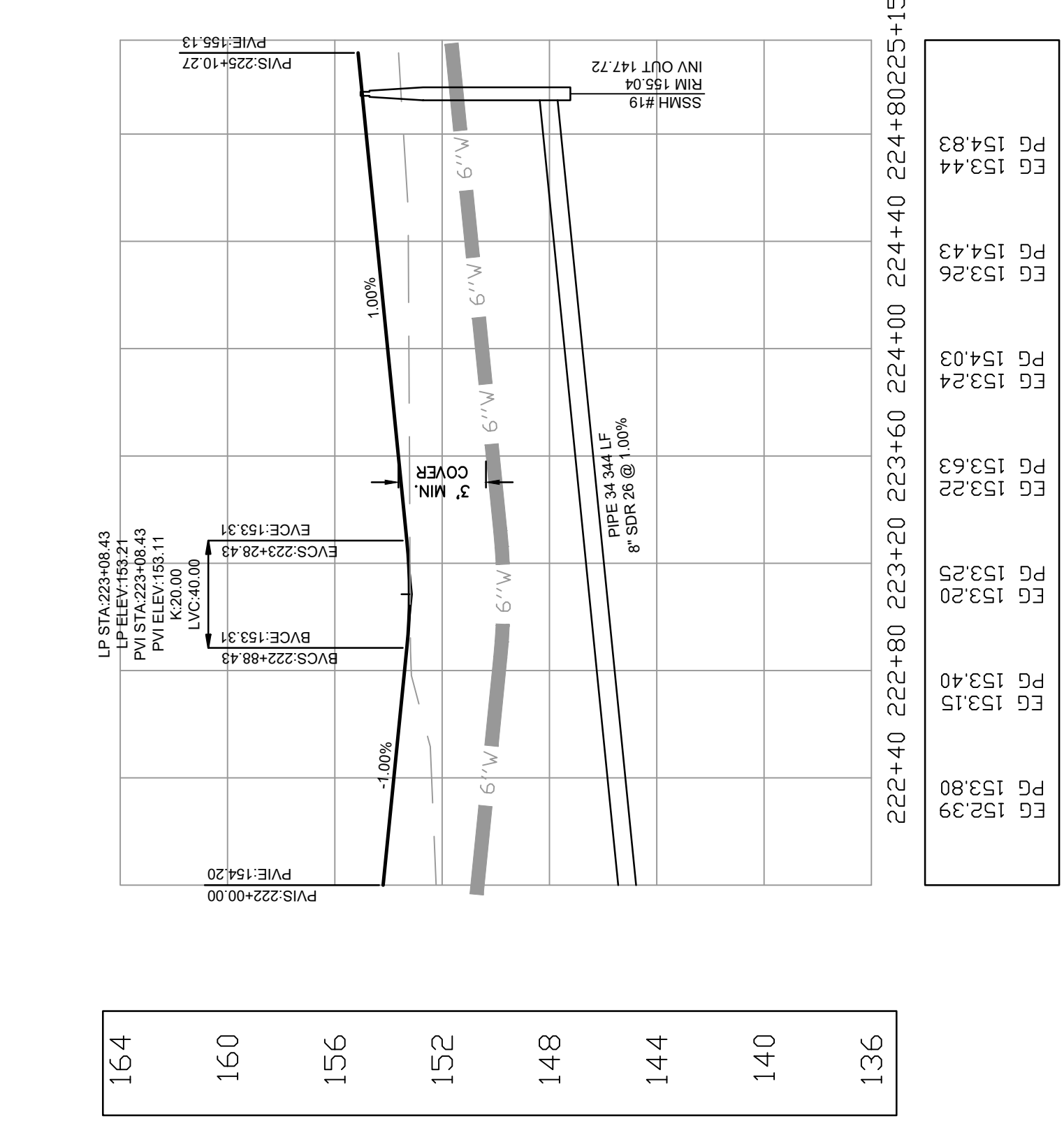
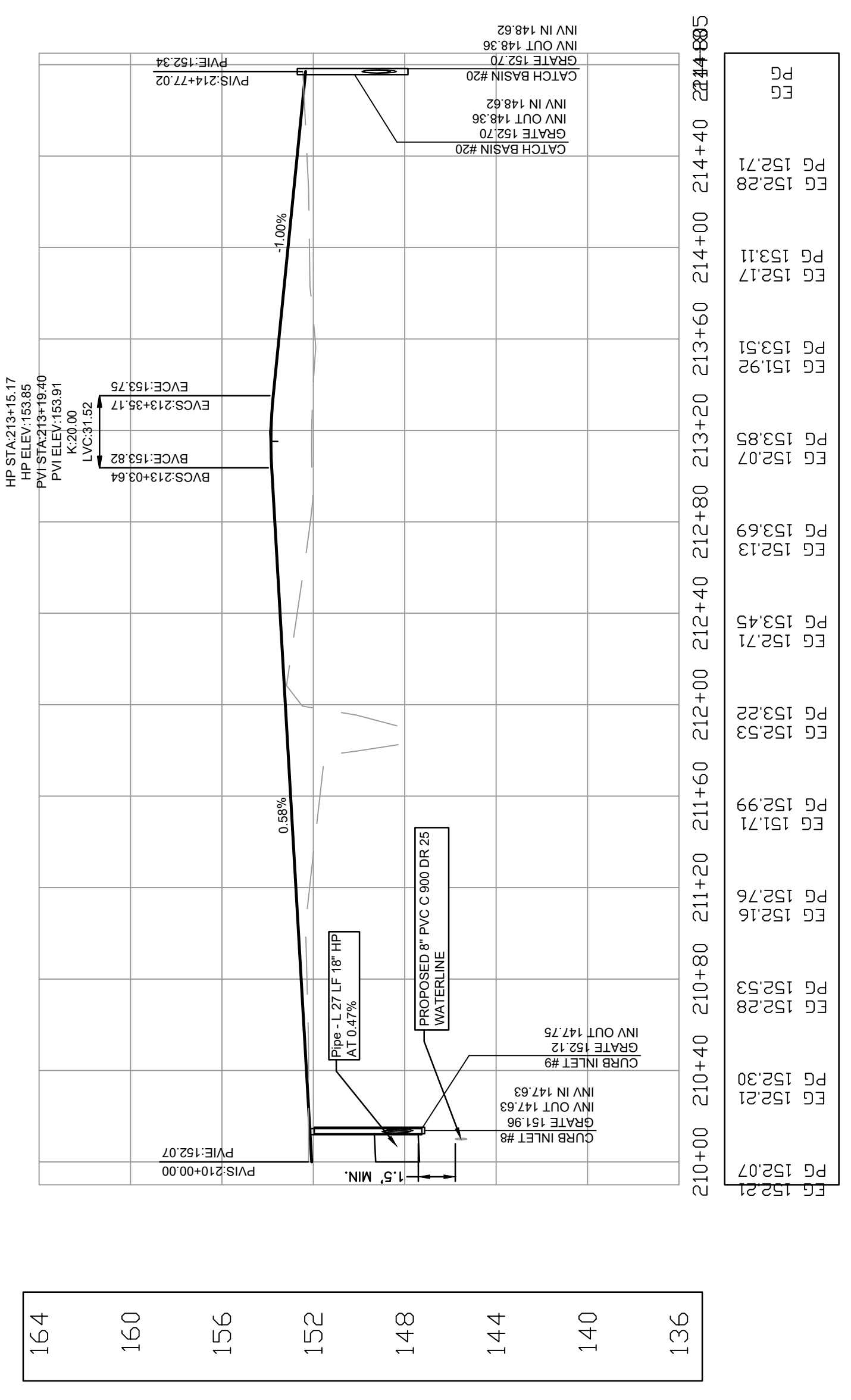
PRELIMINARY PLANS NOT FOR REVIEW

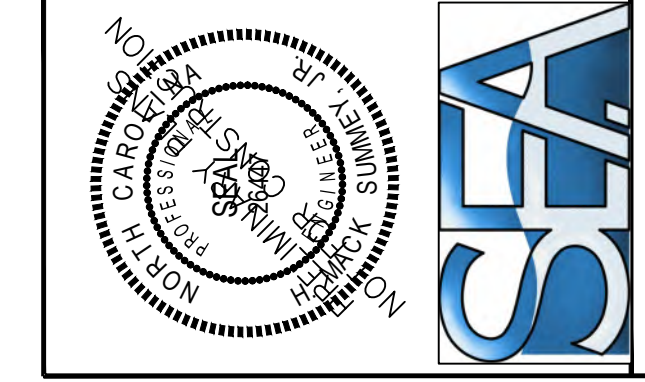


PARKING LOT
PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.



LEDARE LANE
21' PRIVATE R/W
PLAN & PROFILE
 SCALE: 1"=50' H.
 1"=5' V.





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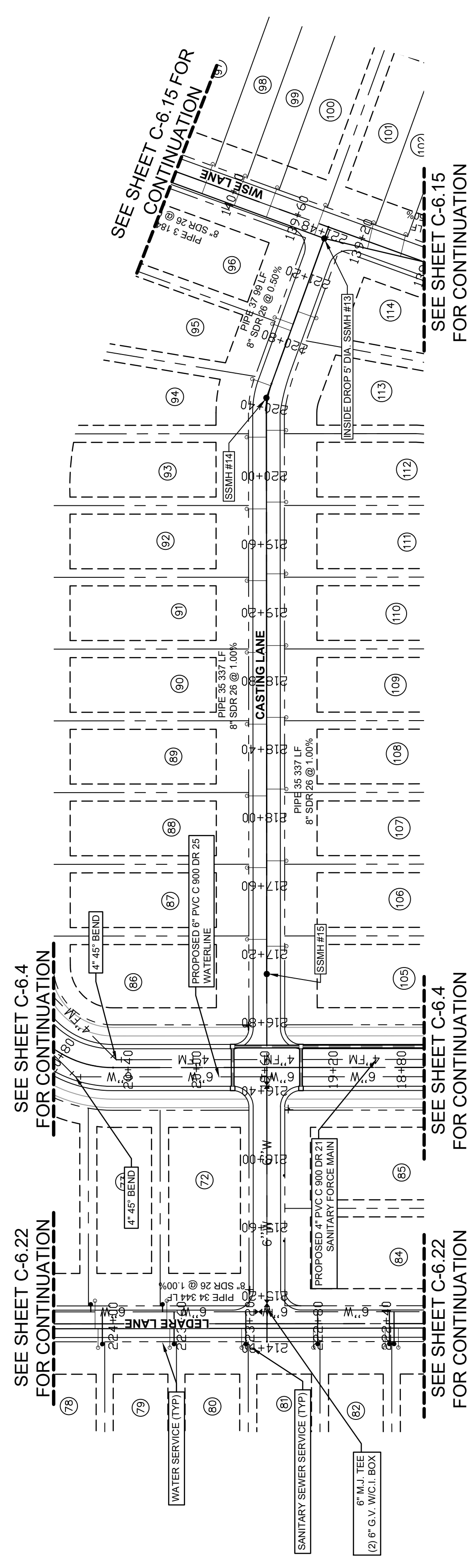
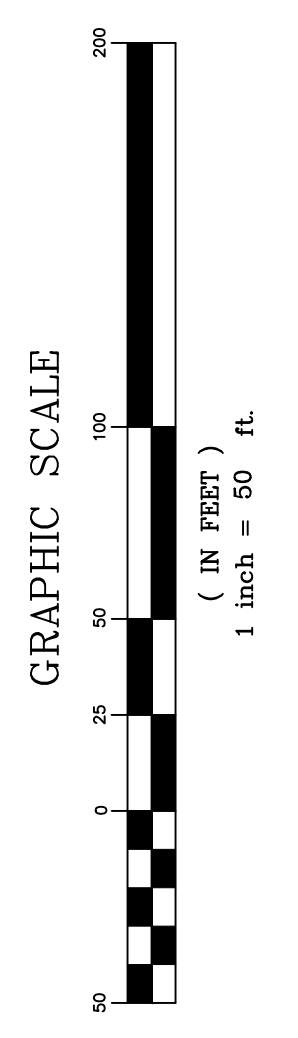
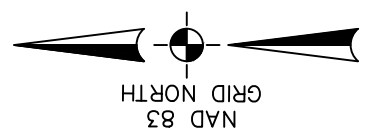
No.	Date:	Description:	By:

CASTING LANE PLAN AND PROFILE
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

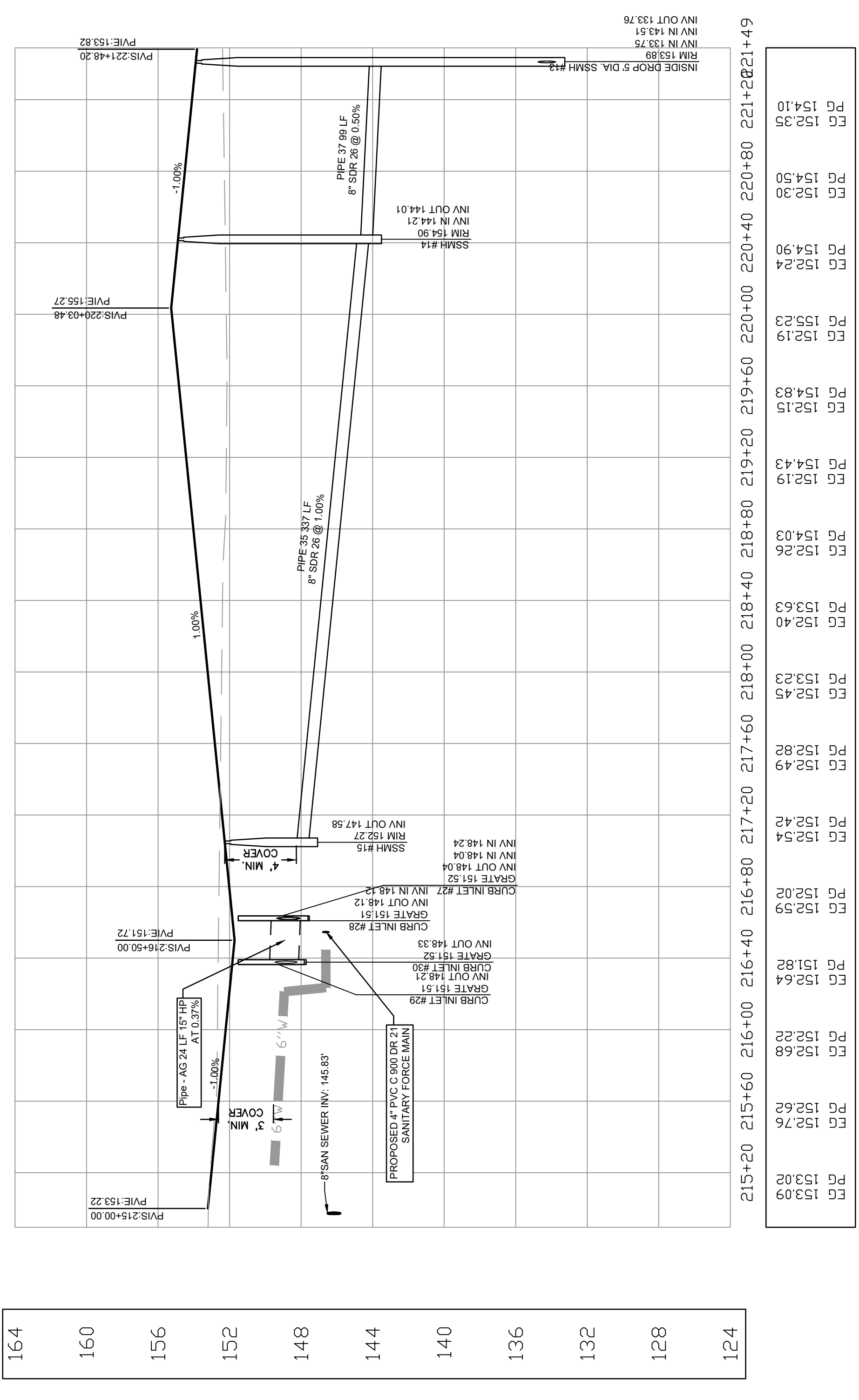
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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. **C-6.22**

PRELIMINARY PLANS NOT FOR REVIEW



**CASTING LANE
 21' PRIVATE R/W
 PLAN & PROFILE**
 SCALE: H=50' H.
 V=5' V.

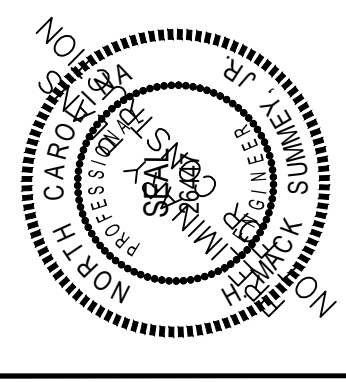


Job No.:	E-9916
Checked By:	HMSJ
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Date:	MONTH YEAR
Scale:	AS NOTED

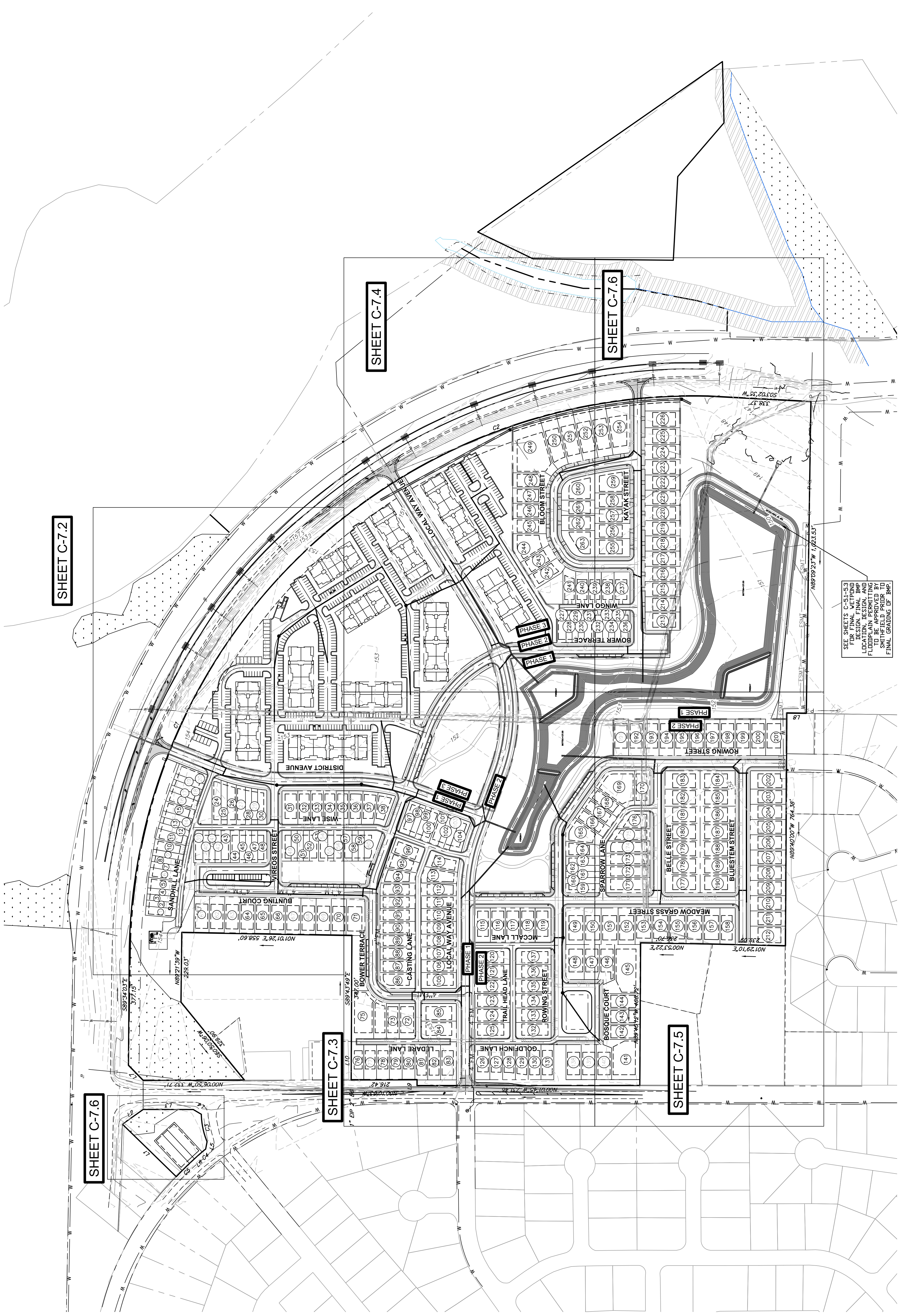
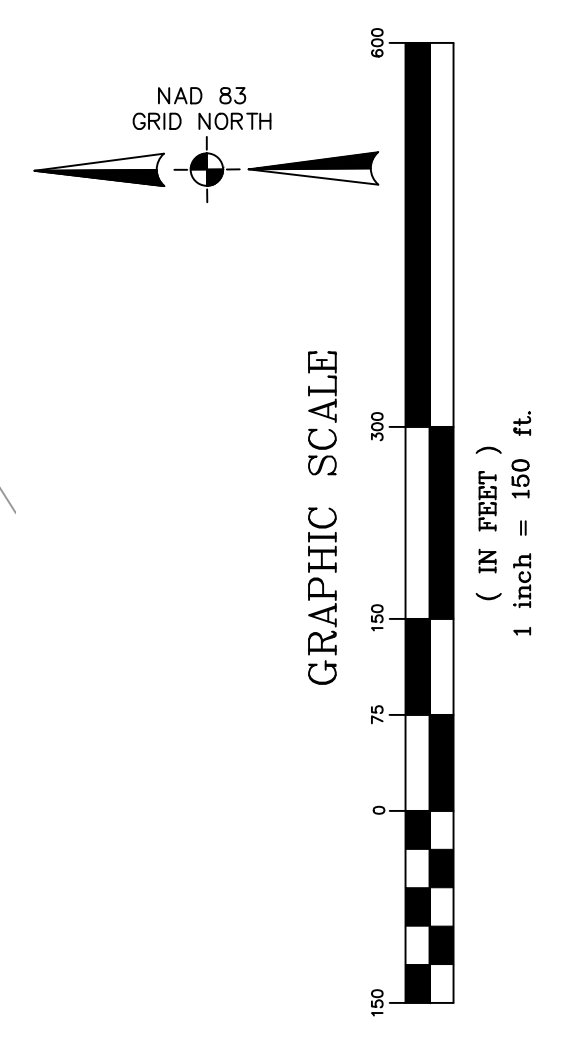
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OVERALL GRADING AND DRAINAGE
LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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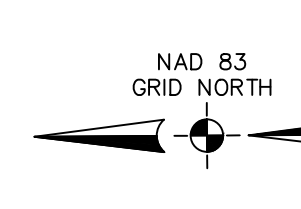
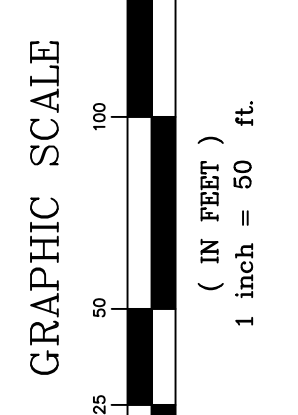


PRELIMINARY PLANS NOT FOR REVIEW



SEE SHEETS C-7.1, C-7.2, C-7.3, C-7.4, C-7.5, C-7.6 FOR THE LOCATION, DESIGN AND FLOODING OF ALL BMP'S. ALL BMP'S TO BE APPROVED BY SMITHFIELD PRIOR TO FINAL GRADING OF BMP.

GRADING AND DRAINAGE NOTE:
 SEE SHEET C-7.1 THRU C-7.6 FOR GRADING AND STORM CONVEYANCE PLANS



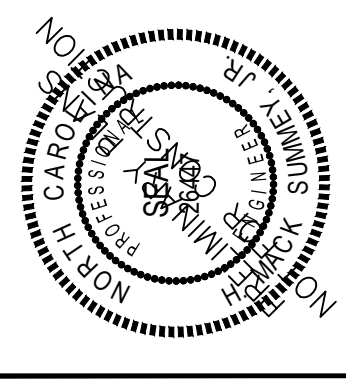
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Date:	MONTH YEAR
Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

Sheet No. C-7.3

GRADING AND DRAINAGE 2
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:	By:

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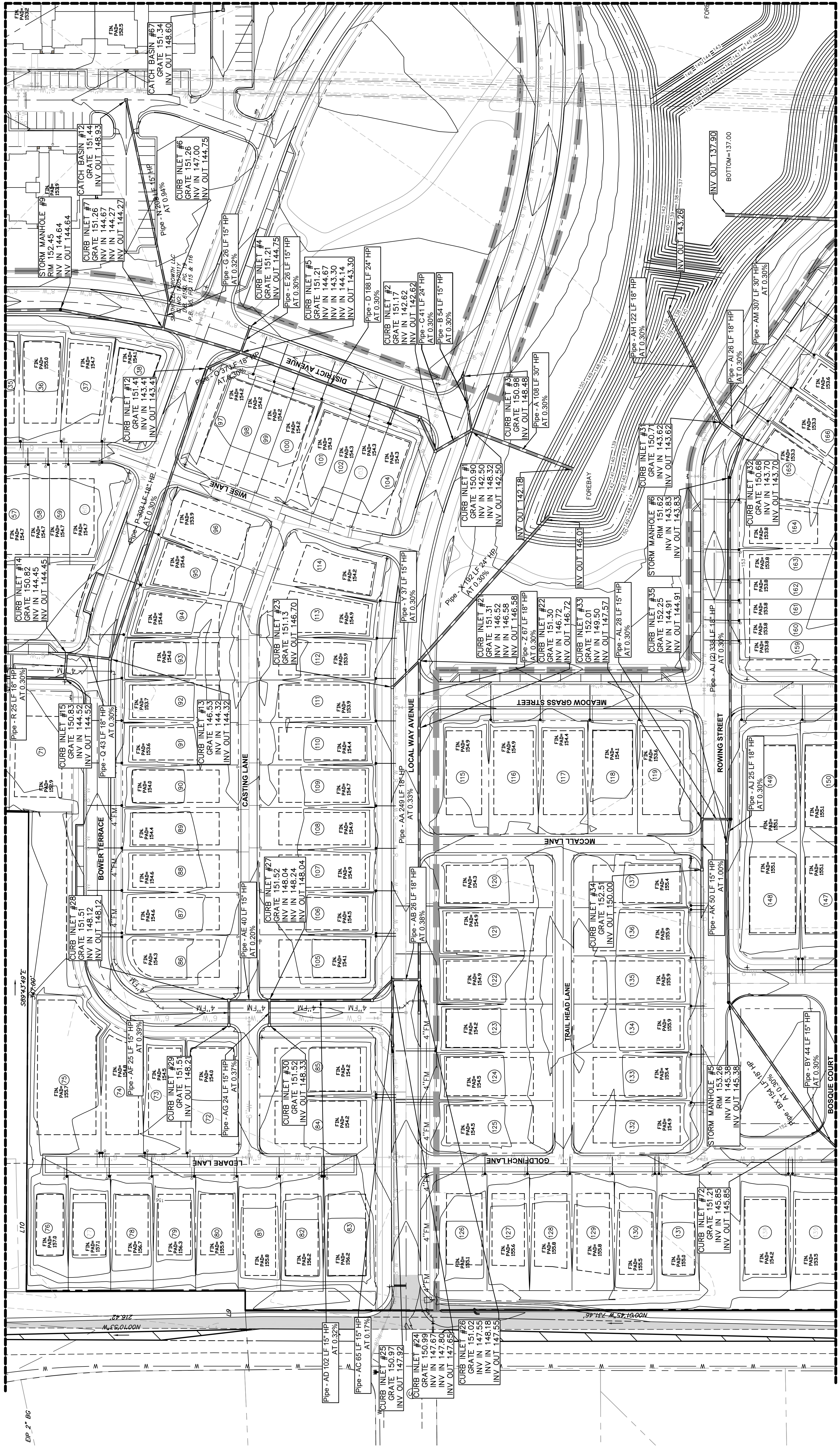


PRELIMINARY PLANS NOT FOR REVIEW

SEE SHEET C-7.4 FOR CONTINUATION

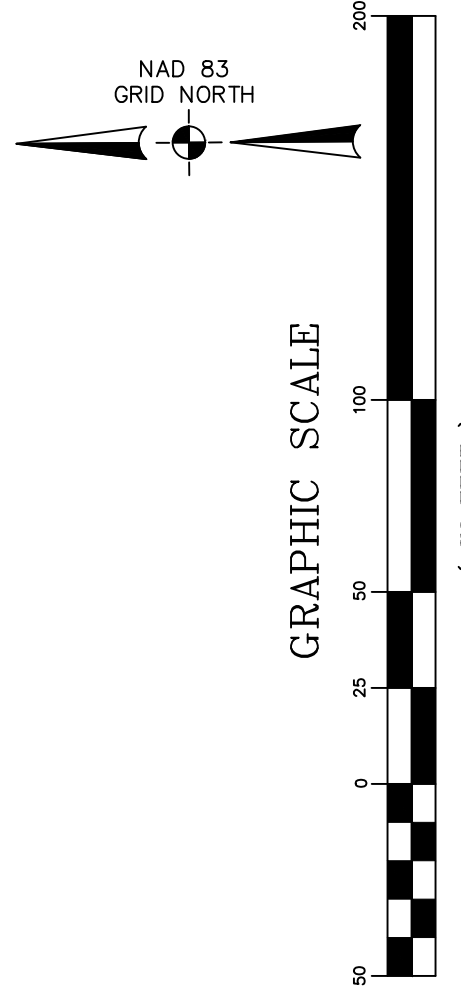
SEE SHEET C-7.2 FOR CONTINUATION

SEE SHEET C-7.5 FOR CONTINUATION





GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

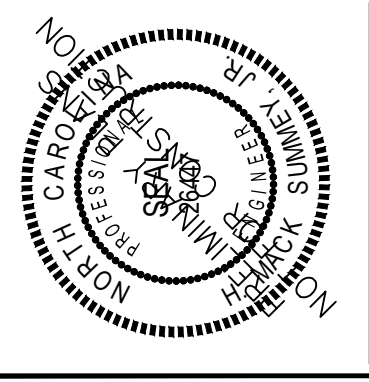


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Drawn By:	CM/JM
Checked By:	HMSJ
Job No.:	E-9916

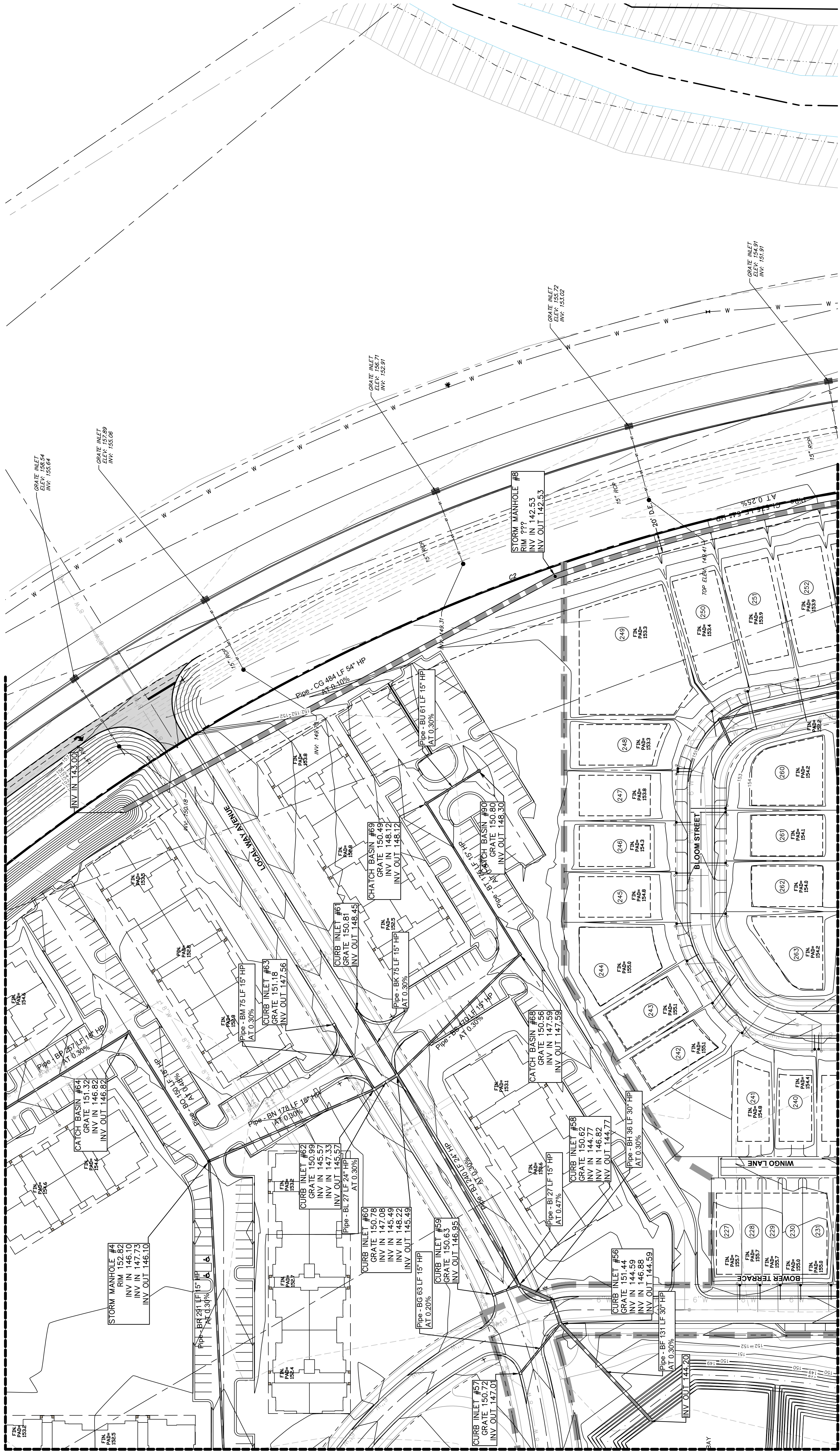
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GRADING AND DRAINAGE 3
LOCAL 70 RESIDENTIAL DEVELOPMENT
HWY 70
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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Engineering - Consulting - Surveying
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PRELIMINARY PLANS NOT FOR REVIEW



SEE SHEET C-7.2 FOR CONTINUATION

SEE SHEET C-7.3 FOR CONTINUATION

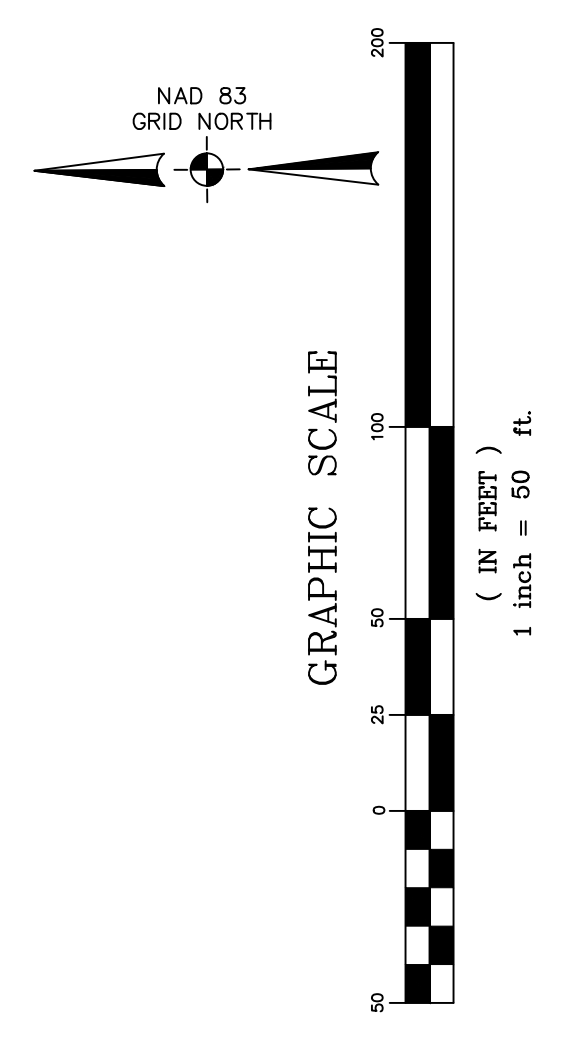
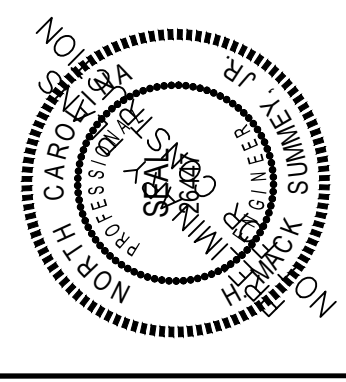
SEE SHEET C-7.6 FOR CONTINUATION

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Checked By:	HMSJ
Job No.:	E-9916

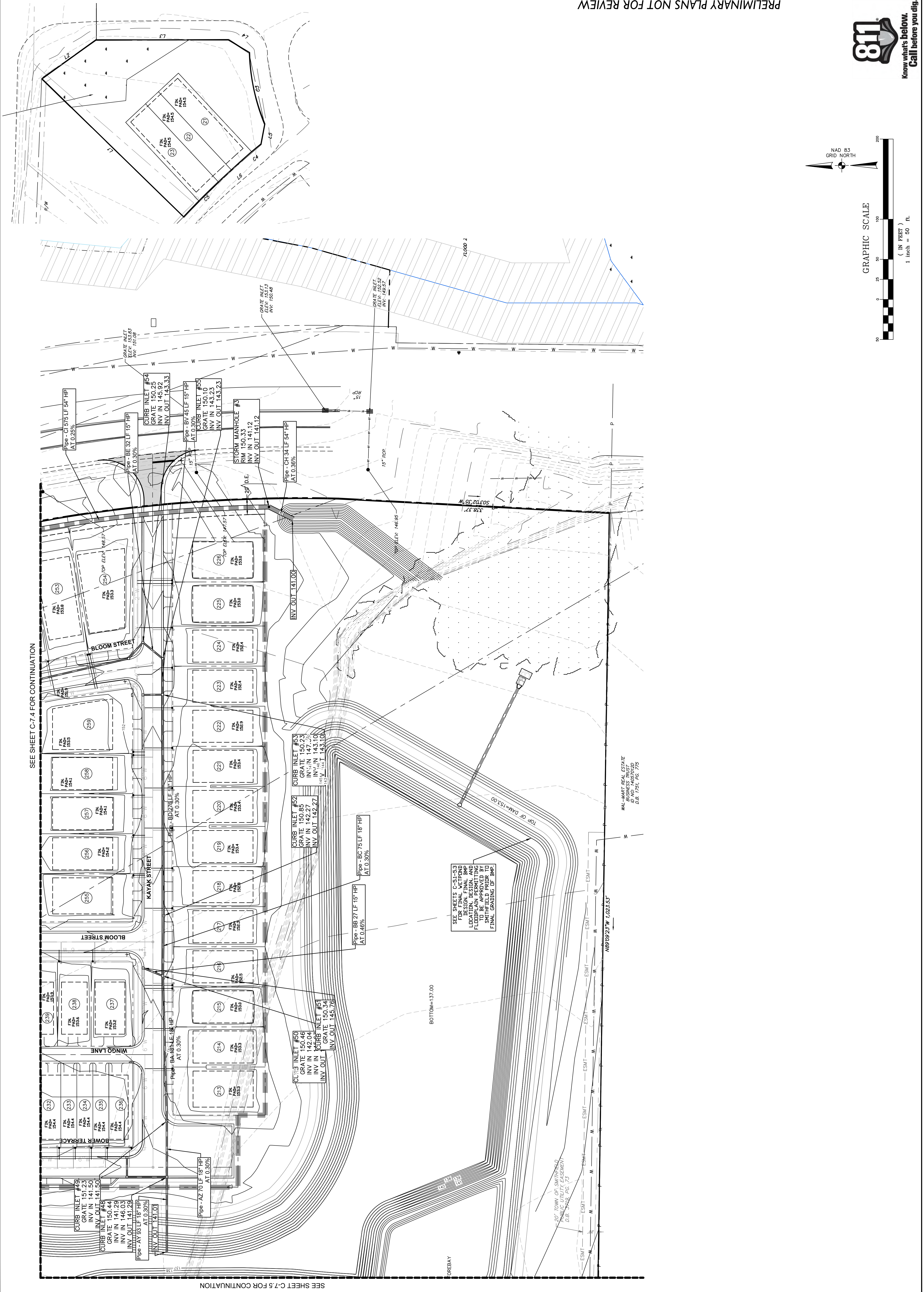
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GRADING AND DRAINAGE 5
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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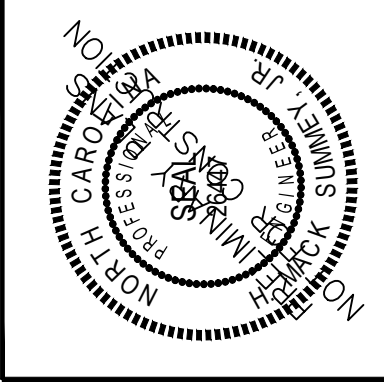


PRELIMINARY PLANS NOT FOR REVIEW





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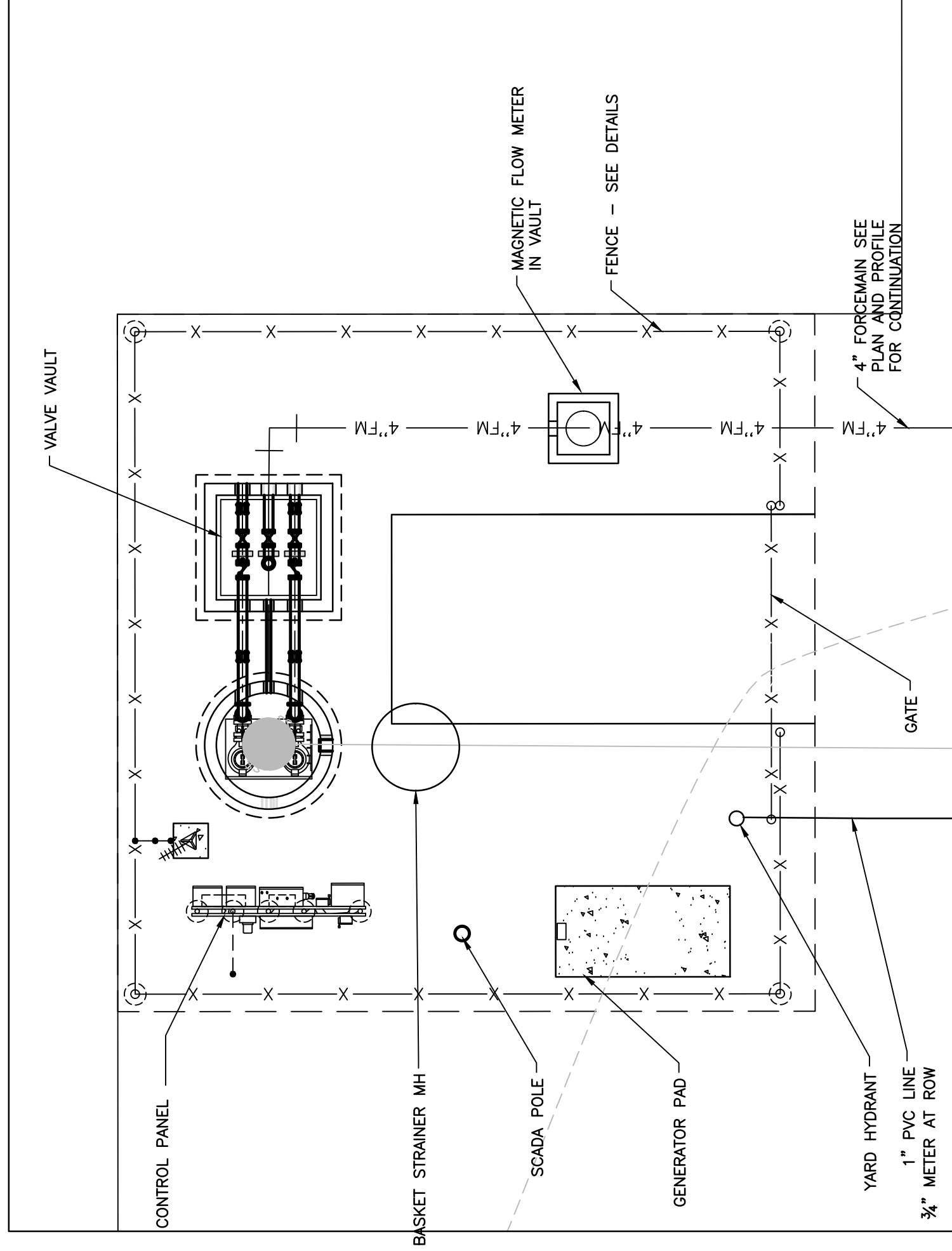


SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
 HWY 70
LOCAL 70 RESIDENTIAL DEVELOPMENT
PUMP STATION #1

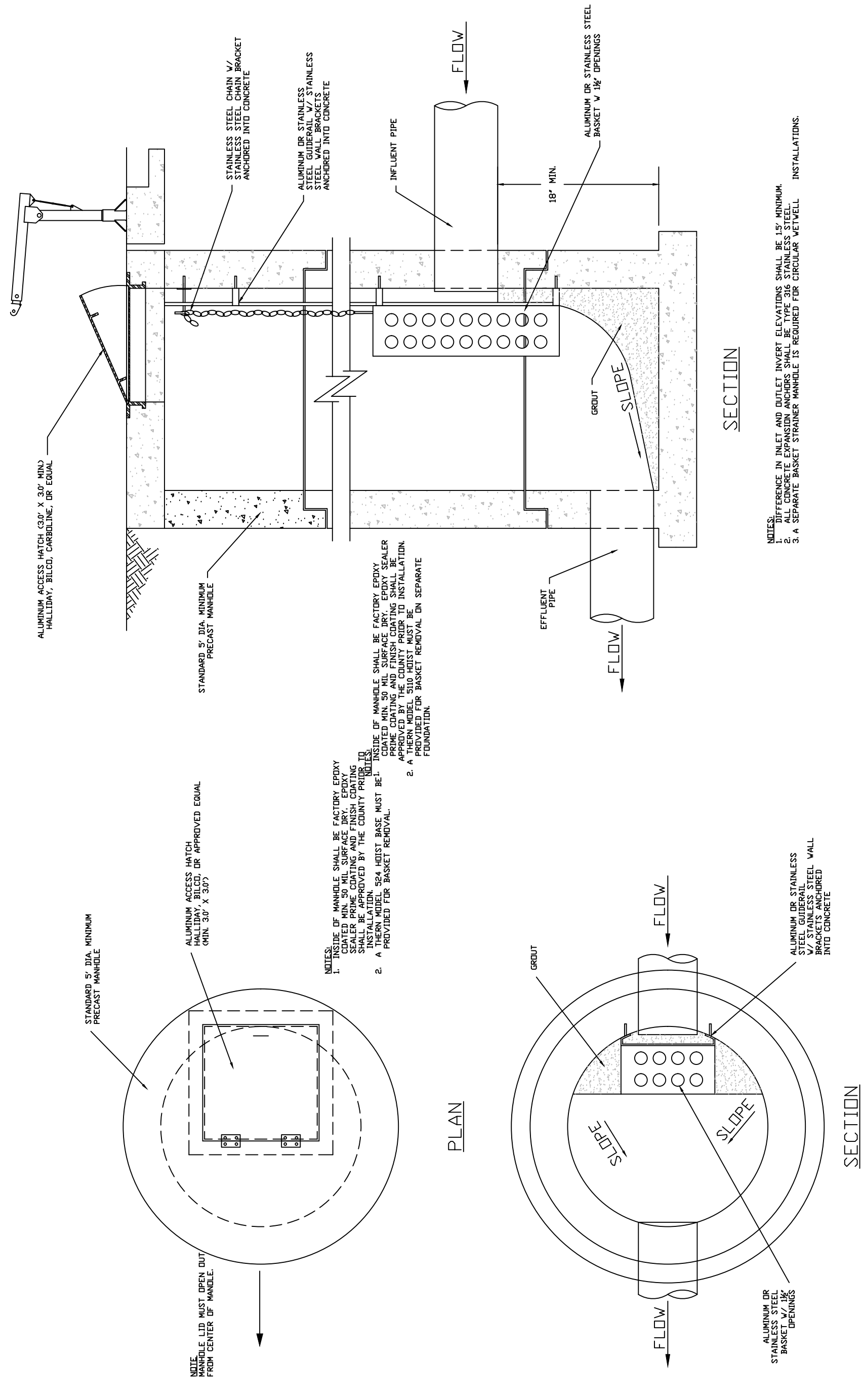
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 Drawn By: CM/JM
 Checked By: HMSJ
 Job No: E-9316

Sheet No: C-81

PRELIMINARY PLANS NOT FOR REVIEW

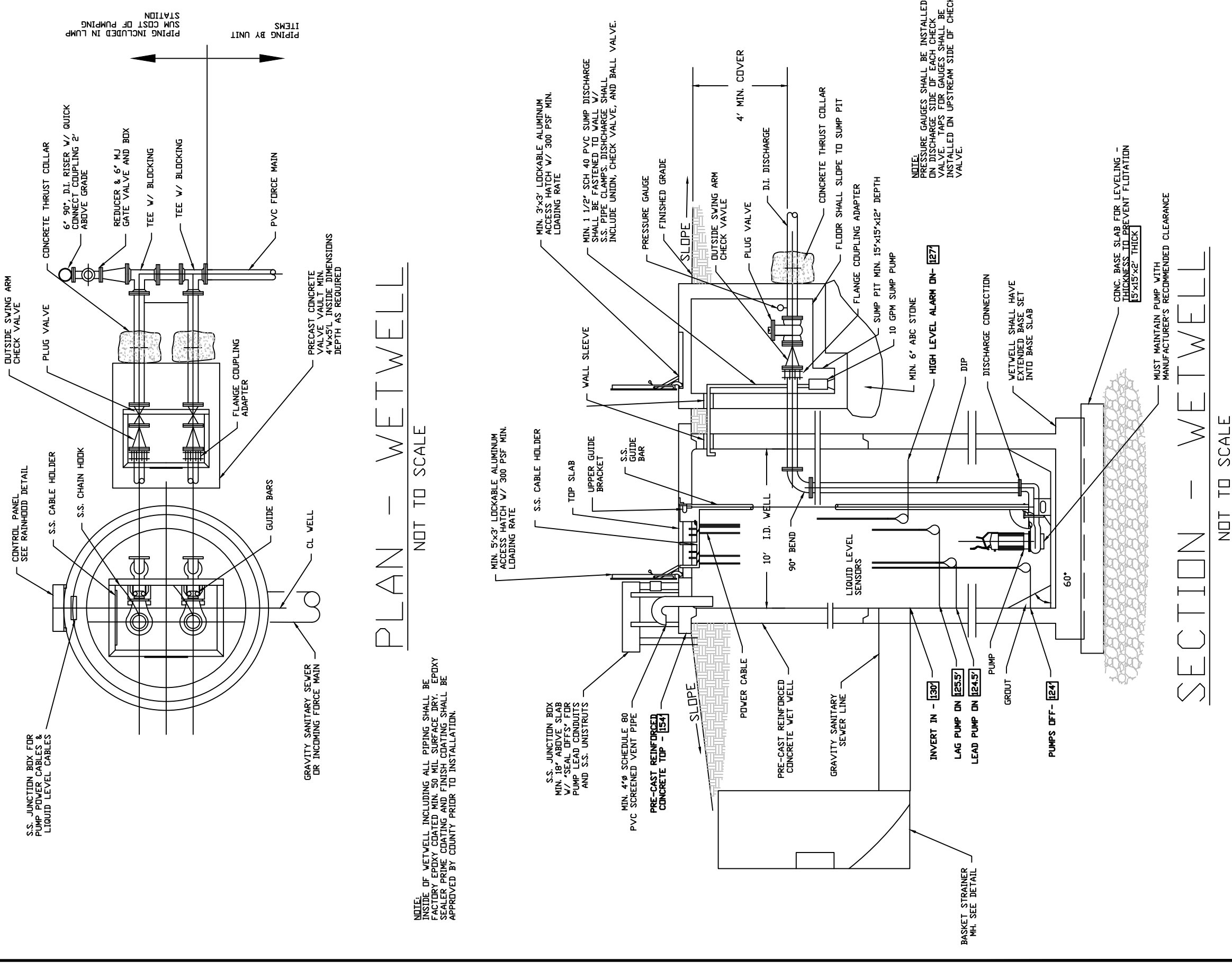


PUMP STATION LAYOUT
 NOT TO SCALE



BASKET STRAINER MANHOLE
 NOT TO SCALE

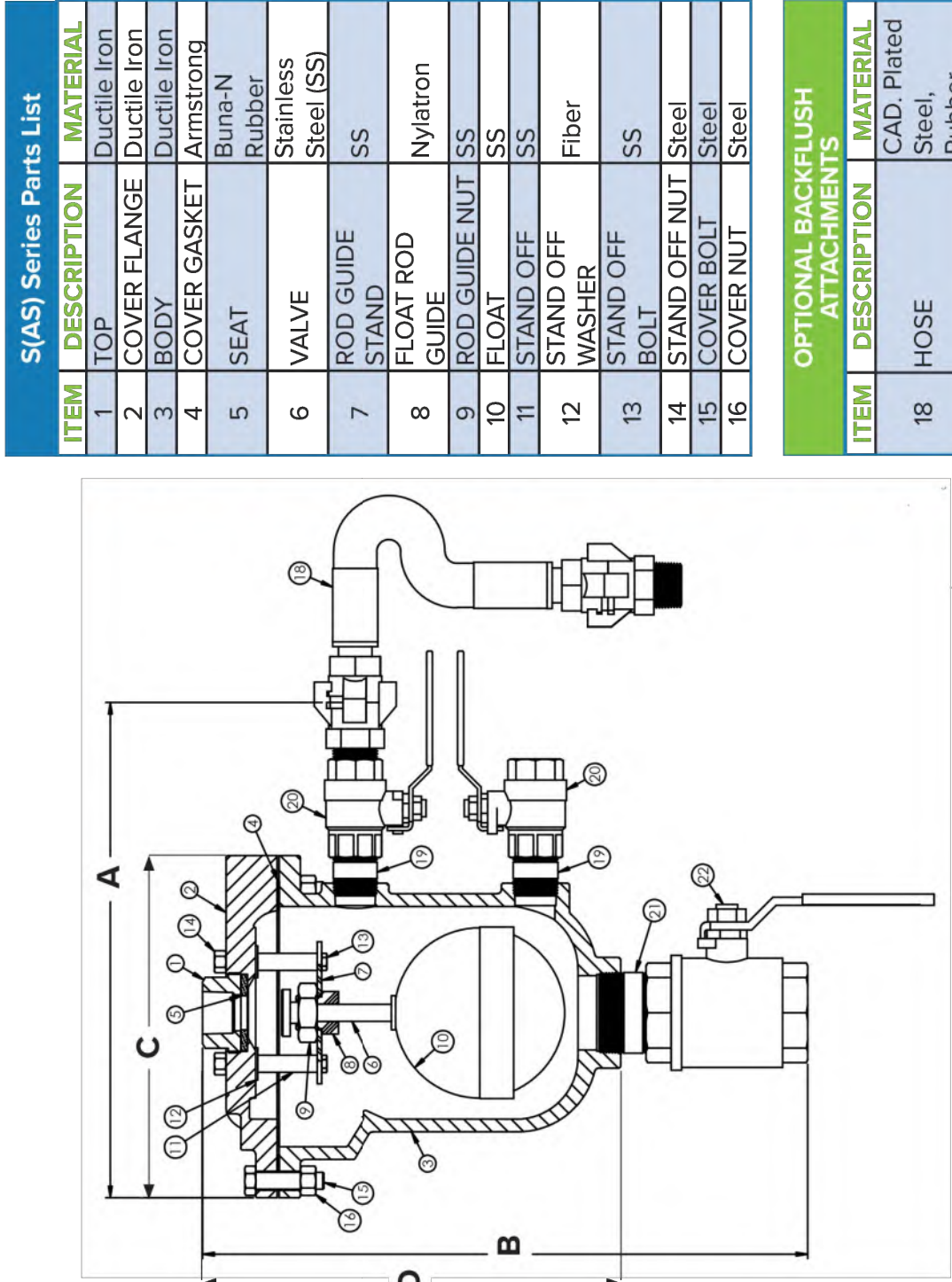
BASKET STRAINER MANHOLE
 NOT TO SCALE



PLAN - WETWELL
 NOT TO SCALE

SECTION - WETWELL
 NOT TO SCALE

S(A)S) Series Short Body Air & Vacuum Sewer Valve, Sizes 1"-2"



ITEM	DESCRIPTION	MATERIAL
1	TOP	Ductile Iron
2	COVER FLANGE	Ductile Iron
3	BODY	Ductile Iron
4	COVER GASKET	Armstrong
5	SEAT	Buna-N
6	VALVE	Rubber
7	ROD GUIDE STAND	Stainless Steel (SS)
8	FLOAT ROD GUIDE	Nylon
9	ROD GUIDE NUT	SS
10	FLOAT	SS
11	STAND OFF	SS
12	STAND OFF WASHER	Fiber
13	STAND OFF BOLT	SS
14	STAND OFF NUT	Steel
15	COVER BOLT	Steel
16	COVER NUT	Steel

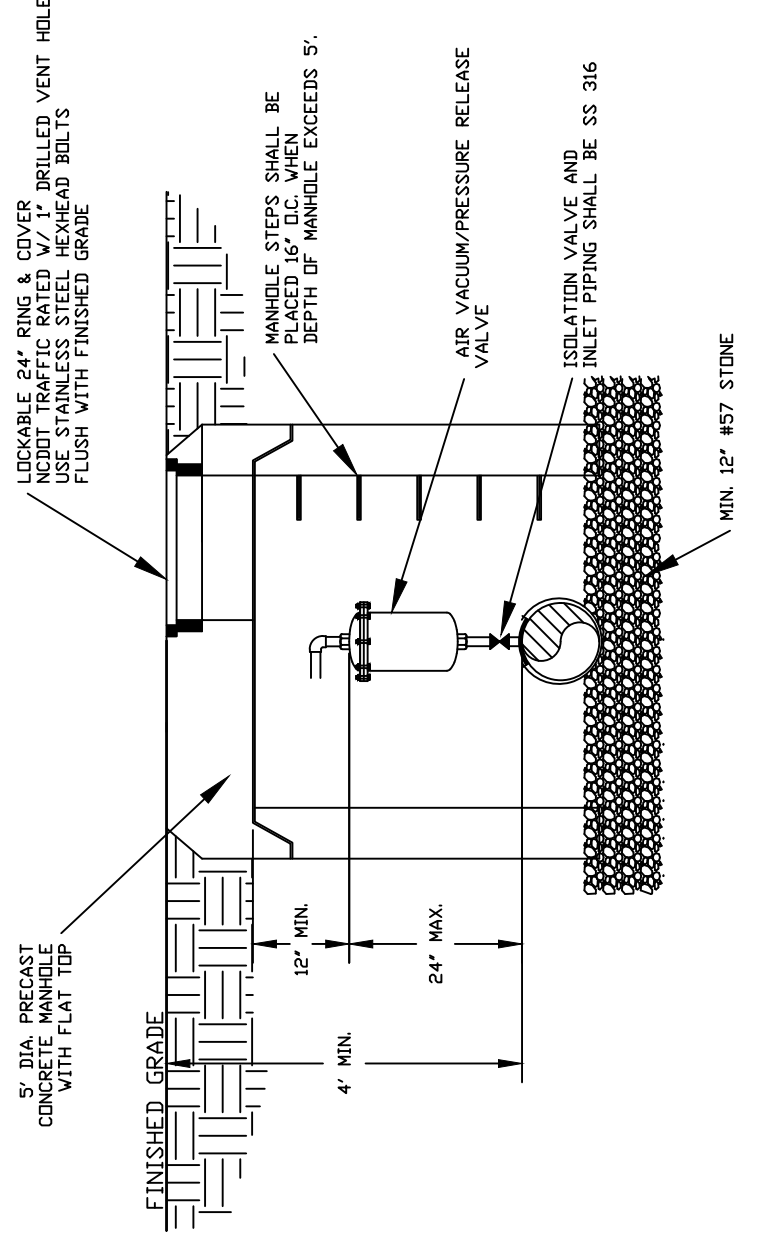
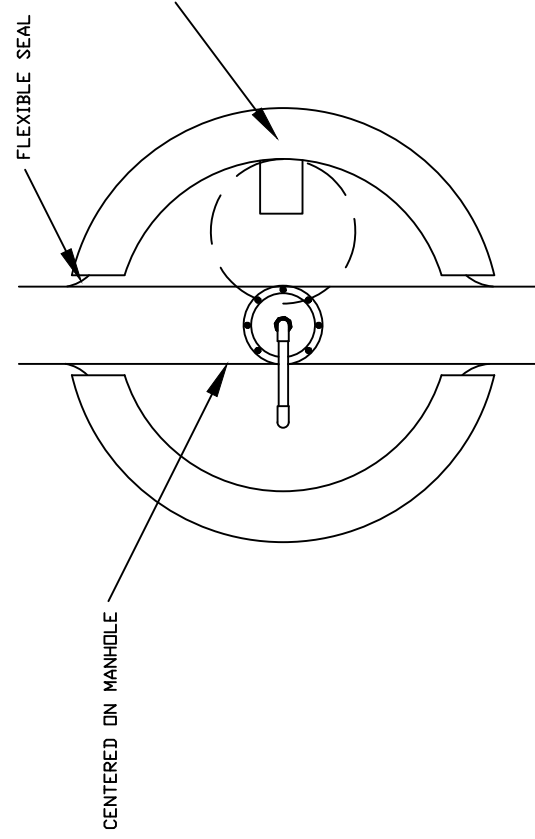
S(A)S) & S(ASB) Series Dimensional Data						
ALL DIMENSIONS ARE IN INCHES. CENTER TO CENTER DIMENSIONS ALSO AVAILABLE.						
MODEL	INLET	OUTLET	HT. (D)	WD. (C)	WT. (lbs.) (A)	WT. (lbs.) (B)
S10AS	2" NPT	1" NPT	12.31	10.06	10.06	47
S10ASB	2" NPT	1" NPT	17.81	10.06	14.56	62
S20AS	2" NPT	2" NPT	12.75	10.06	10.06	47
S20ASB	2" NPT	2" NPT	18.25	10.06	14.56	62

Optional Backflush Attachment
includes an isolation ball valve, two 1" blow-off valves and five feet of 1" hose with quick disconnect attachments.

Crispin's S(A) and S(A)S) Series Valves are available in pressure ratings of 2-40psi, 20-150psi or 151-300psi.

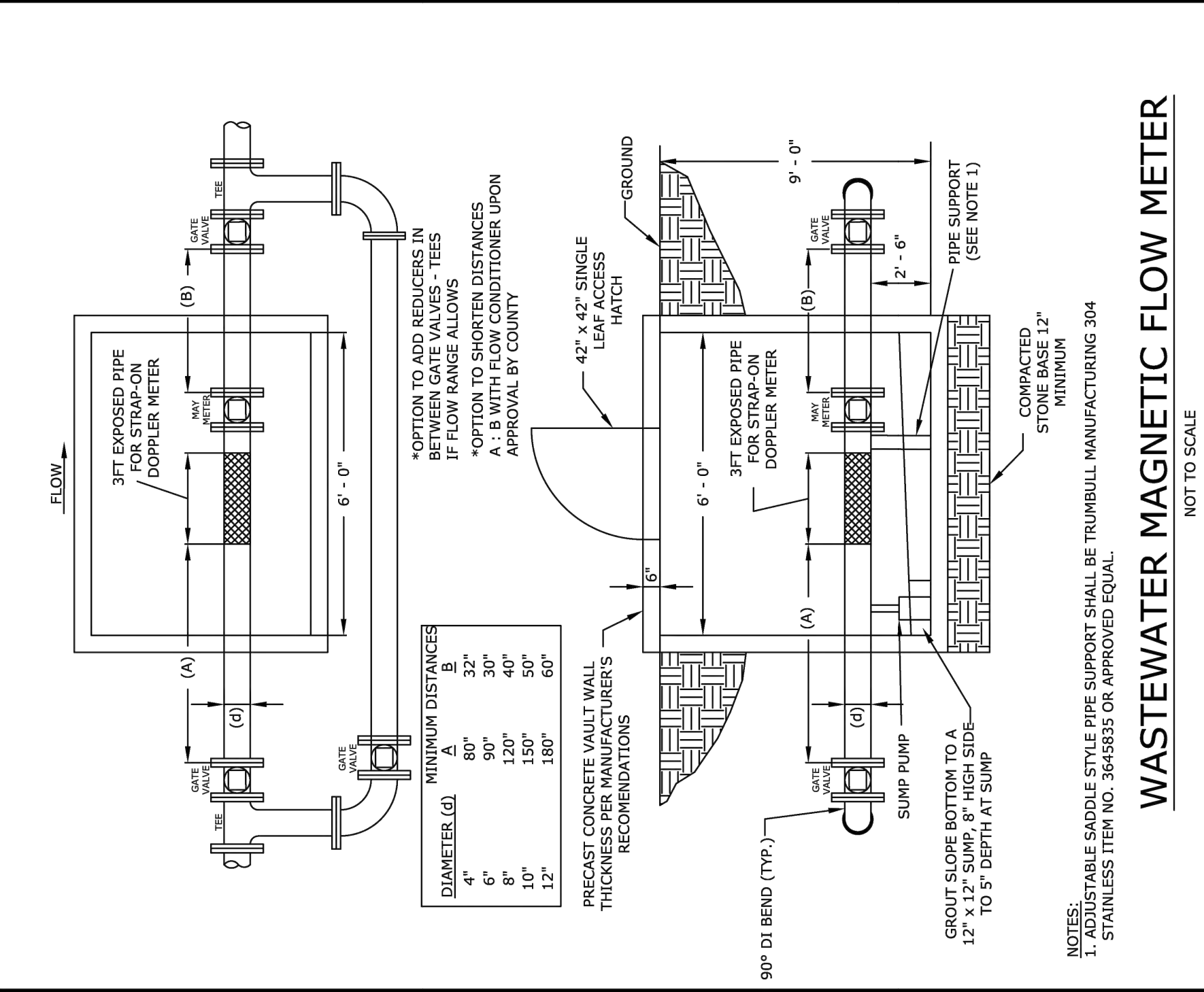
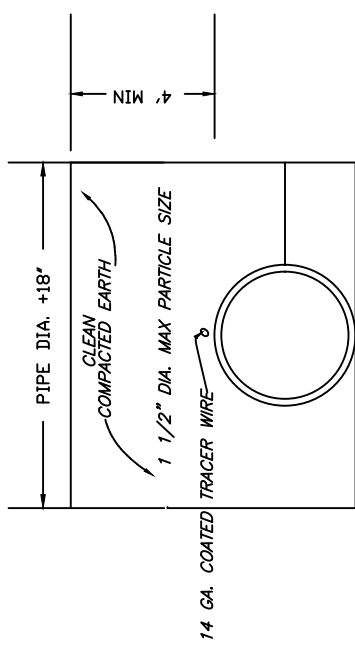
Materials and prices are subject to change without notice. Metric and special class flange ratings are available.

Crispin Valve, 600 Fowler Ave., Berwick, PA 18603 • 1-800-247-VALV
T: (570)752-4524 • F: (570)752-4962 • WWW.CRISPINVALVE.COM • info@crispinvalve.com



STANDARD AIR RELEASE MANHOLE FOR FORCE MAIN

PVC PRESSURE PIPE BACKFILL



WASTEWATER MAGNETIC FLOW METER

NOT TO SCALE

NOTES:
1. ADJUSTABLE SAND/STYLE PIPE SUPPORT SHALL BE TRUMBULL MANUFACTURING 304 STAINLESS STEEL NO. 345555 OR APPROVED EQUAL.

Name	Date		
Drawn By:			
Checked By:			
Approved By:			
Scale:			
Rev.	Description	Date	Int.

SANITARY SEWER STANDARD DETAIL
Wastewater Magnetic Flow Meter

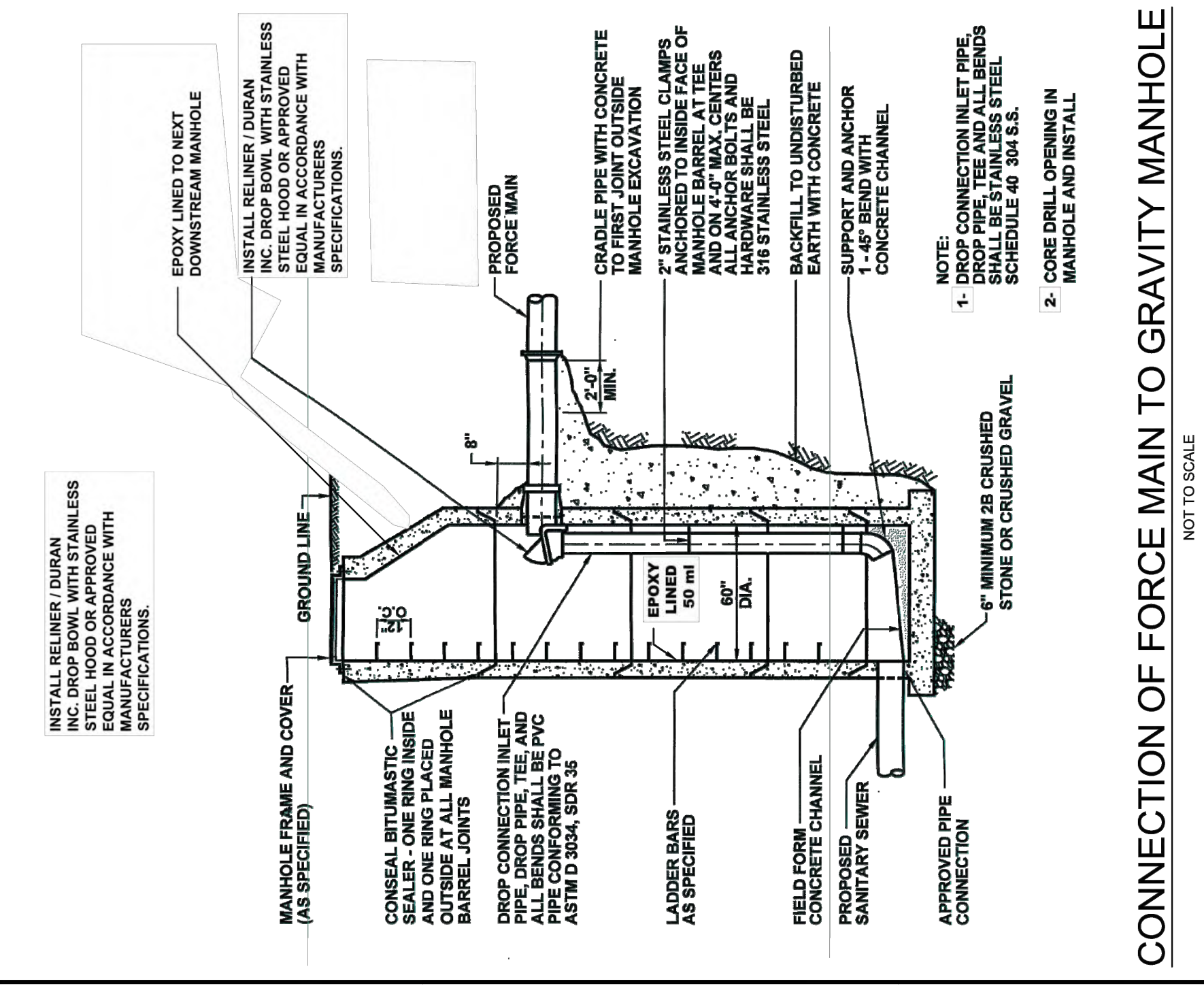
PAGE 61

JOHNSTON COUNTY
Department of Public Utilities
Sanitarians, NC 27577



SANITARY SEWER CONNECTION DETAIL
MAIN TO GRAVITY MANHOLE

PAGE 75



CONNECTION OF FORCE MAIN TO GRAVITY MANHOLE

NOT TO SCALE

NOTE:
1. DROP CONNECTION INLET PIPE SHALL BE STAINLESS STEEL SCHEDULE 40 3/4" S.S.
2. CORE DRILL OPENING IN MANHOLE AND INSTALL

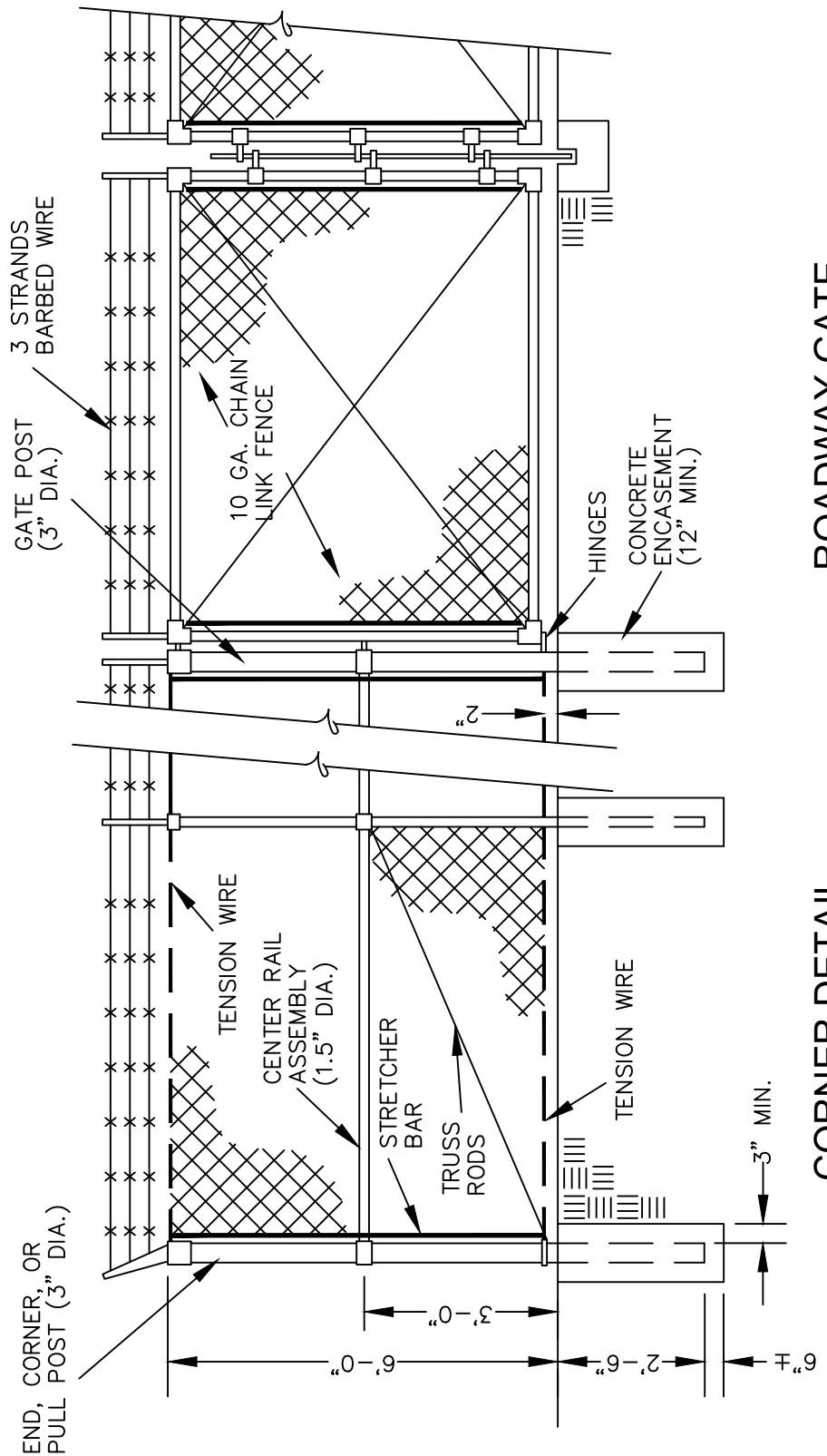
INSTALL RELINER/DURAN INC. DROP BOWL WITH STAINLESS STEEL HOOD OR APPROVED MANUFACTURERS SPECIFICATIONS.
EPOXY LINKED TO NEXT DOWNSTREAM MANHOLE
INSTALL RELINER/DURAN INC. DROP BOWL WITH STAINLESS STEEL HOOD OR APPROVED MANUFACTURERS SPECIFICATIONS.
CONSEAL BITUMASTIC SEALER - ONE RING INSIDE BETWEEN GATE VALVES - TEES OUTSIDE ALL MANHOLE BARREL JOINTS
DROP CONNECTION INLET PIPE CONFORMING TO ASTM D 3034, SDR 35
LARGER BARS AS SPECIFIED
FIELD FORM CONCRETE CHANNEL SANITARY SEWER APPROVED PIPE CONNECTION
EPOXY 50 ml 60" DIAL
6" MINIMUM 28 CRUSHED STONE OR CRUSHED GRAVEL
CABLE PIPES WITH CONCRETE TO FIRST JOINT OUTSIDE MANHOLE EXCAVATION
2" STAINLESS STEEL CLAMPS ANCHORED TO INSIDE FACE OF MANHOLE AND ON 4" MAX. CENTERS ALL ANCHOR BOLTS AND MANHOLE SHALL BE 316 STAINLESS STEEL
BACKFILL TO UNDISTURBED EARTH WITH CONCRETE SUPPORT AND ANCHOR CONCRETE CHANNEL

PRELIMINARY PLANS NOT FOR REVIEW

PUMP STATION AND FORCE MAIN DETAILS
LOCAL 70 RESIDENTIAL DEVELOPMENT
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
HWY 70

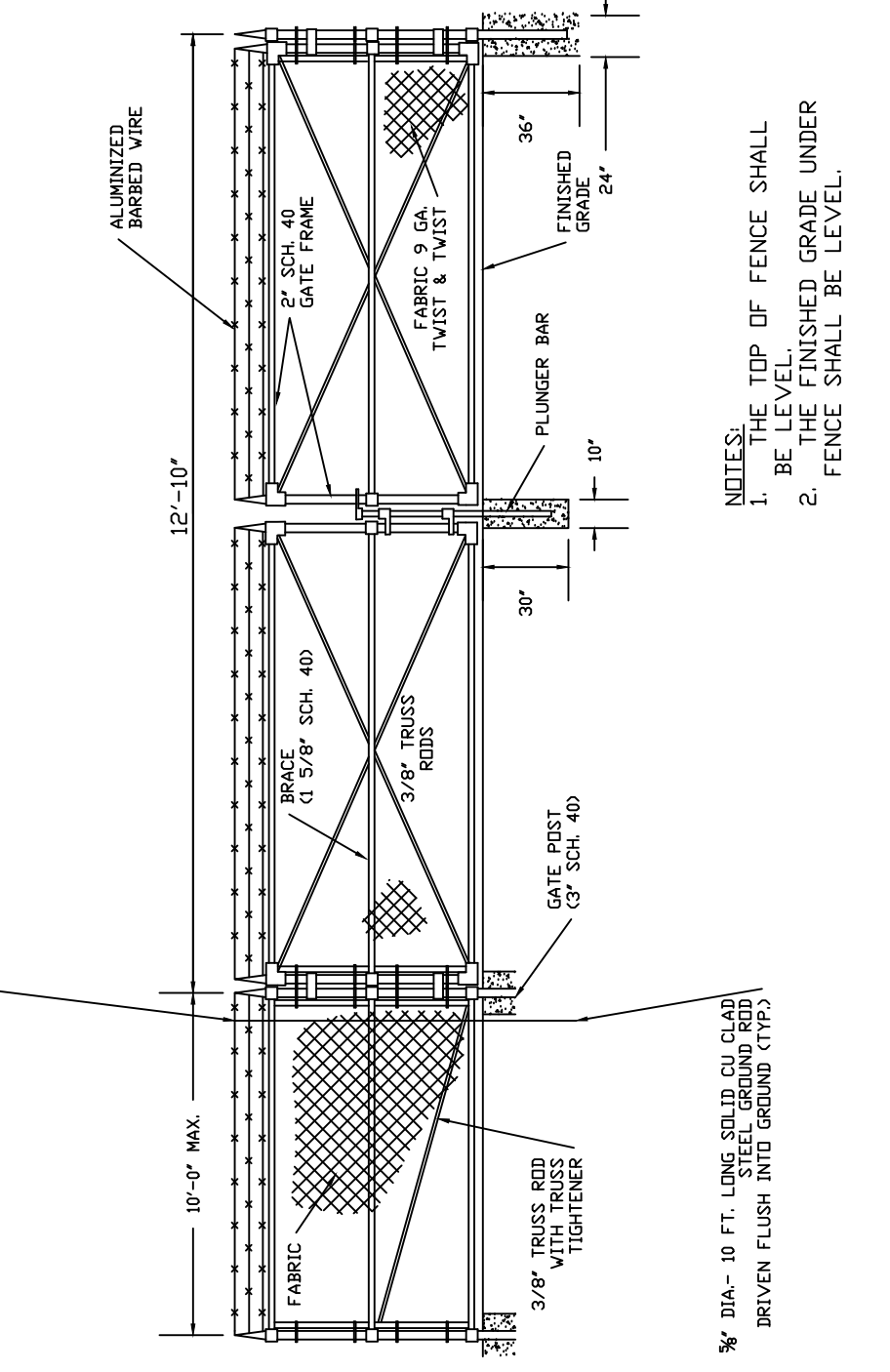
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Drawn By: CM/JM
Checked By: HMSJ
Job No.: E-9516

Sheet No. C-8.2



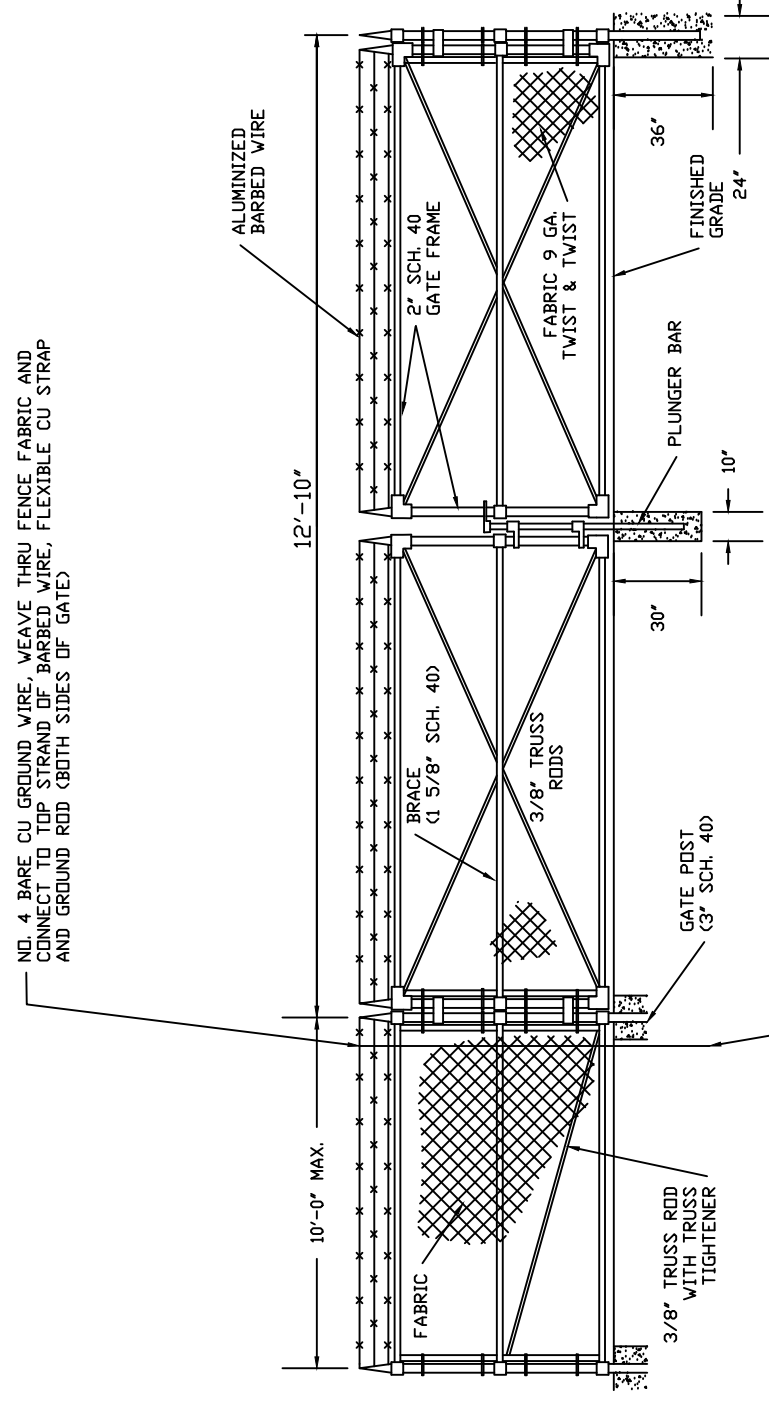
ROADWAY GATE

FENCE DETAILS
NO SCALE

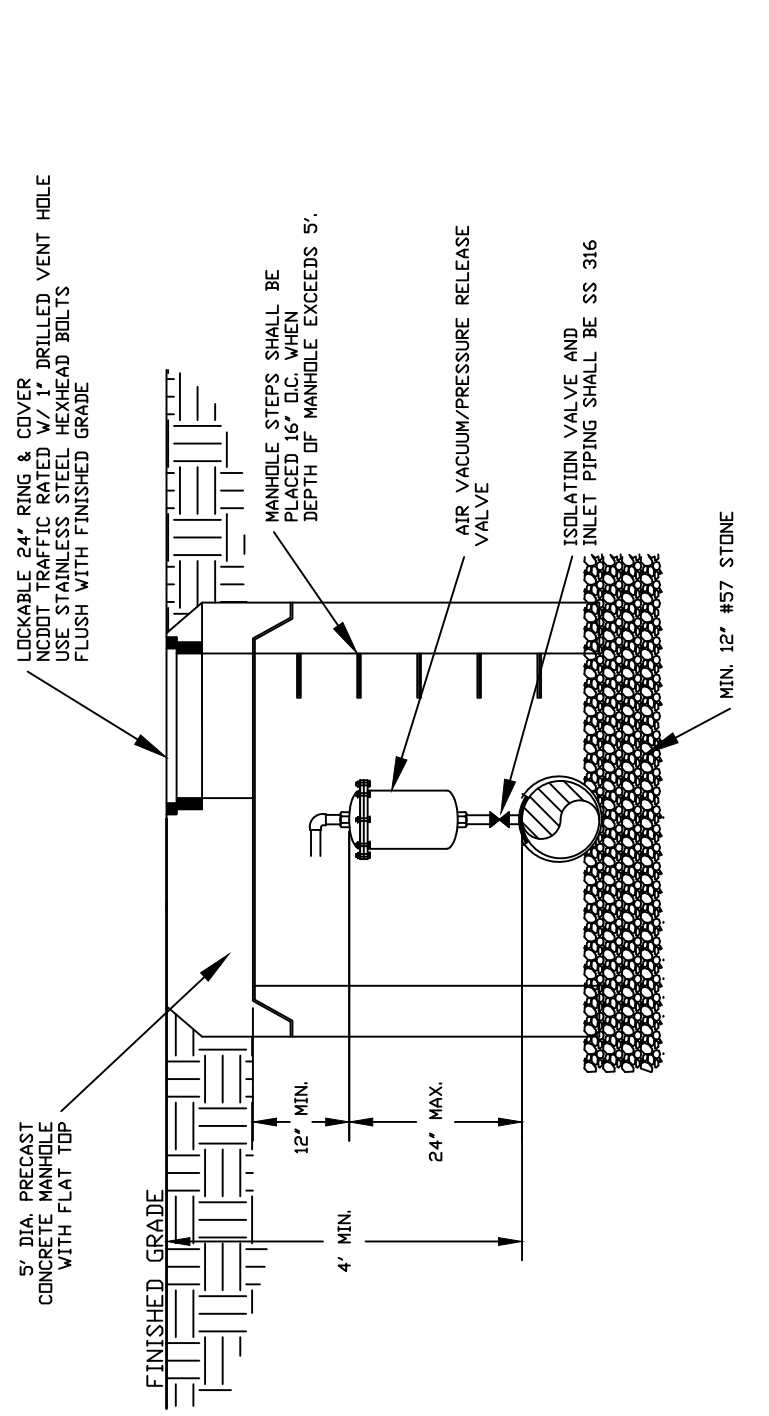
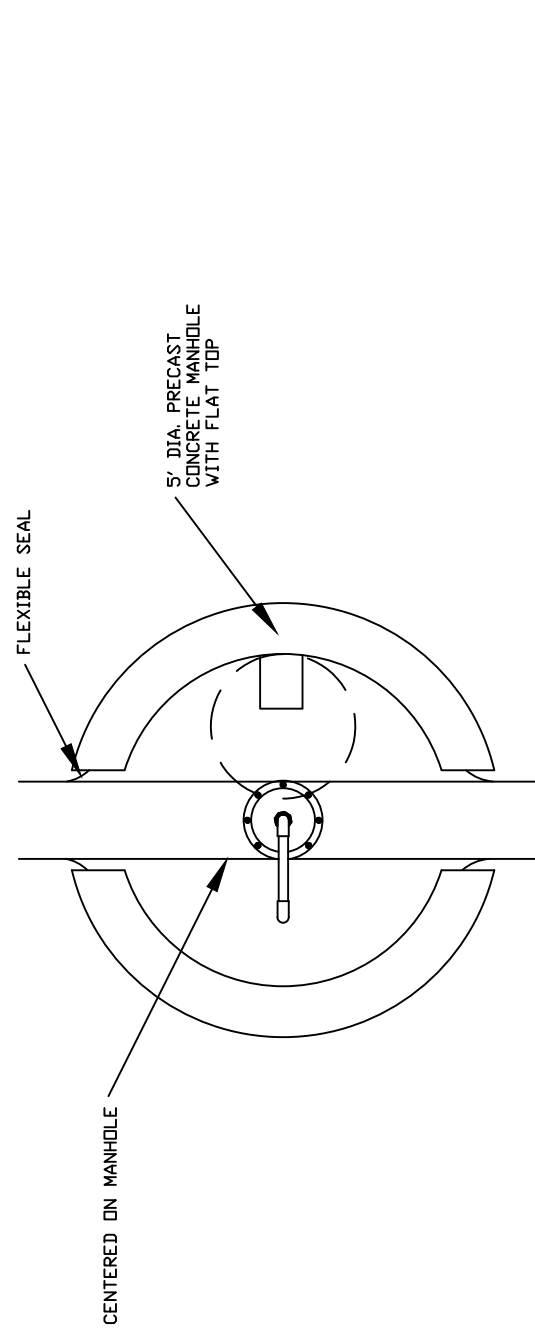


CORNER DETAIL

GATE DETAILS
NOT TO SCALE

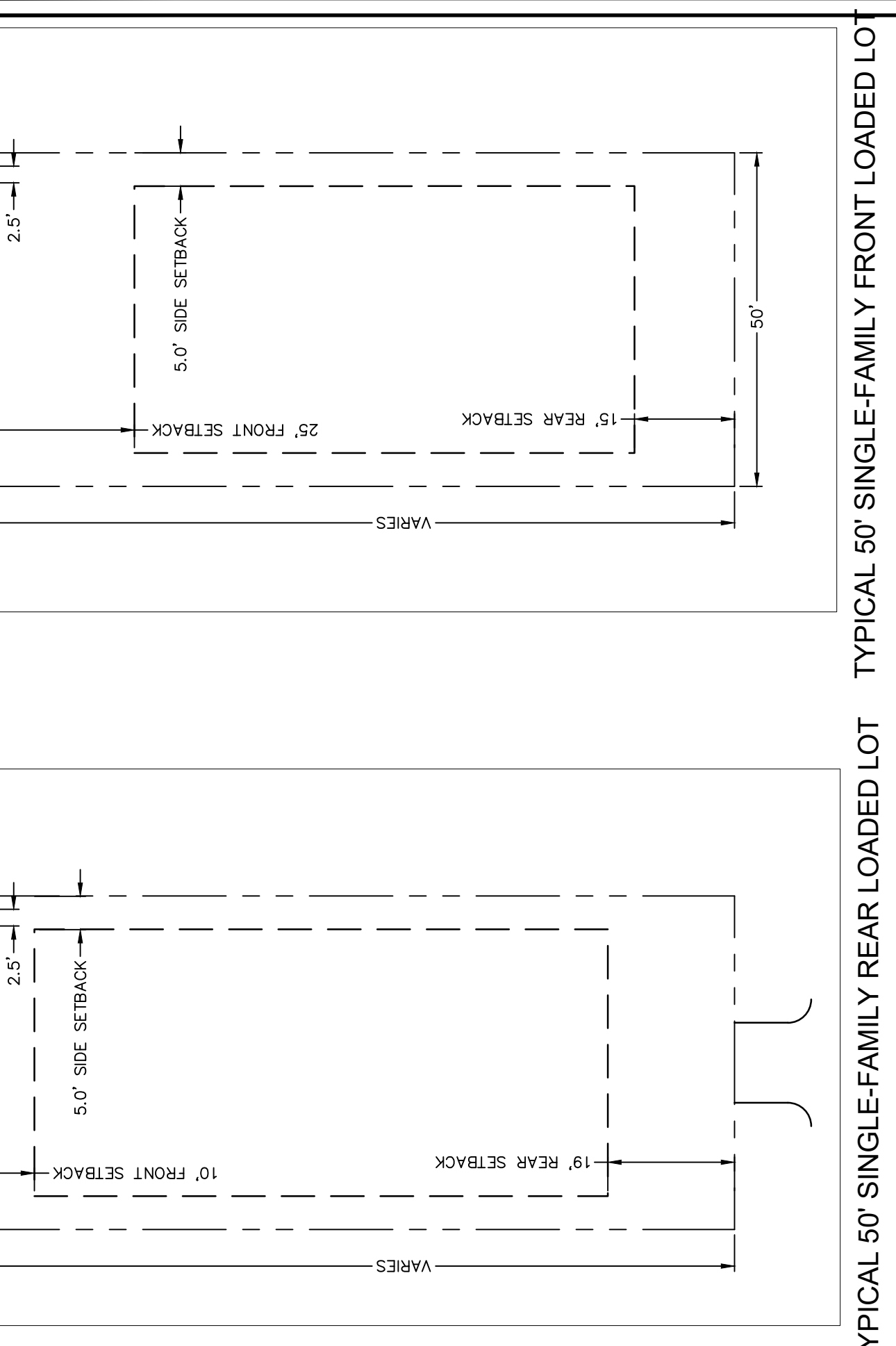
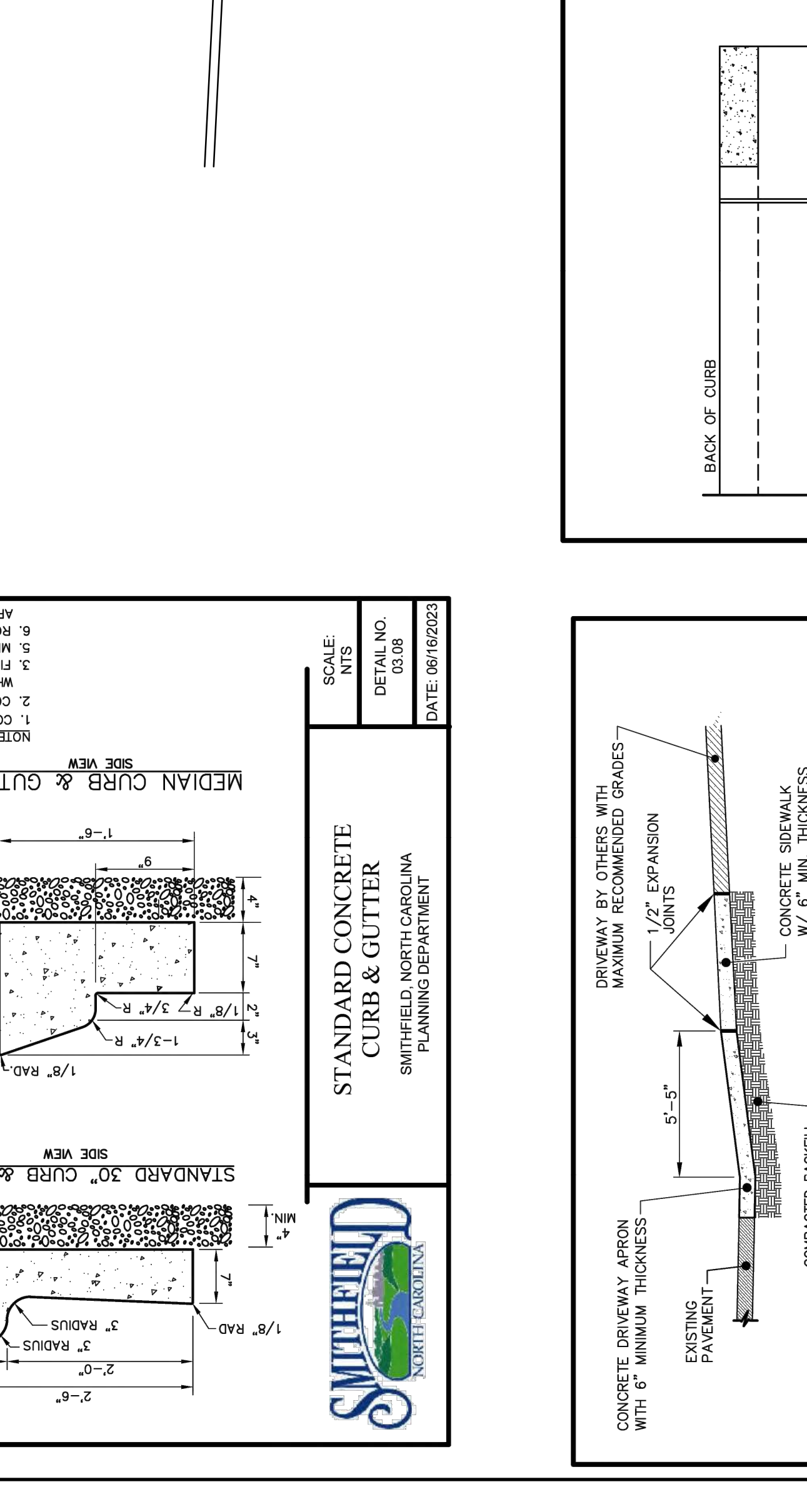
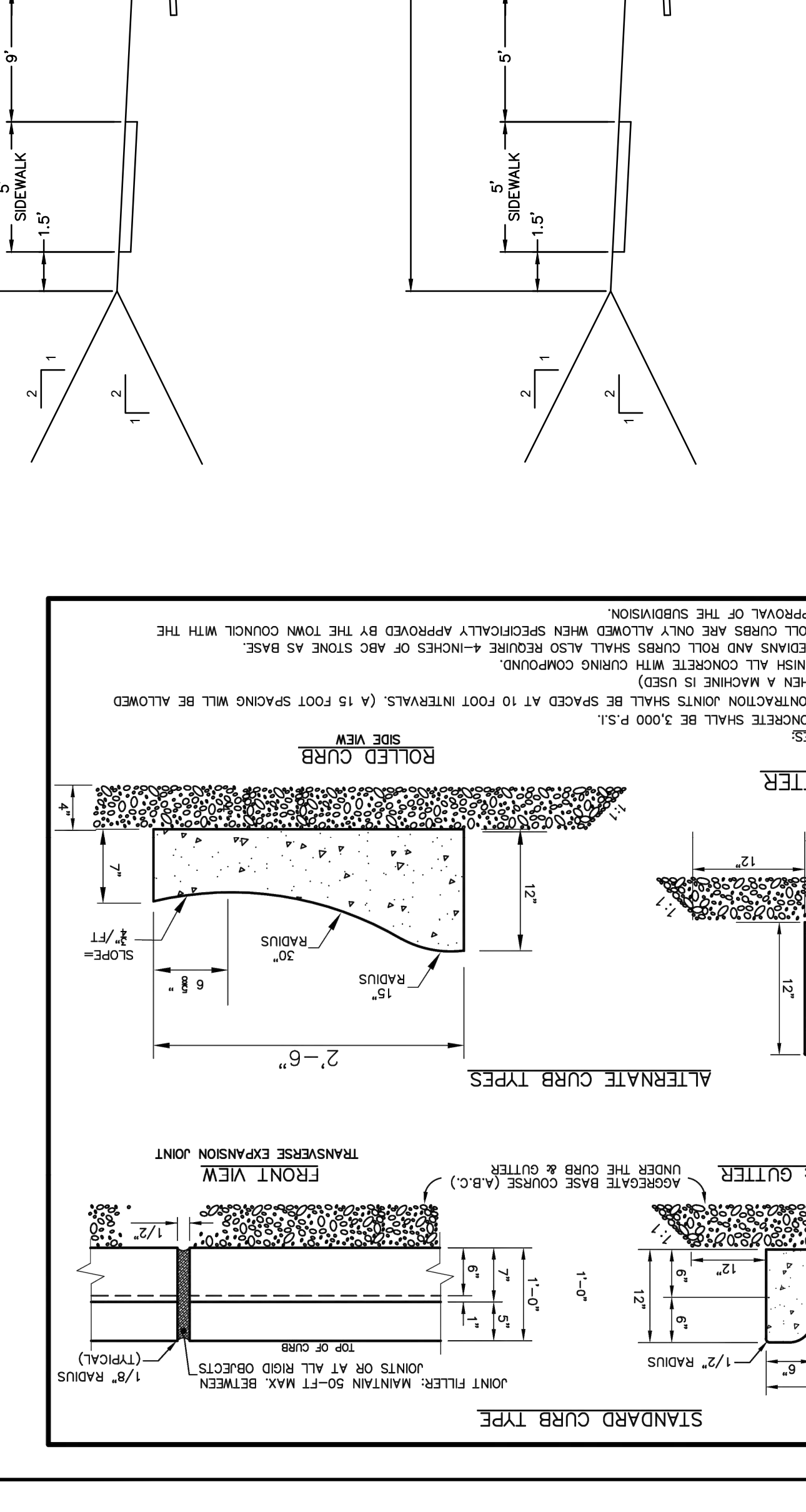
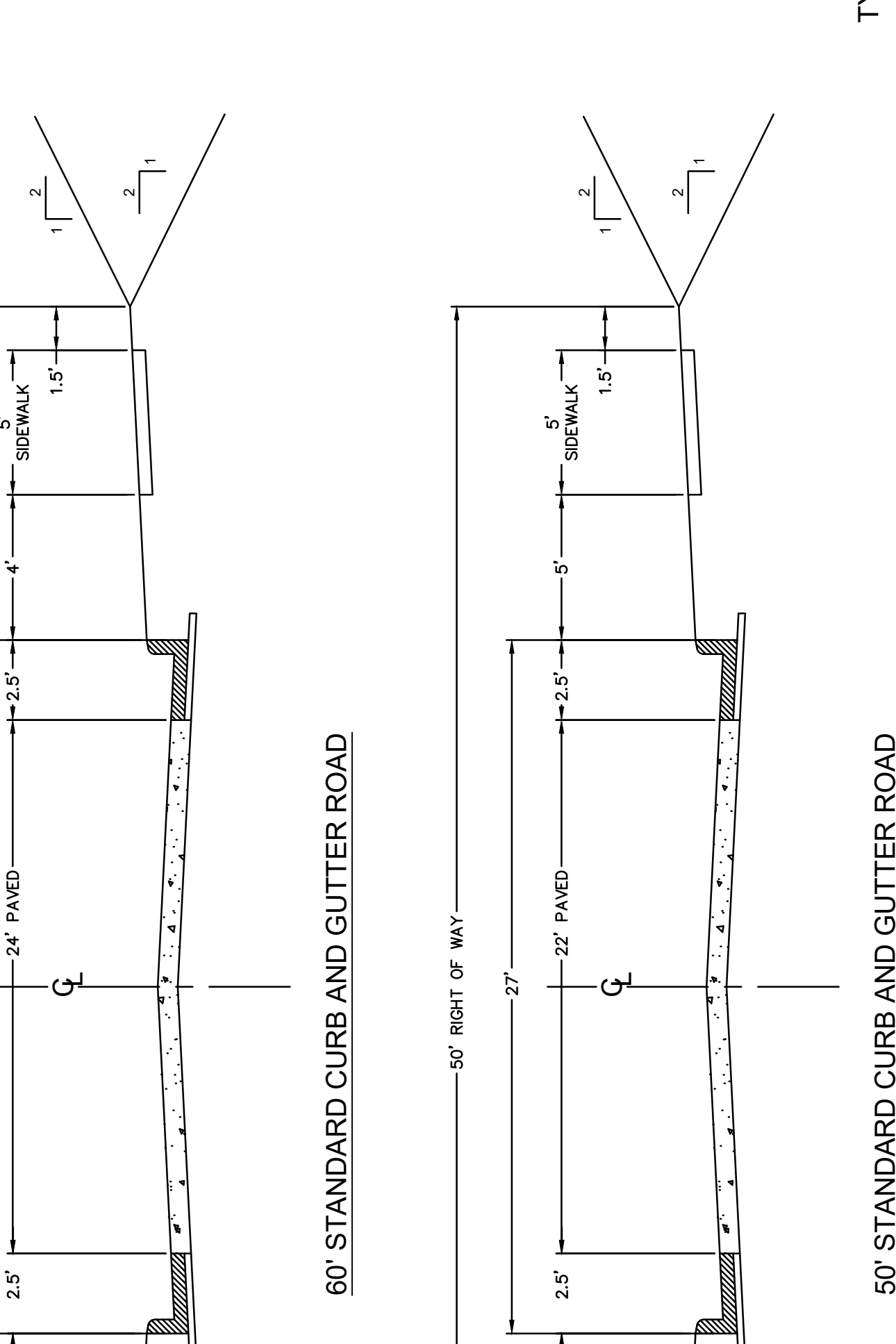
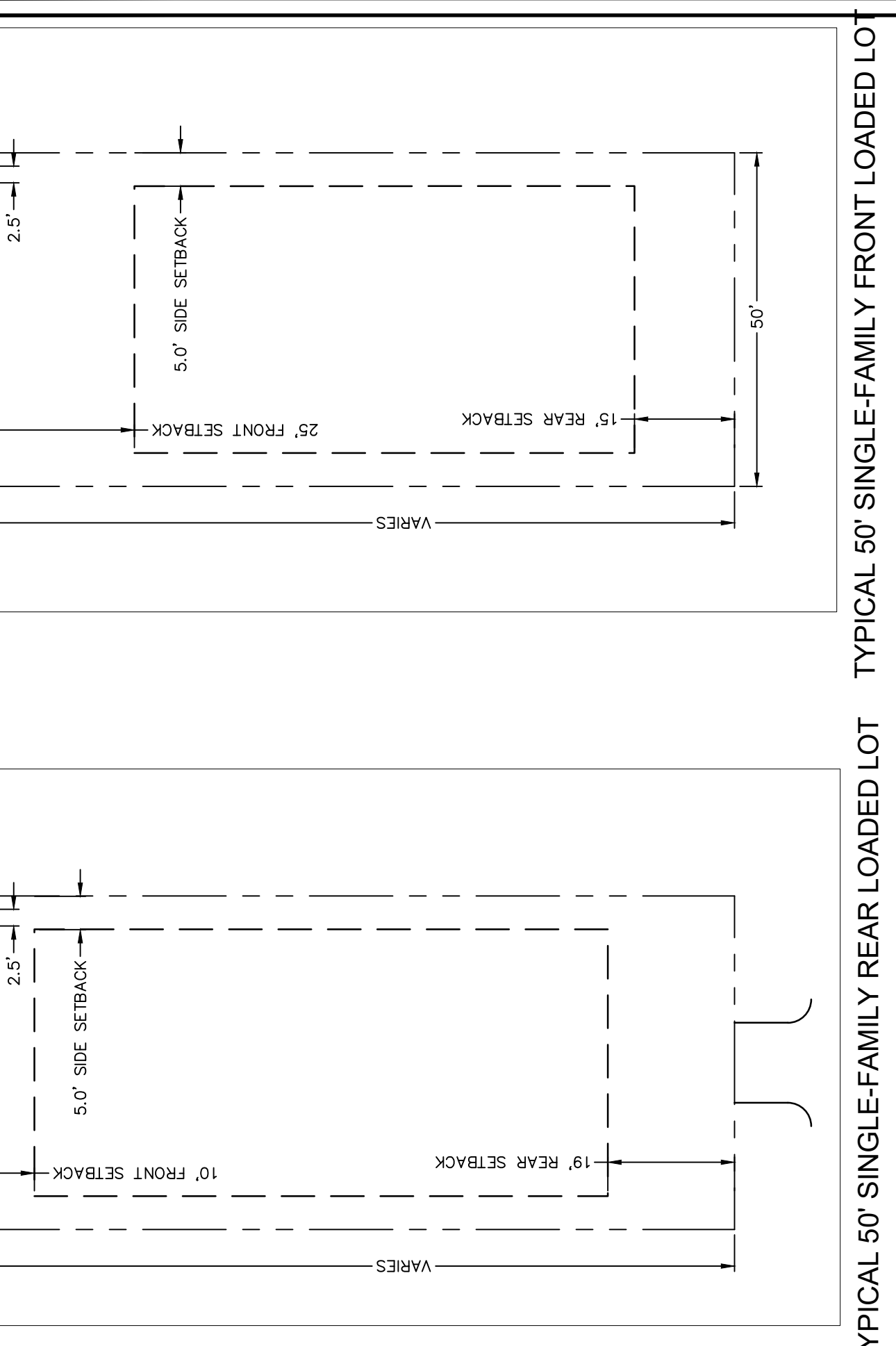
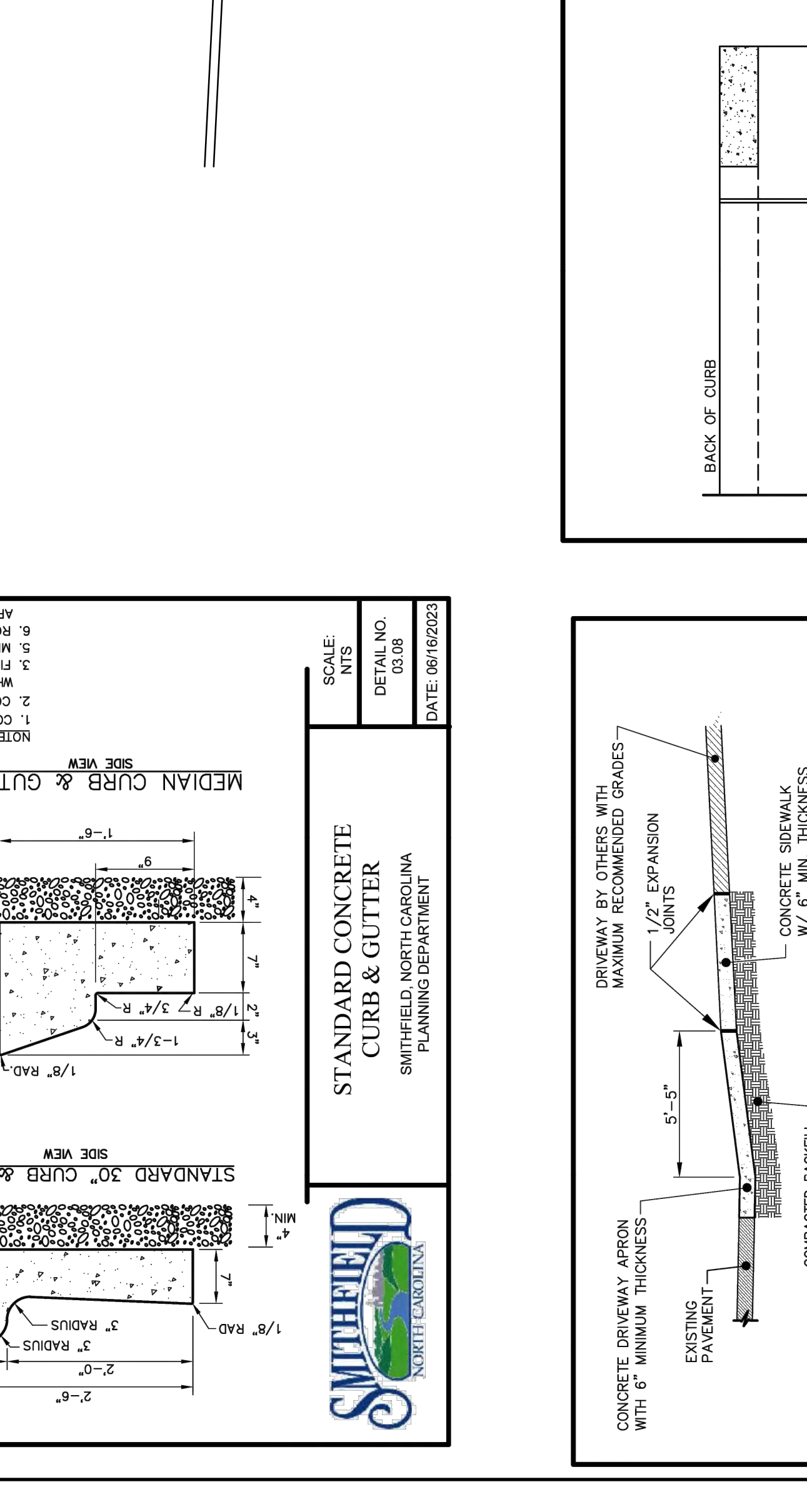
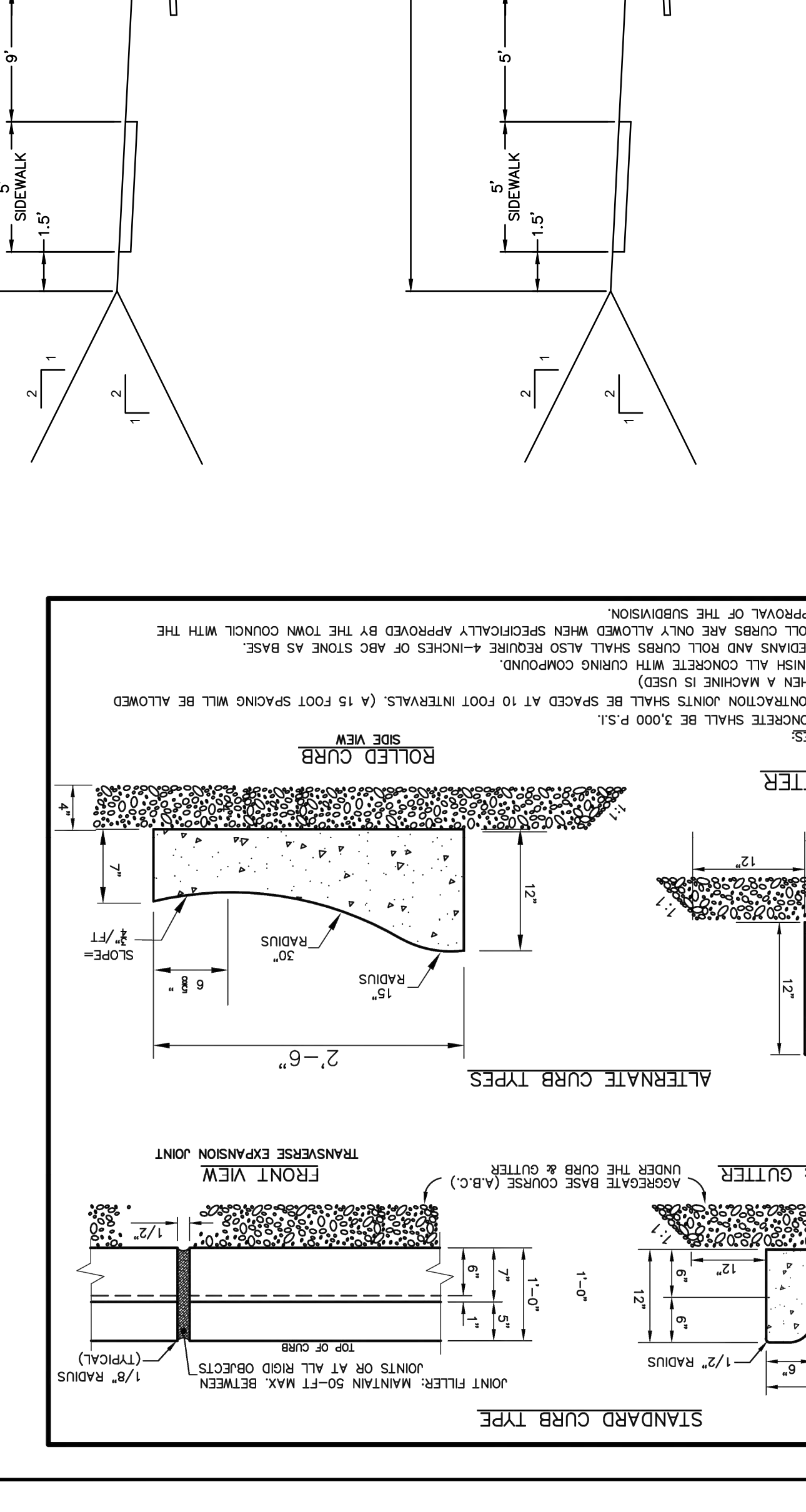
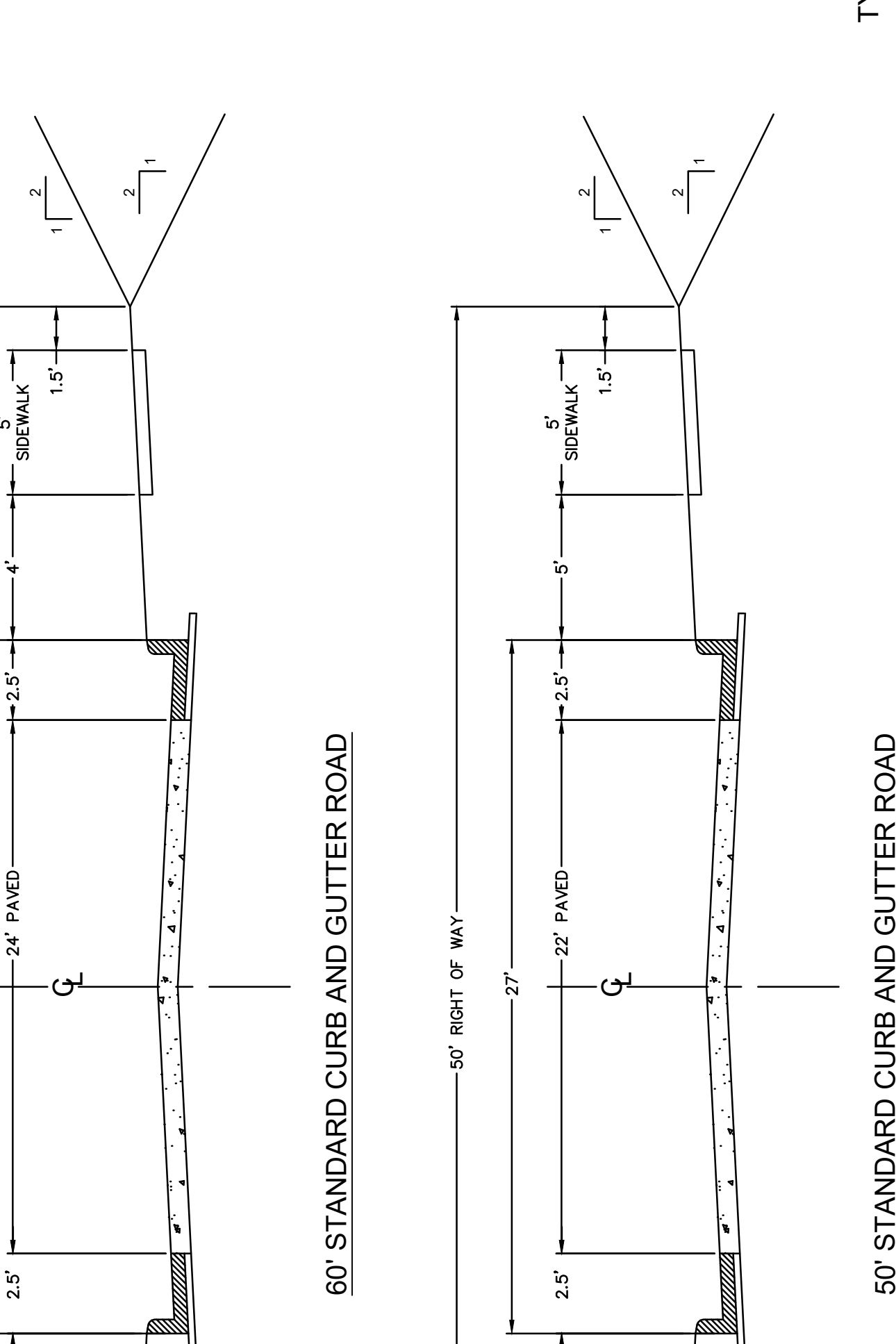
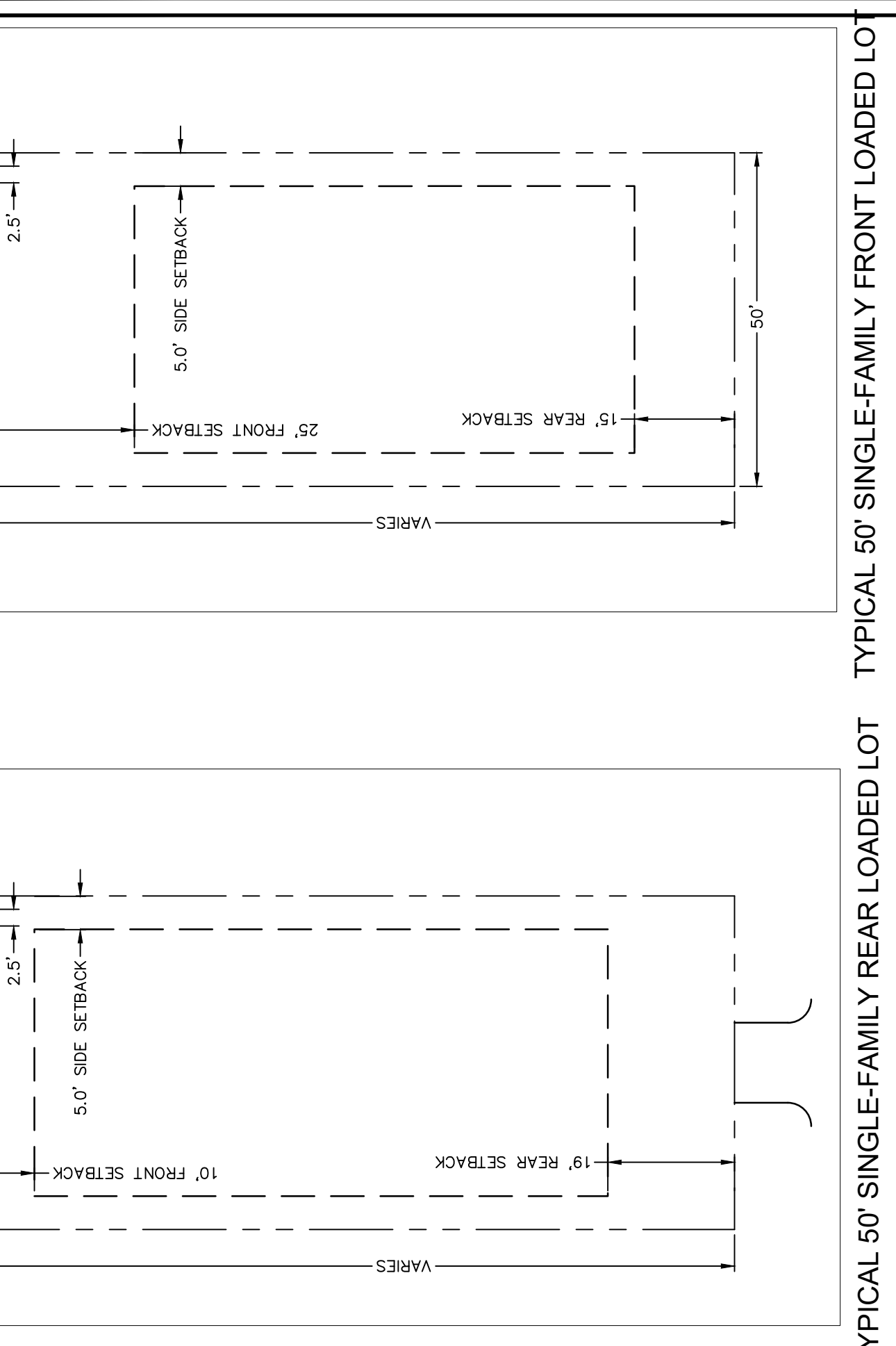
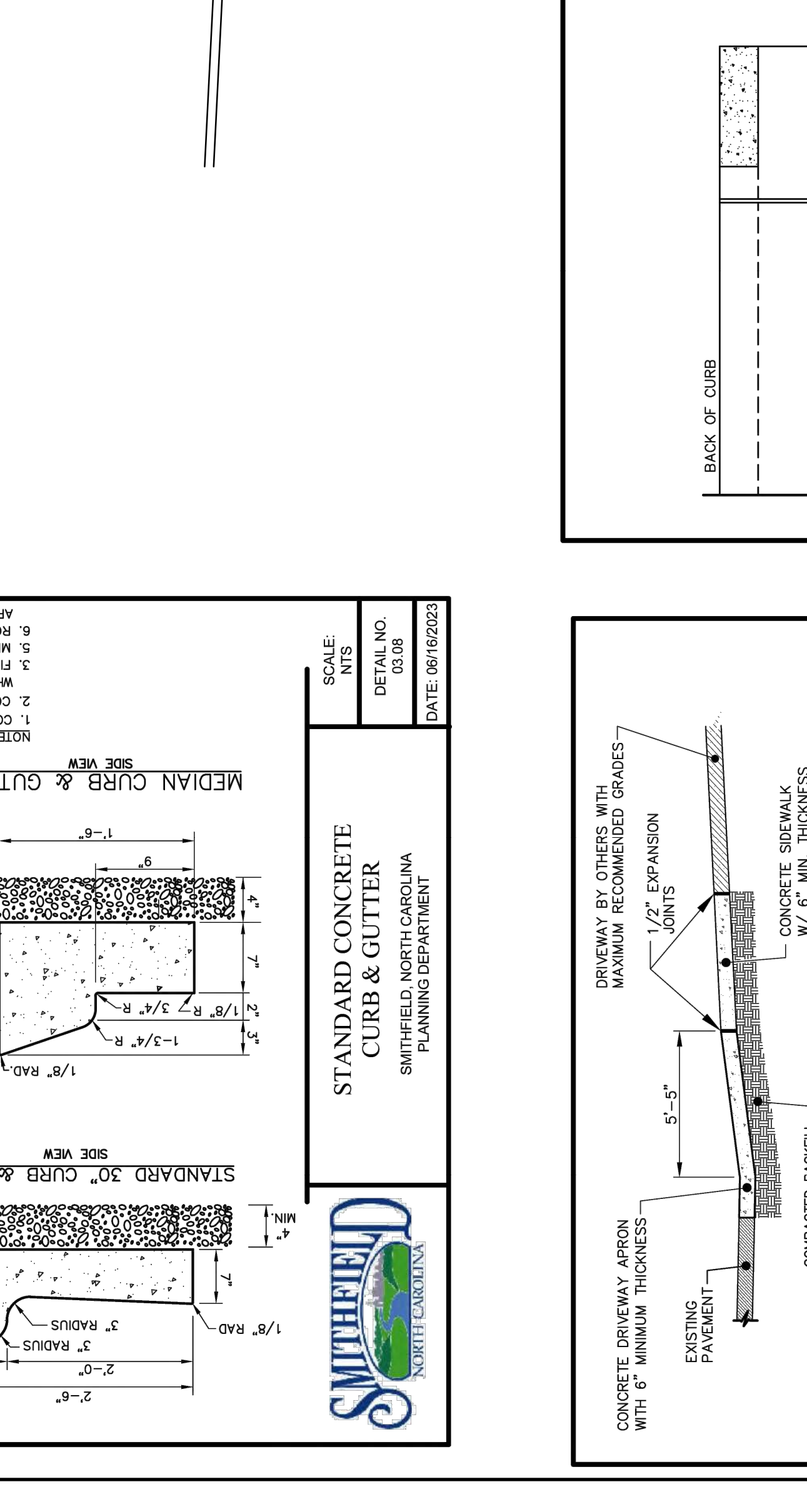
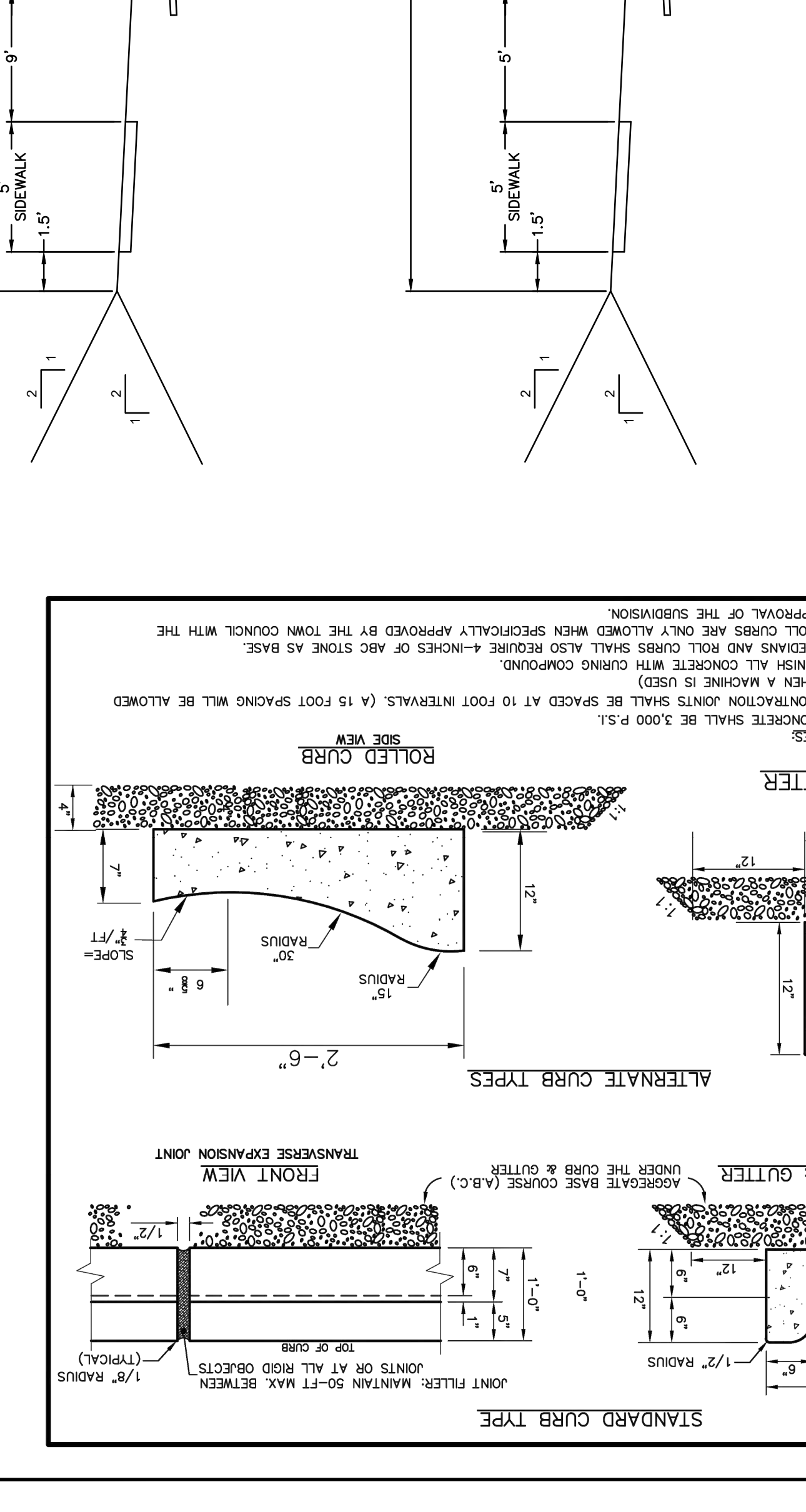
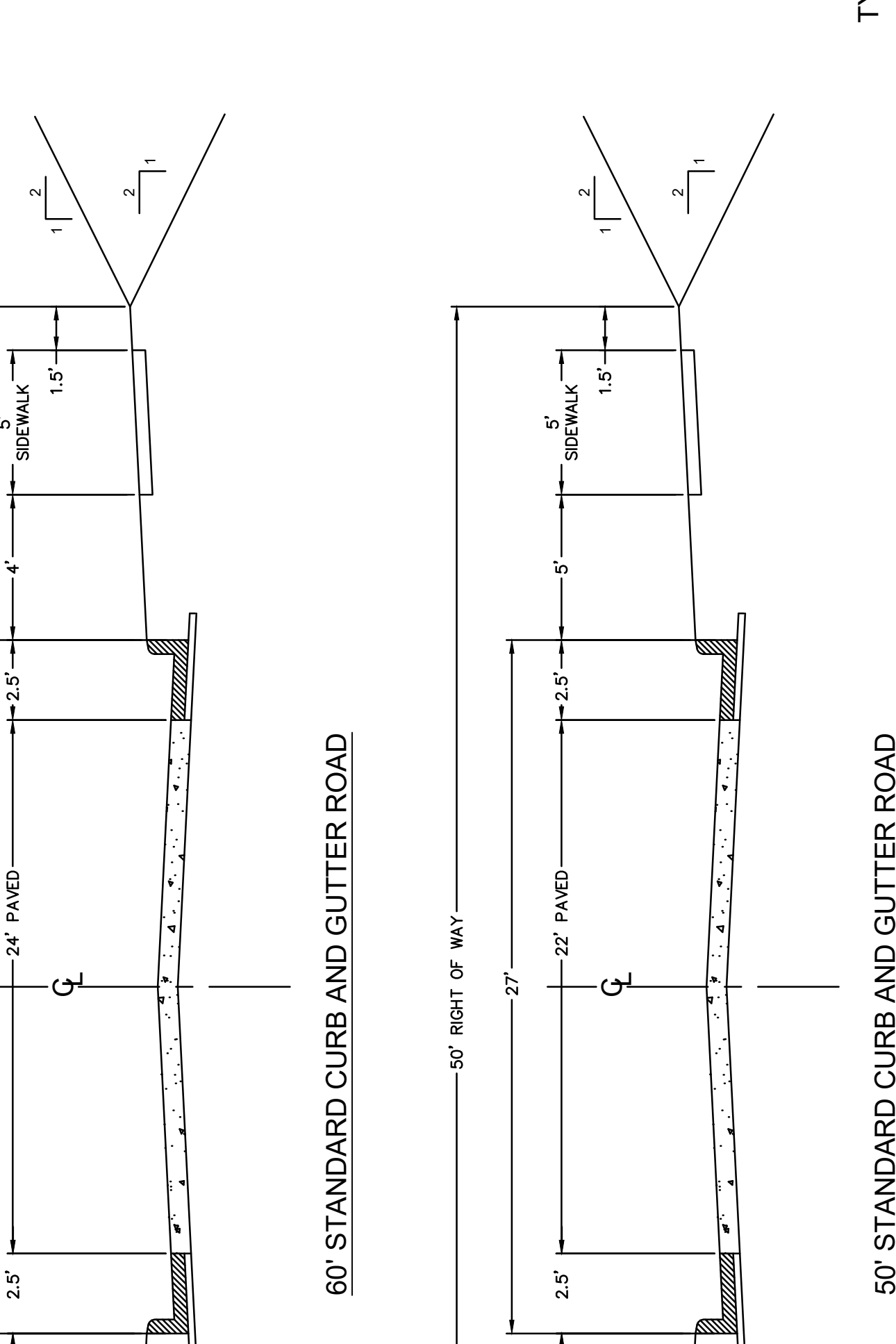
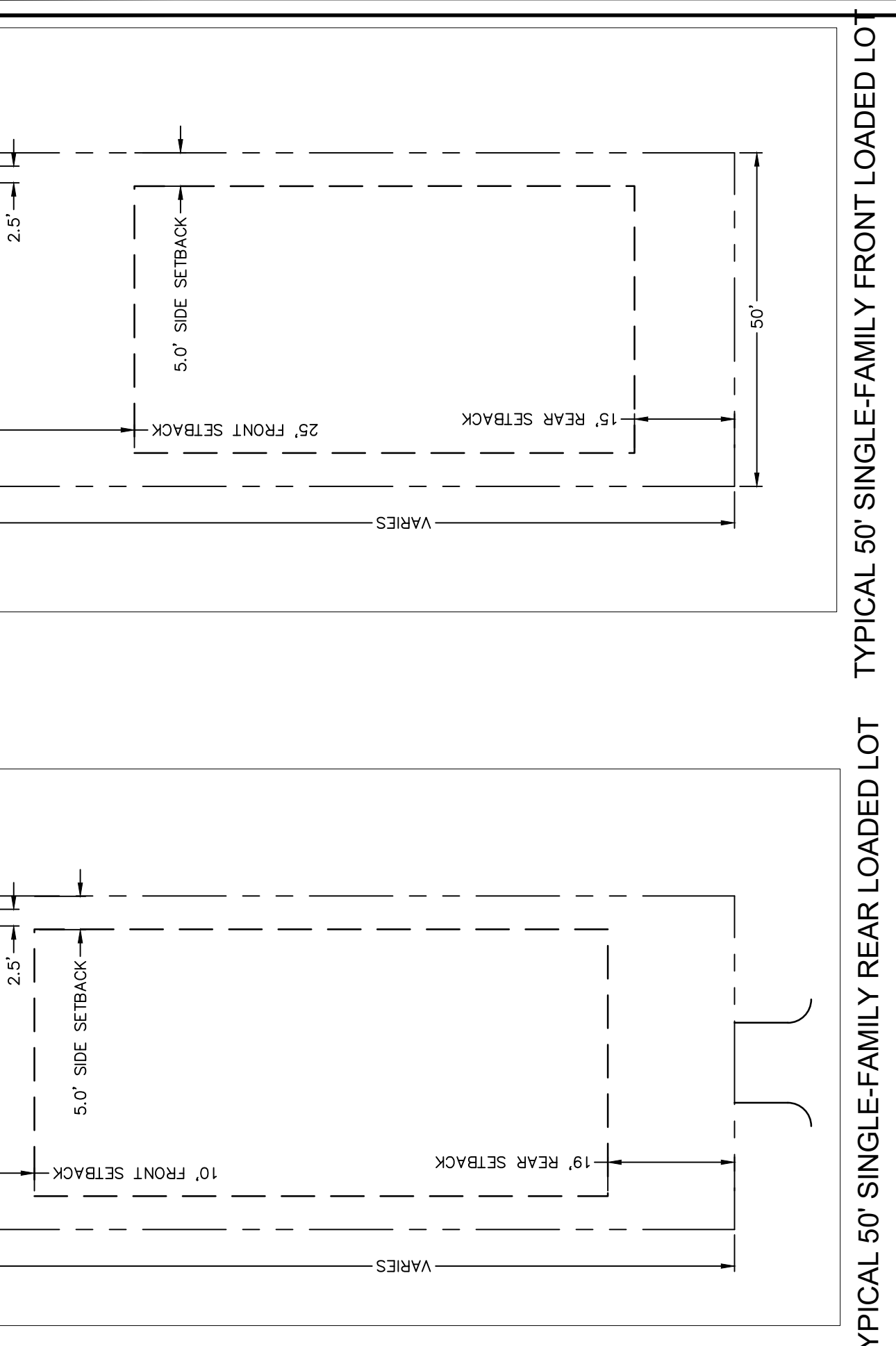
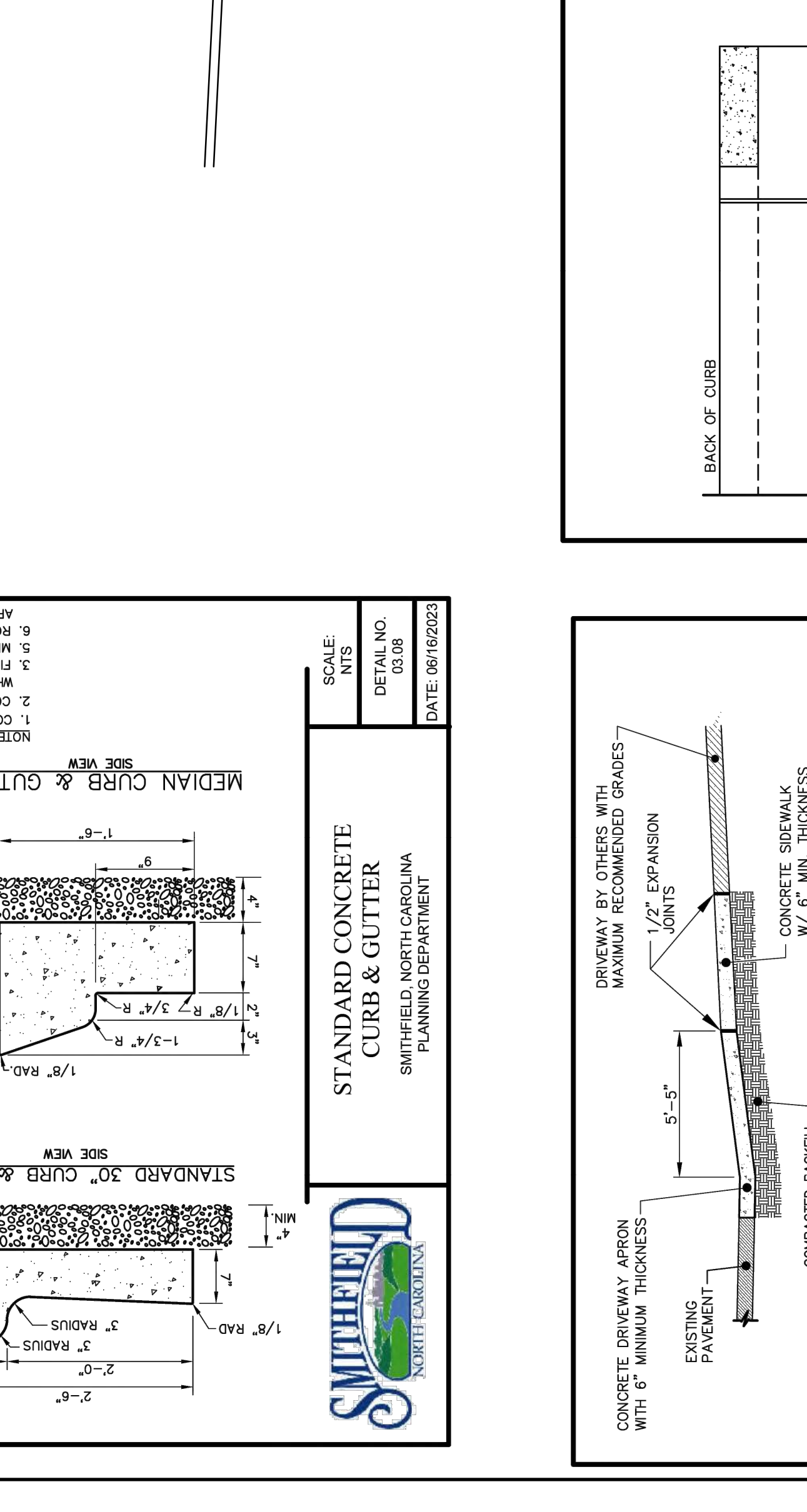
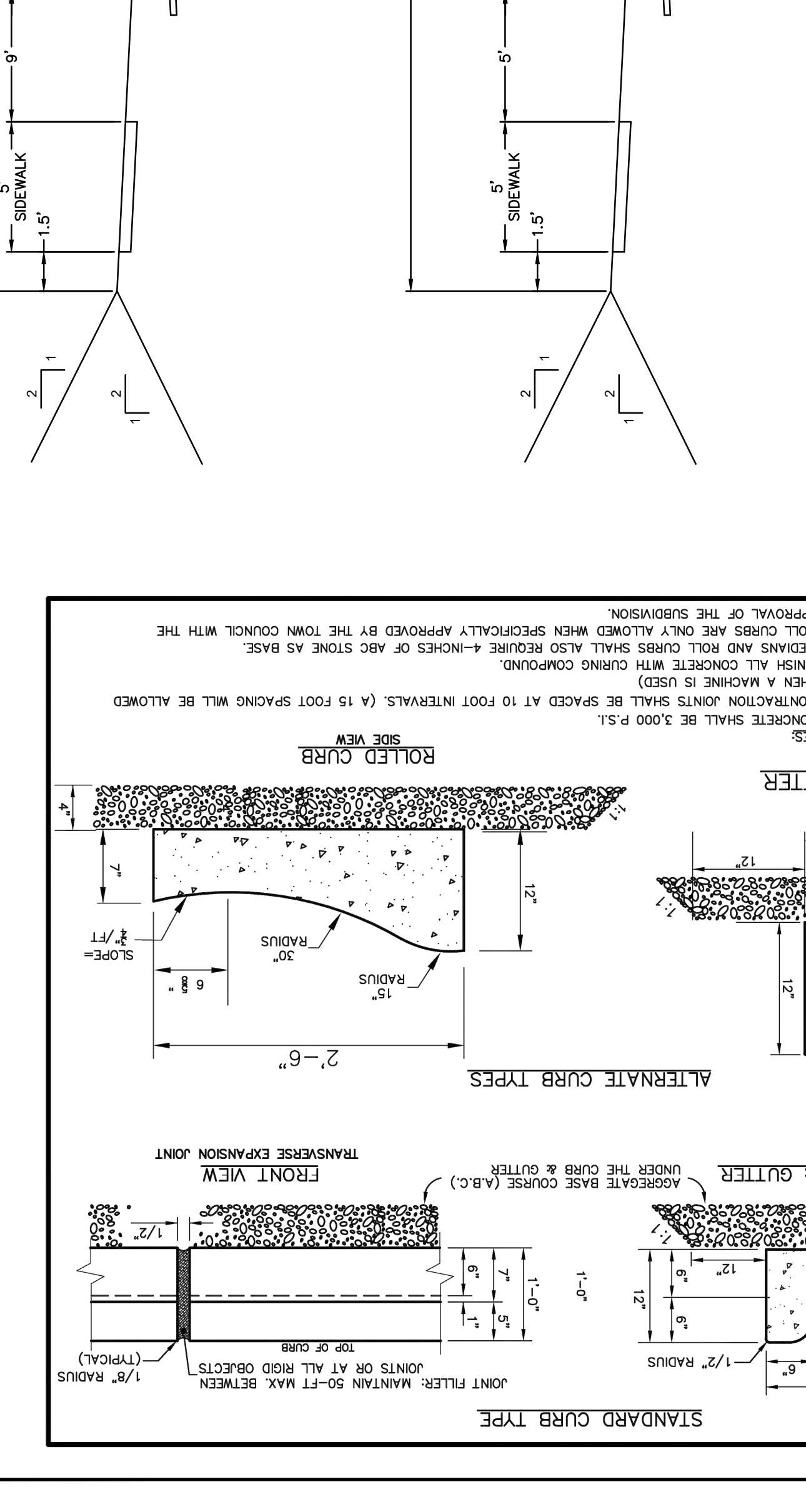
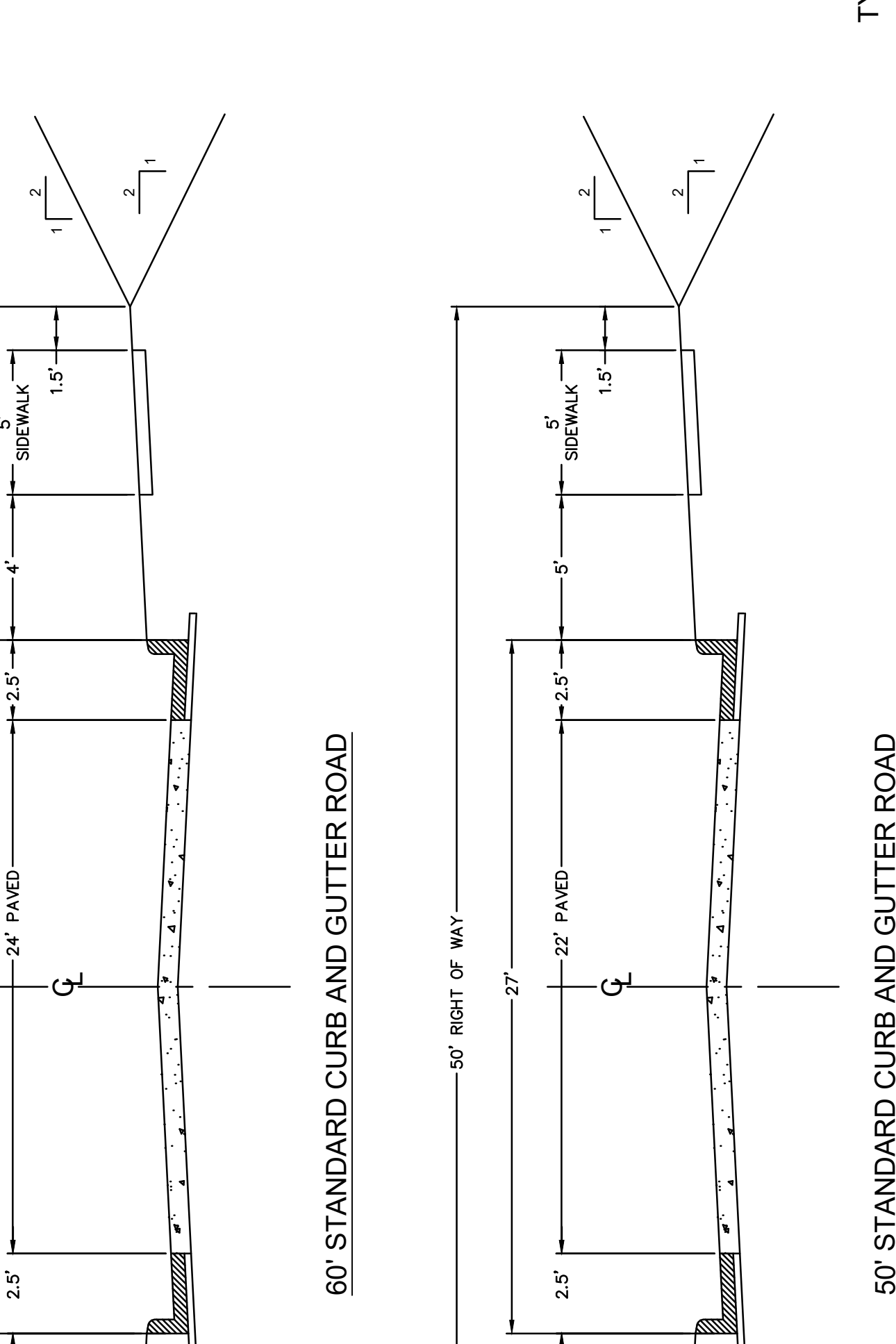
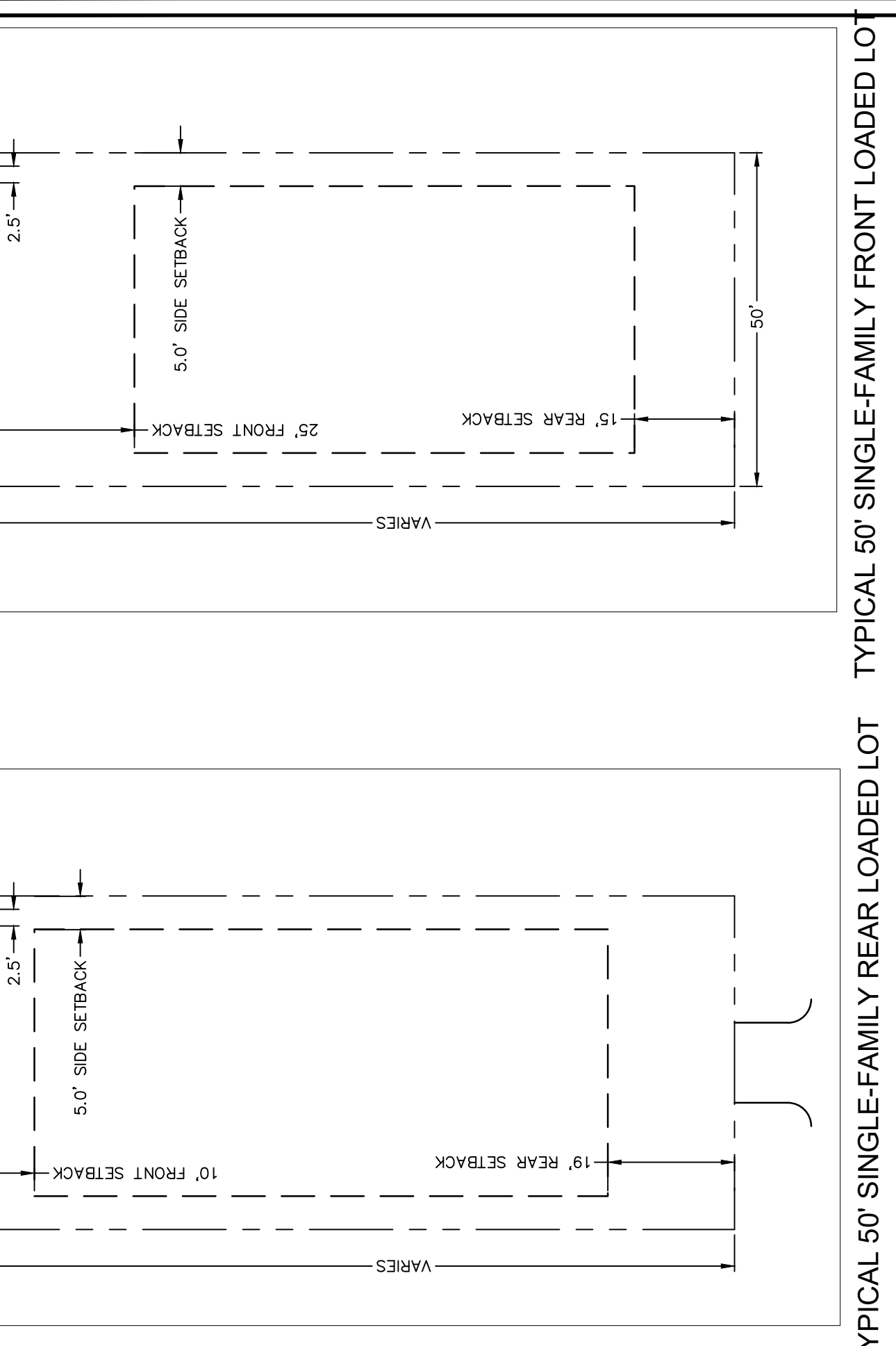
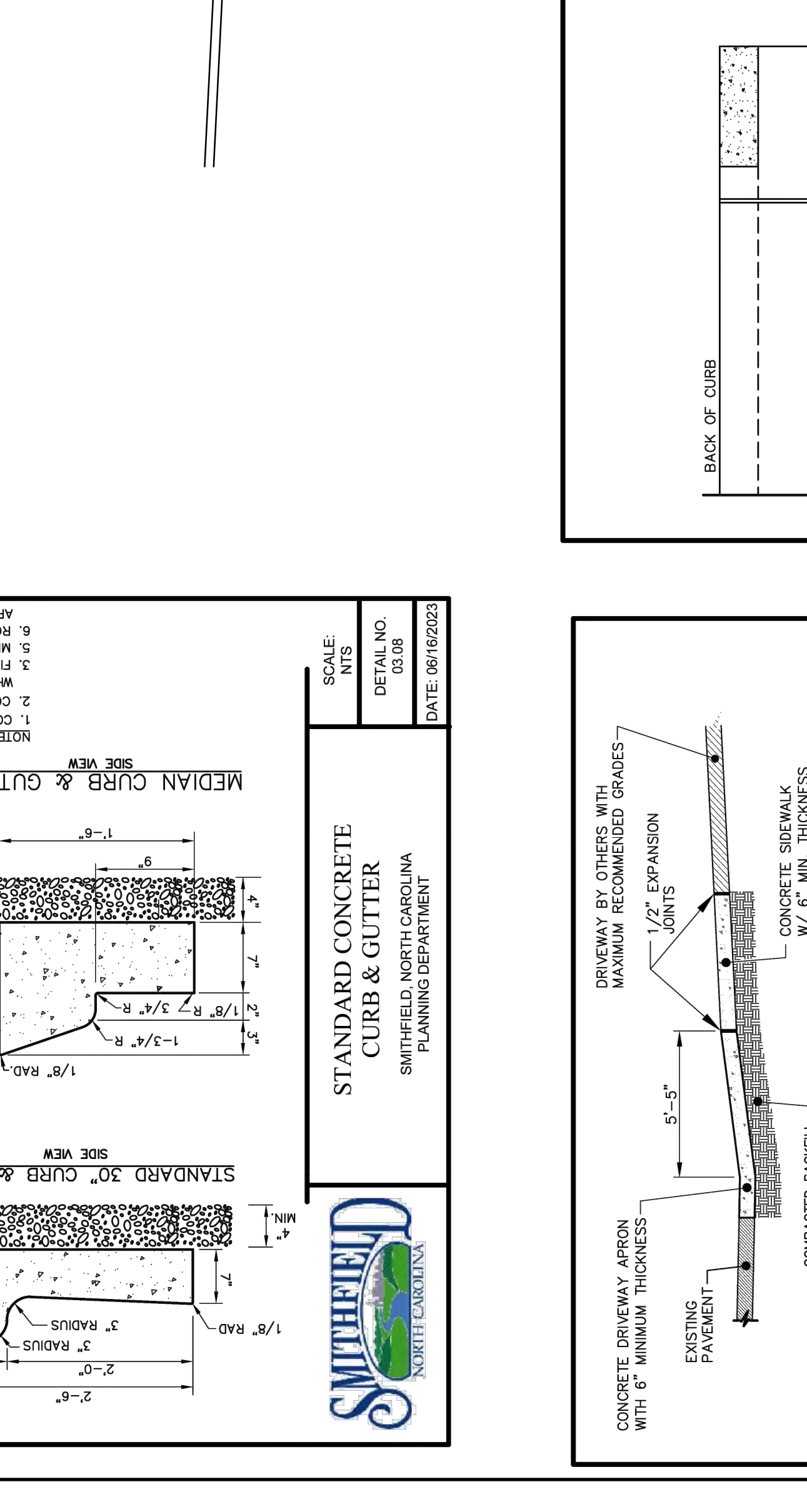
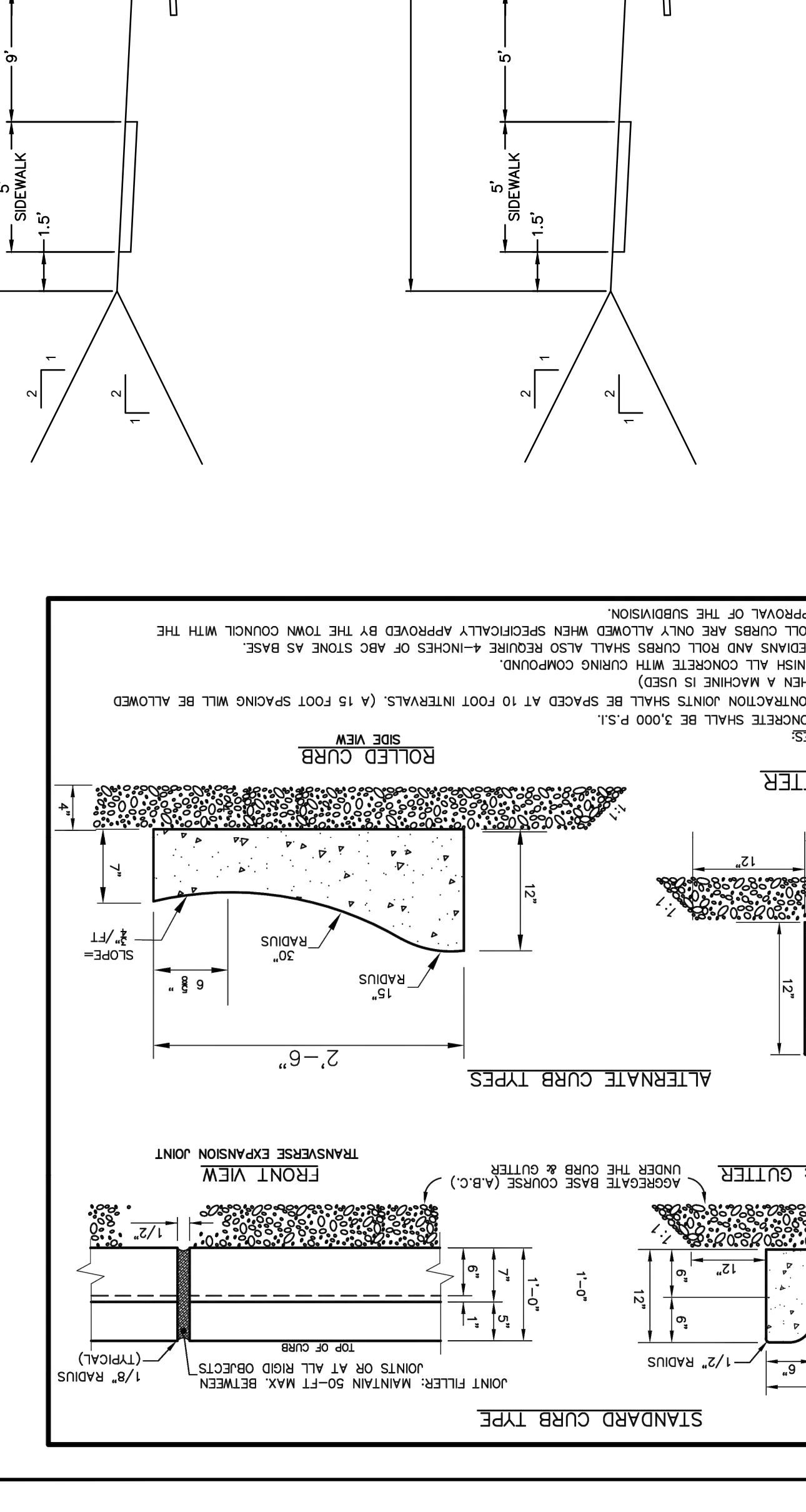
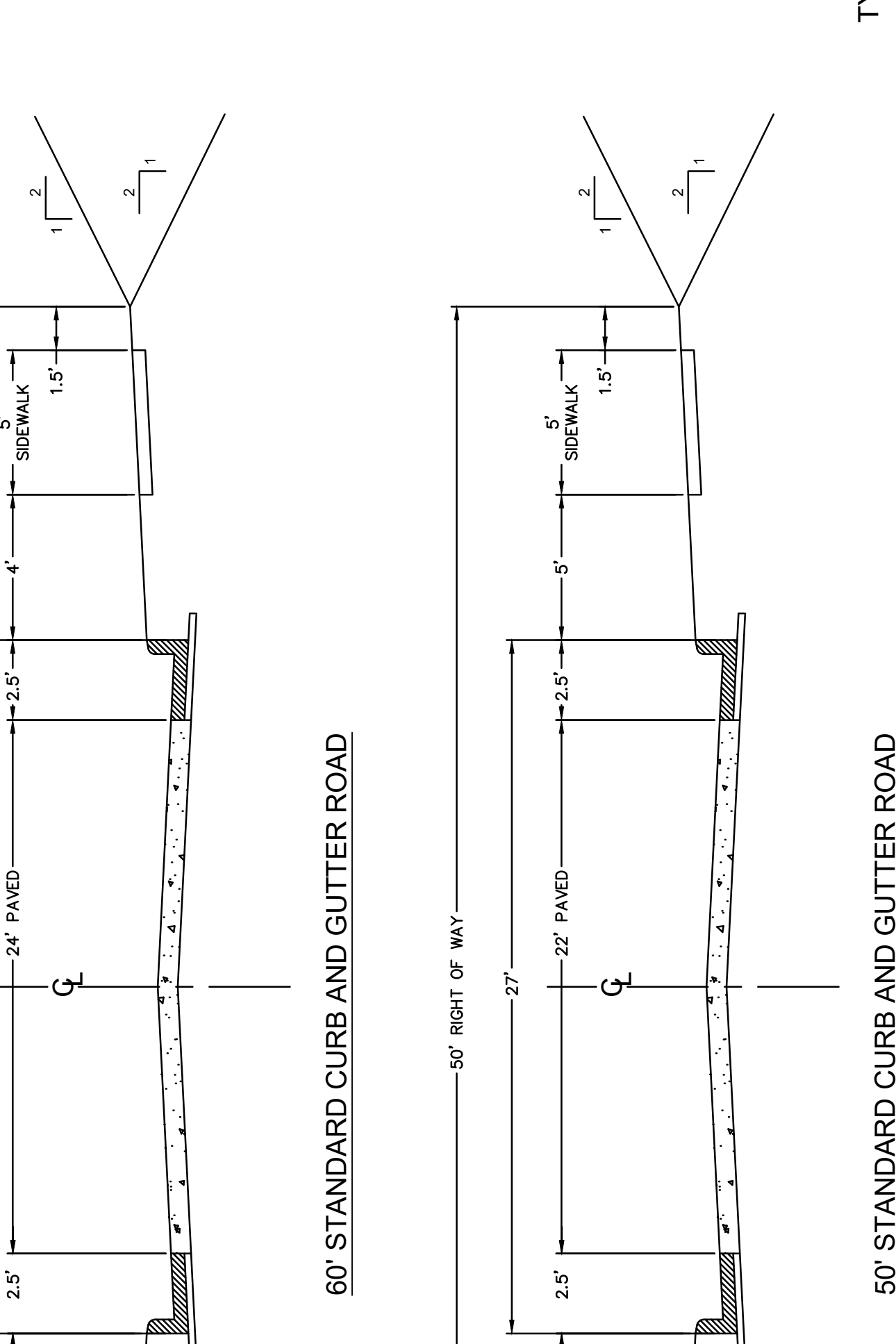
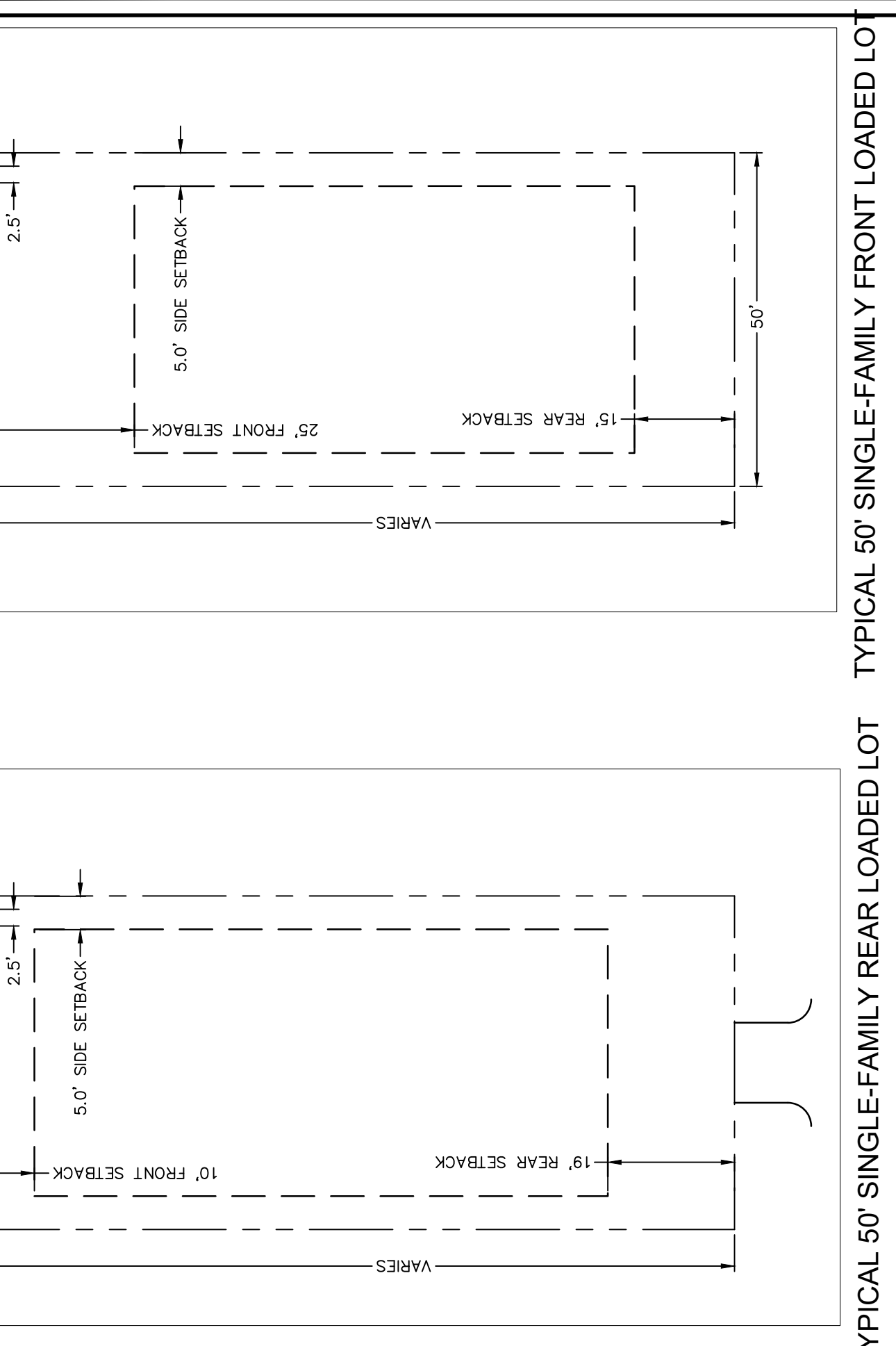
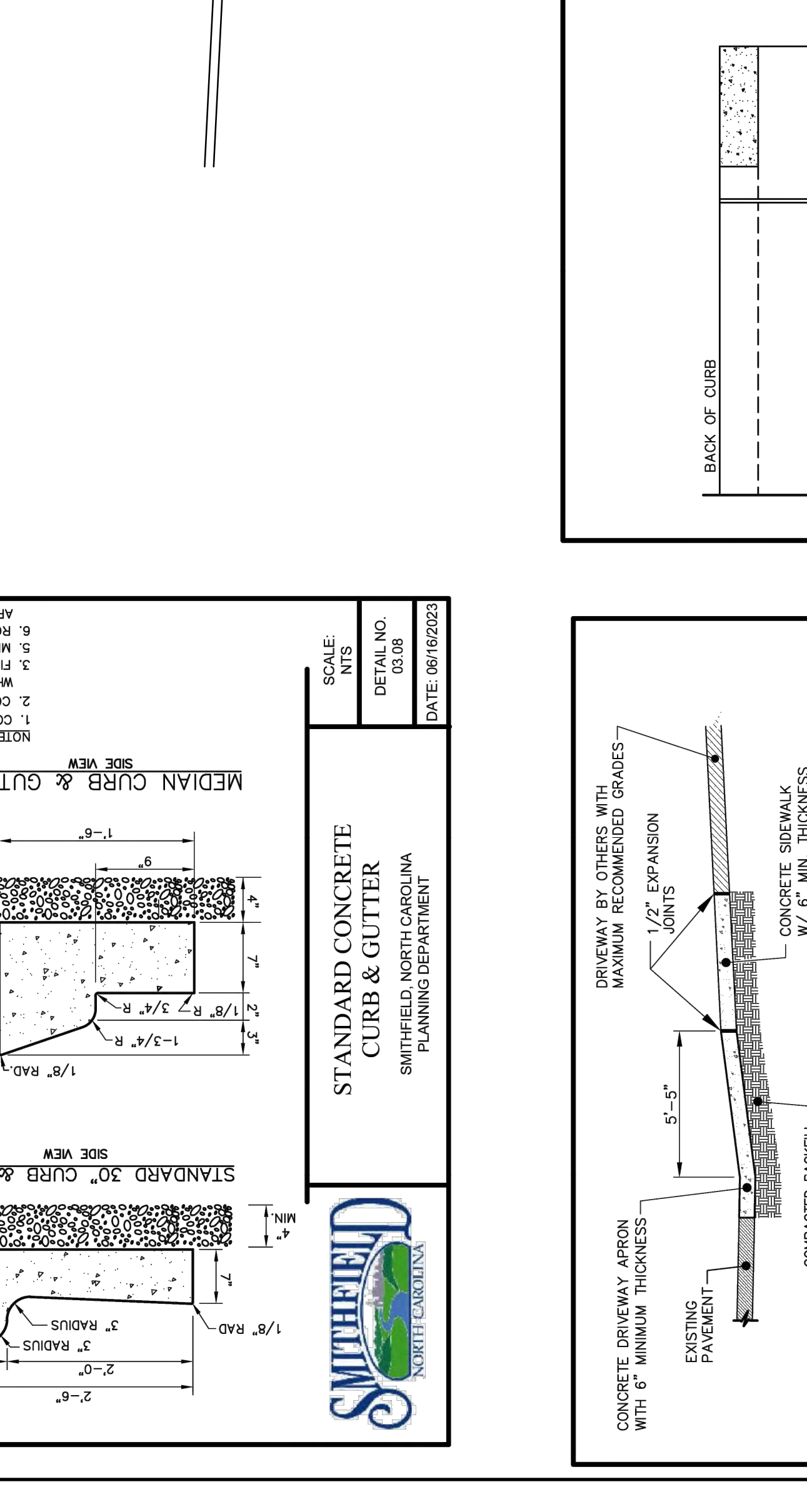
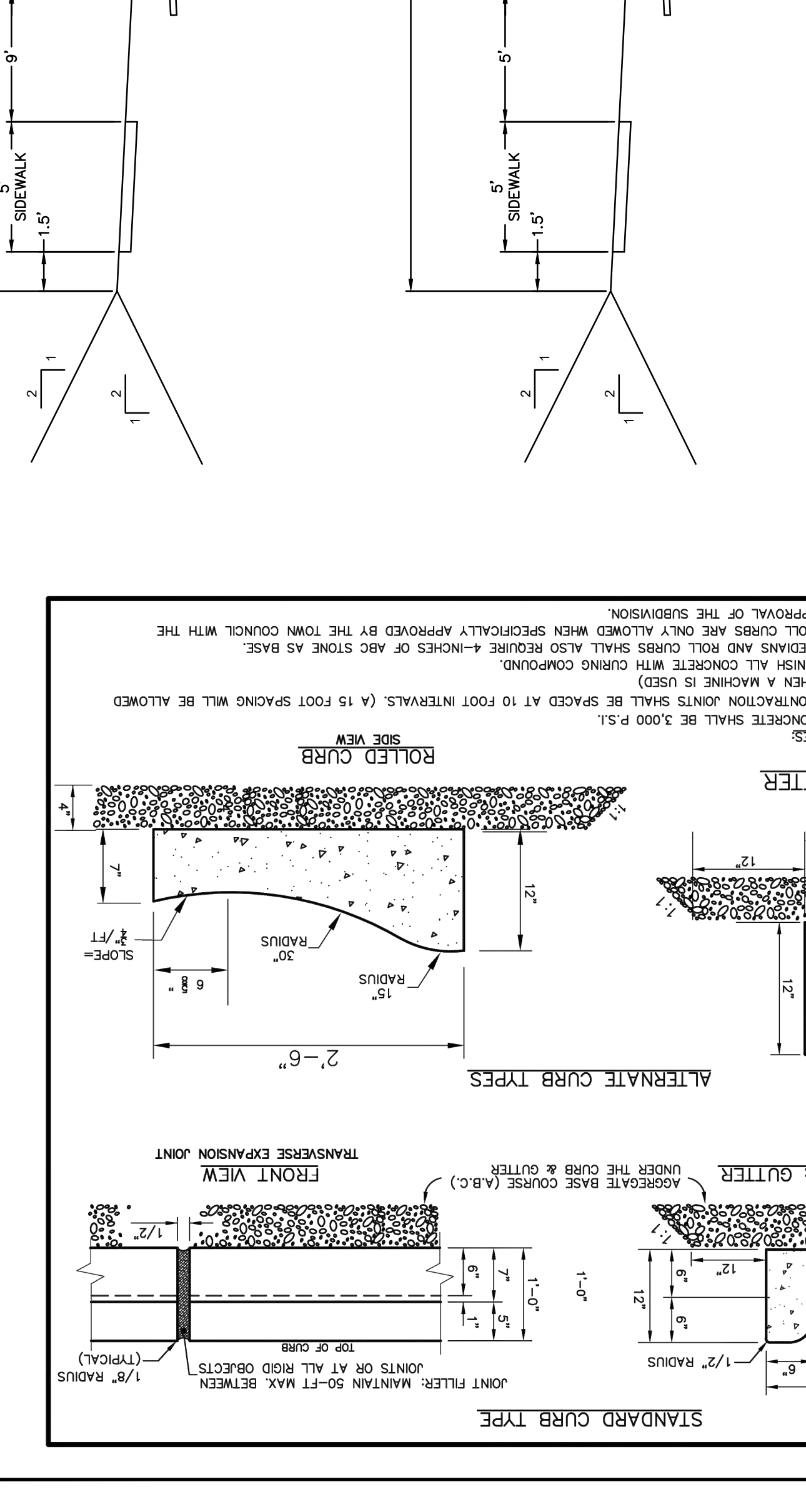
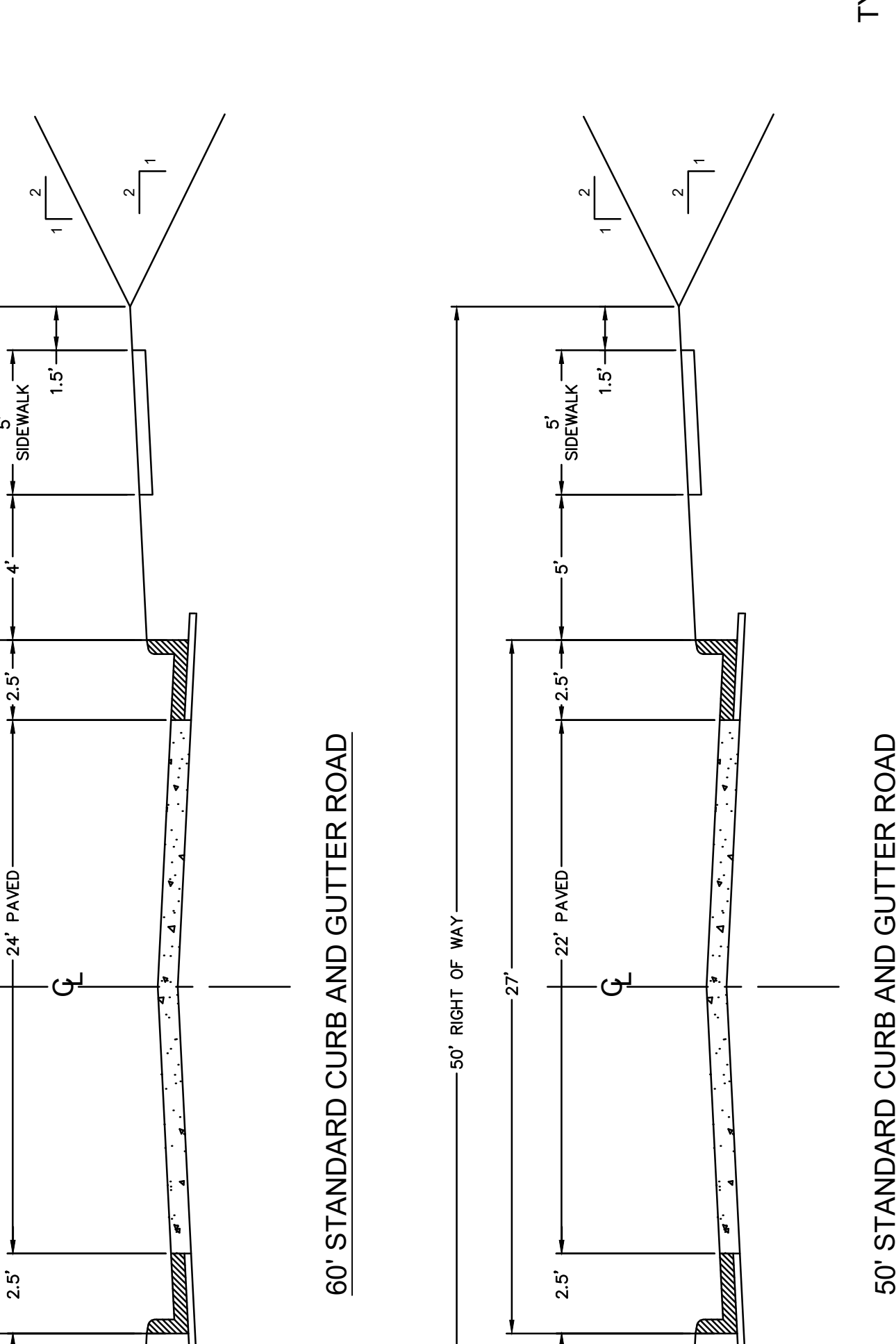
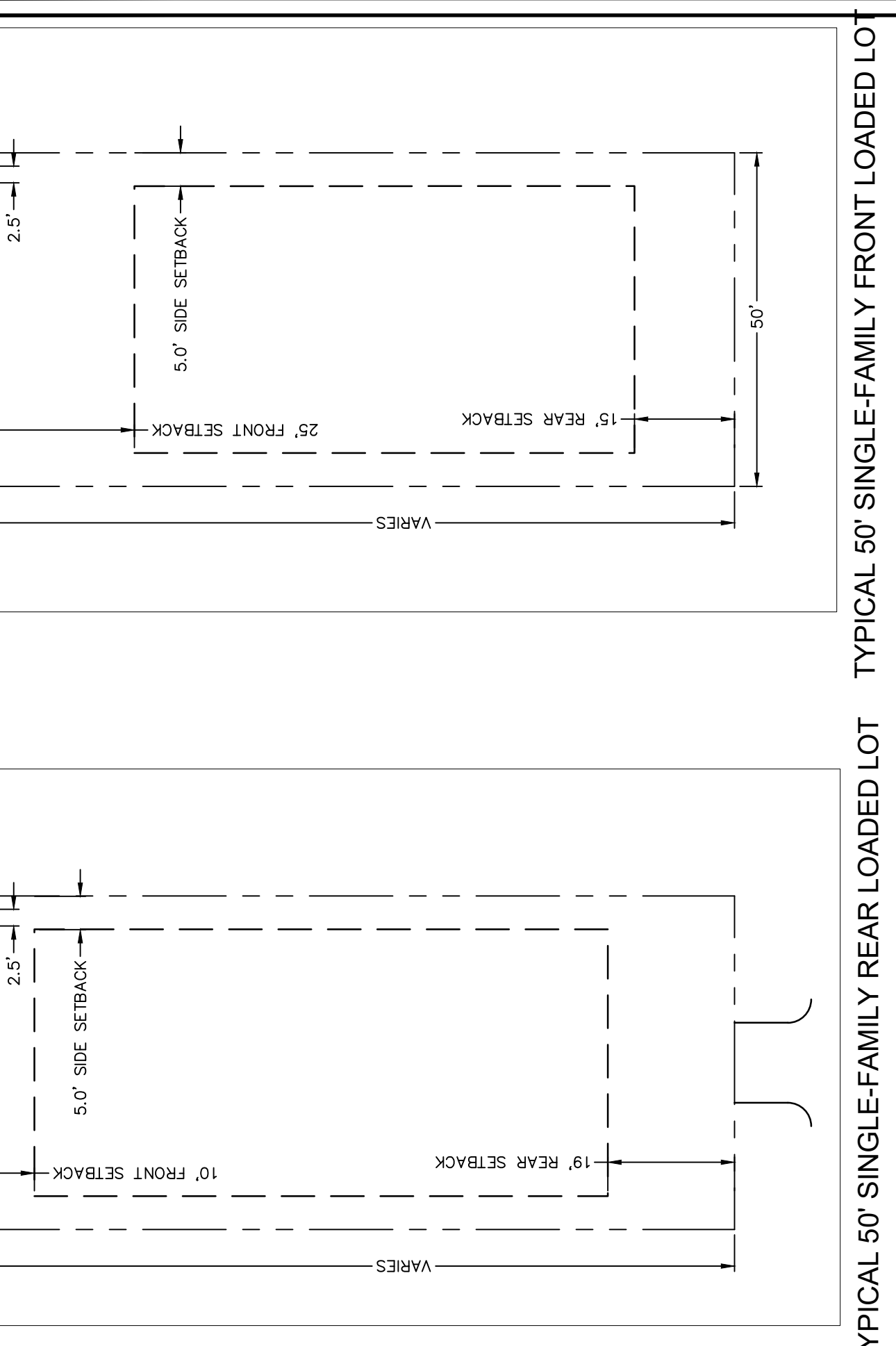
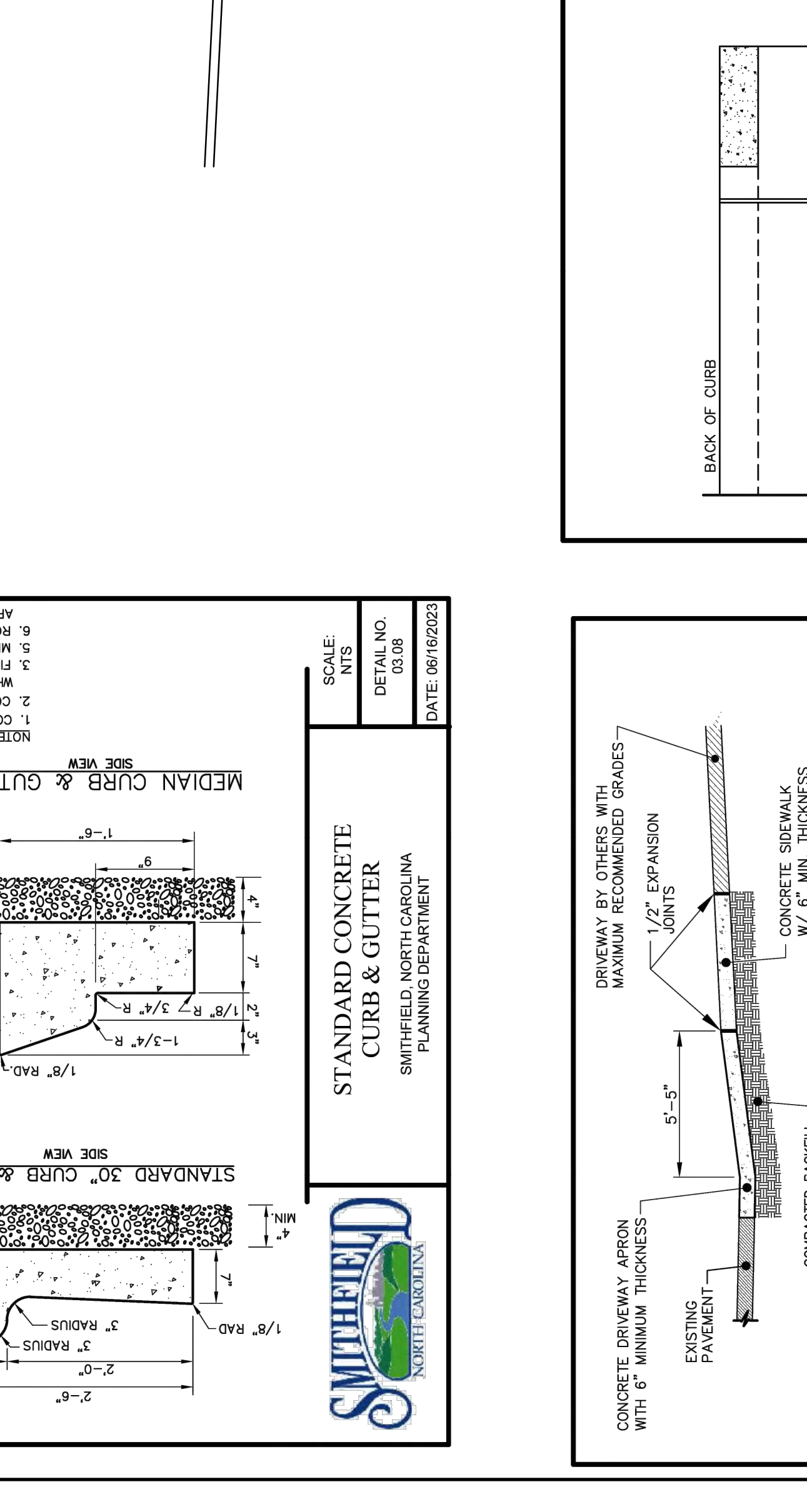
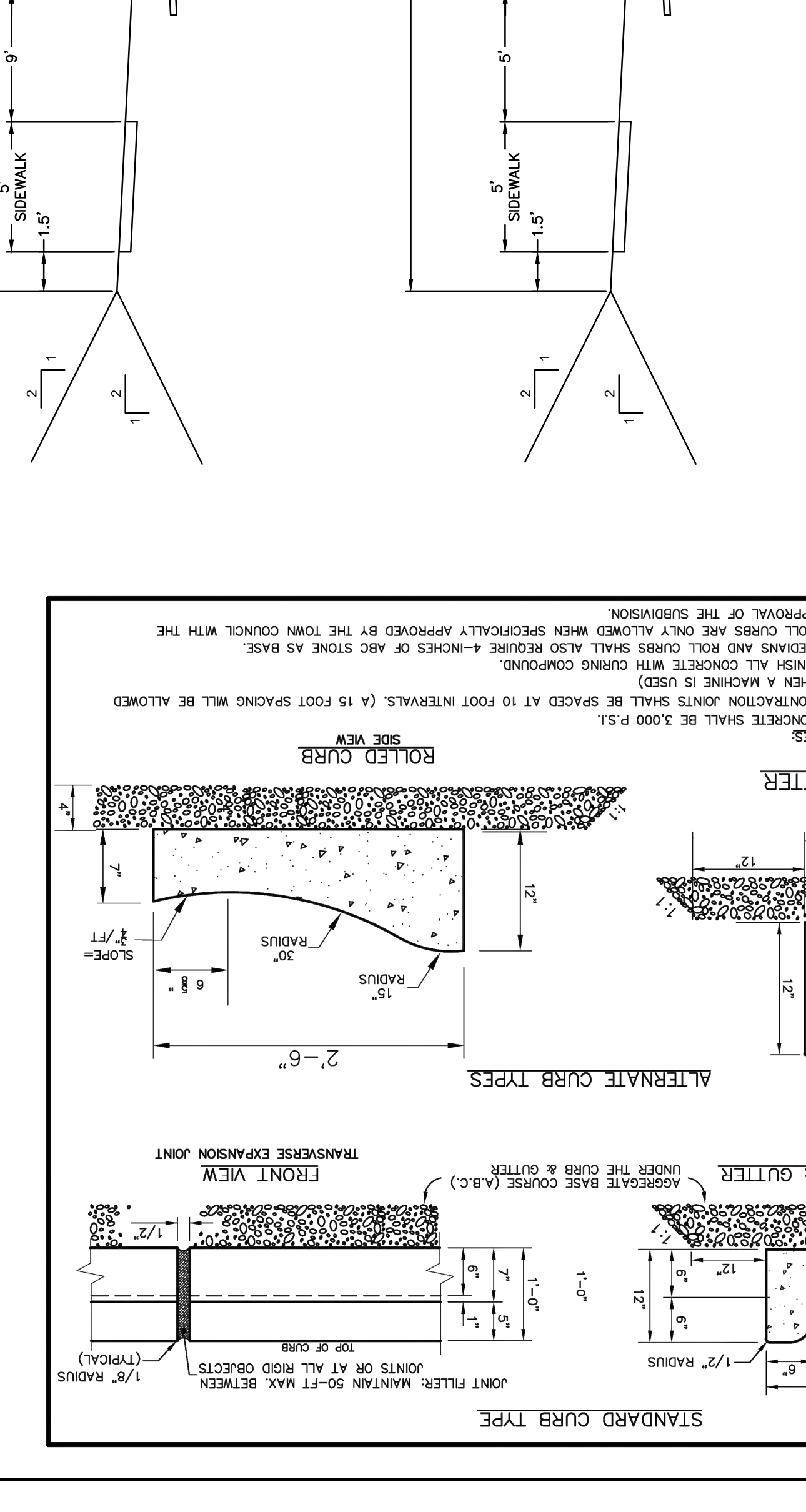
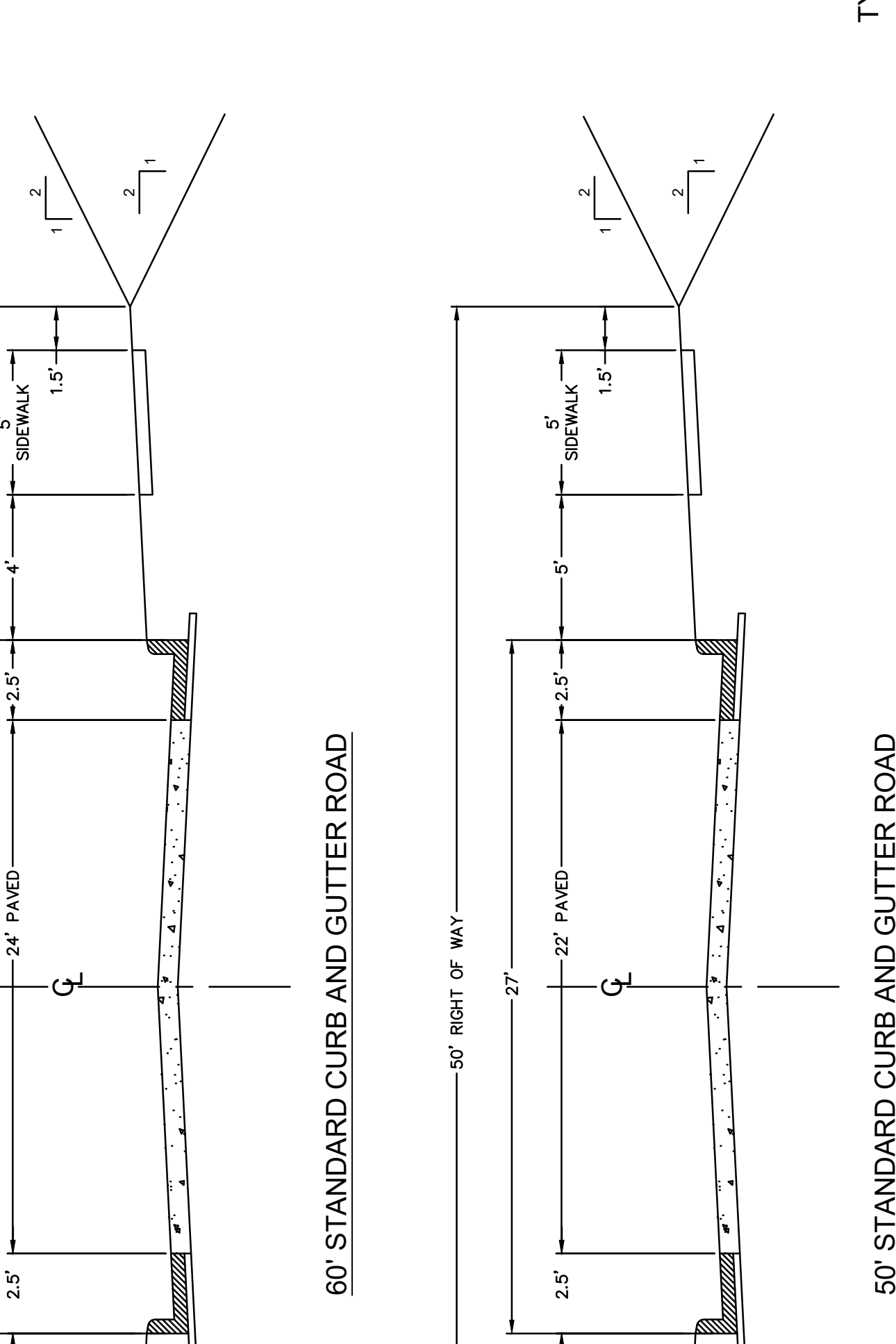
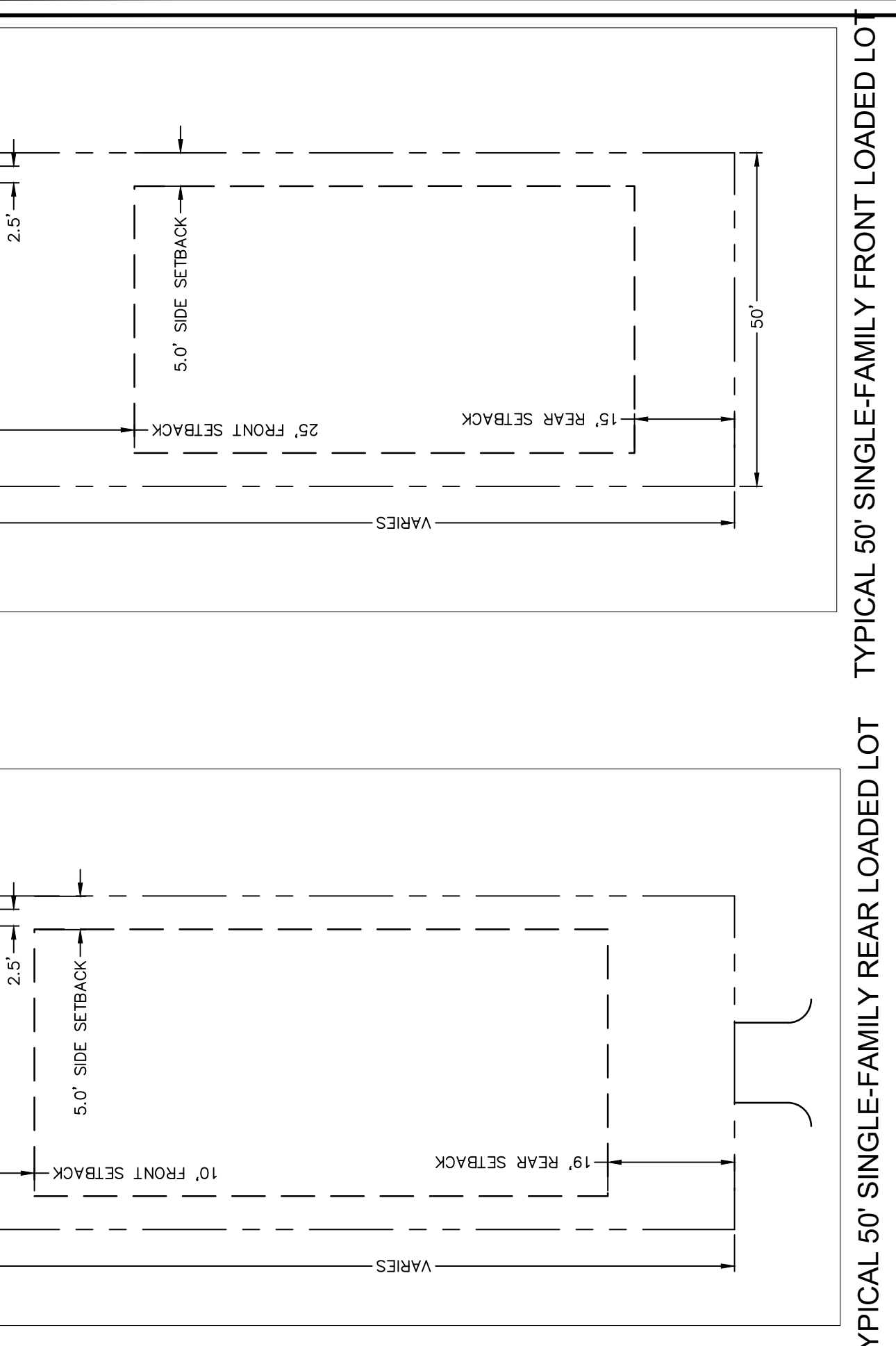
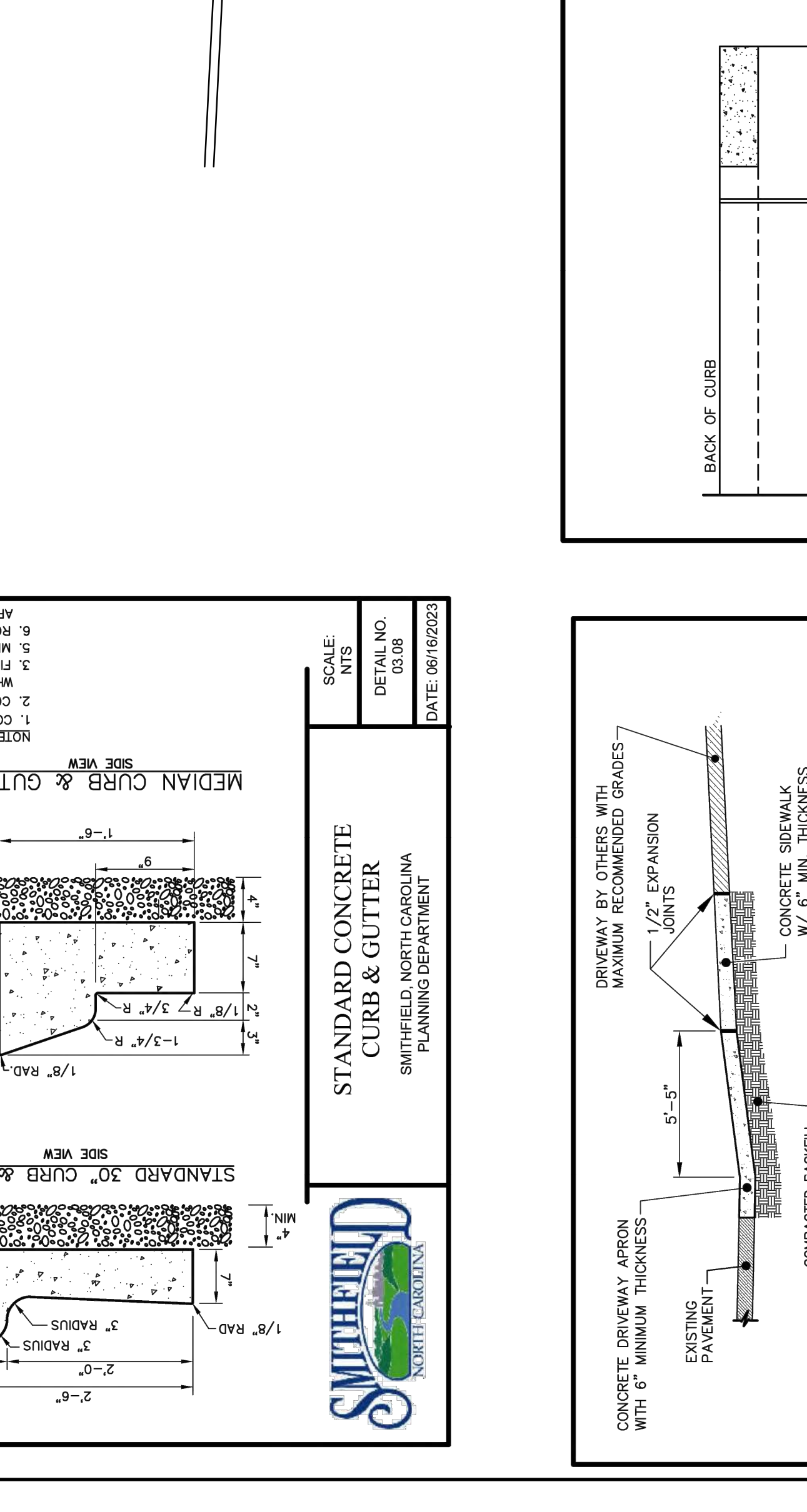
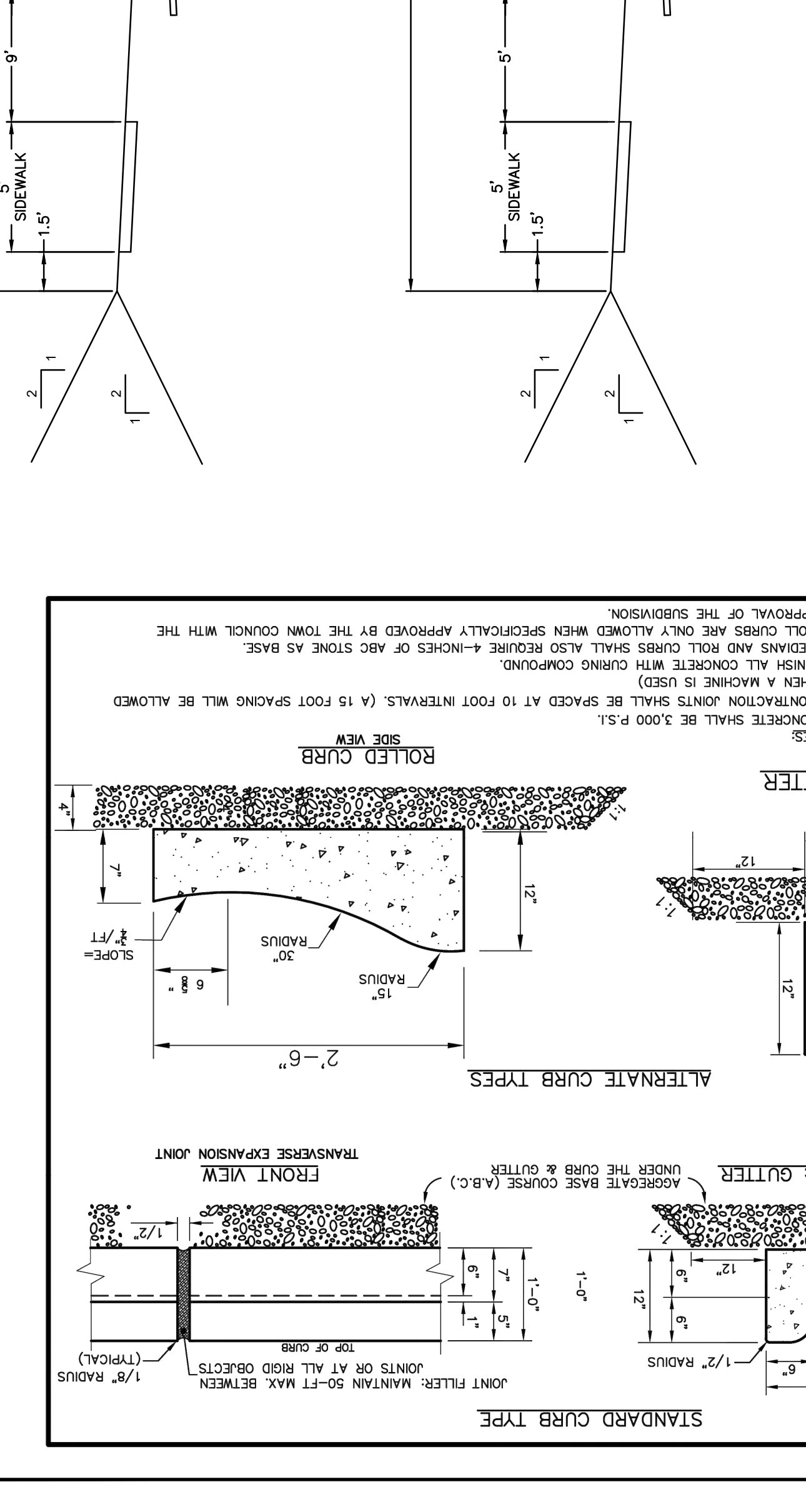
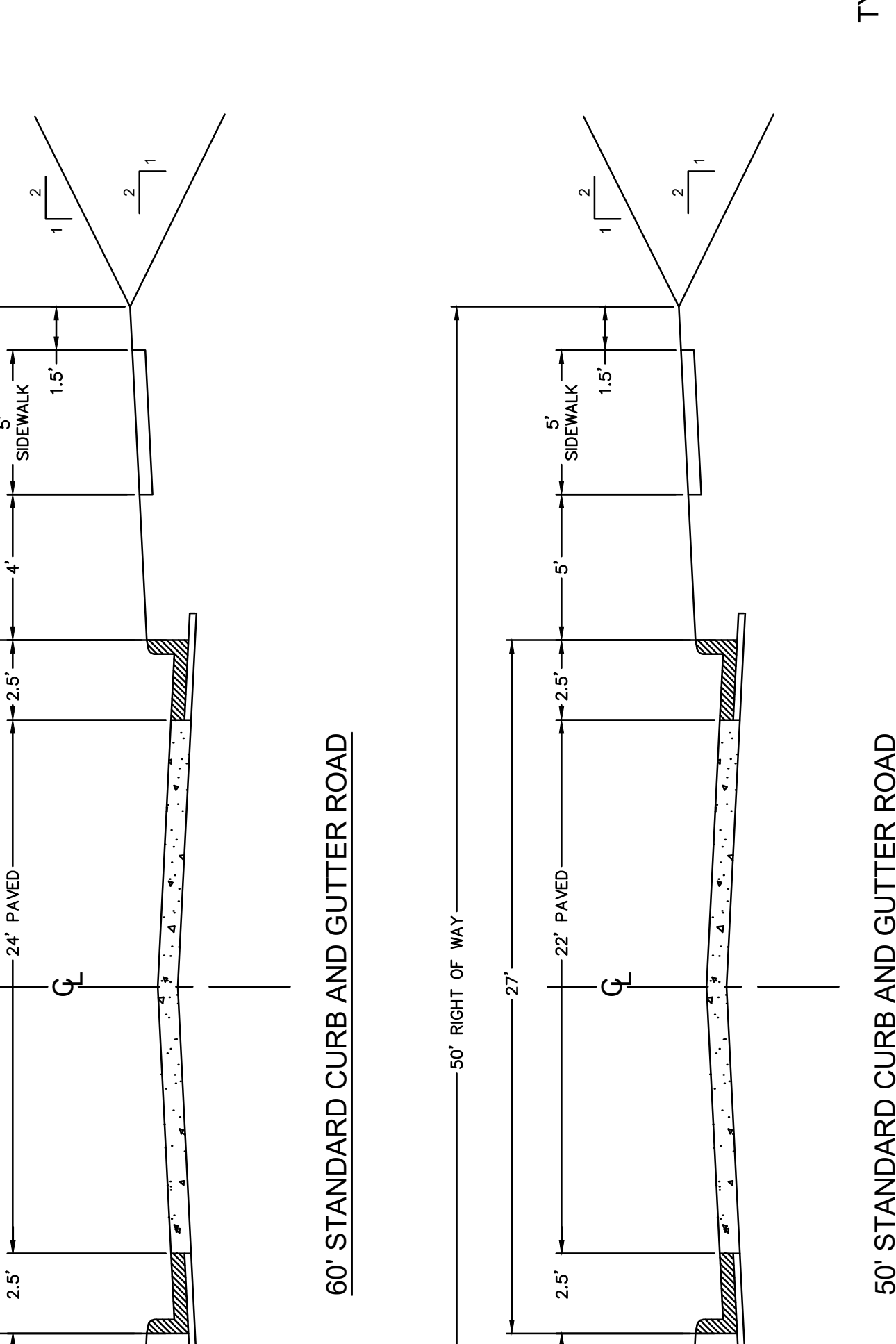
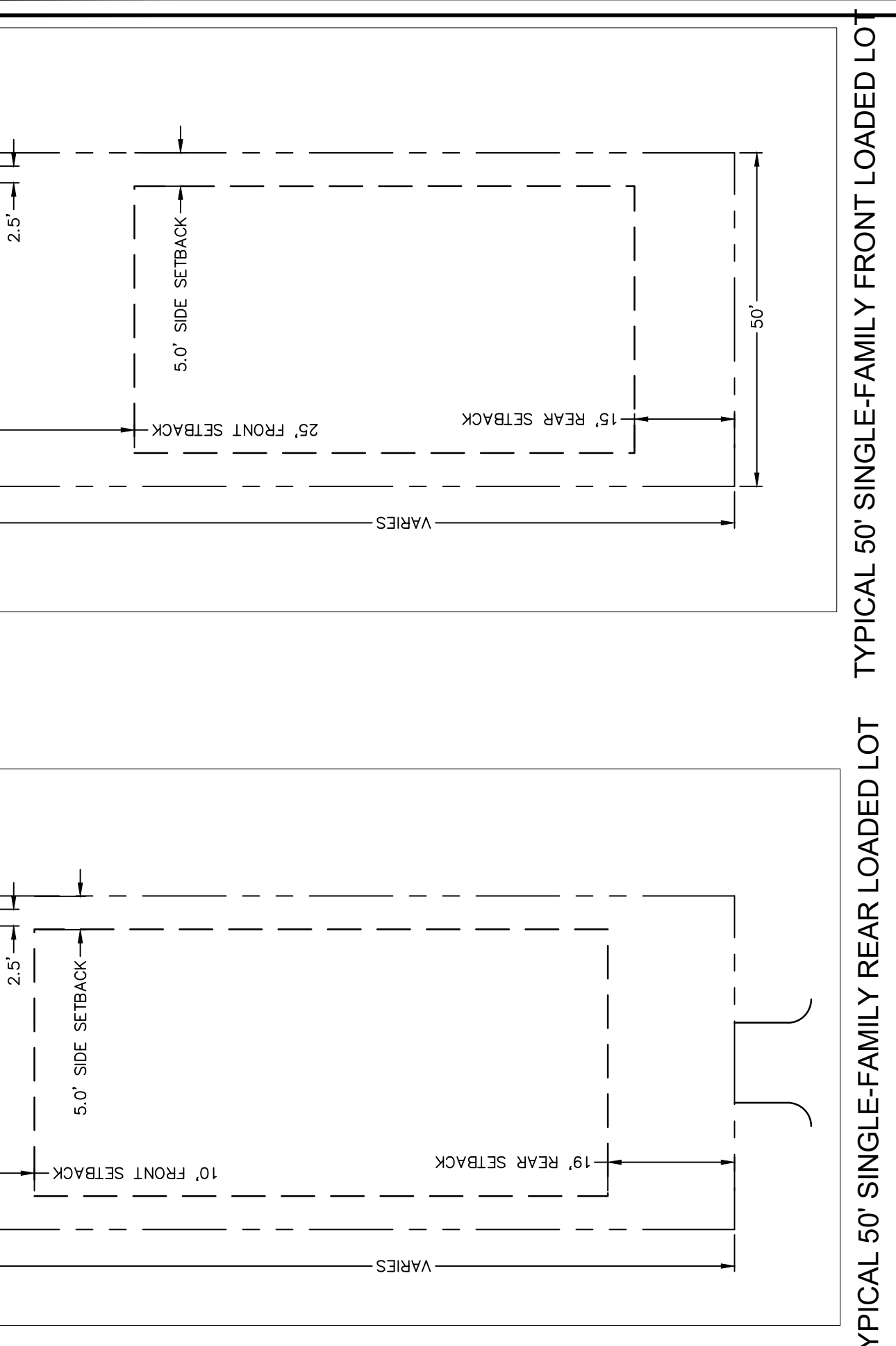
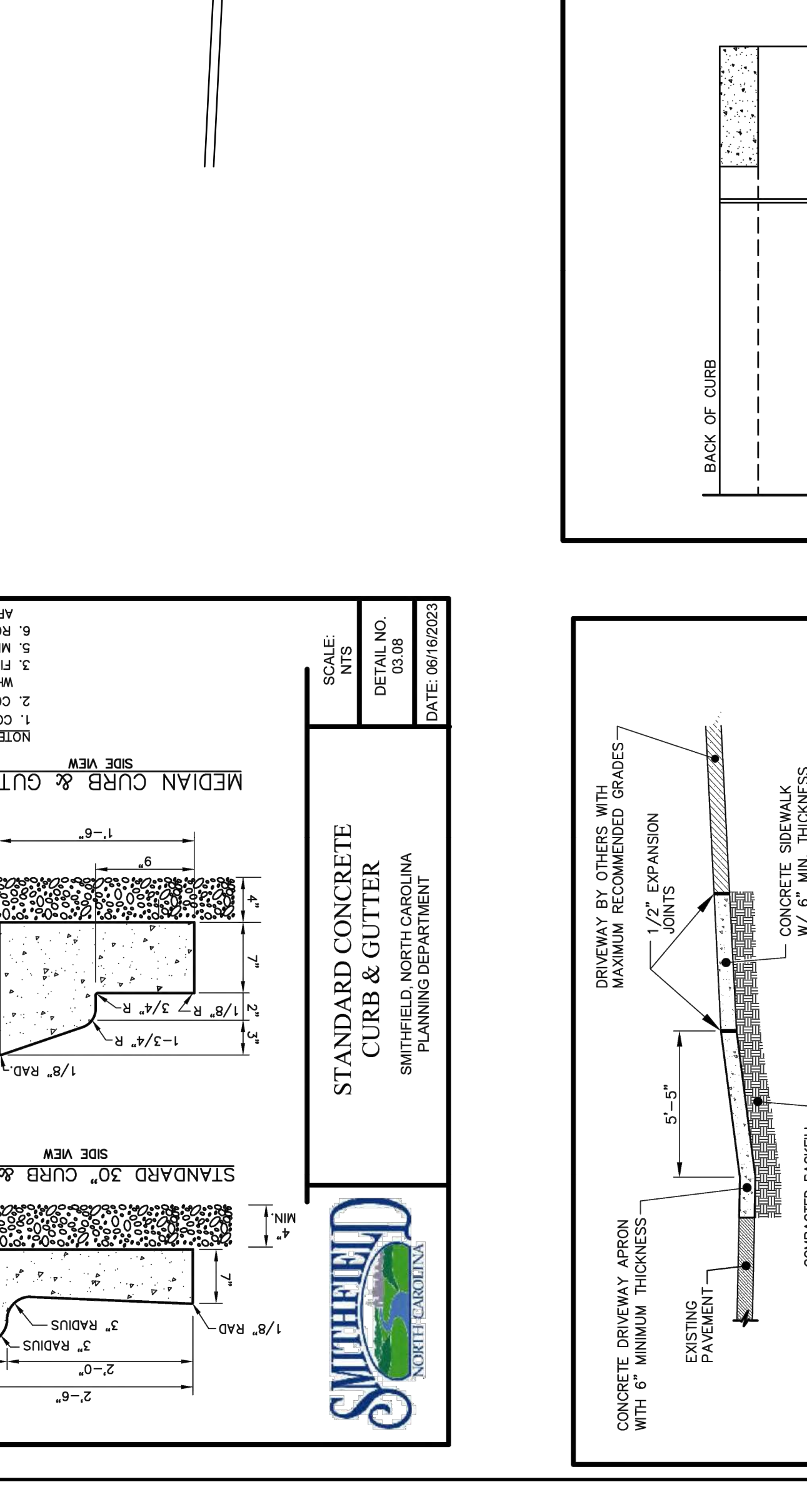
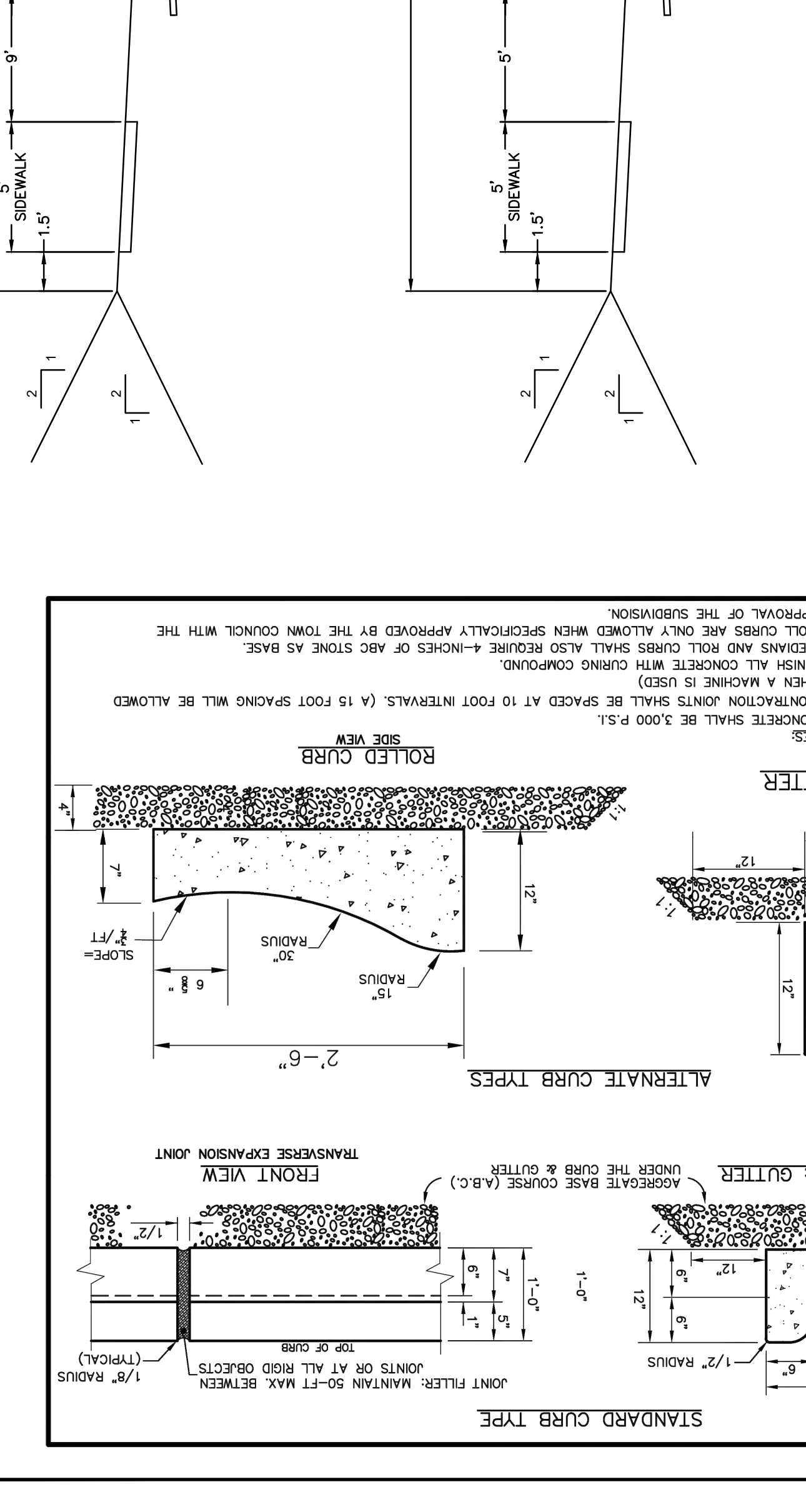
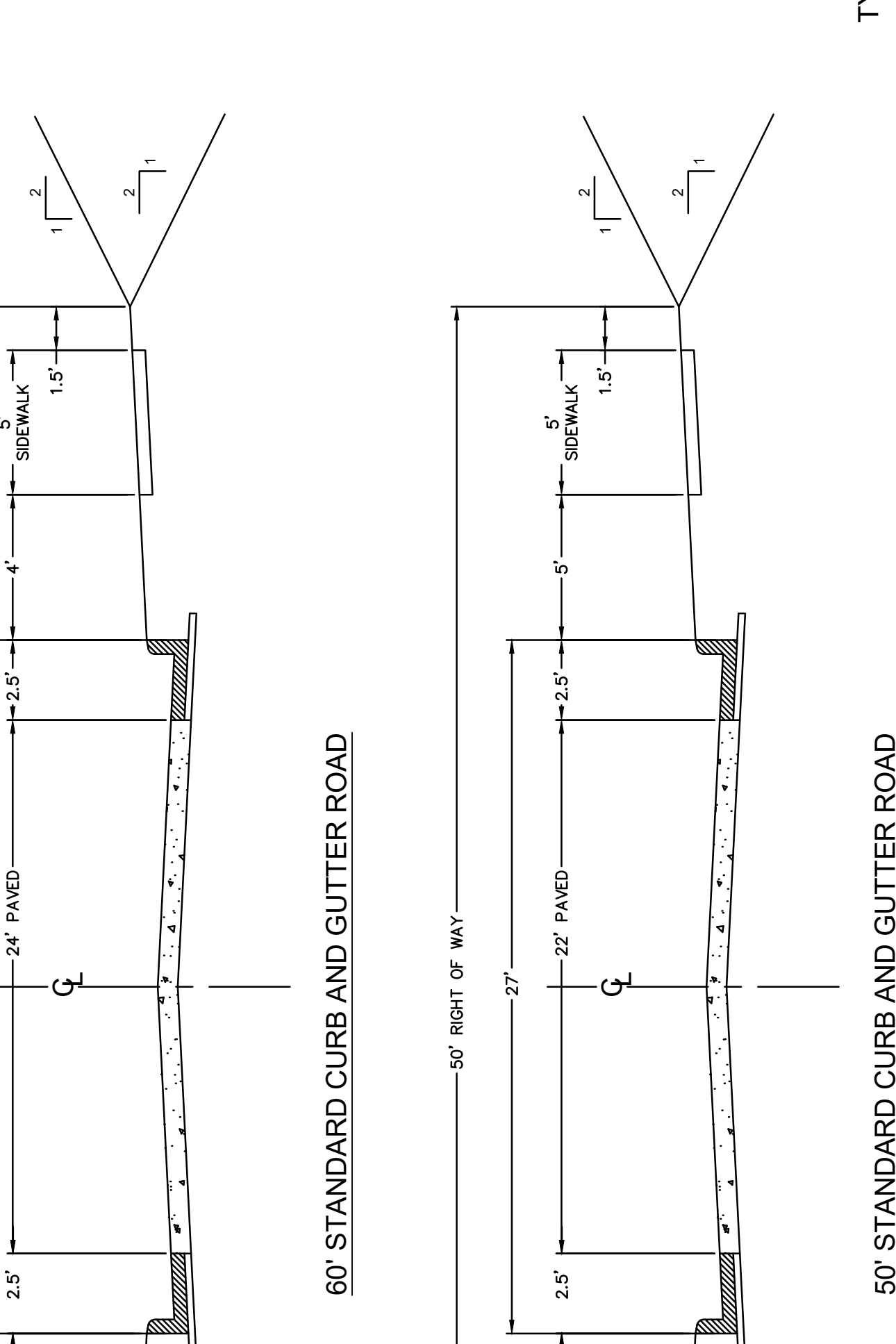
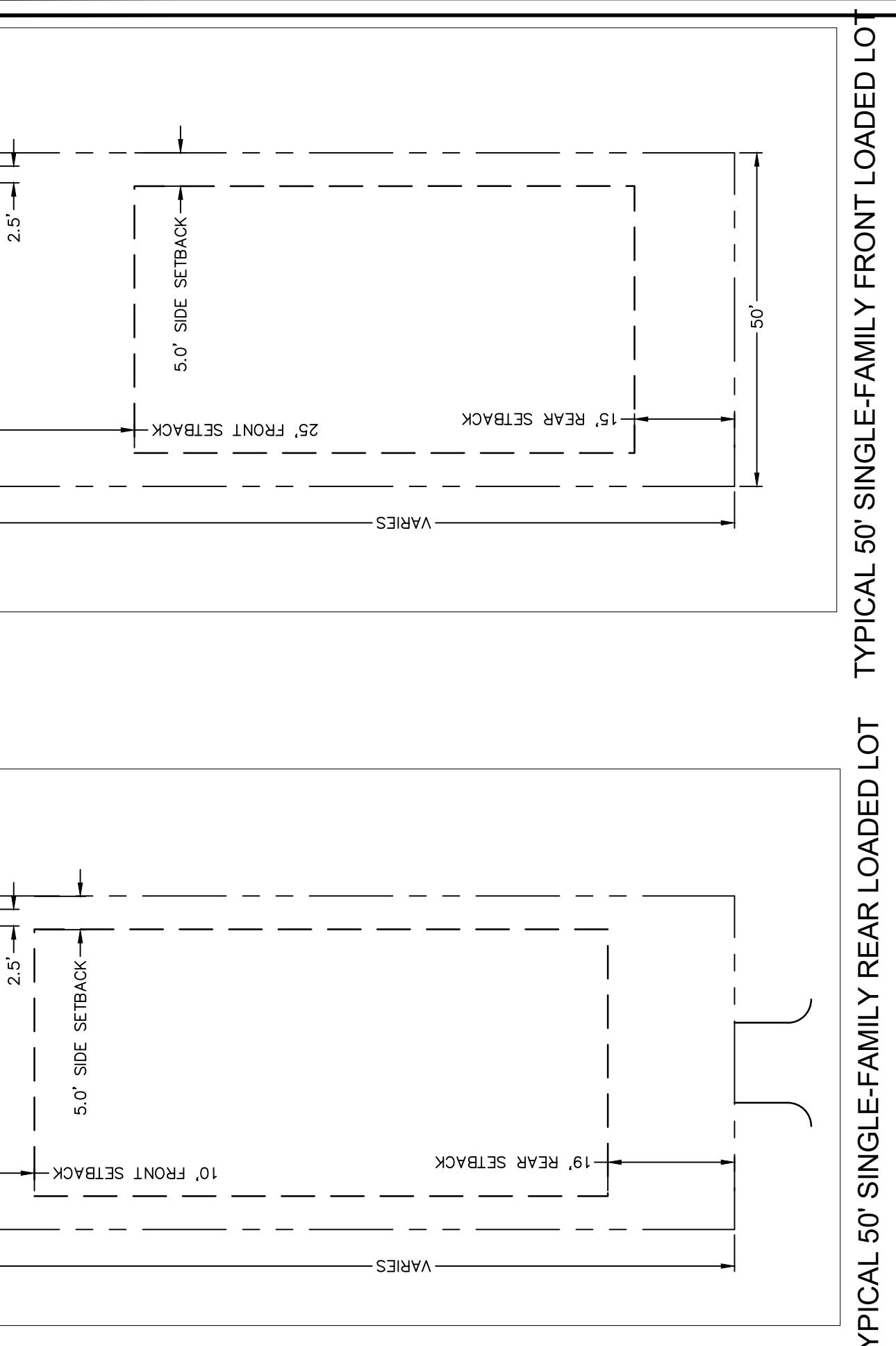
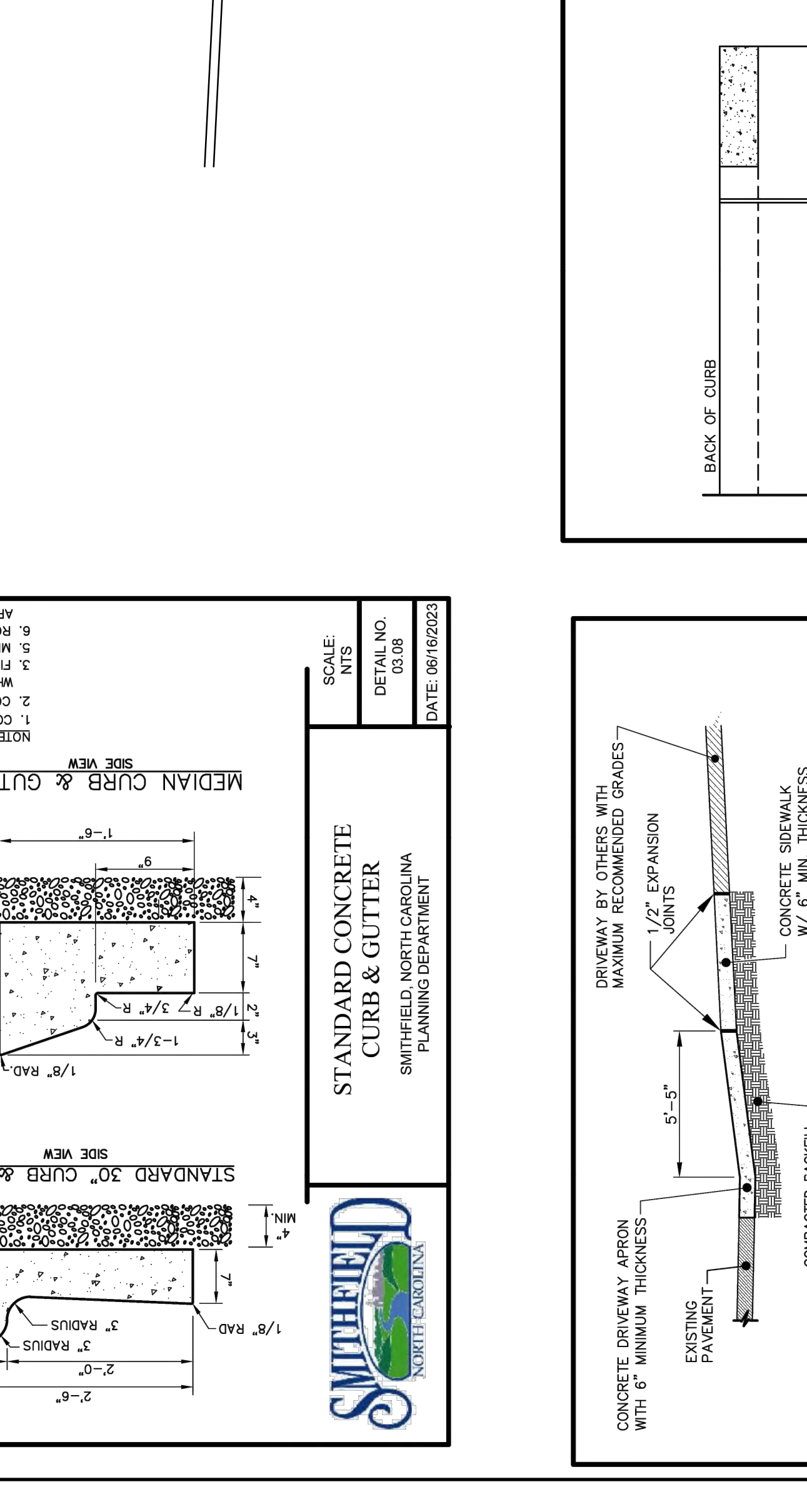
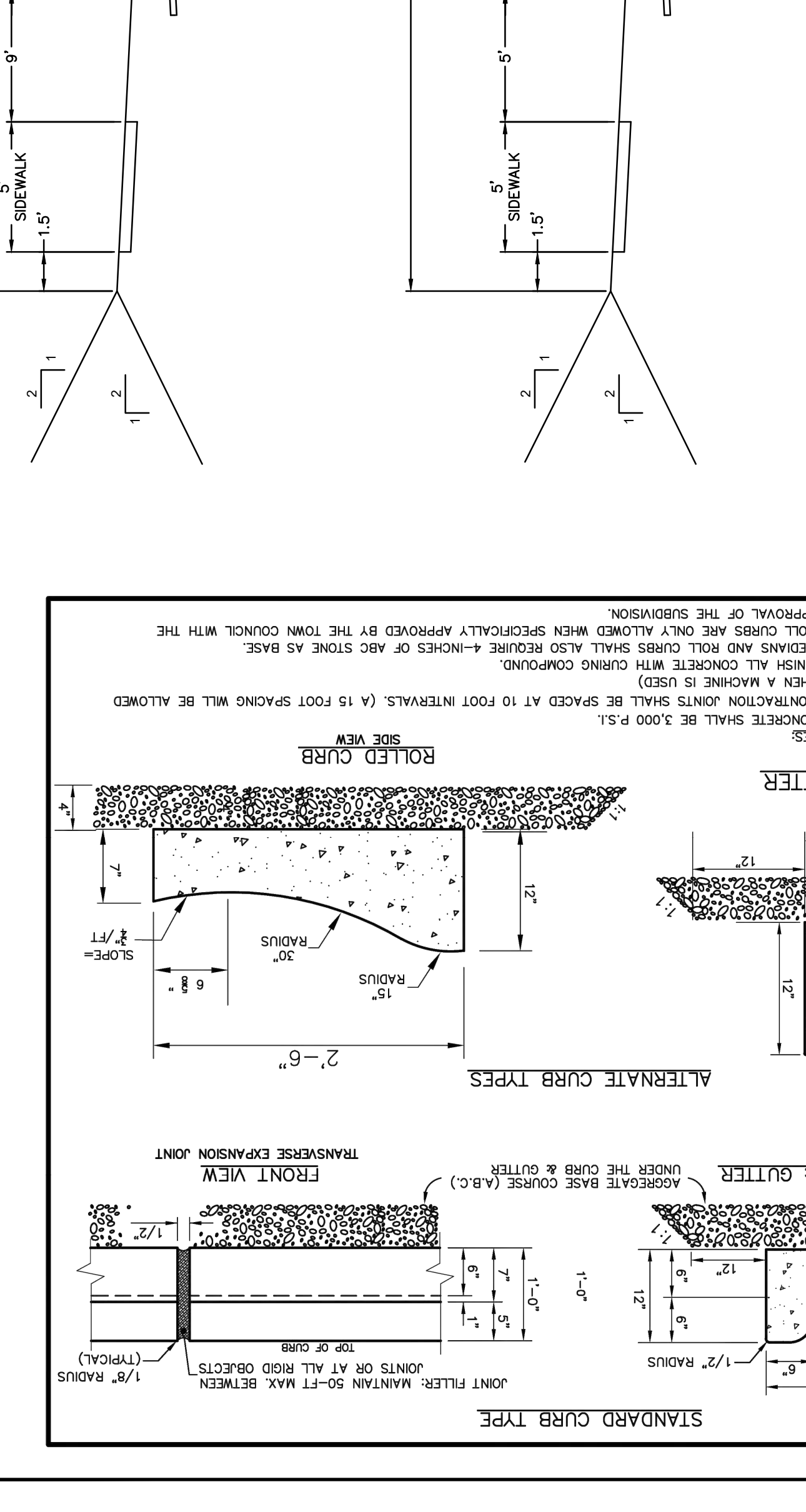
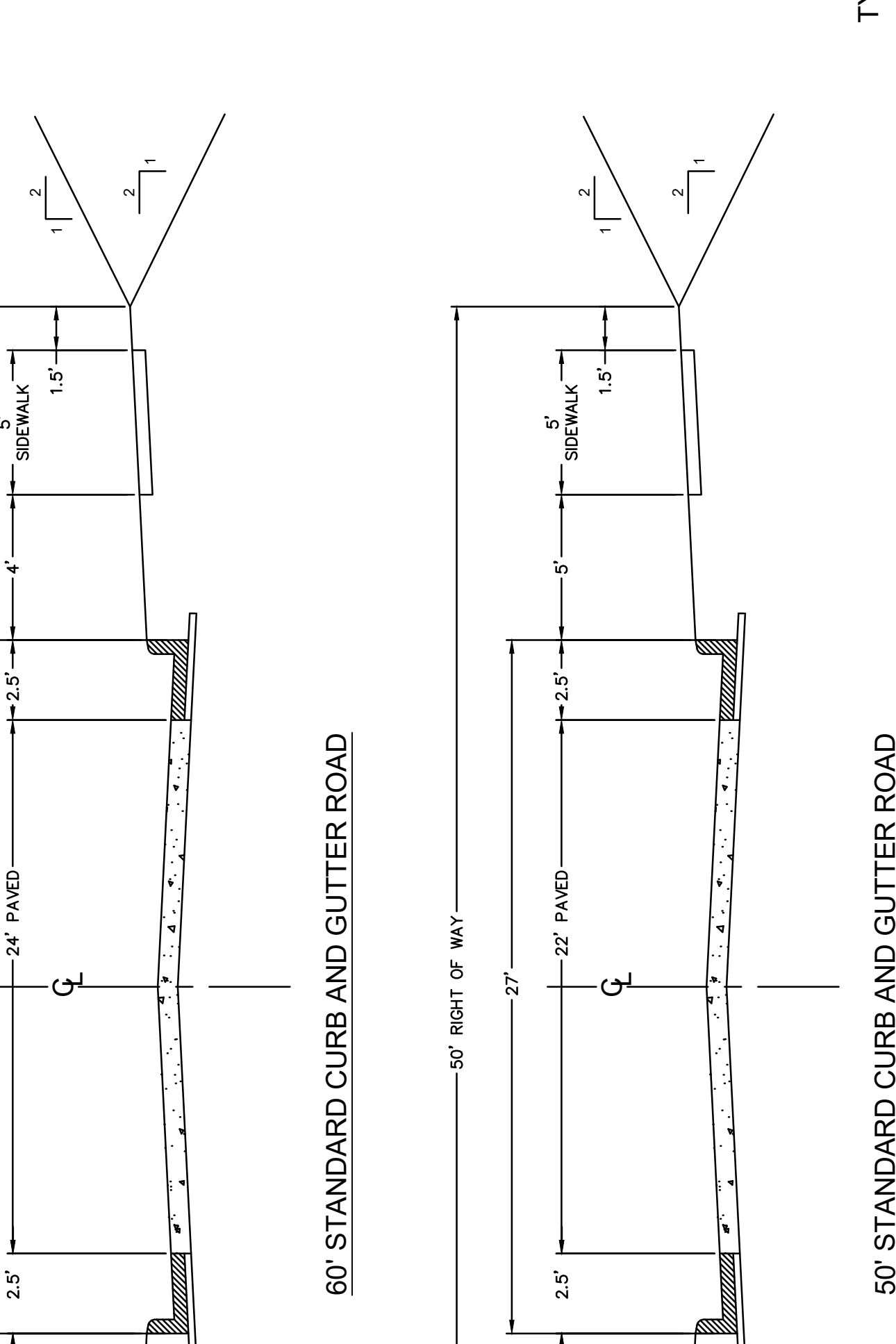
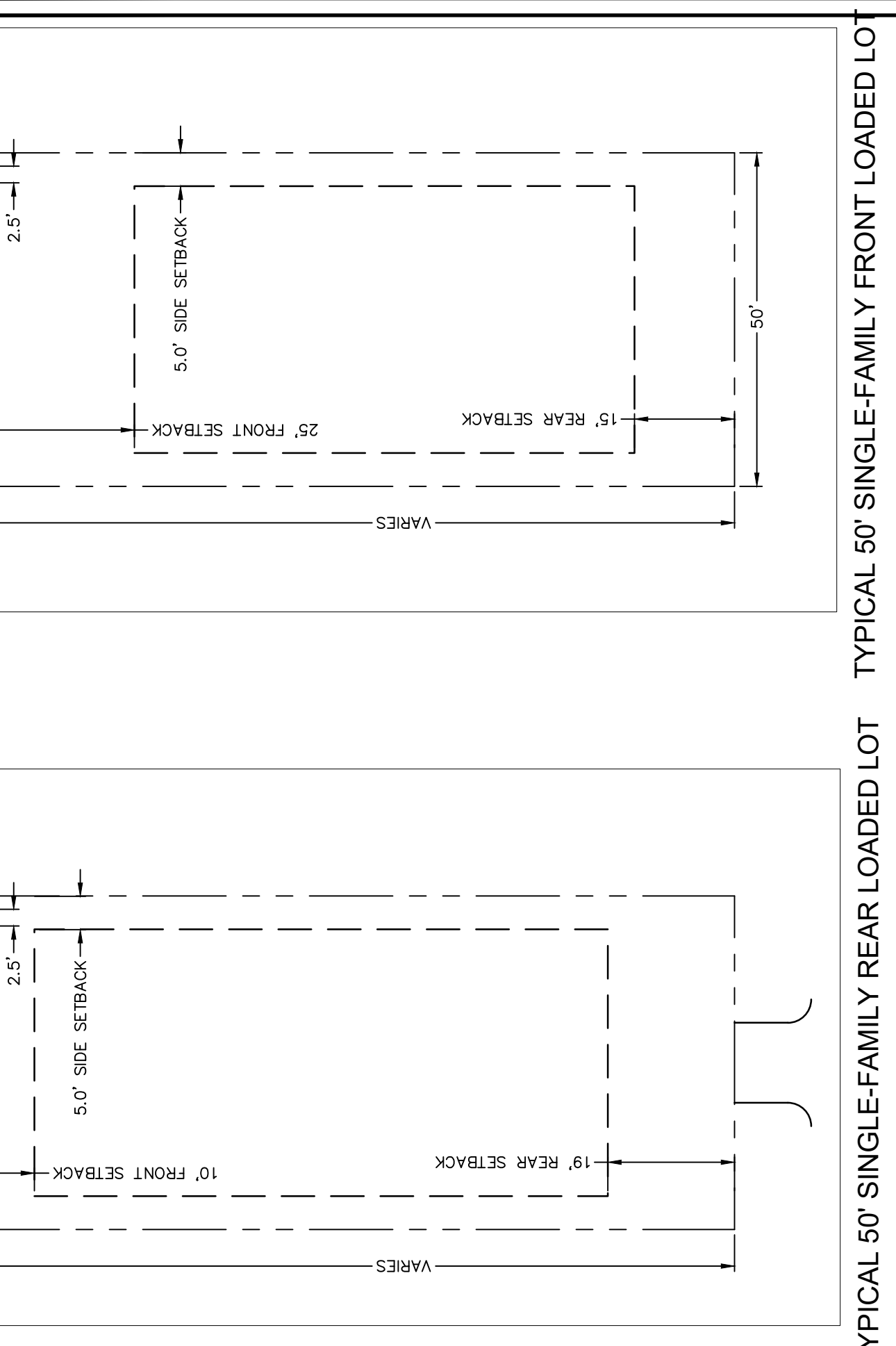
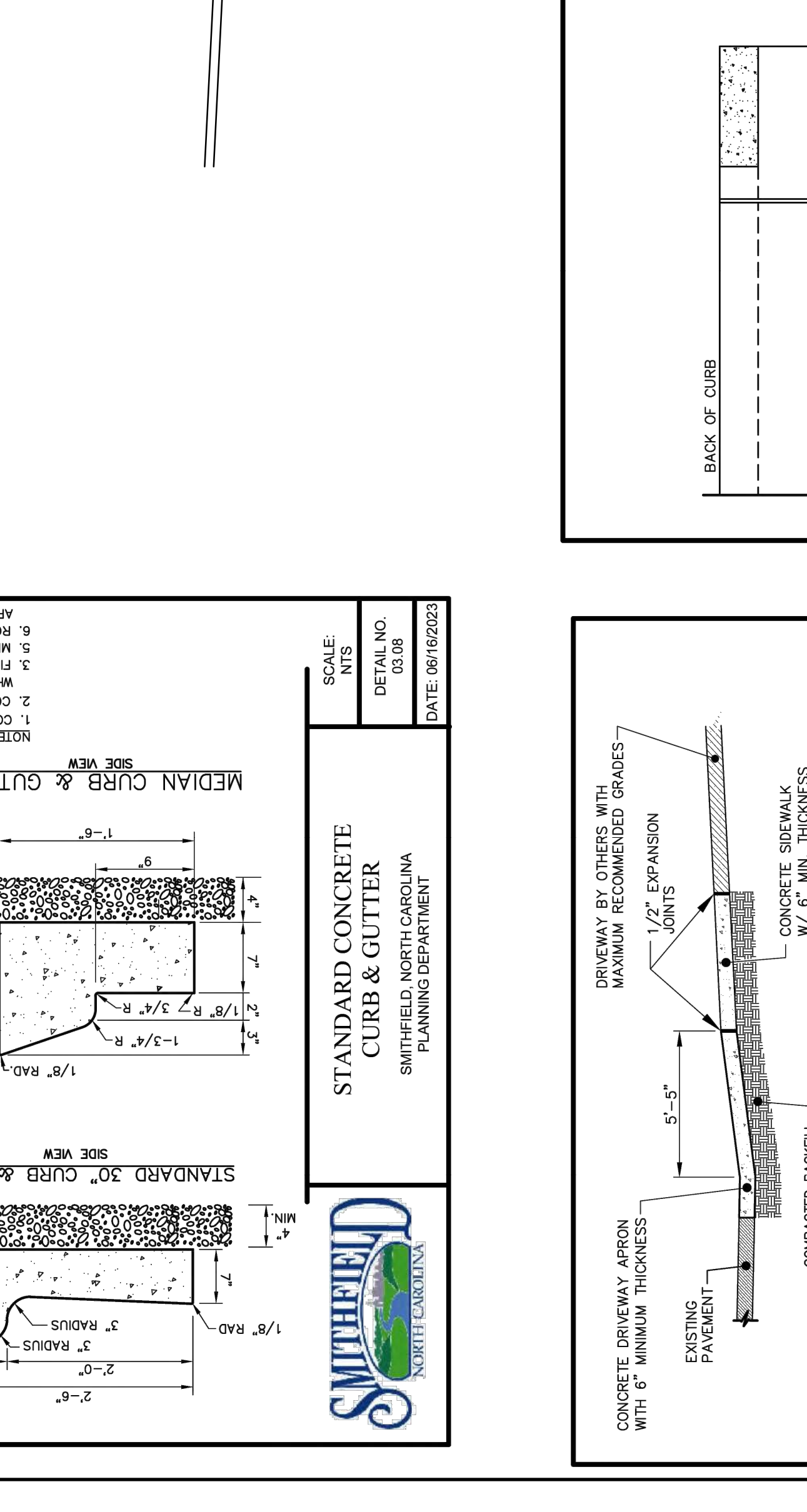
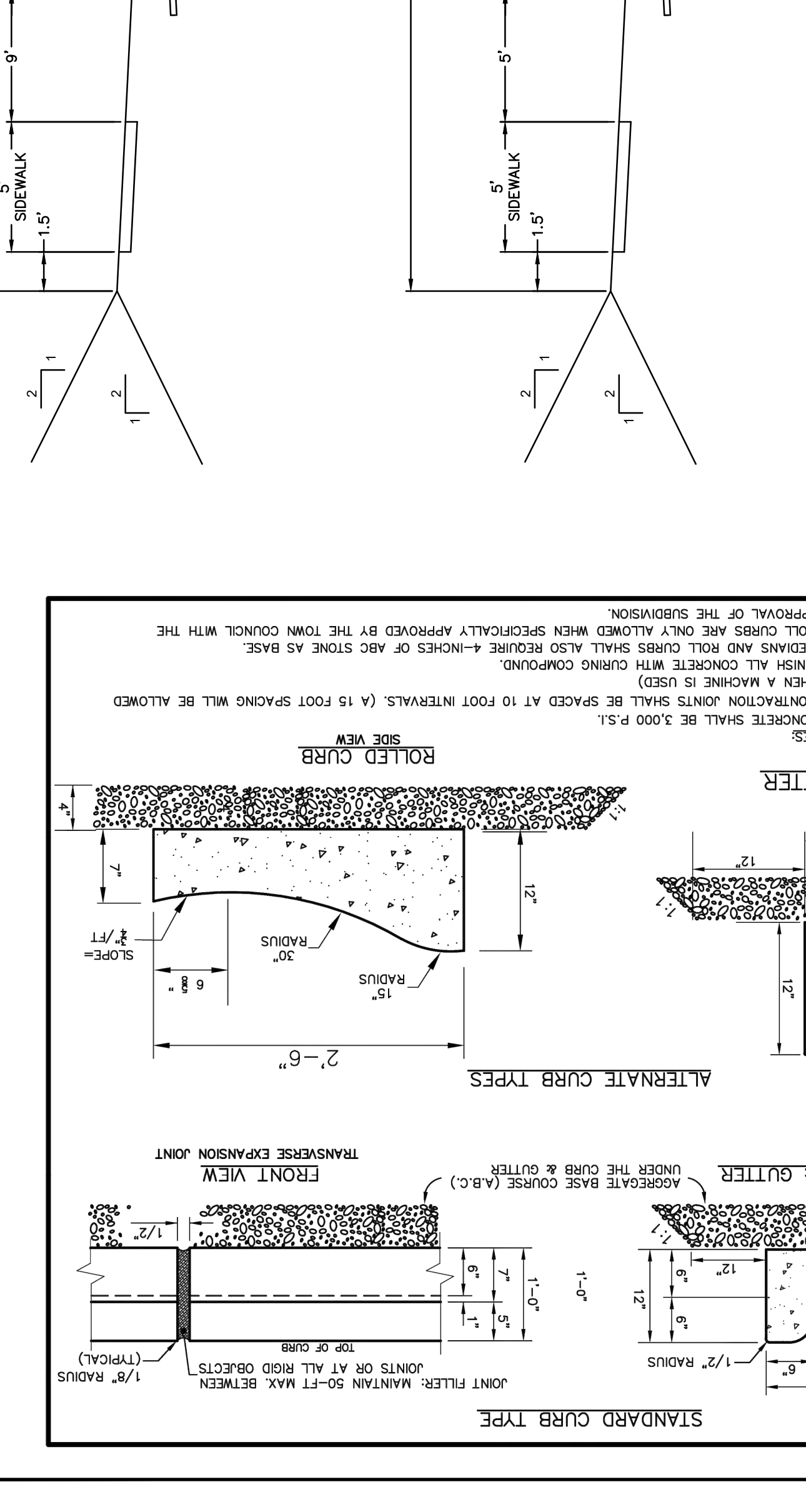
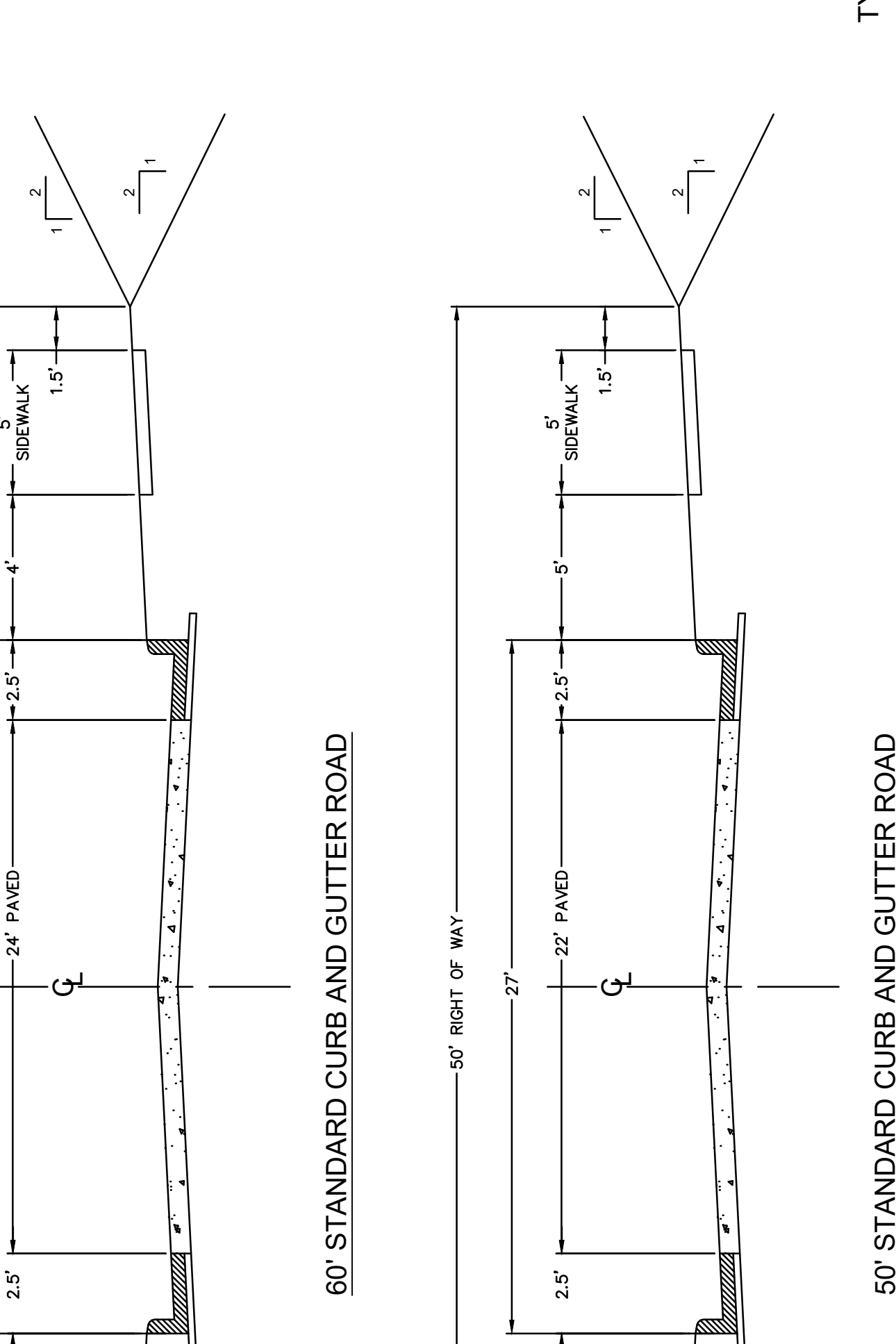
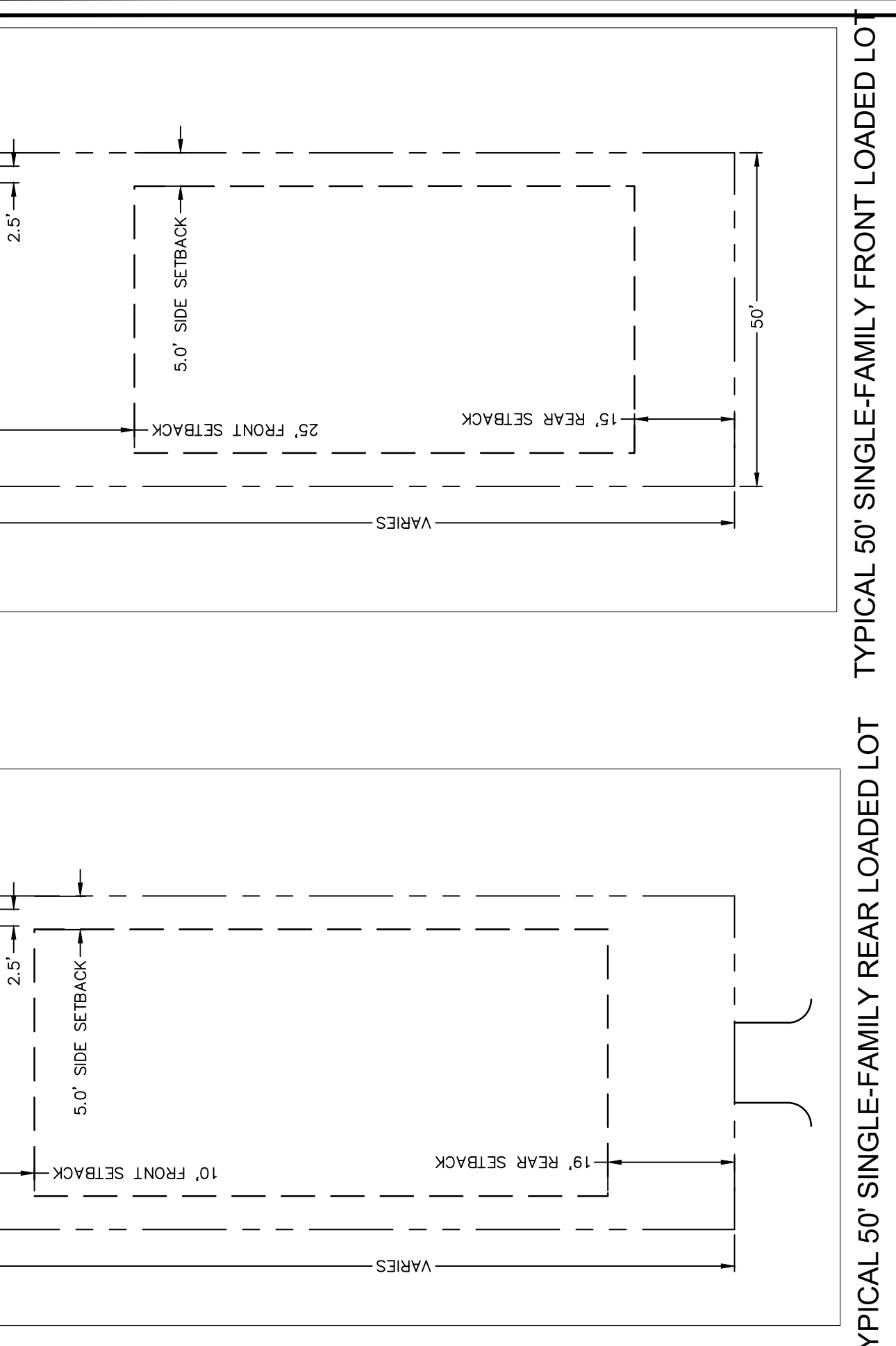
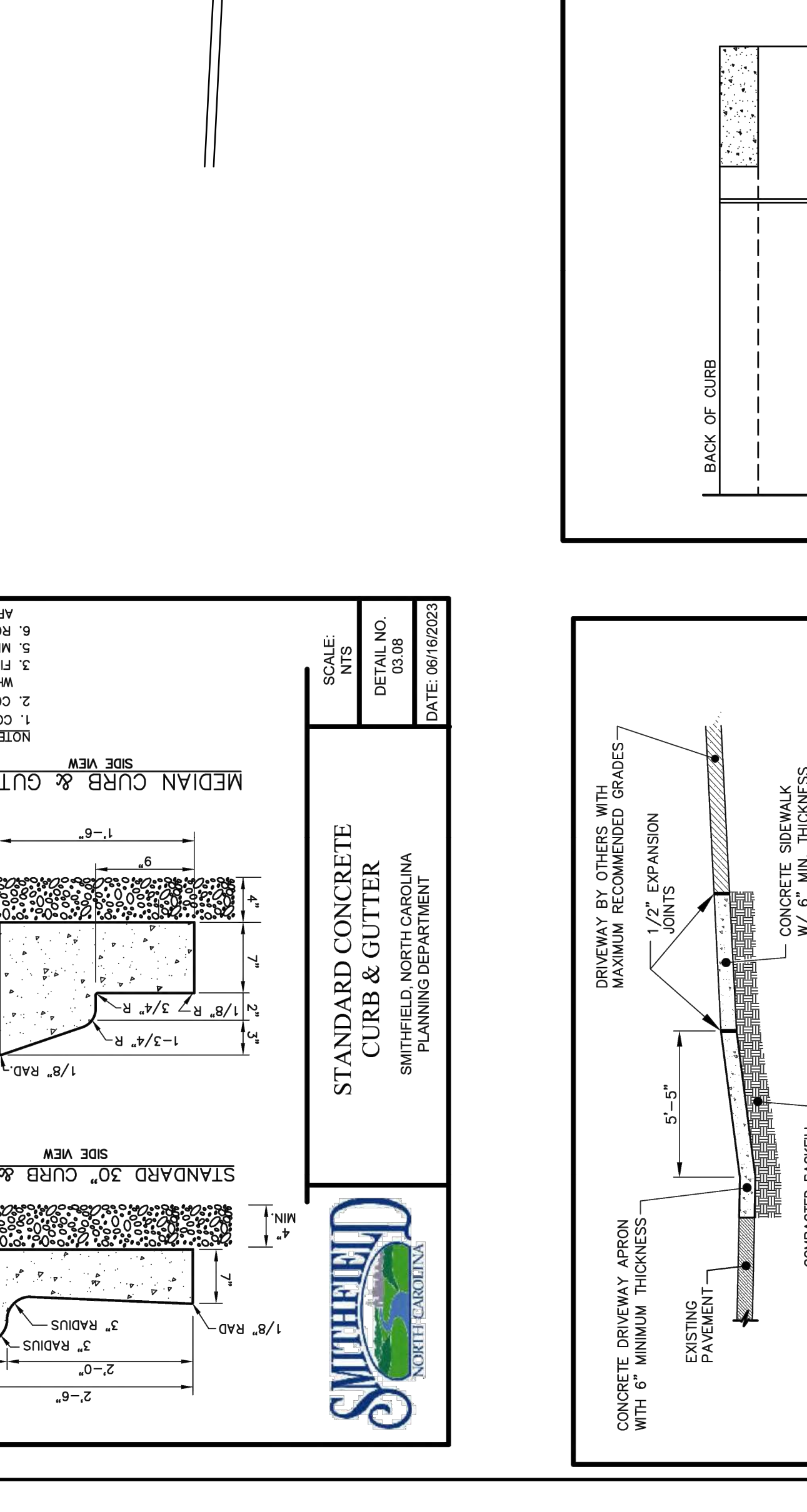
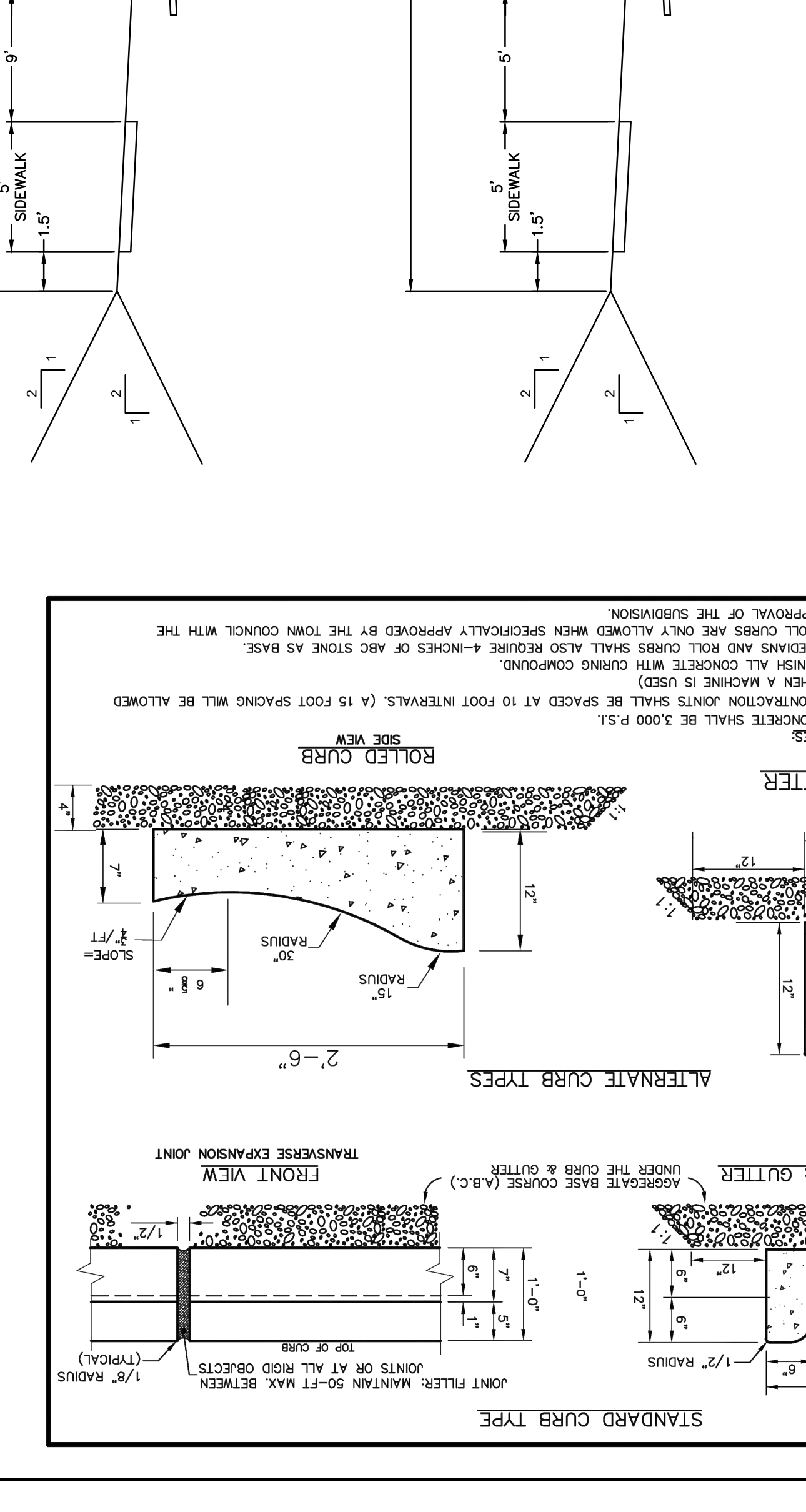
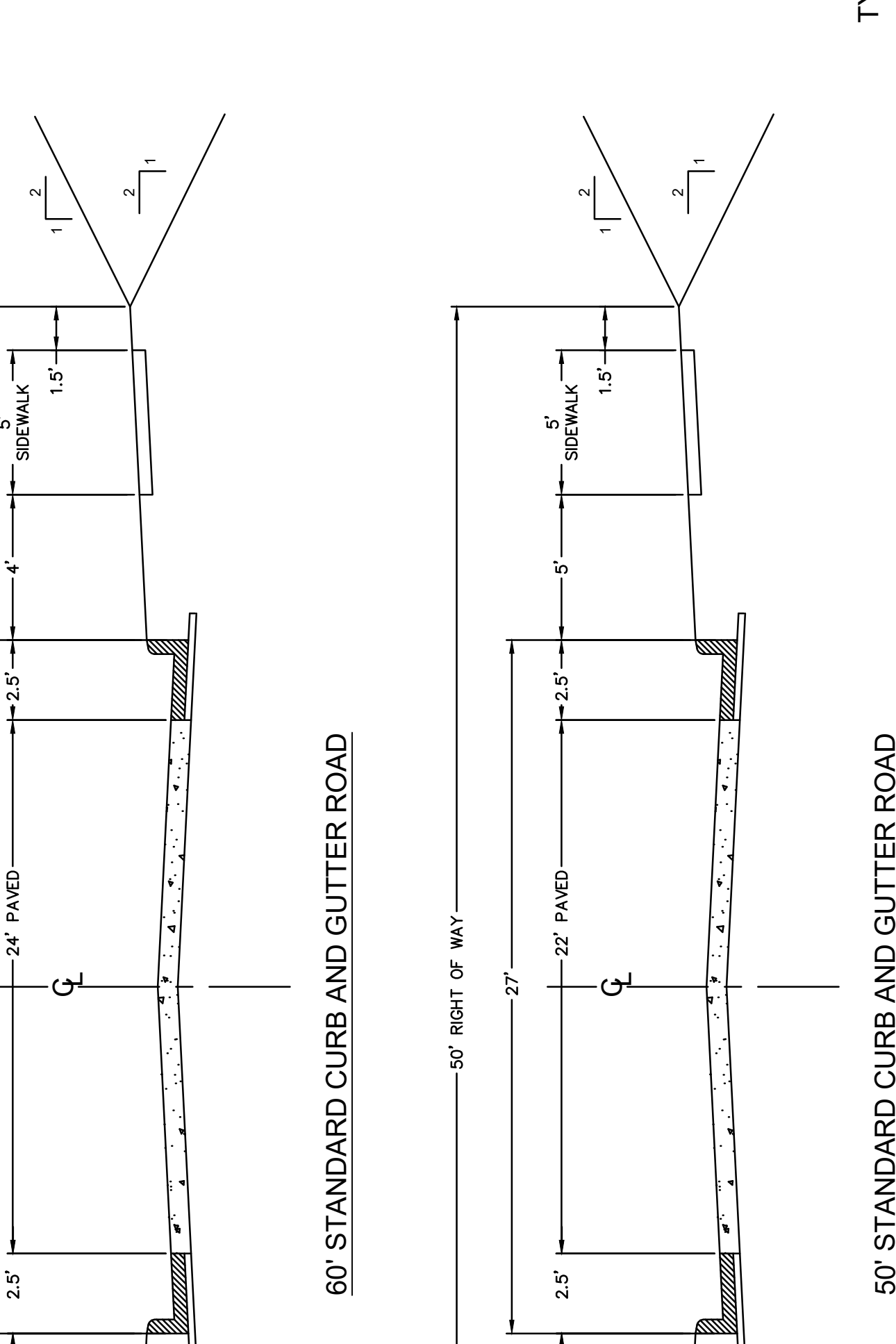
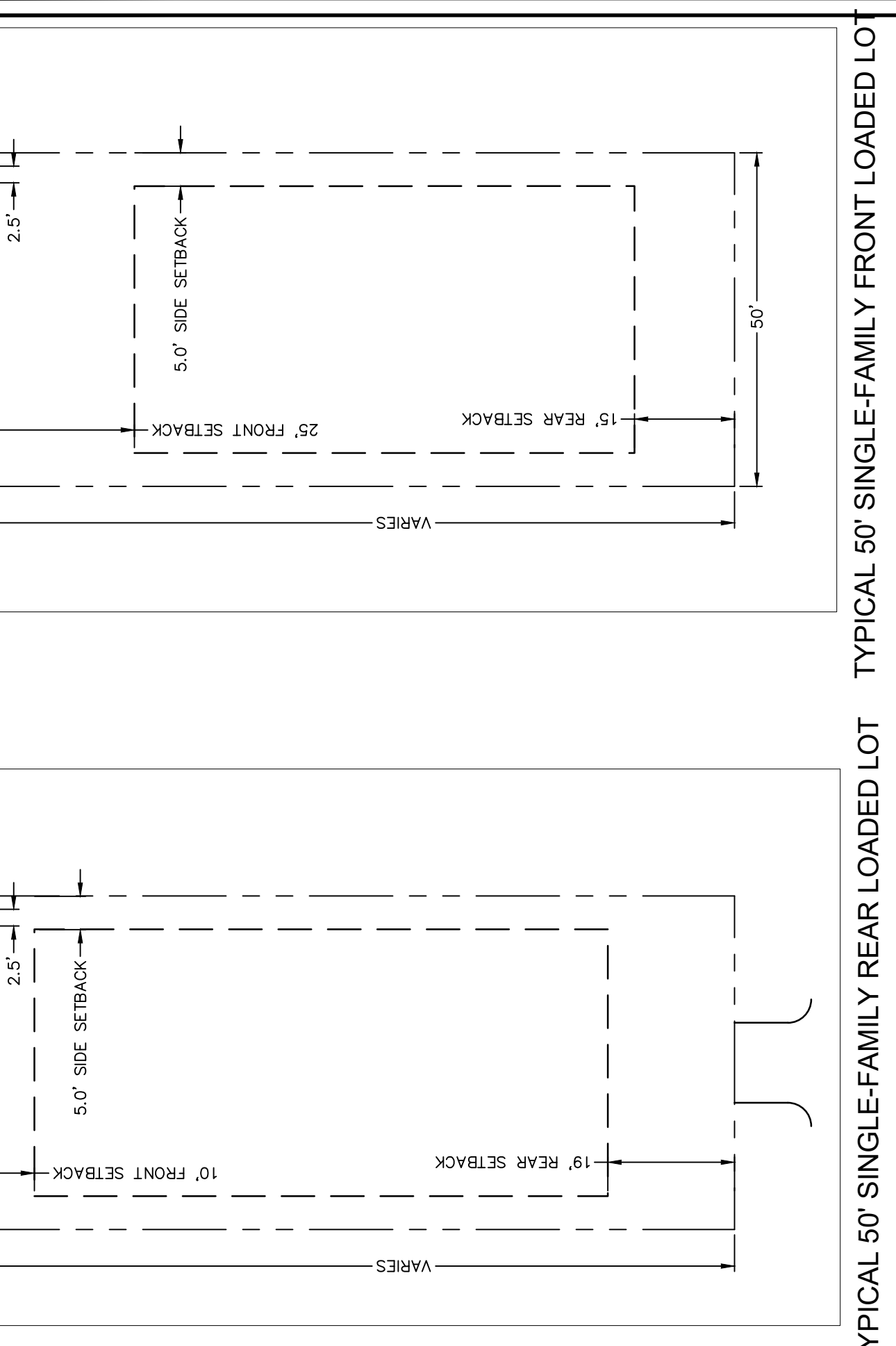
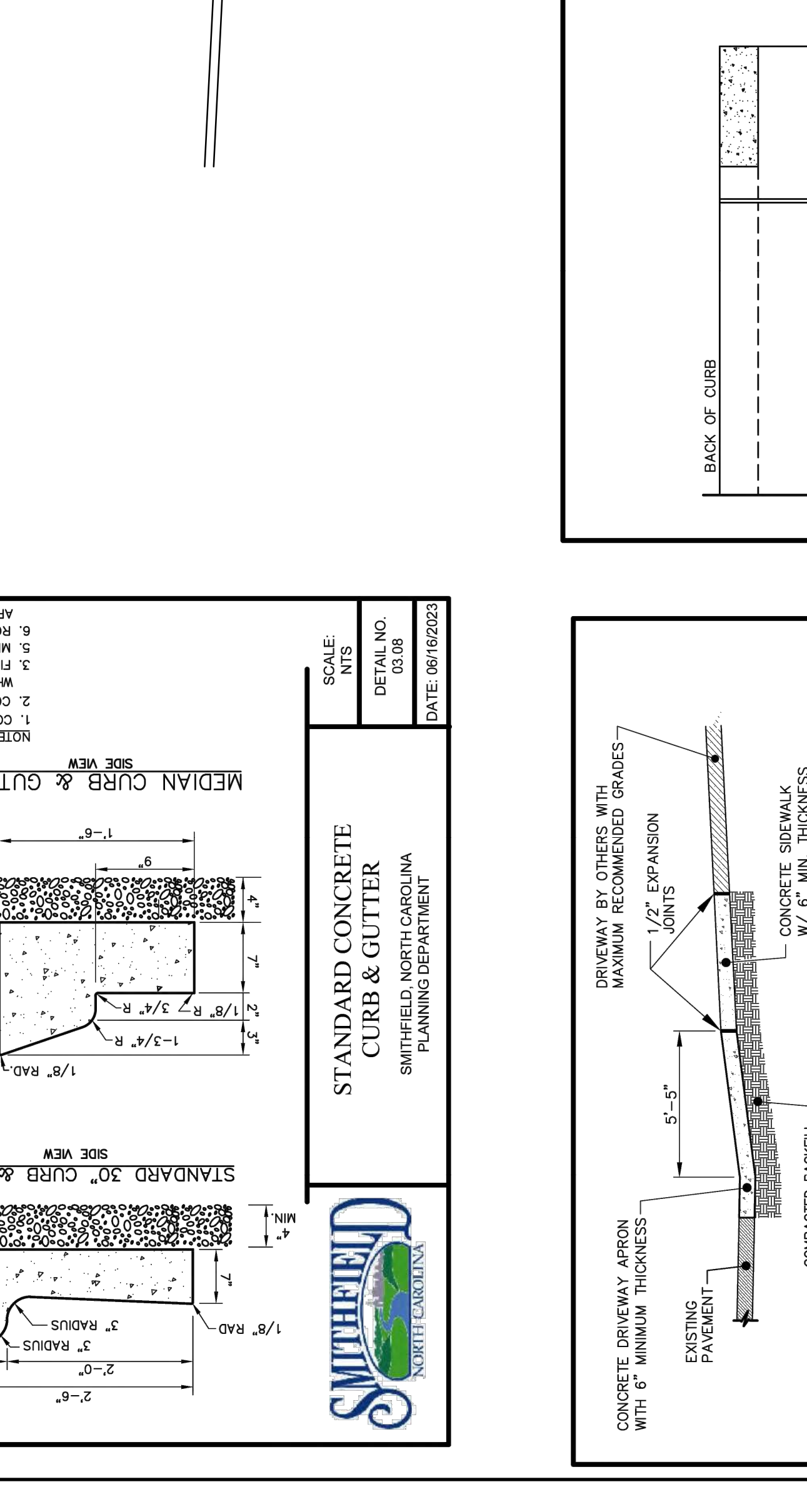
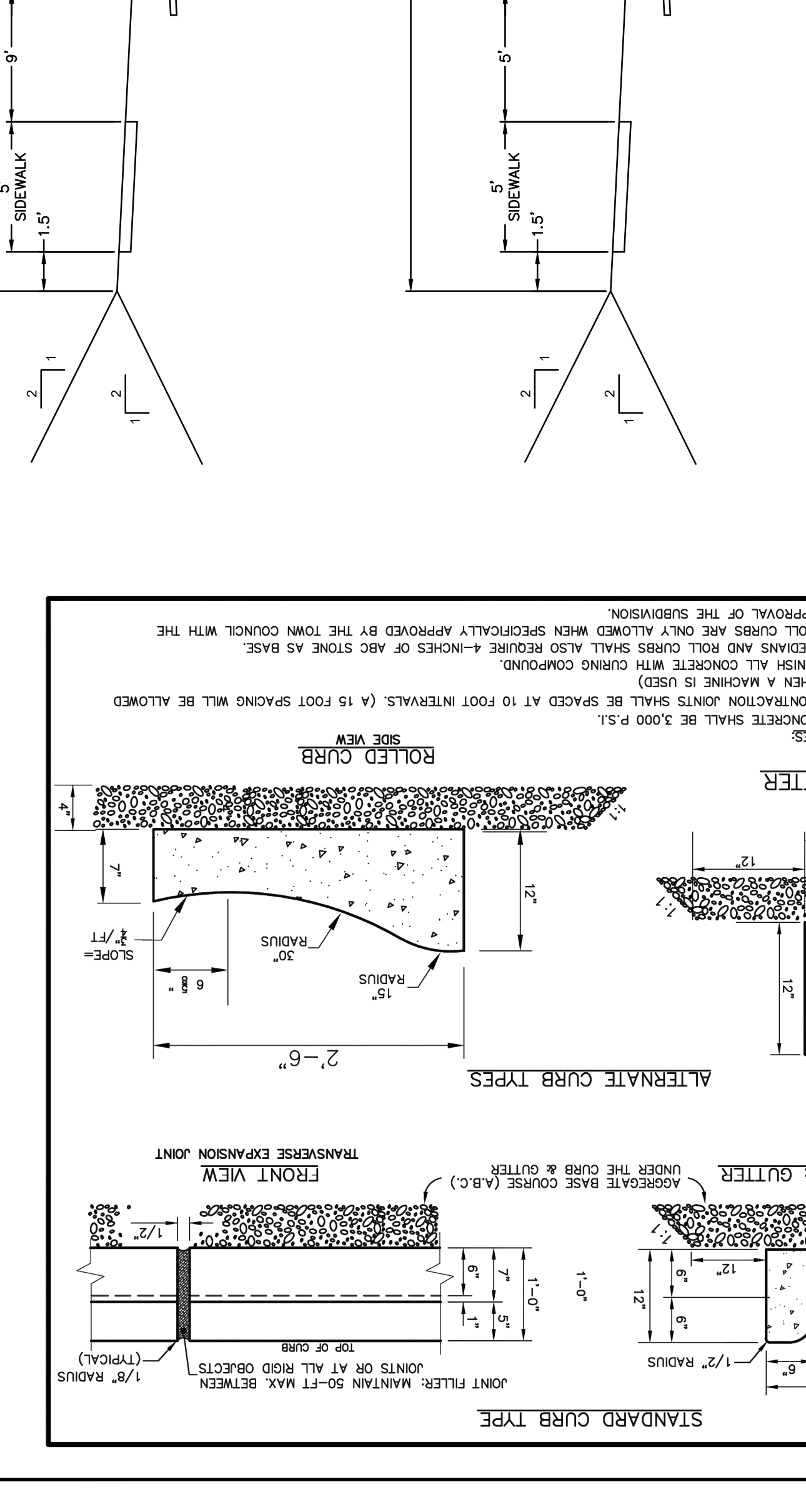
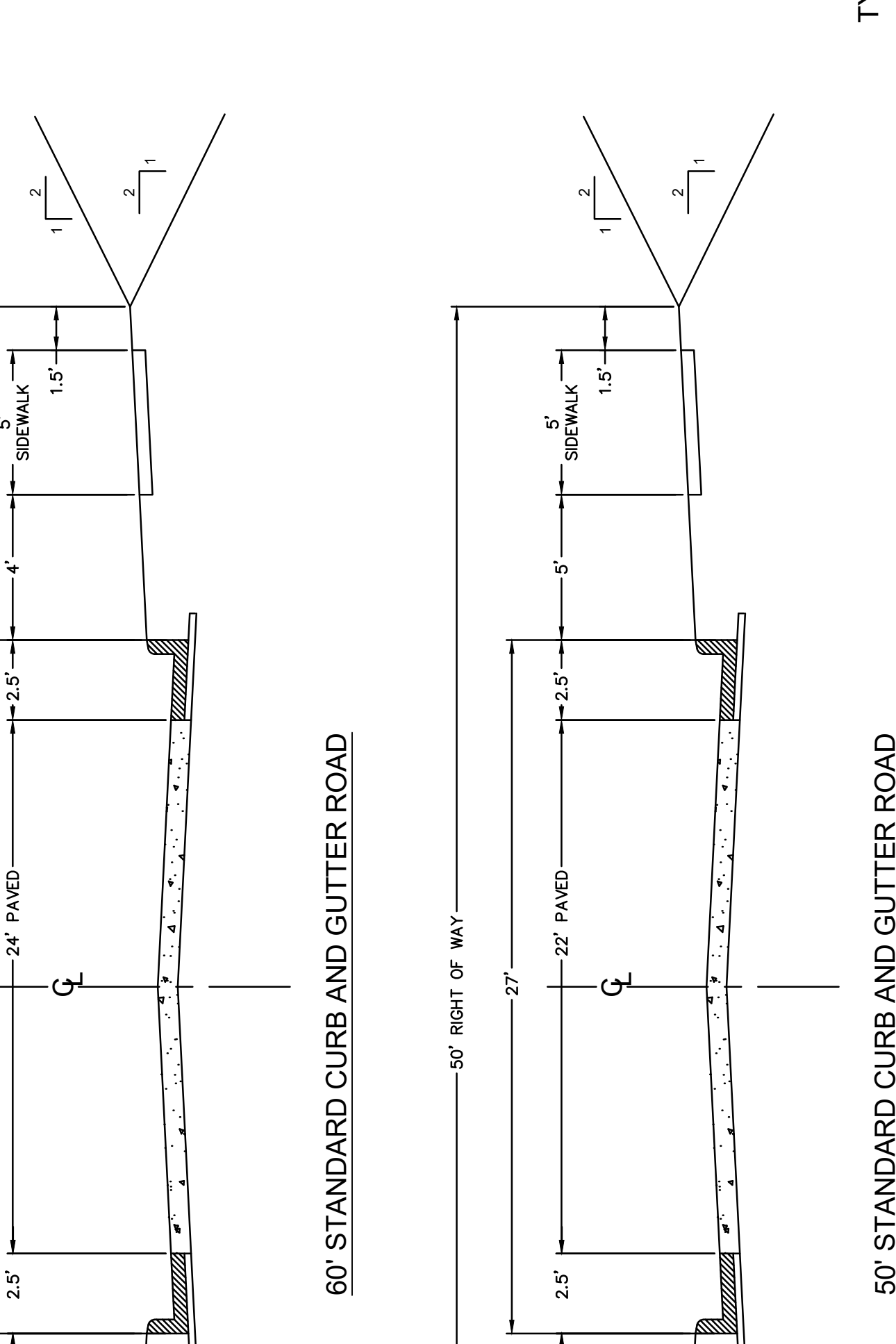
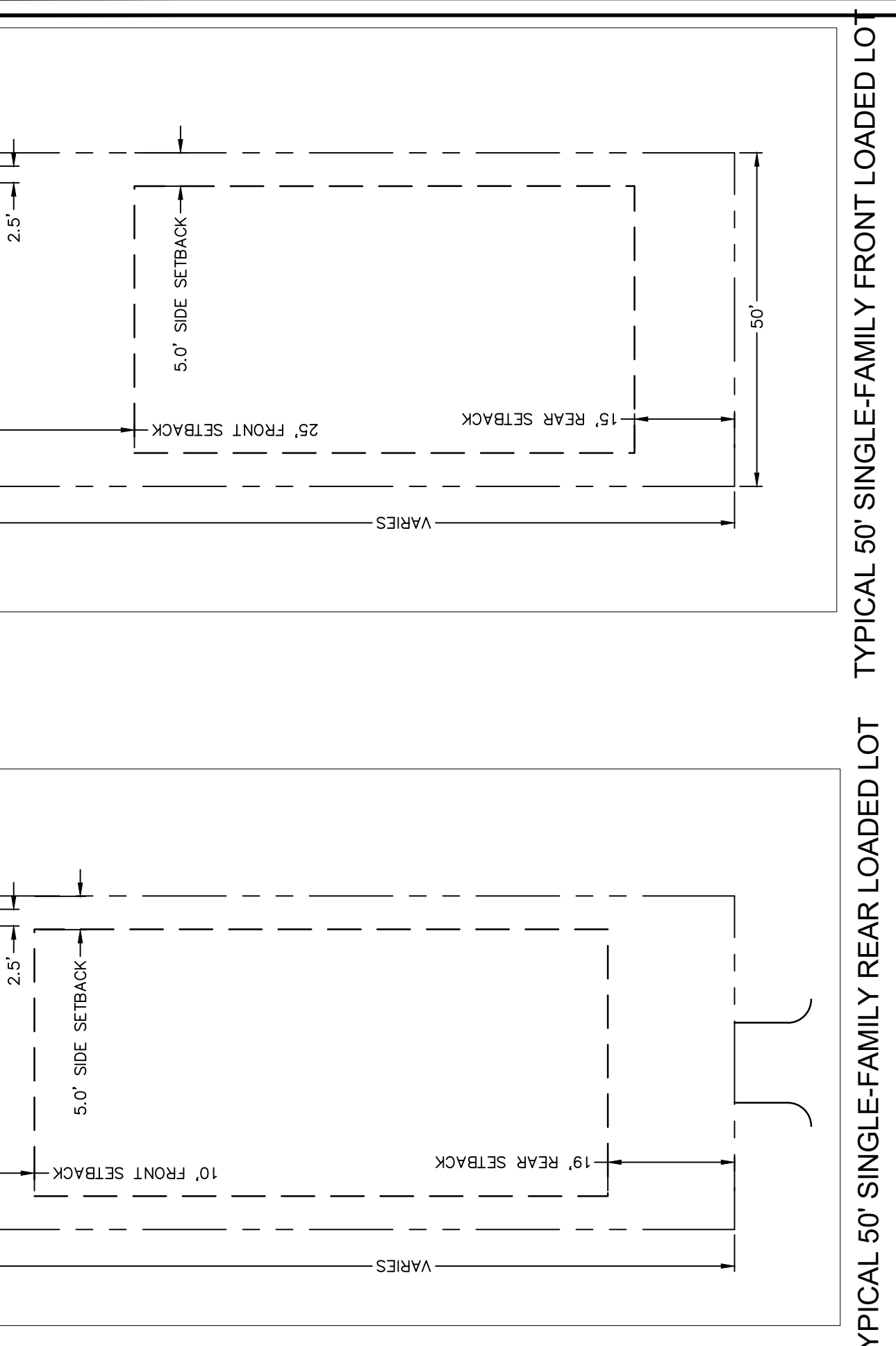
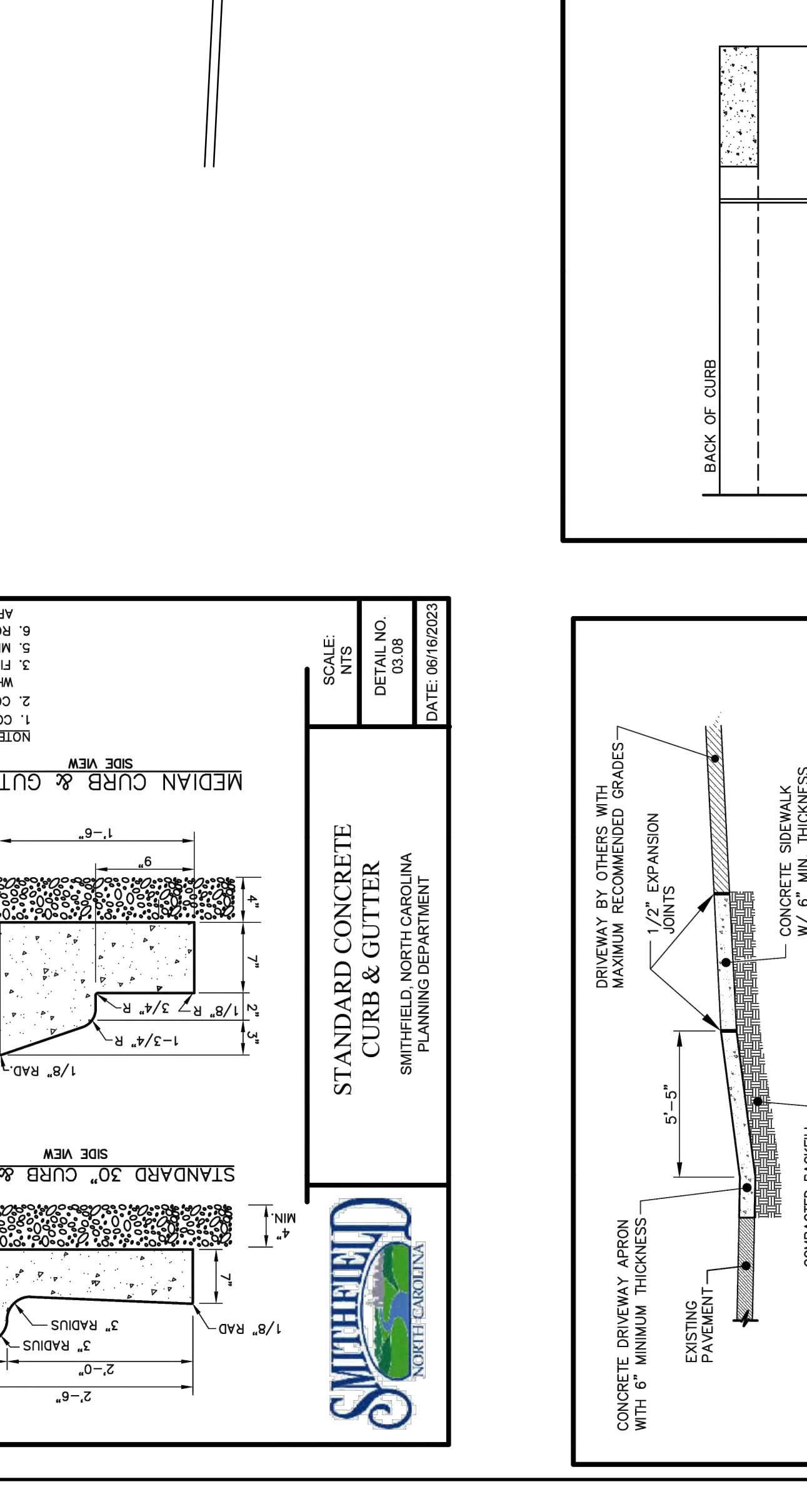
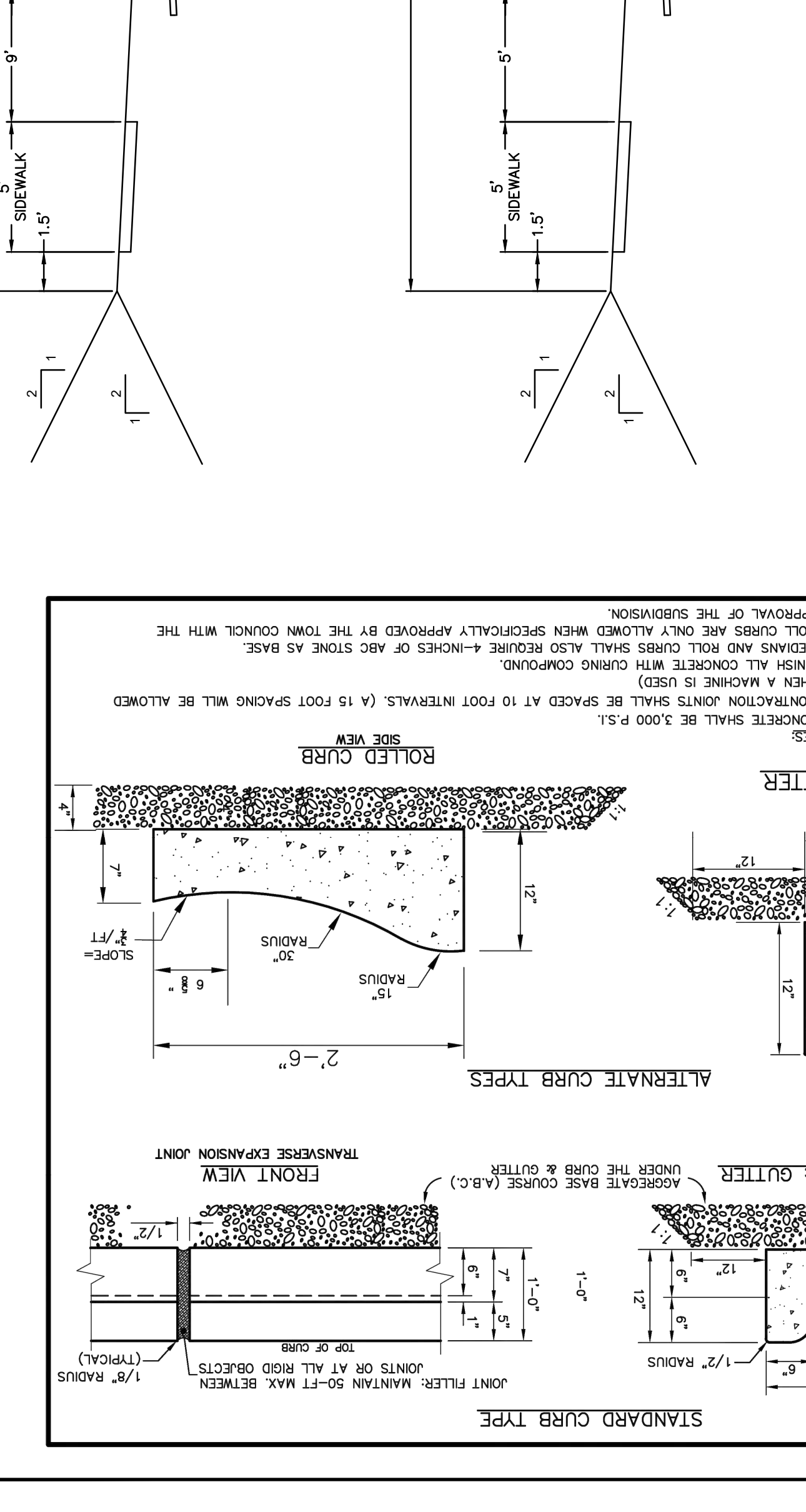
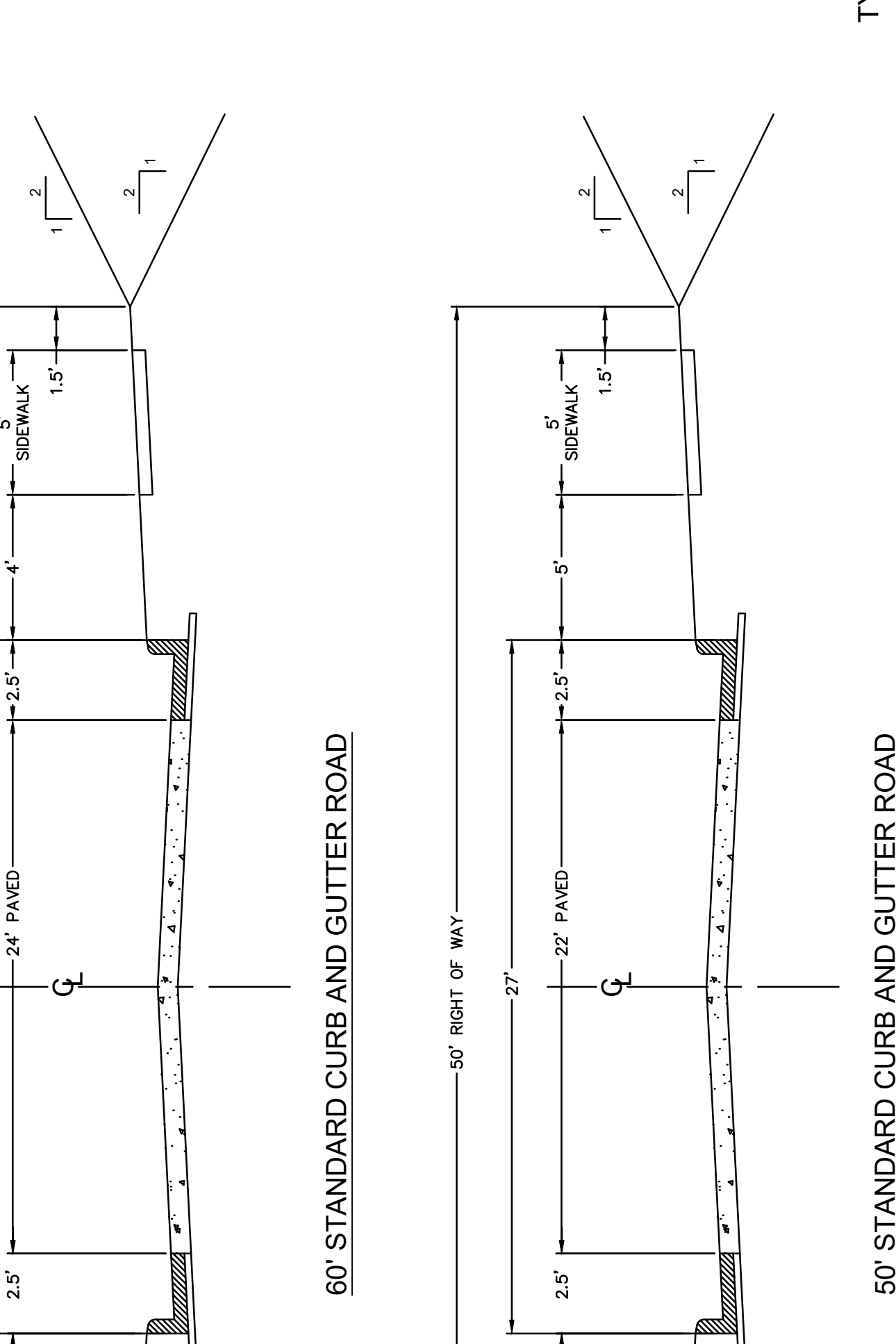
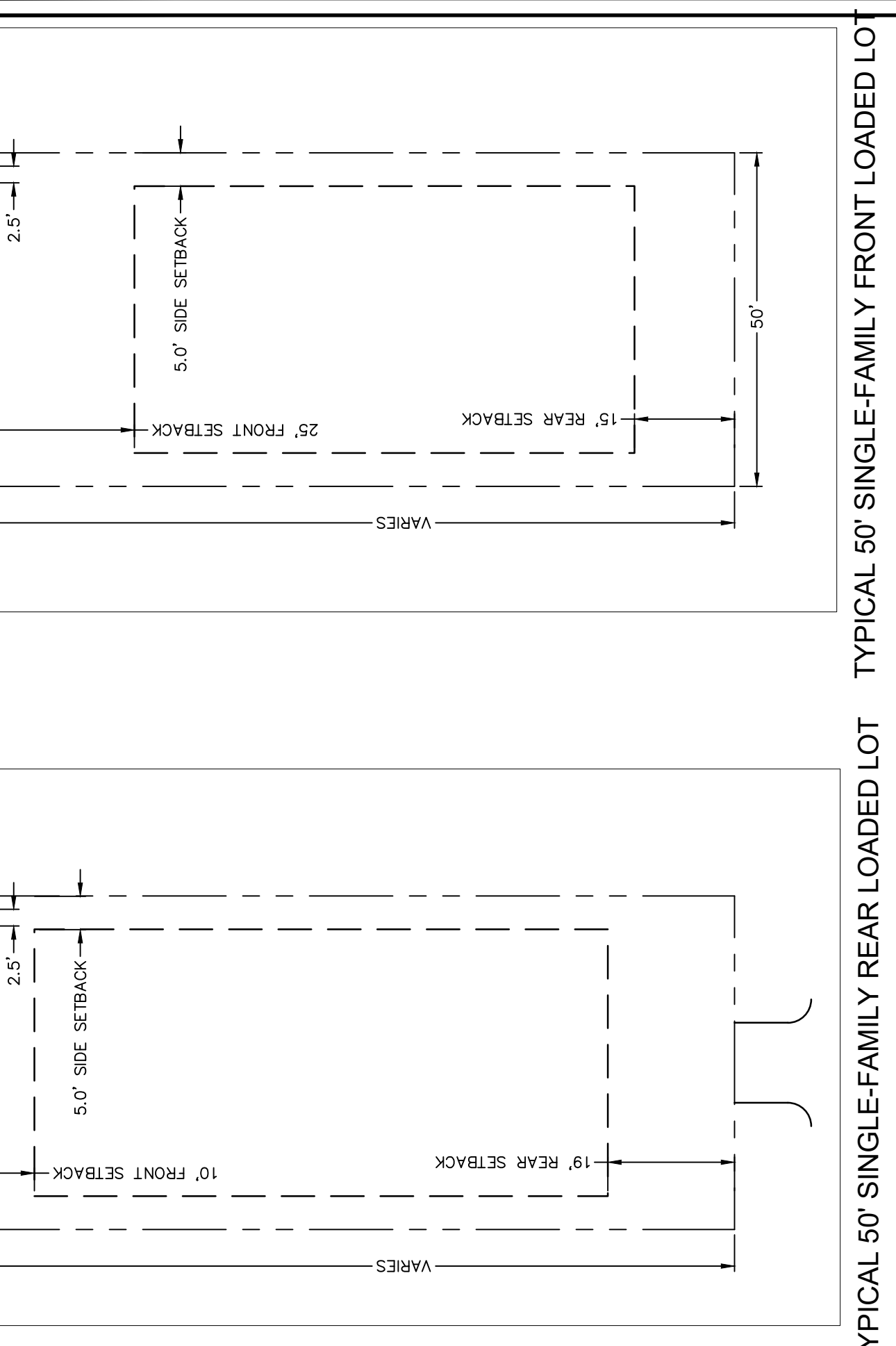
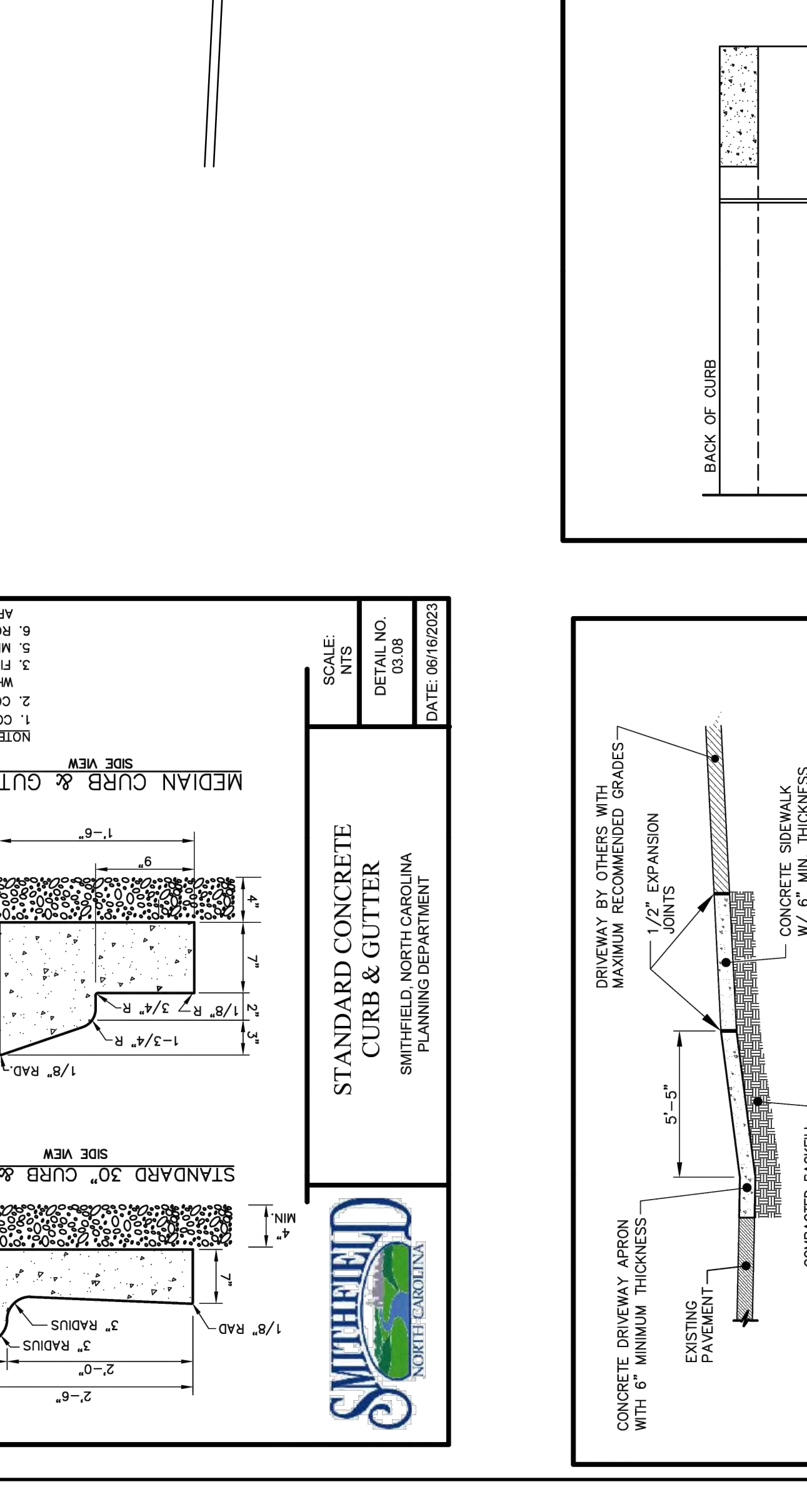
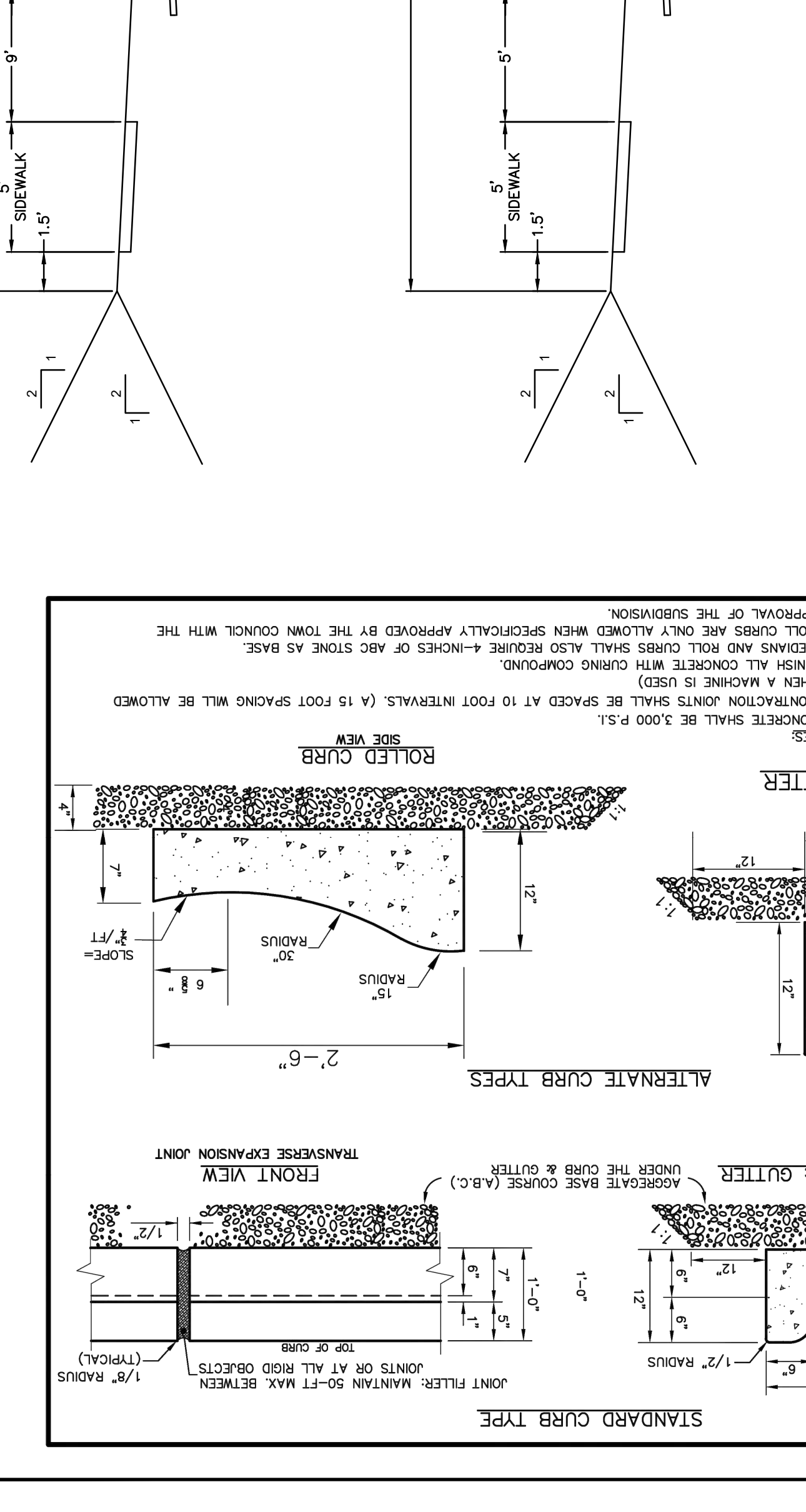
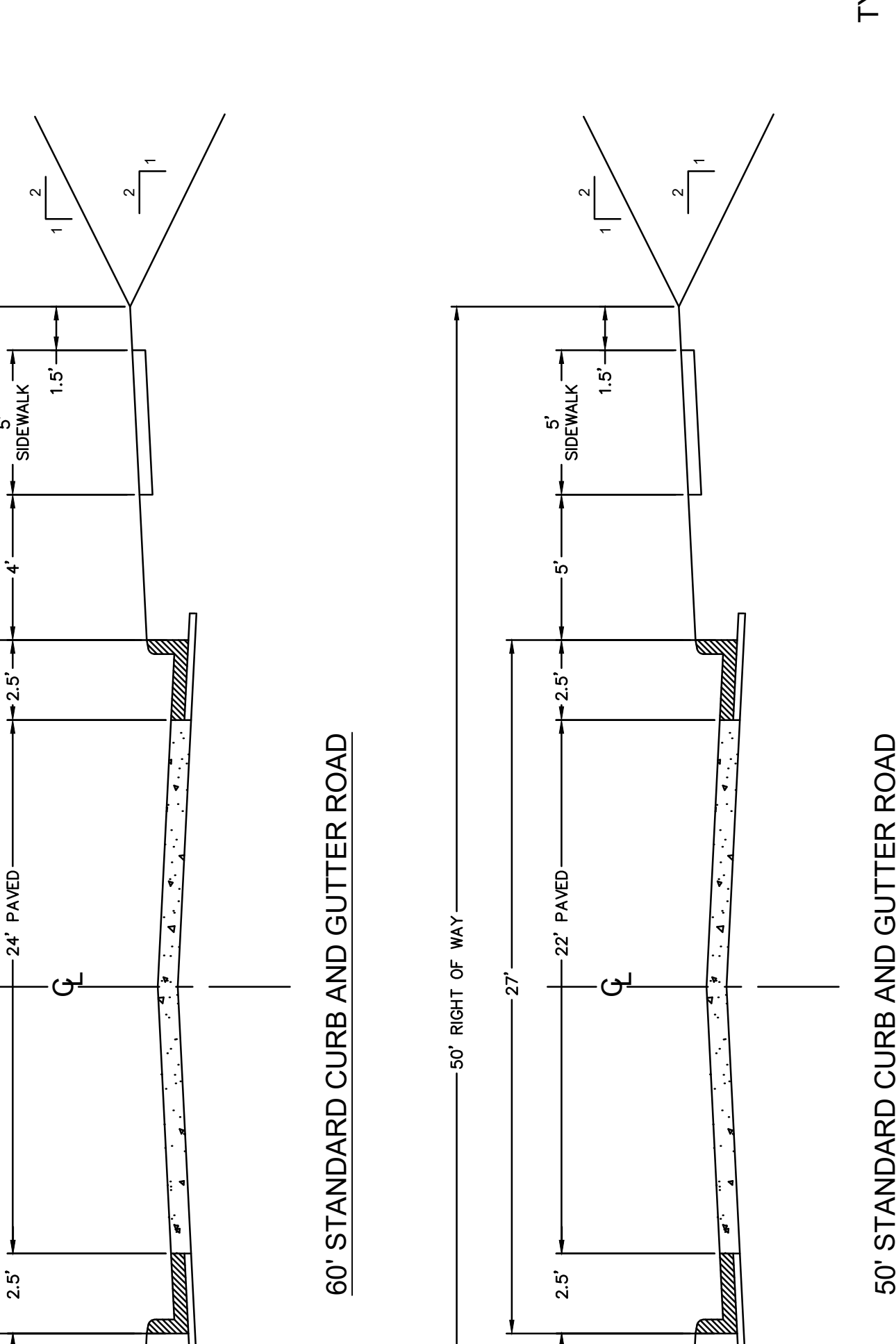
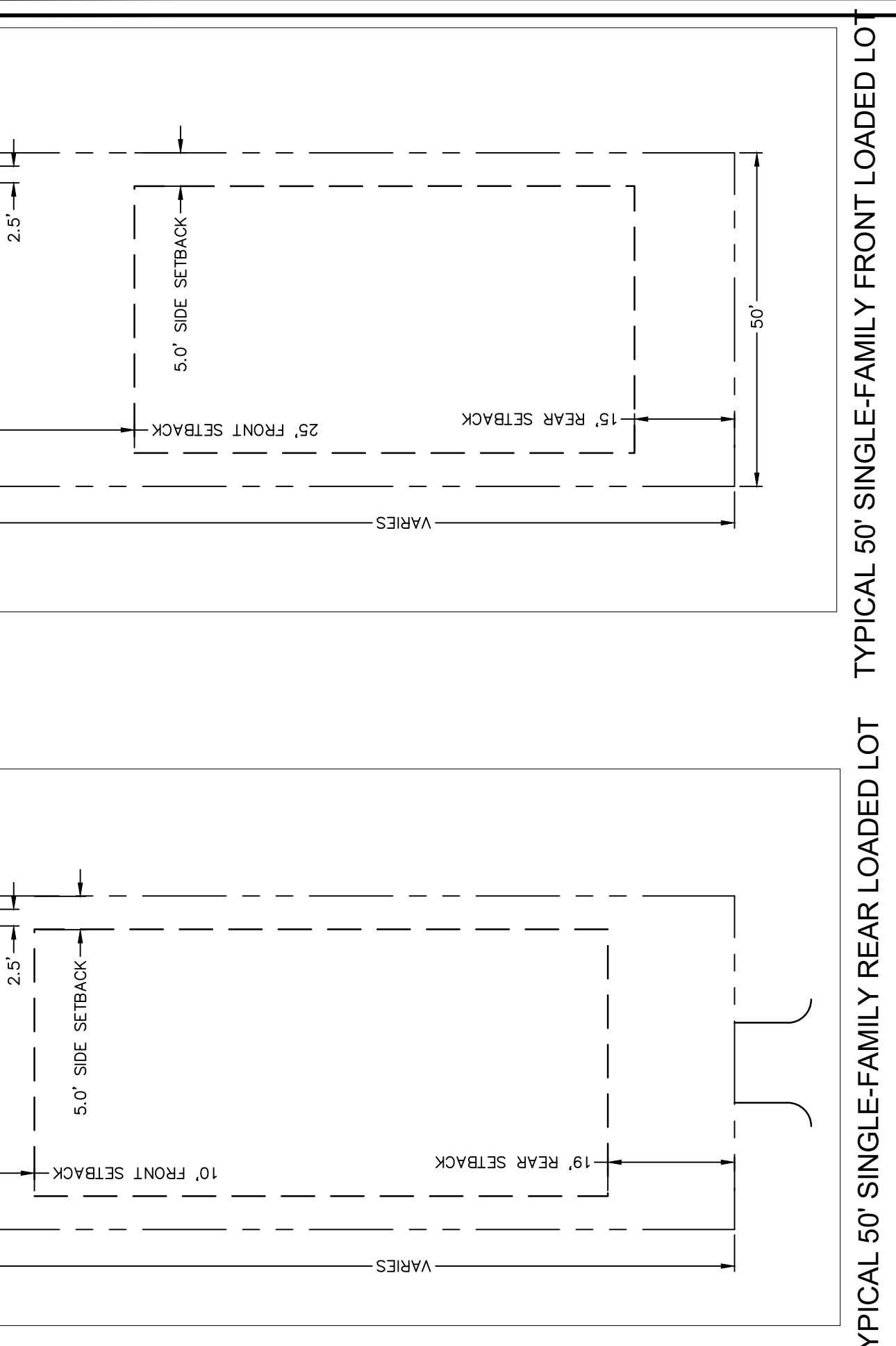
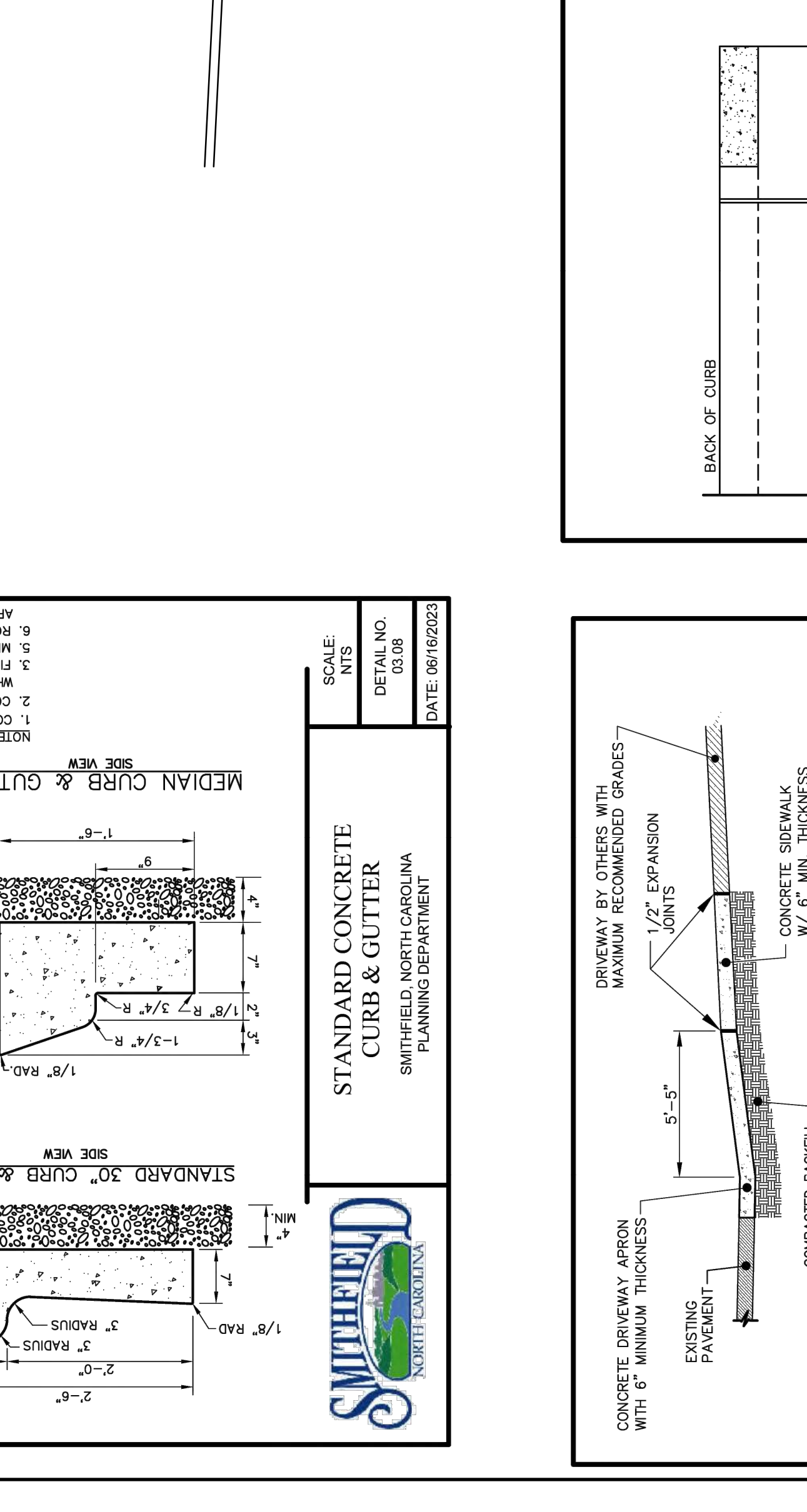
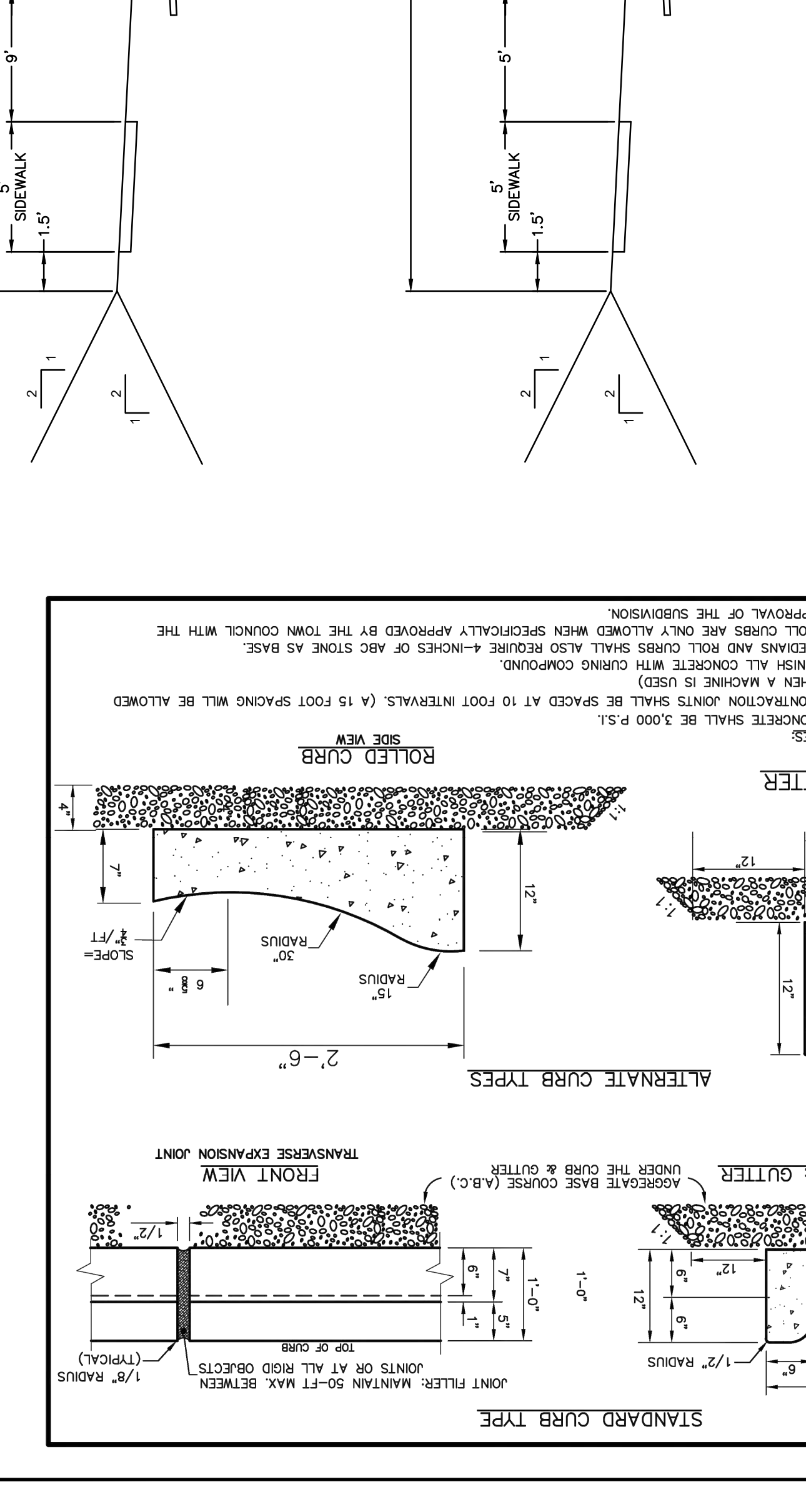
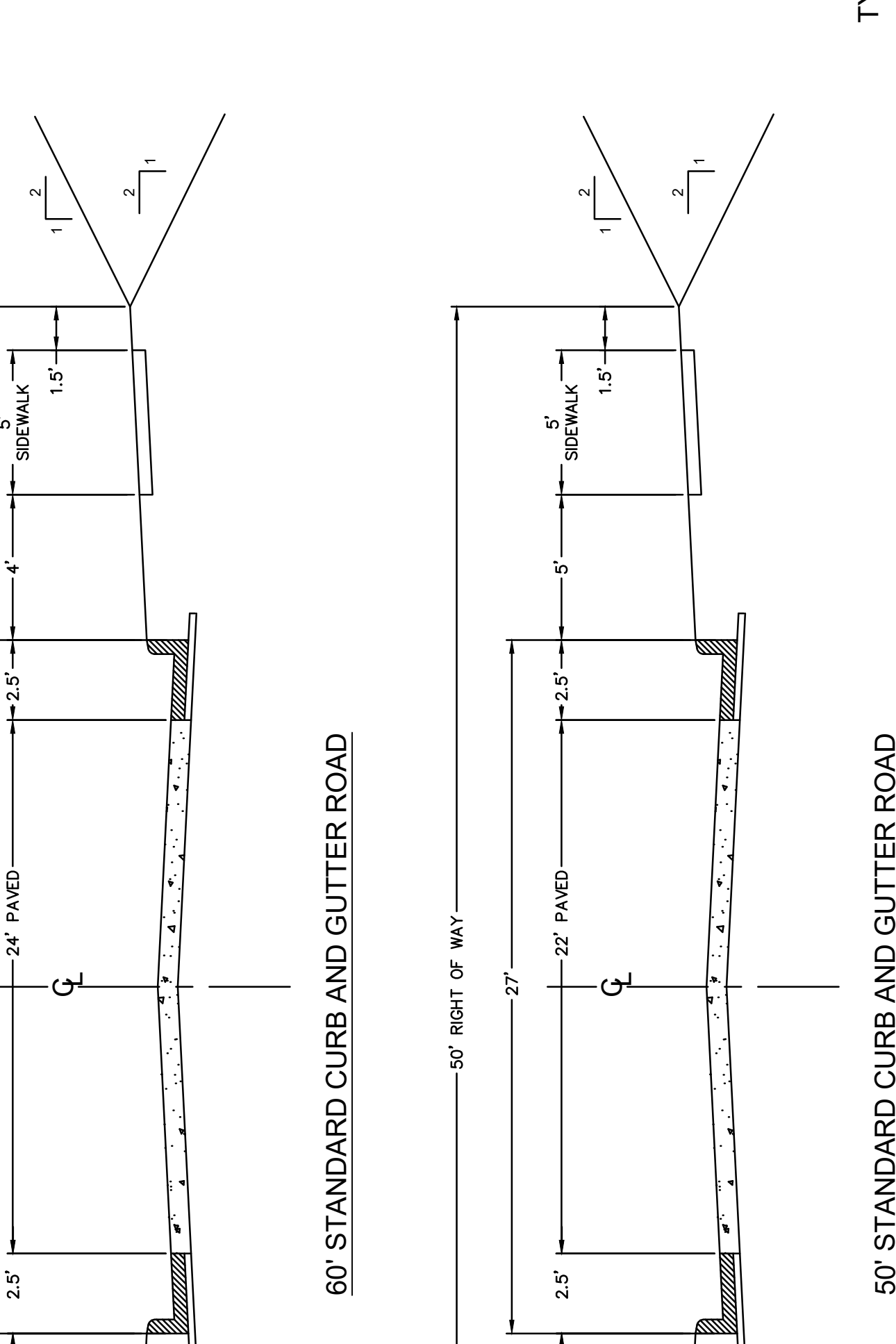
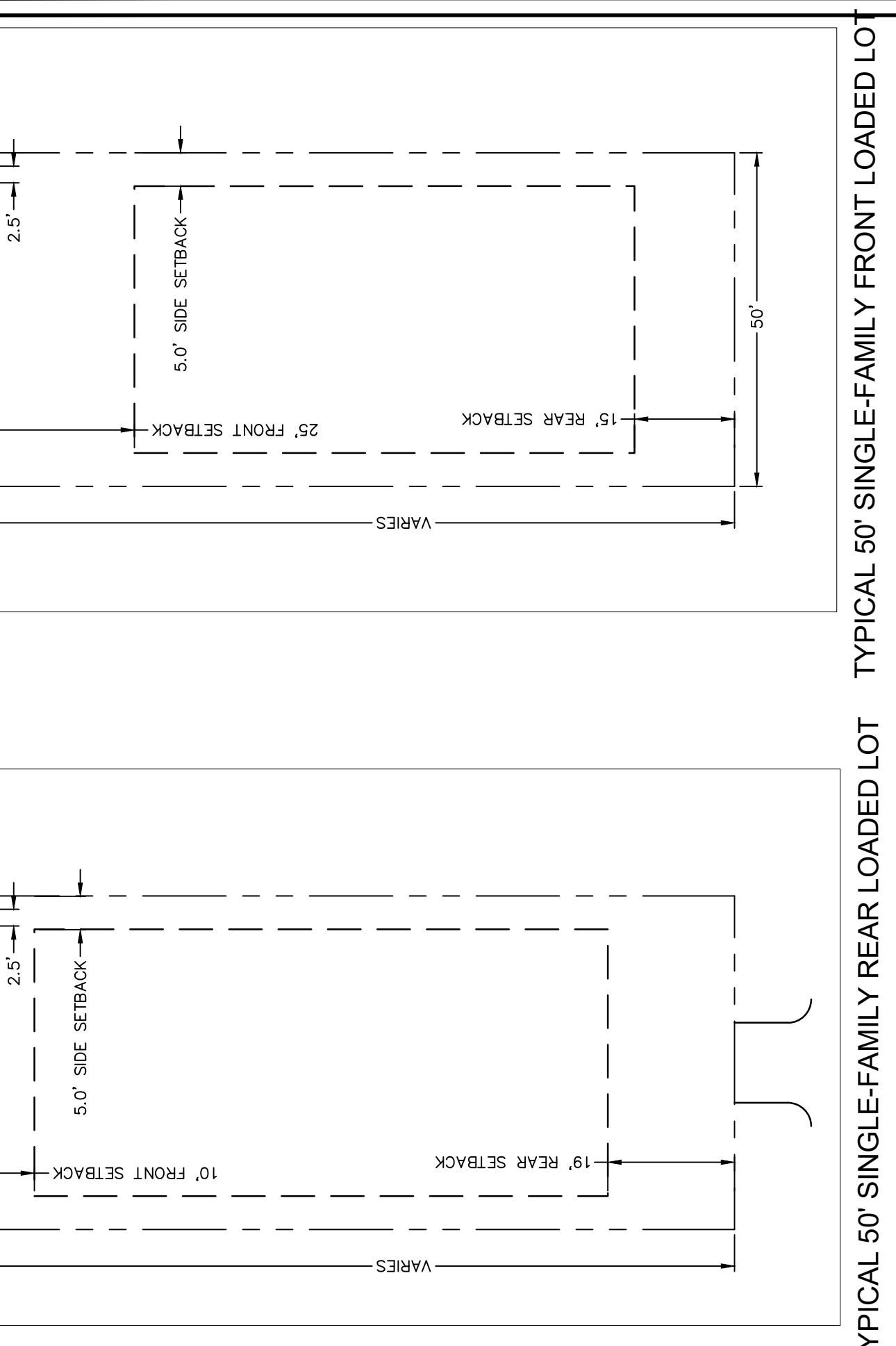
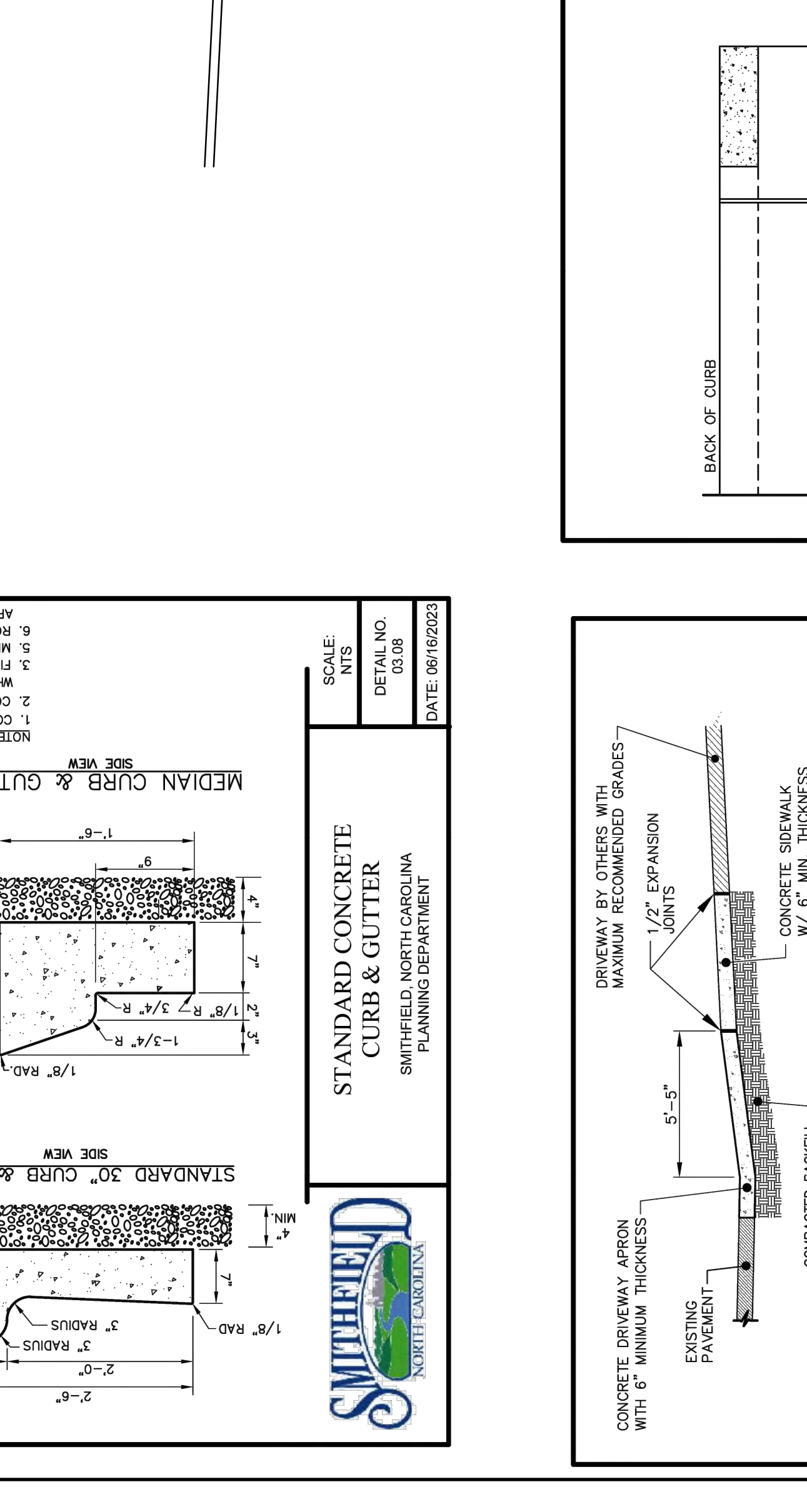
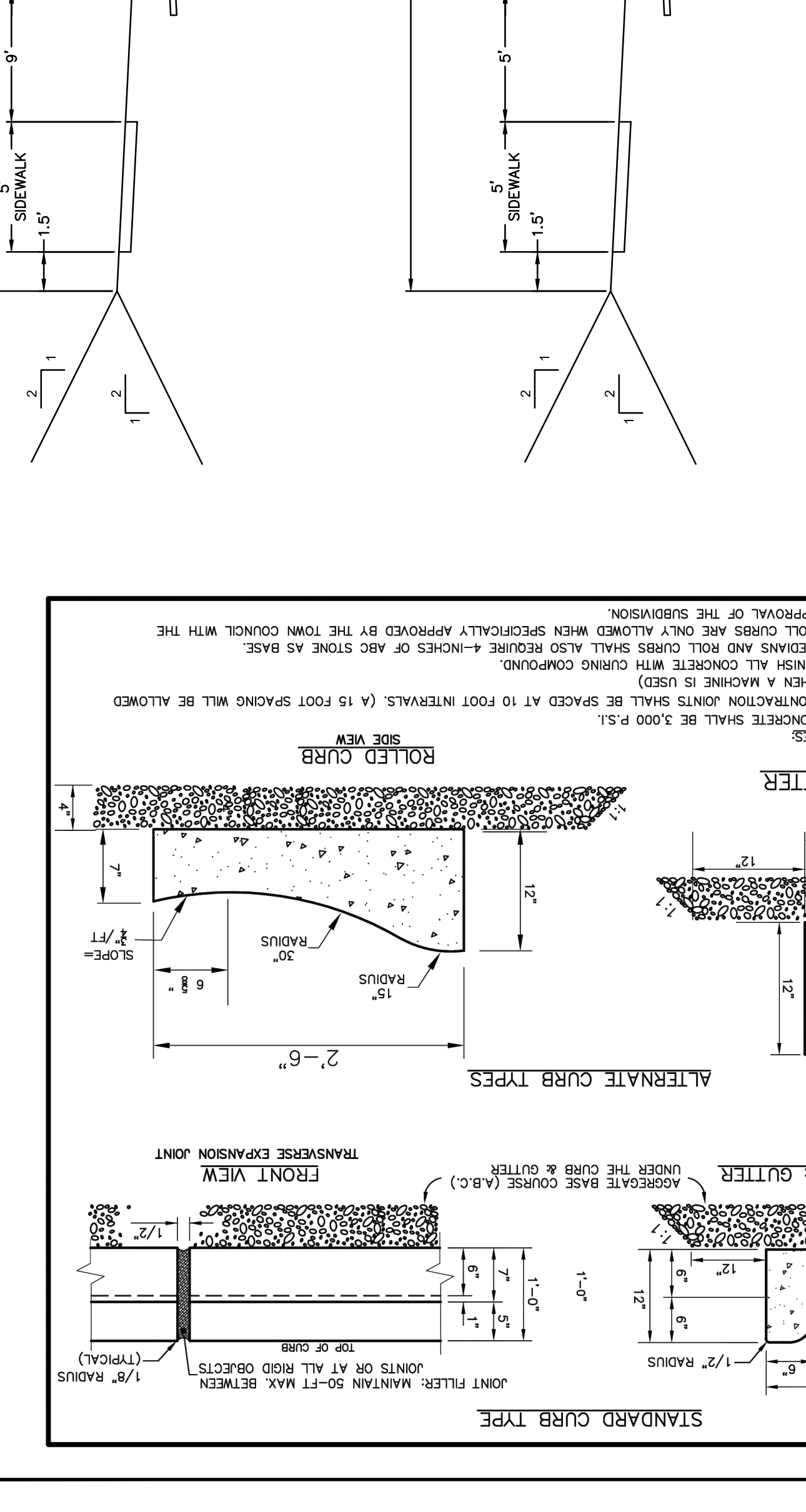
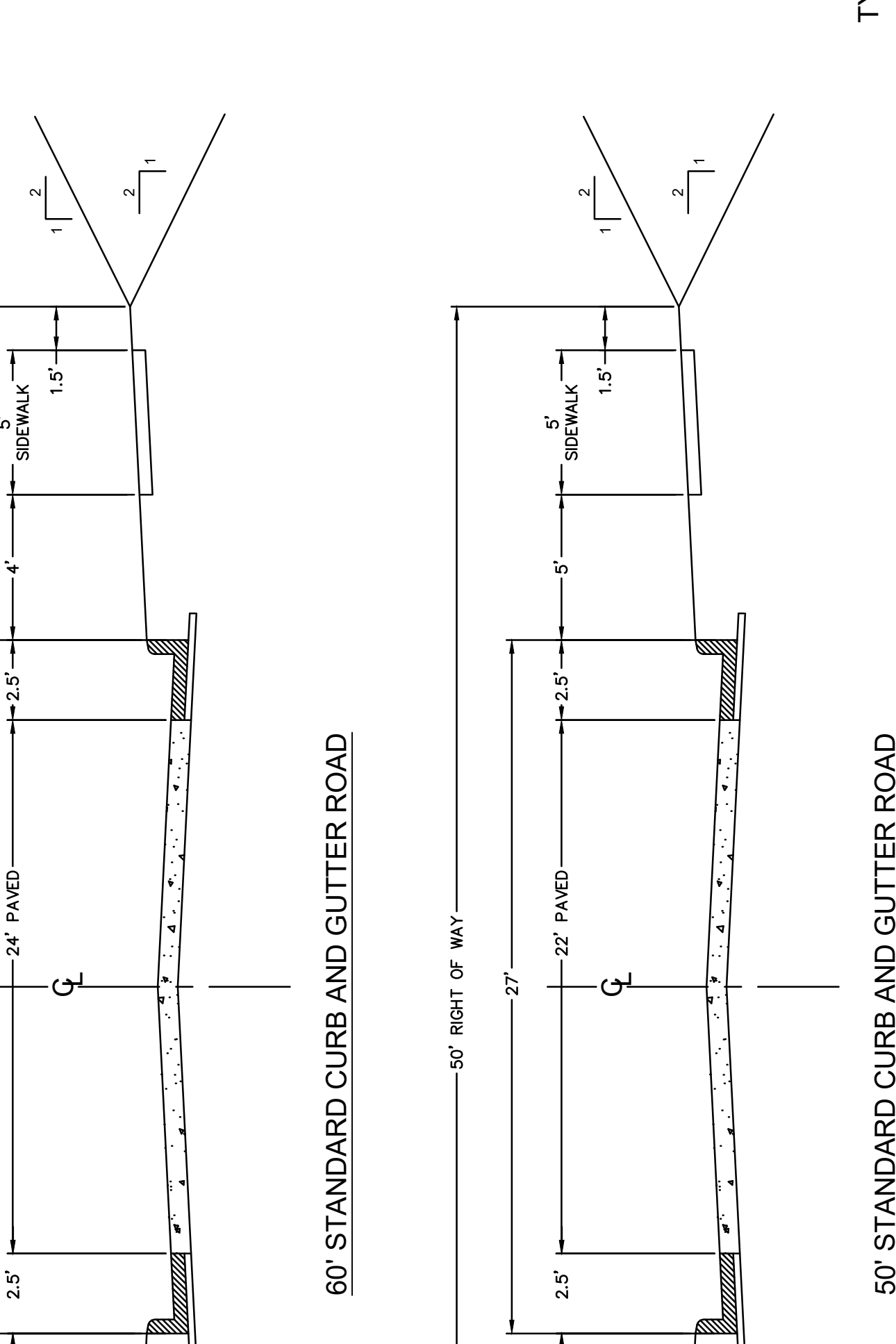
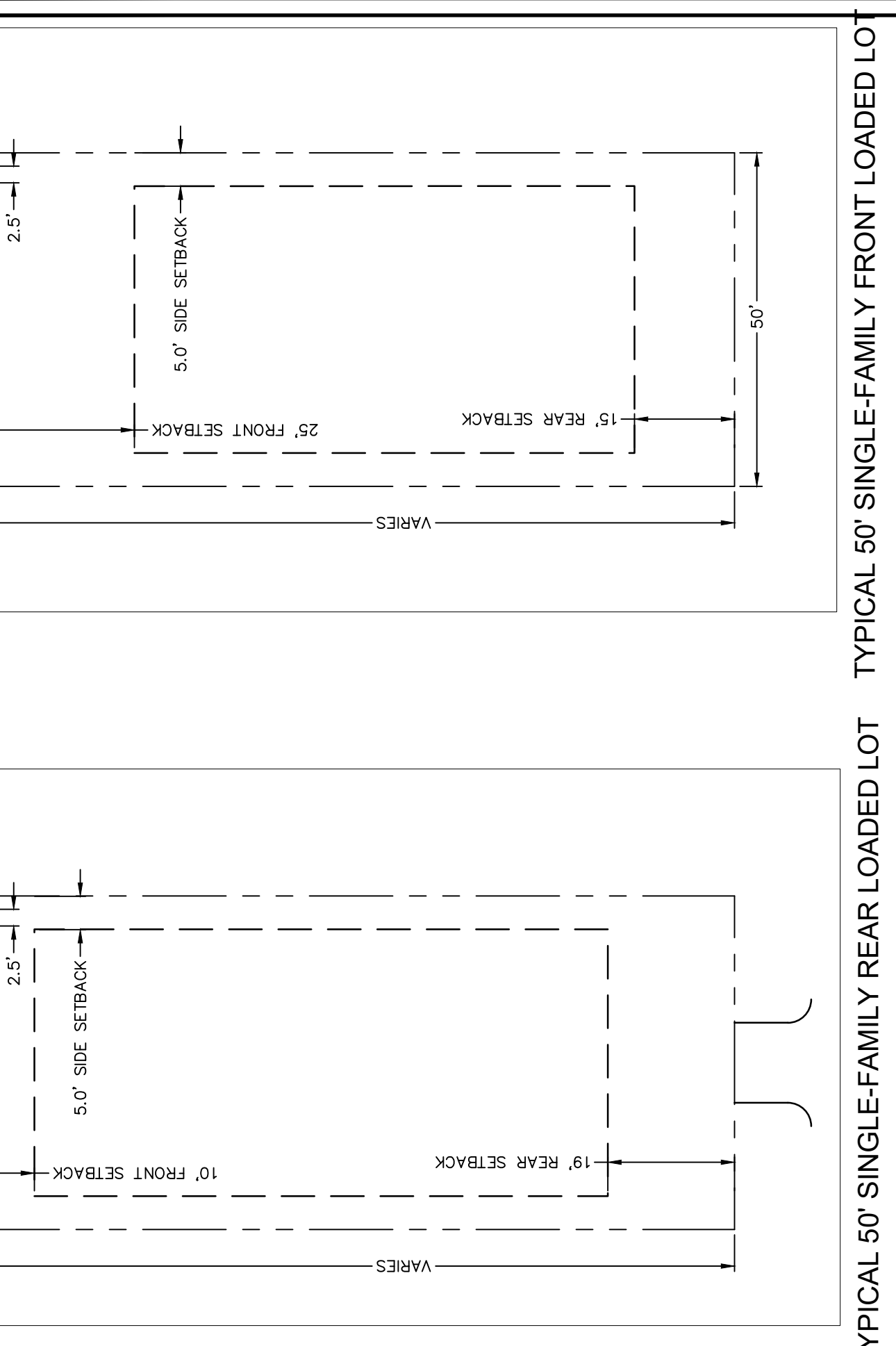
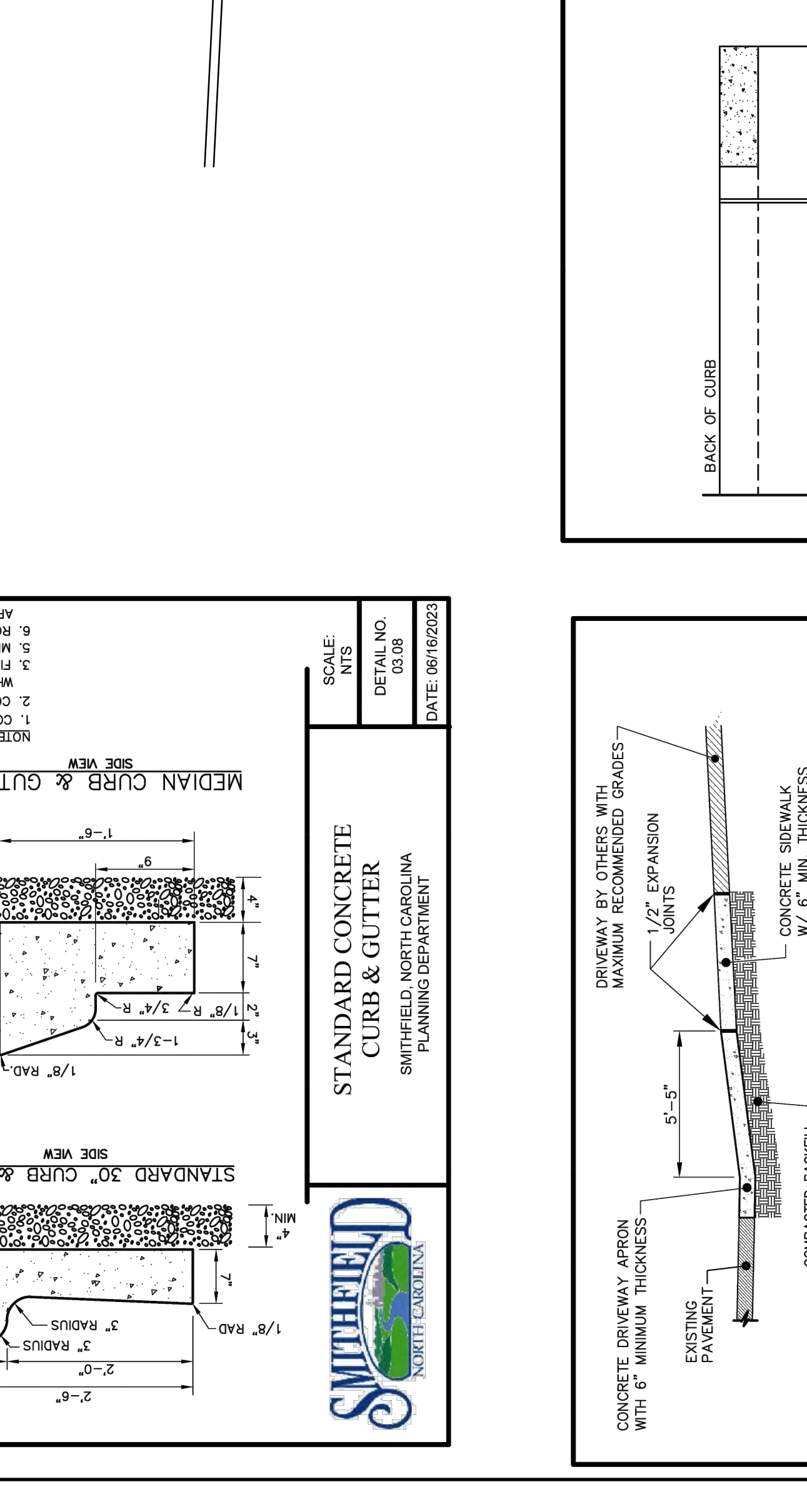
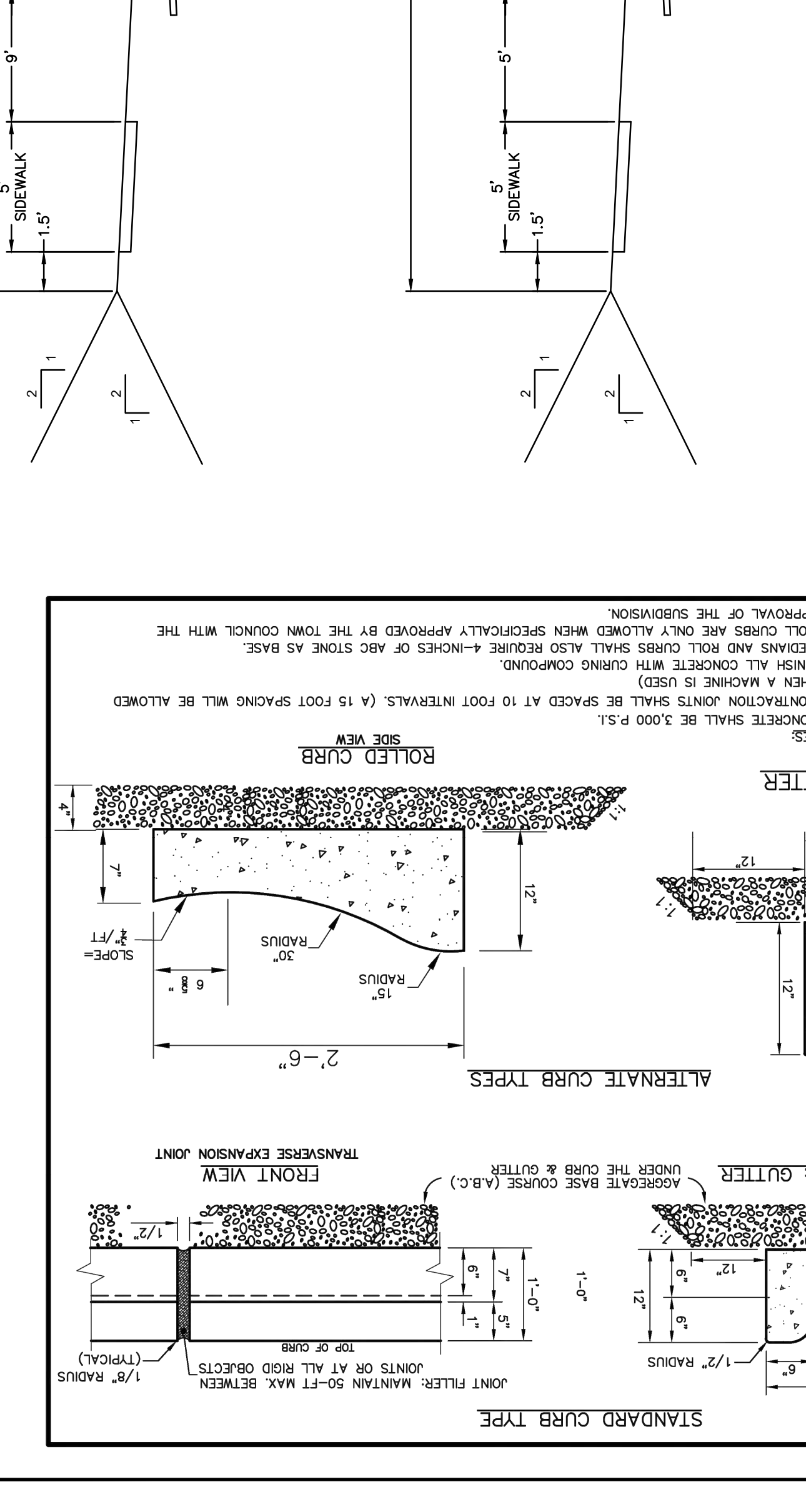
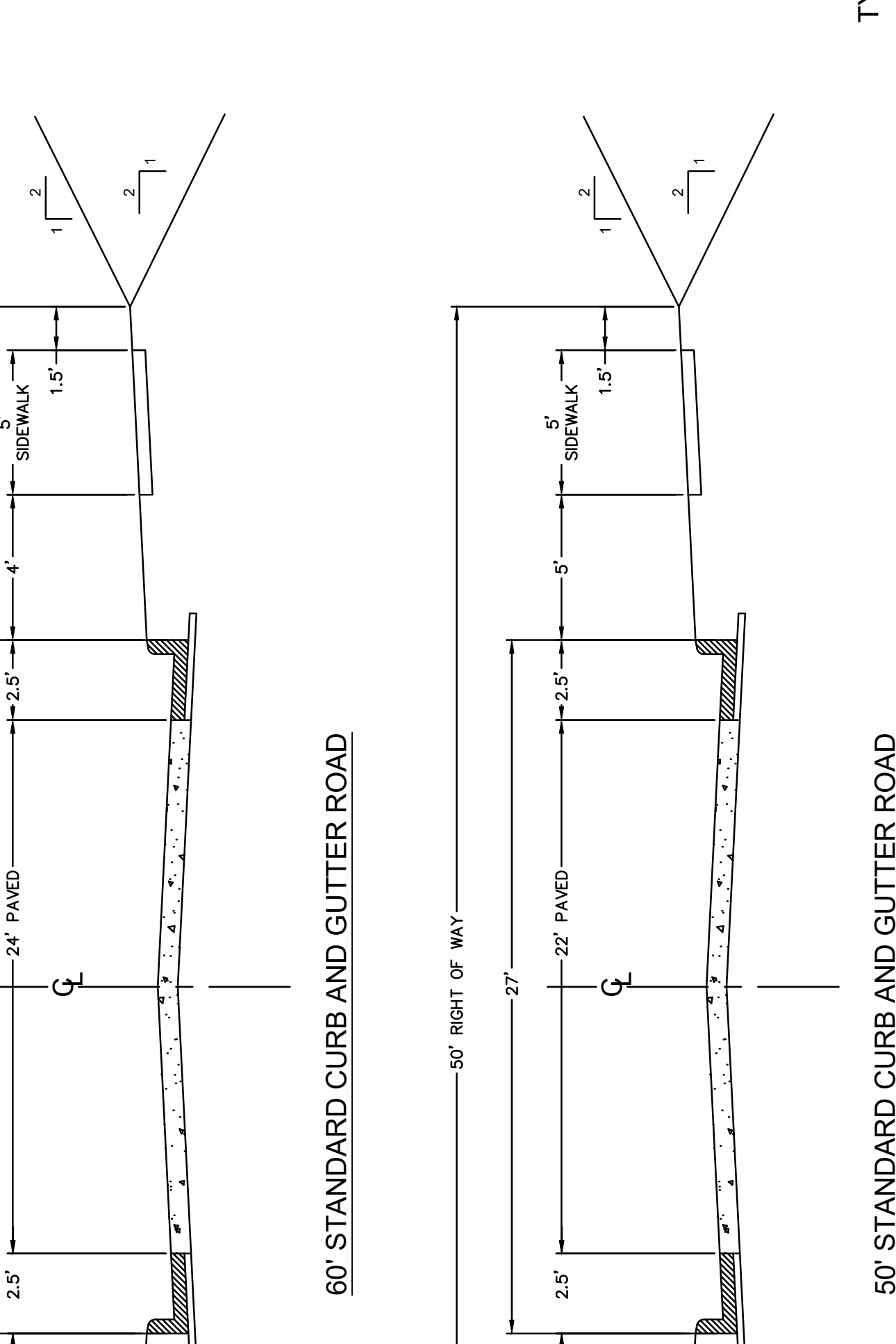
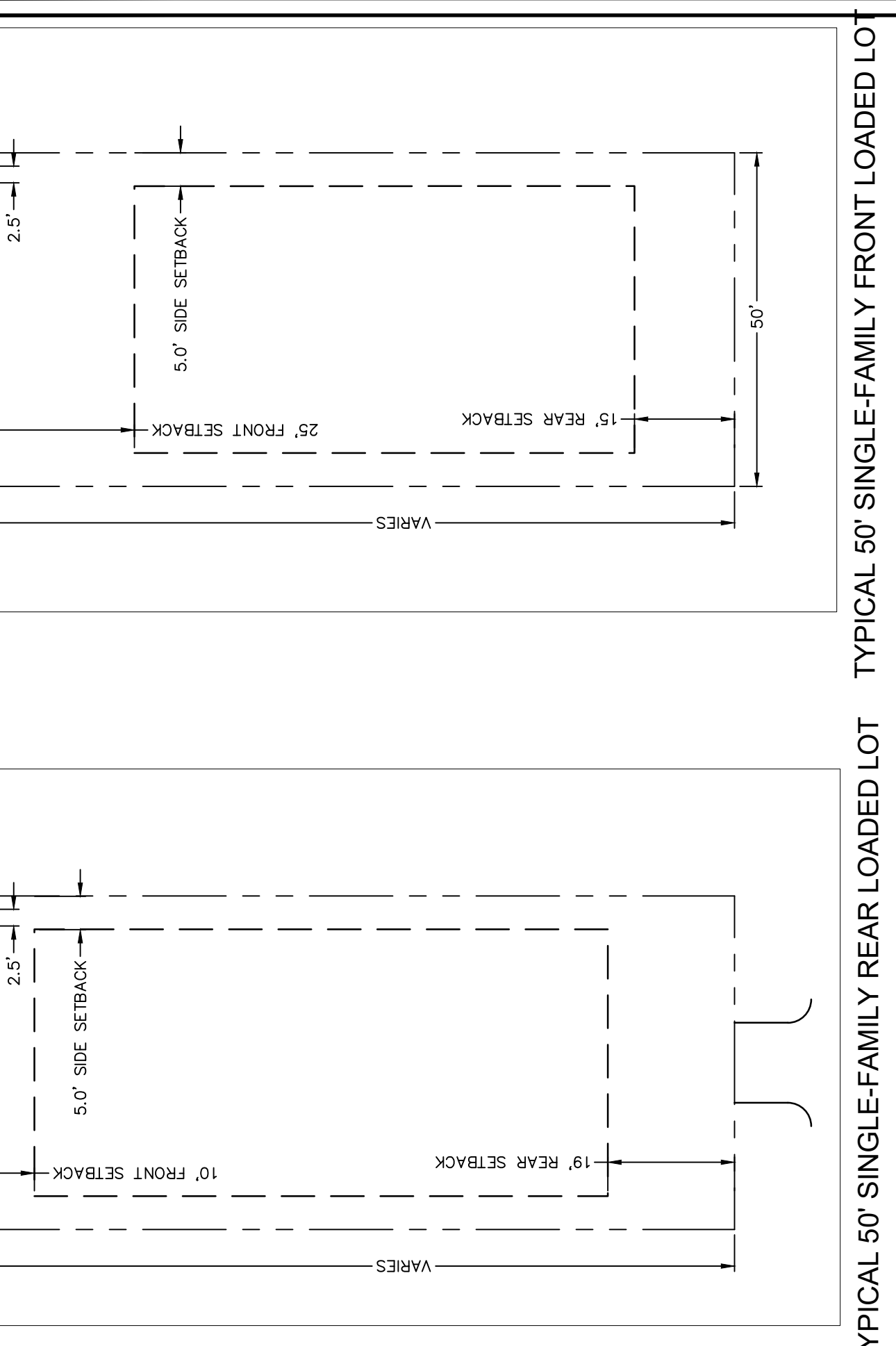
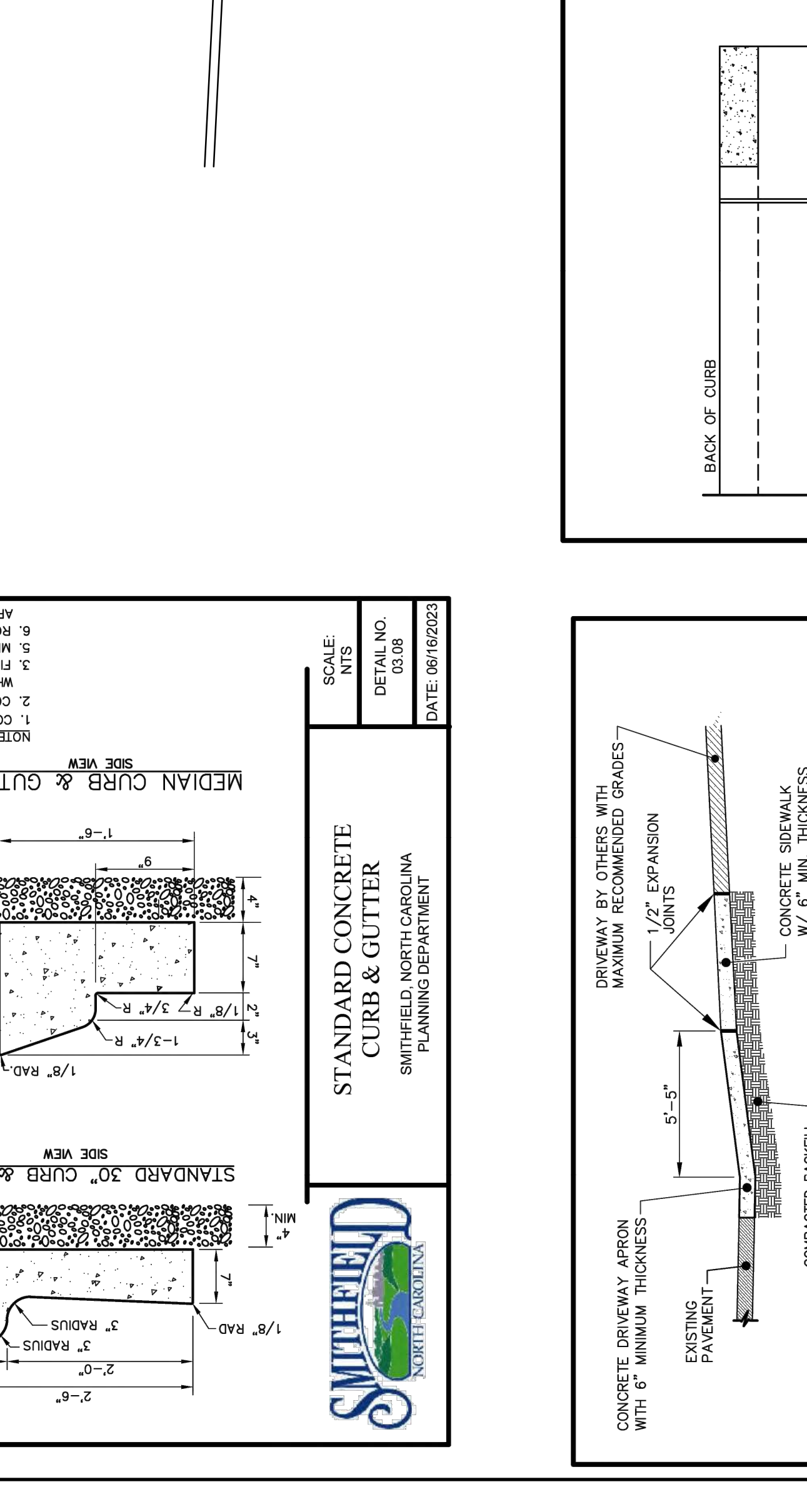
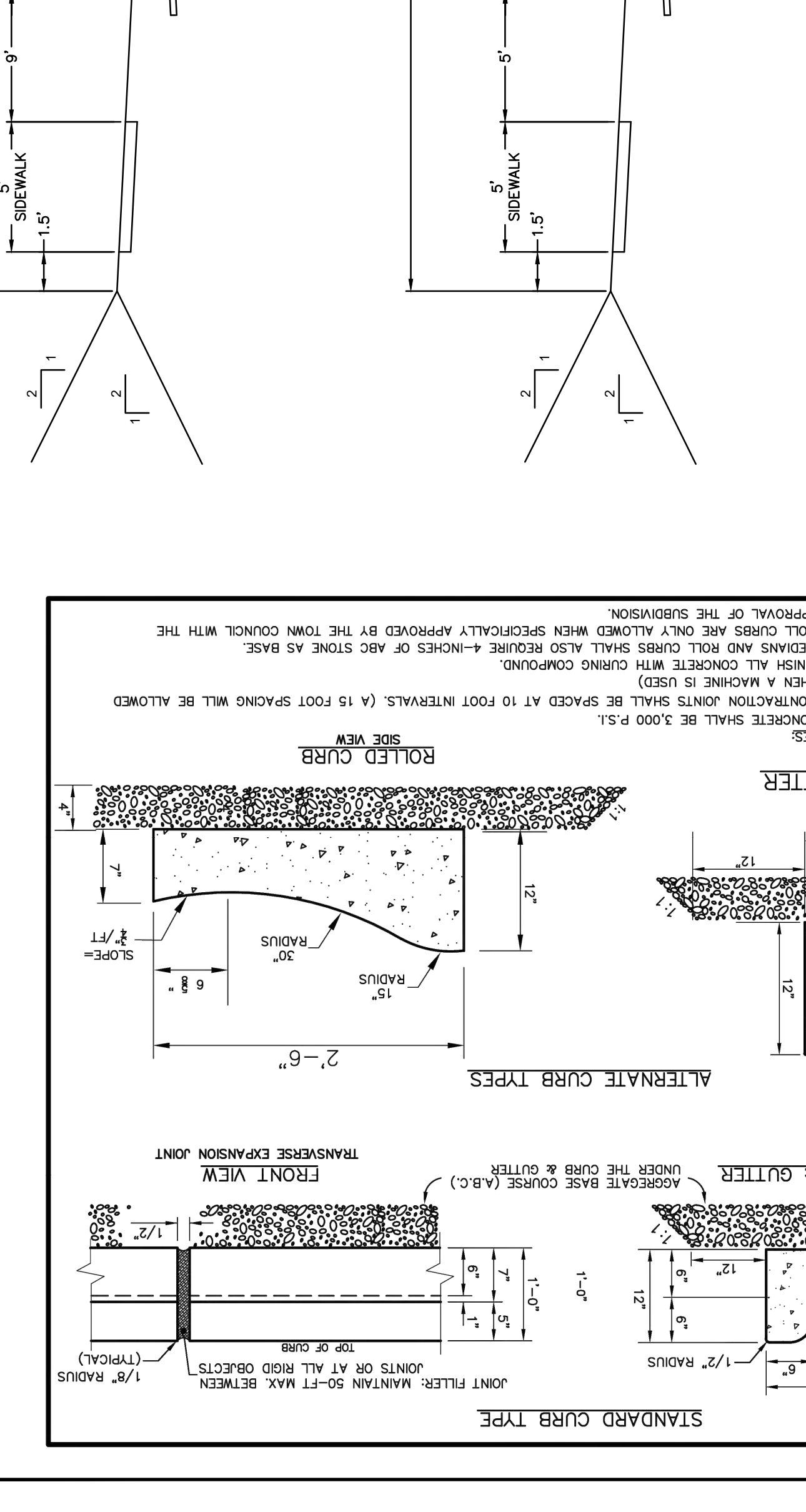
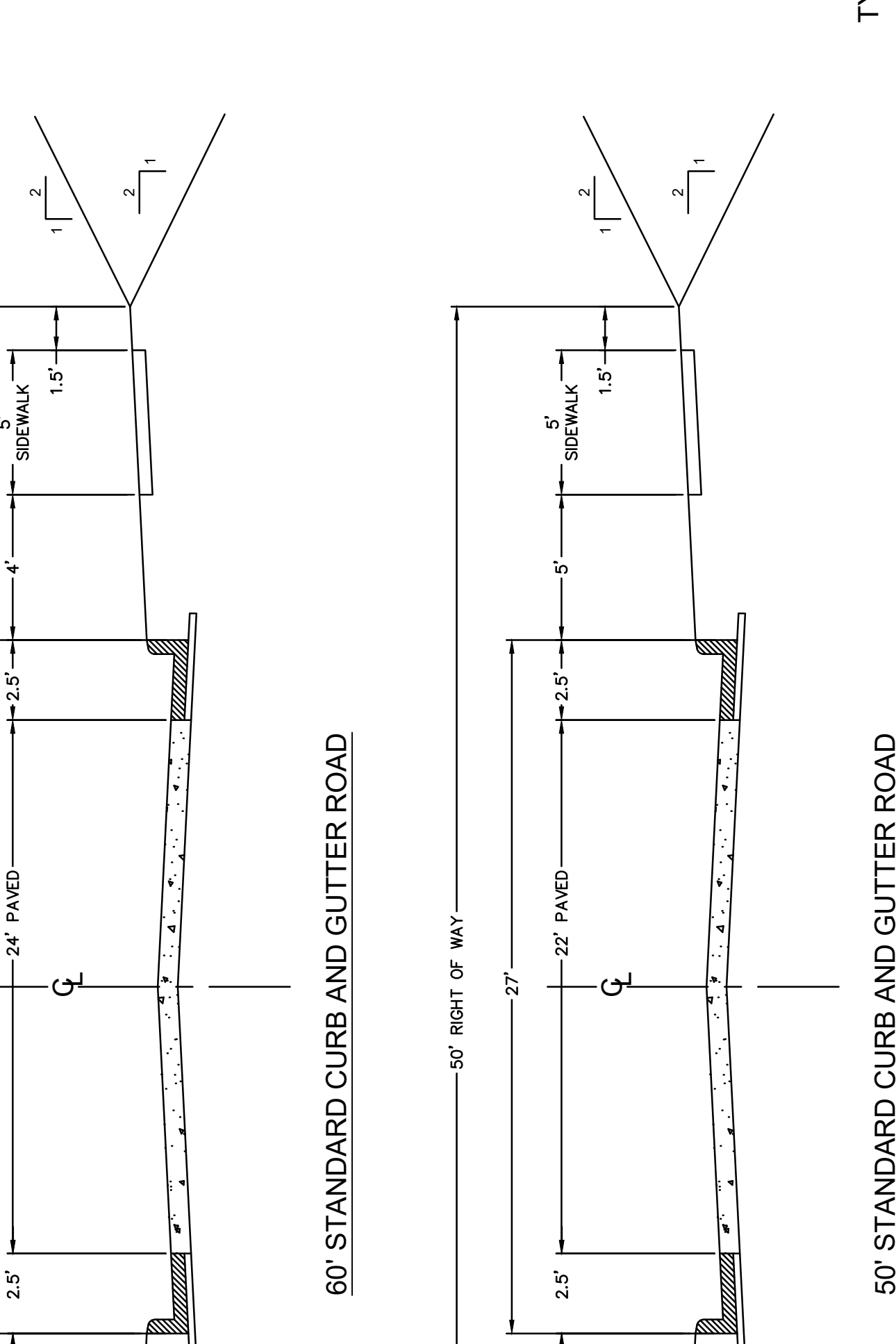
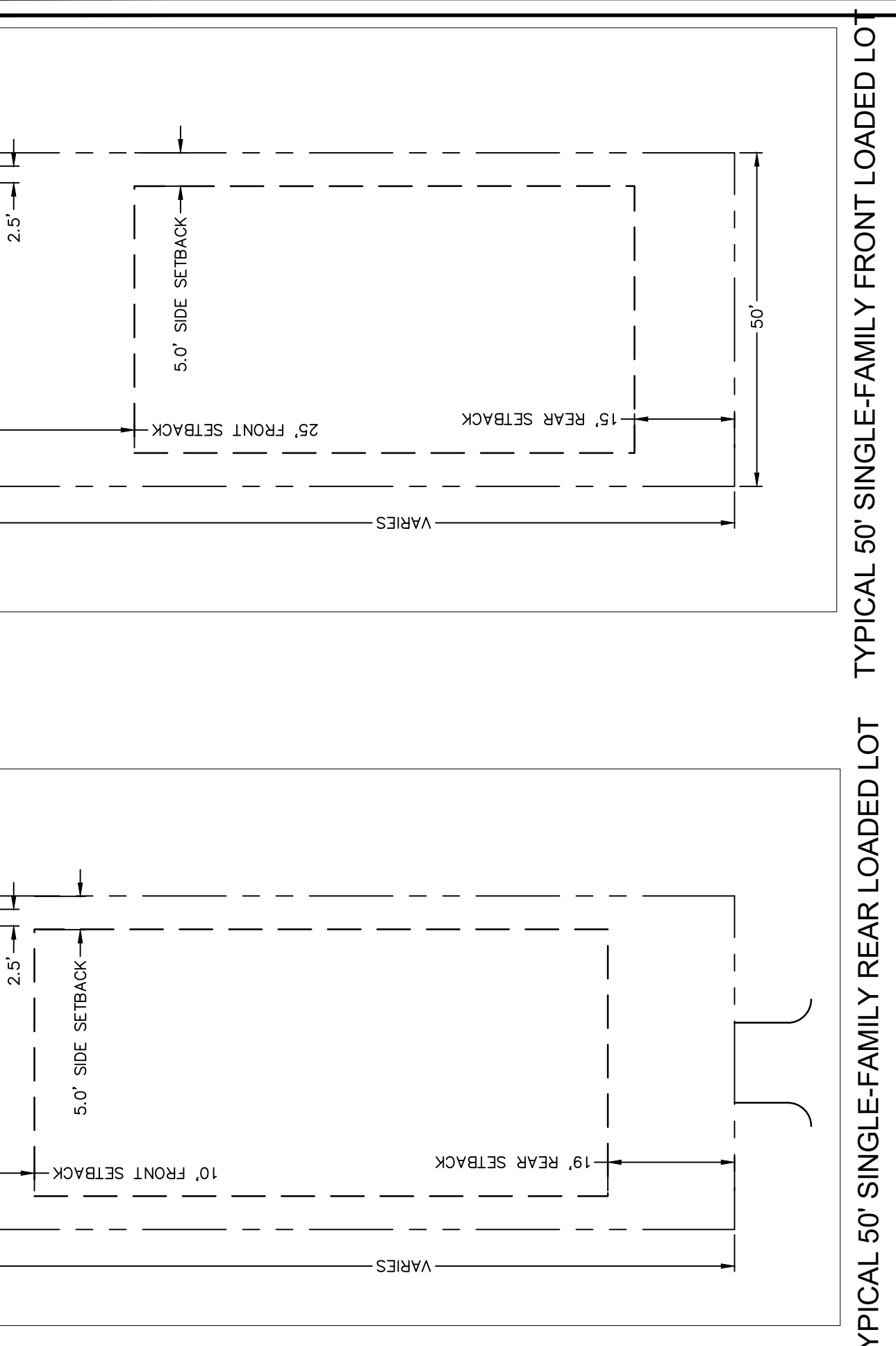
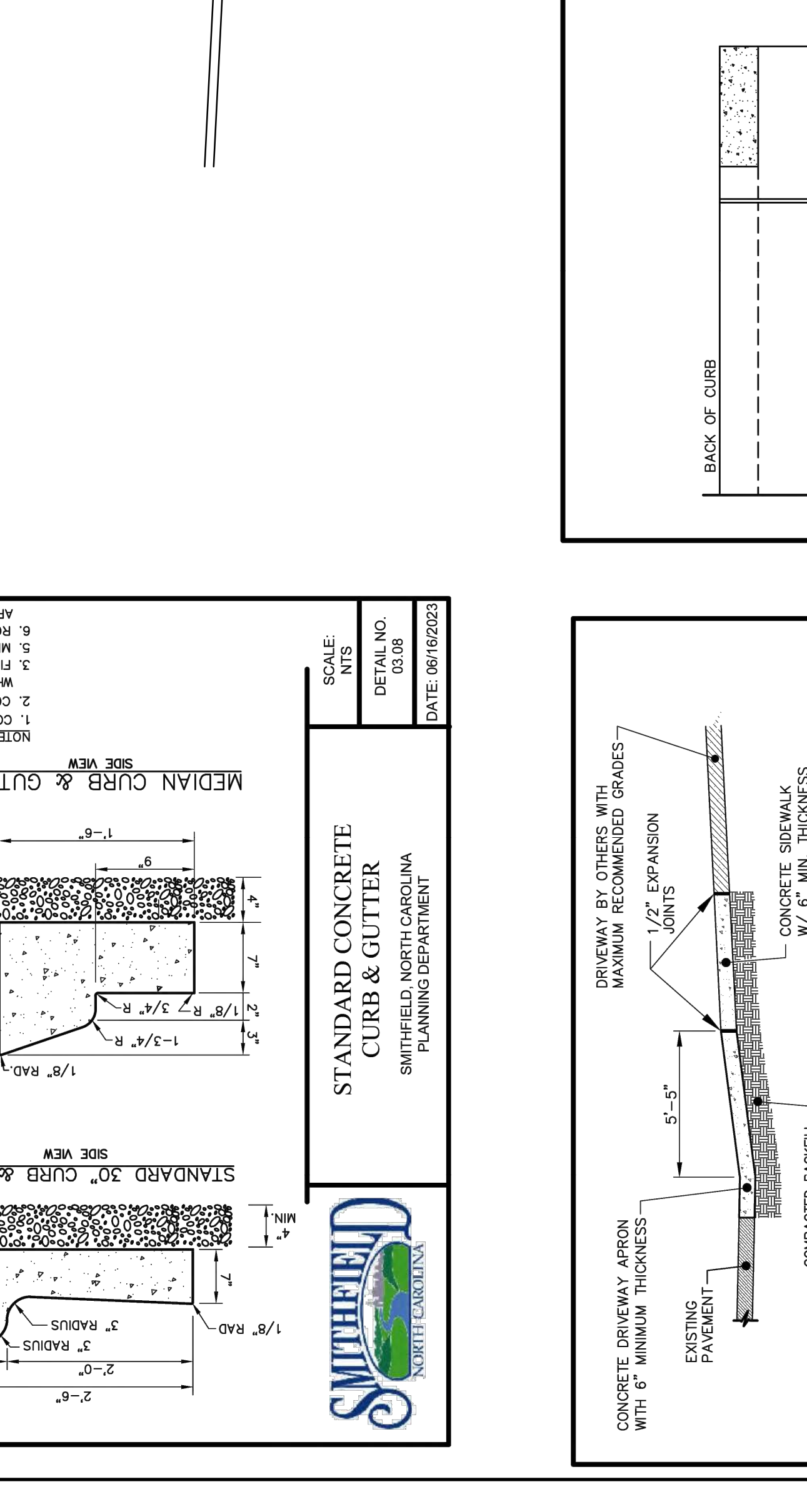
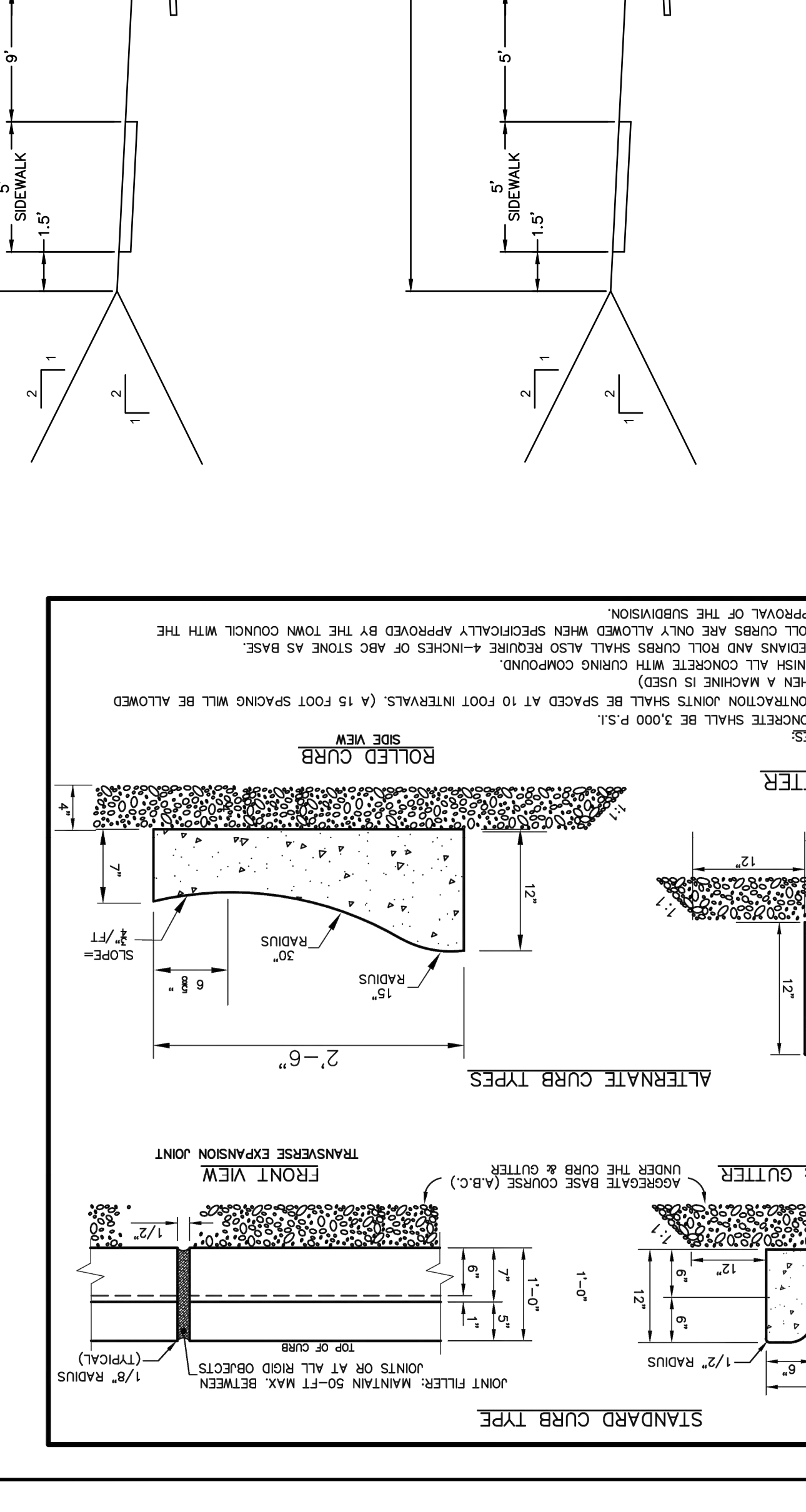
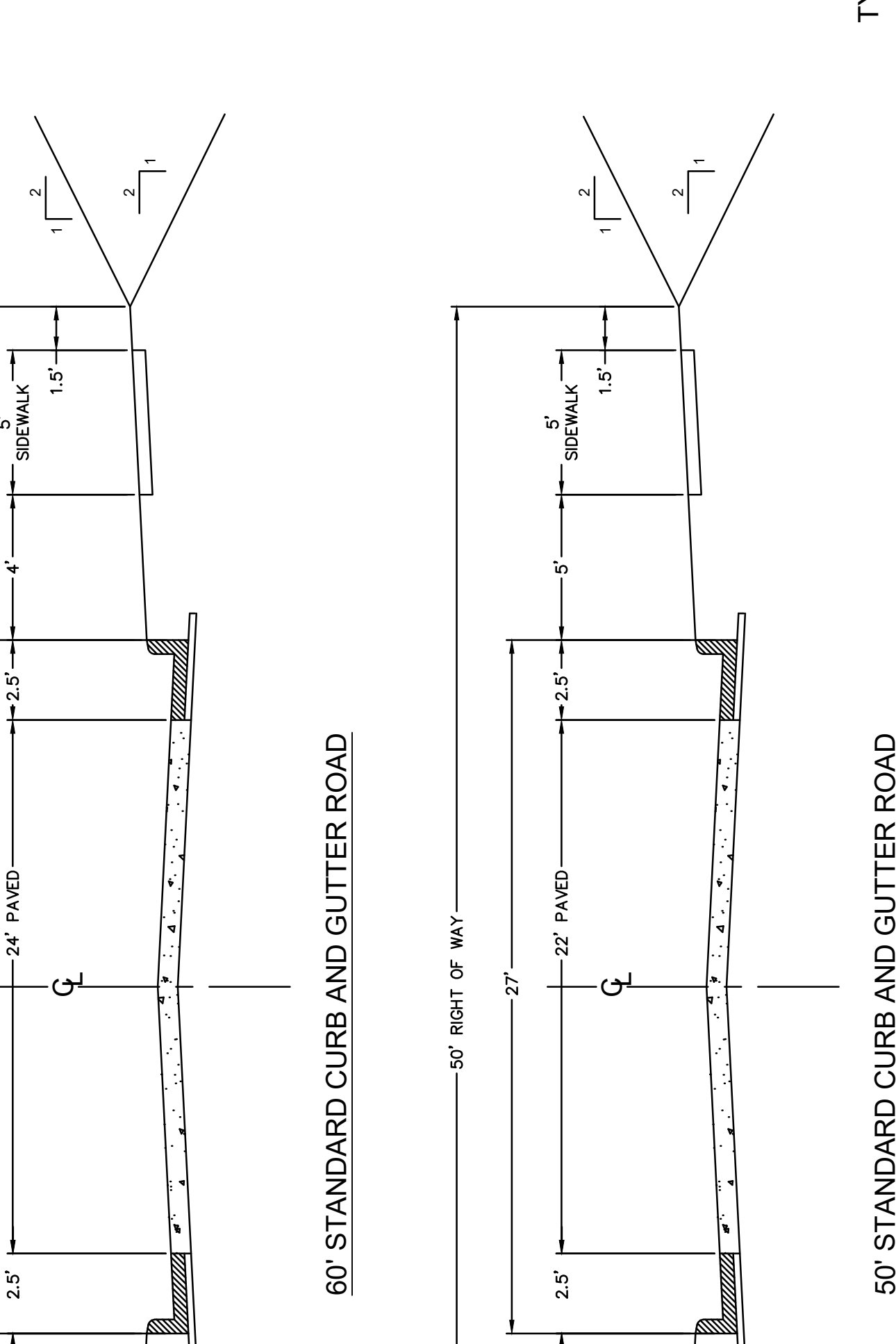
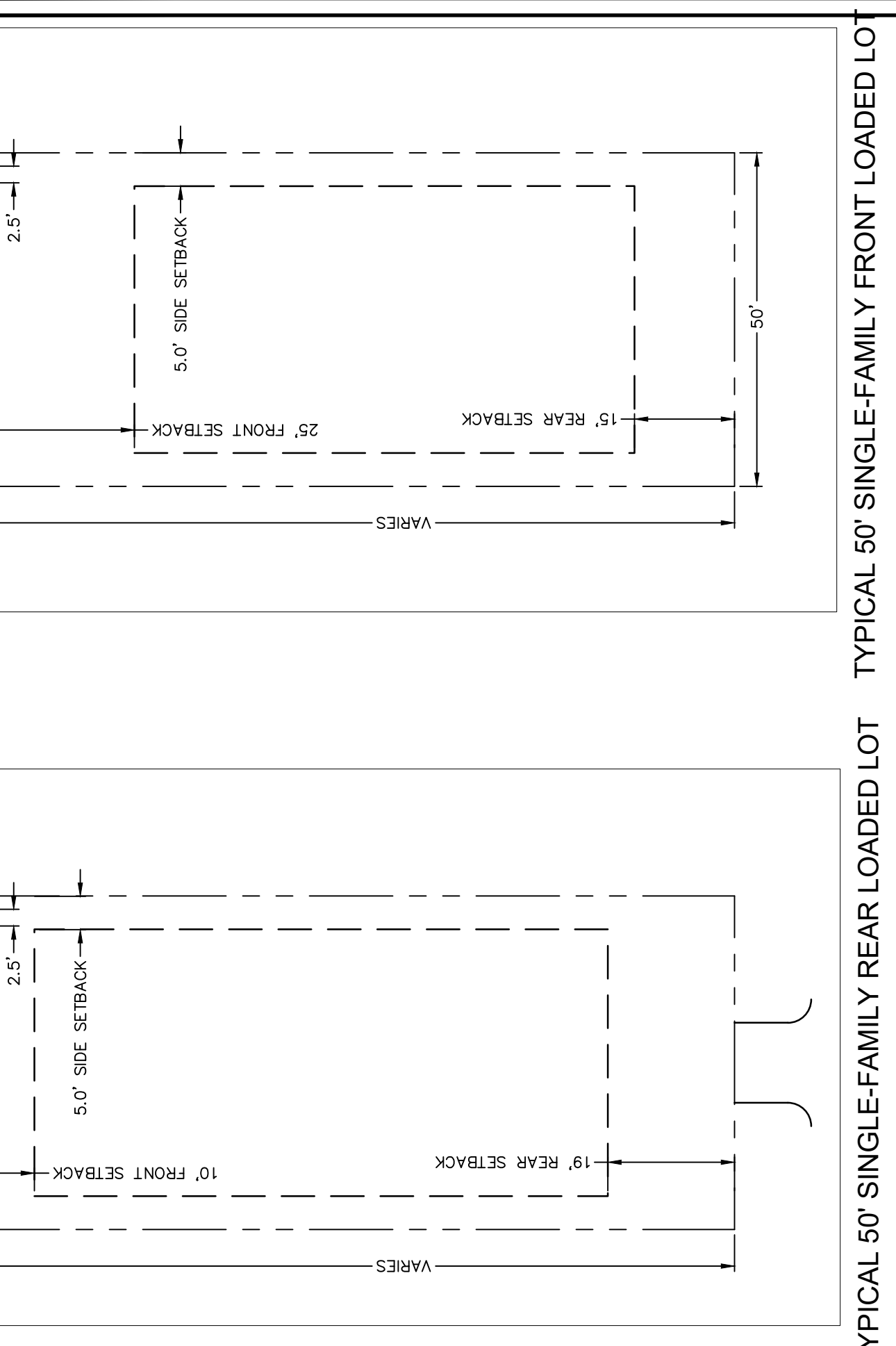
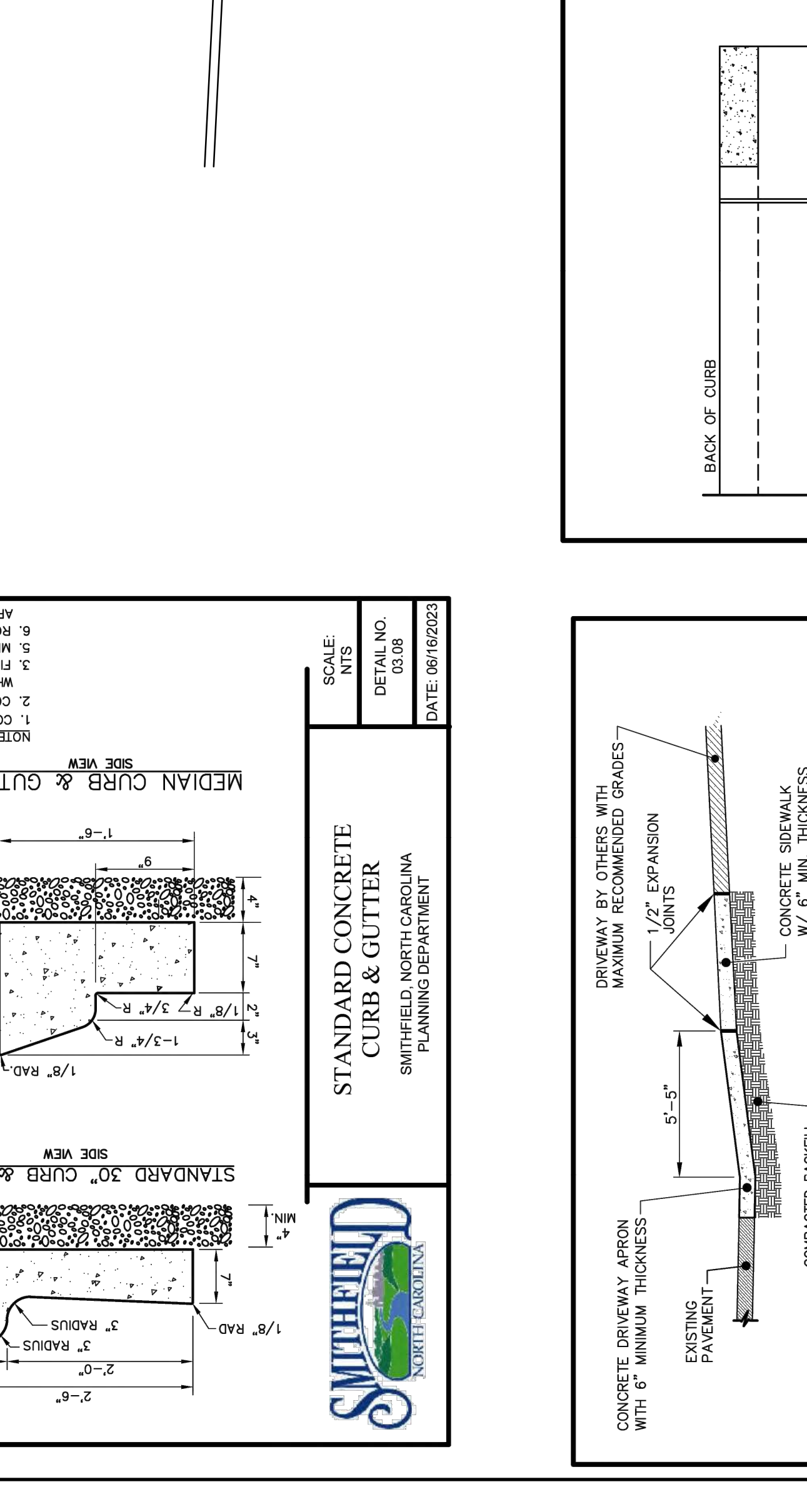
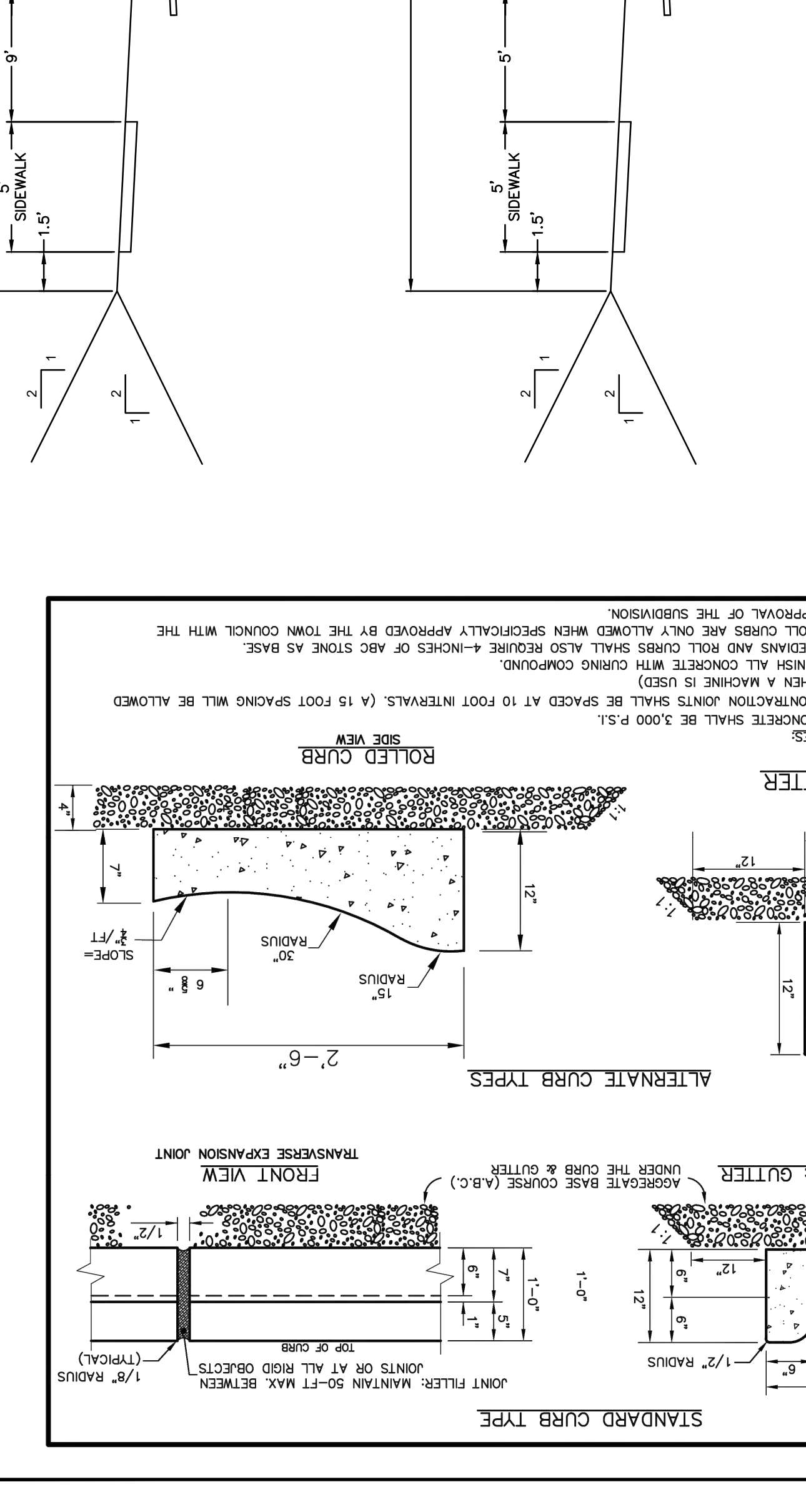
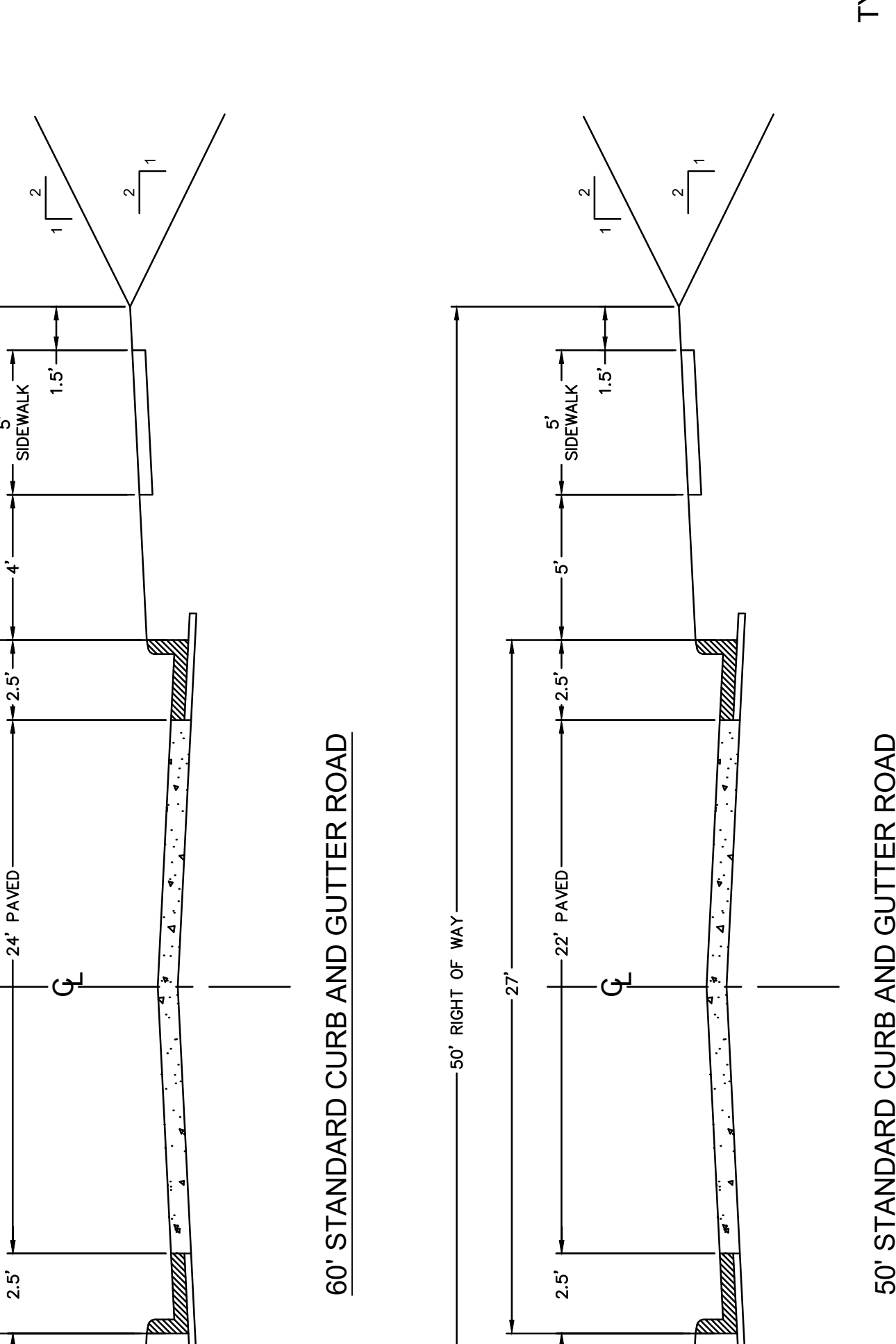
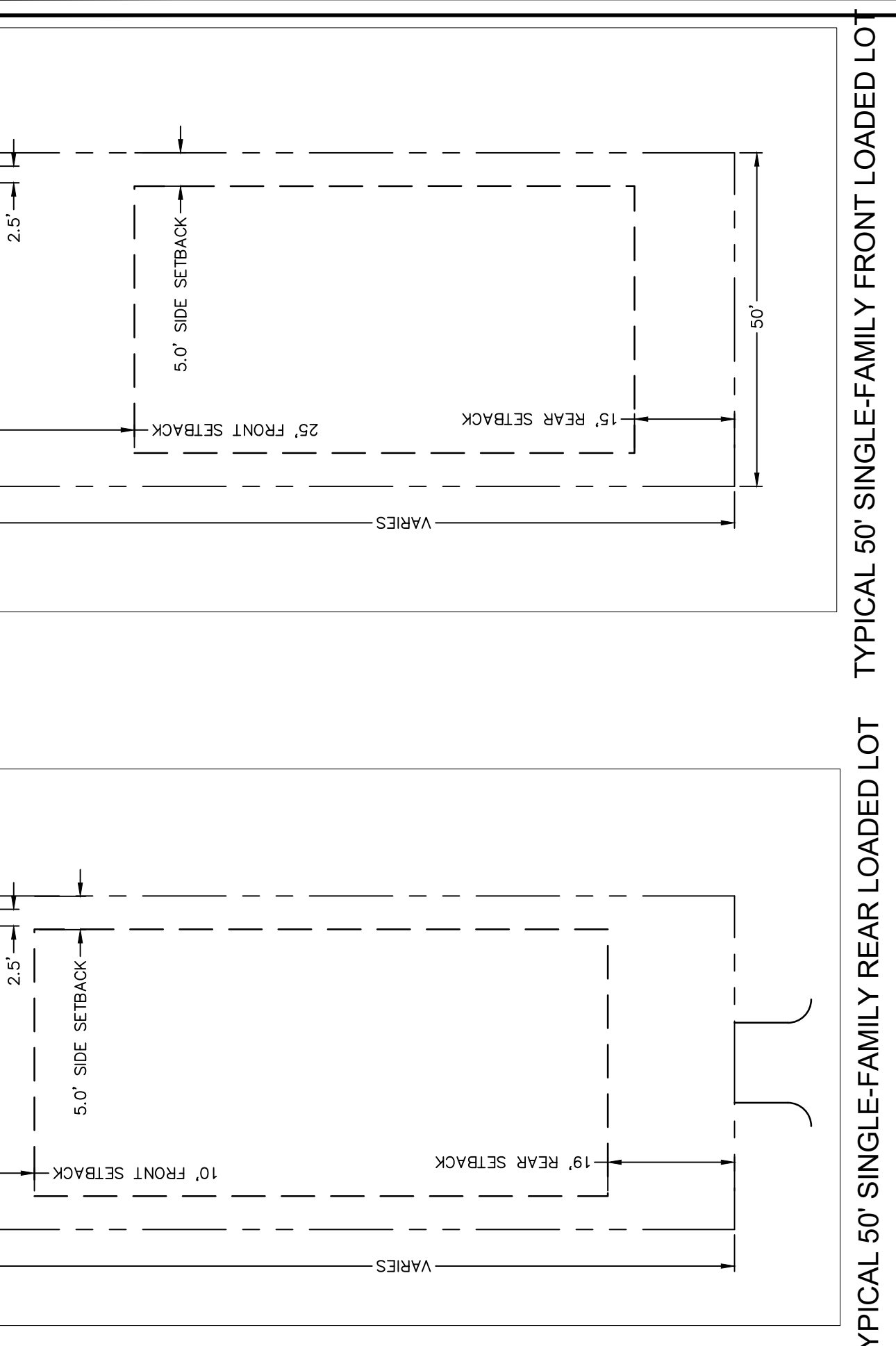
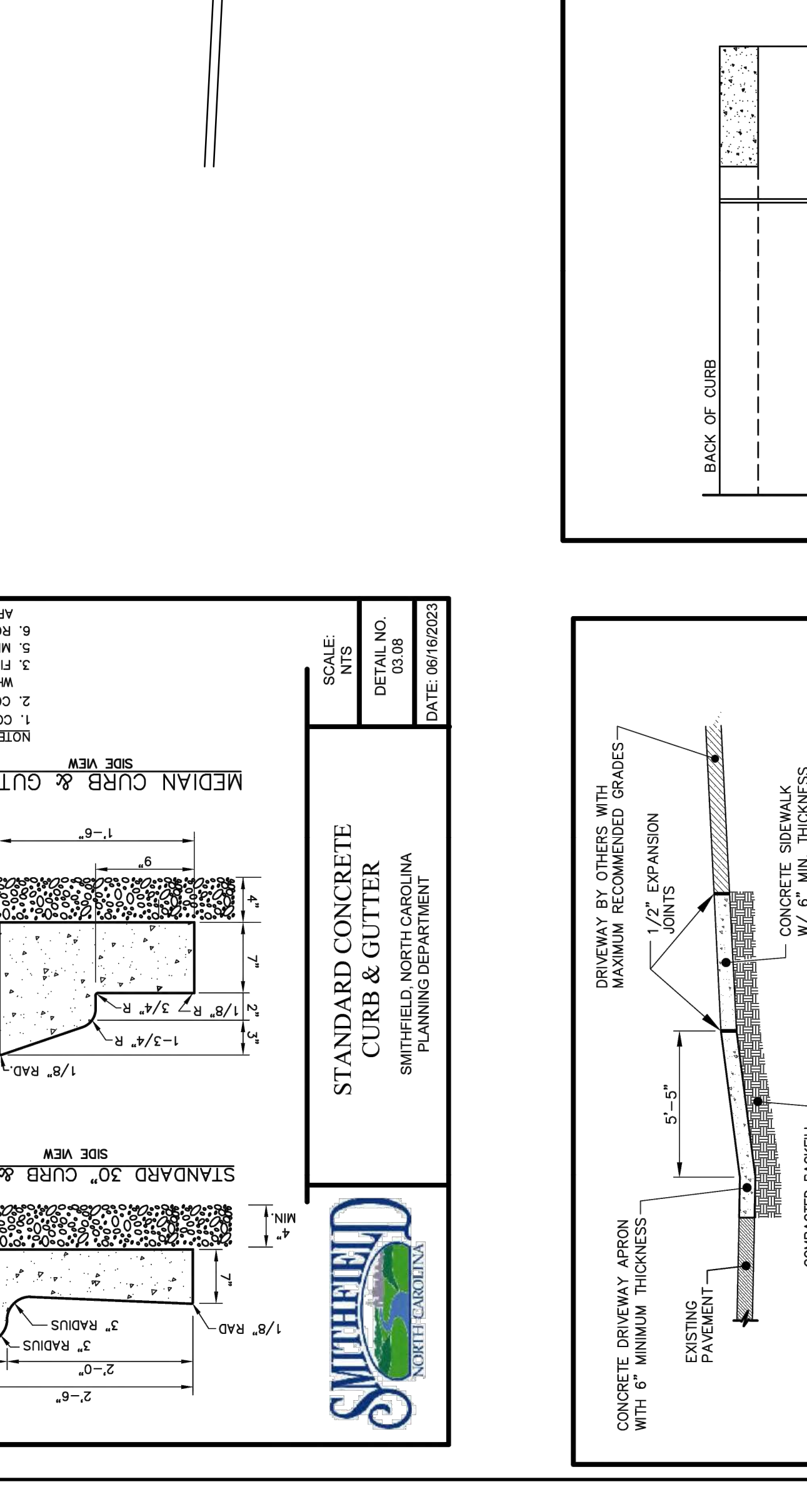
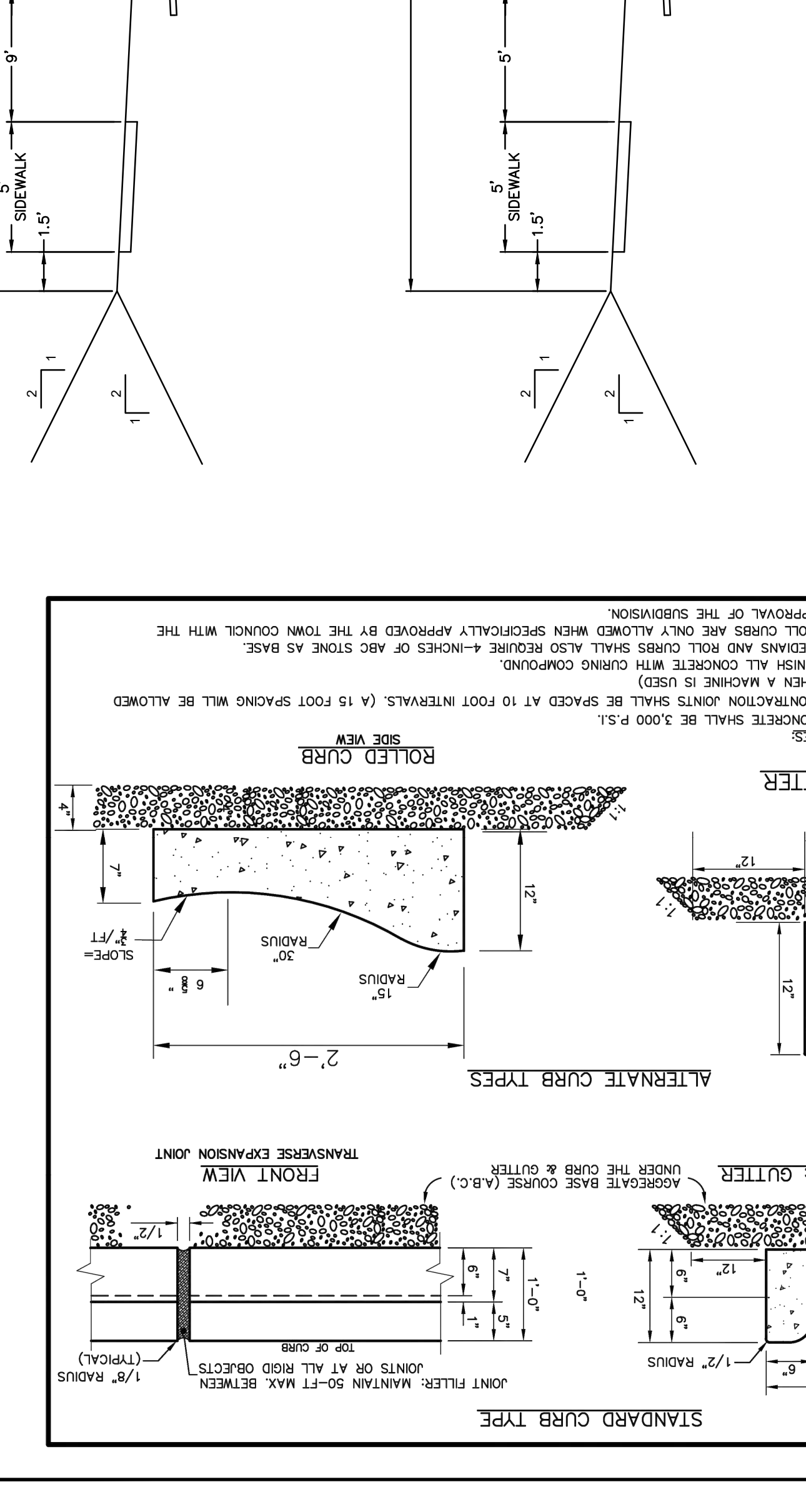
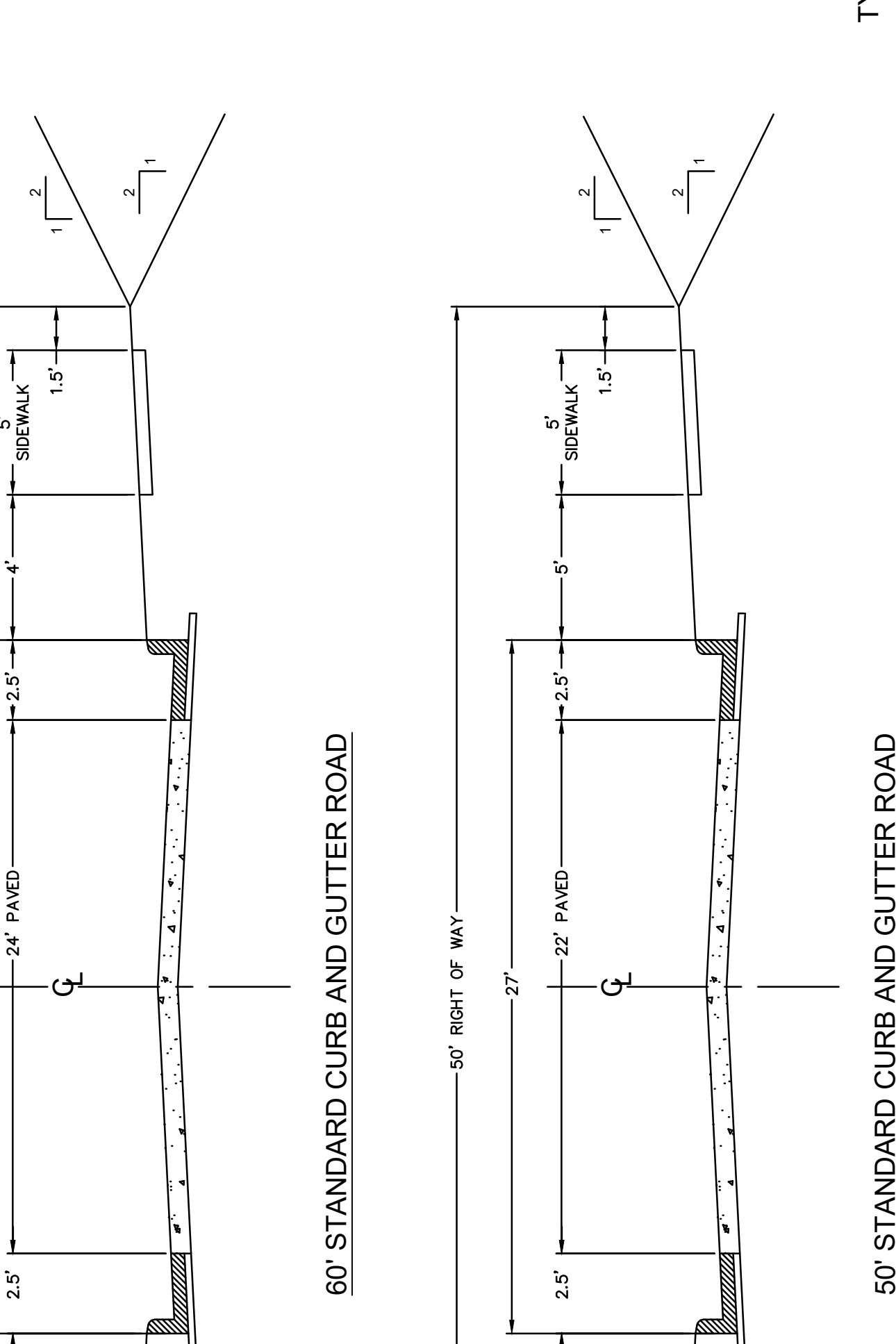
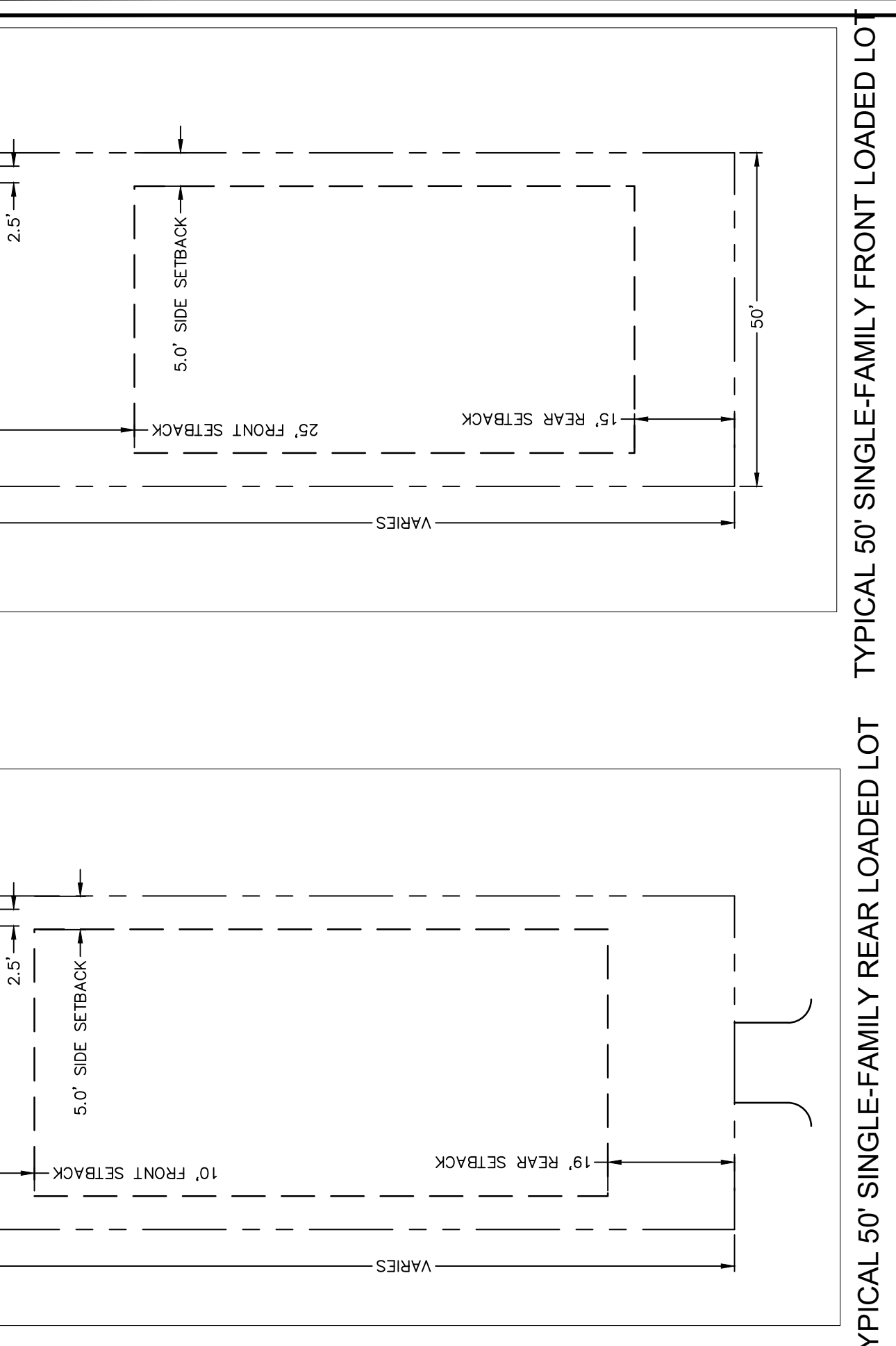
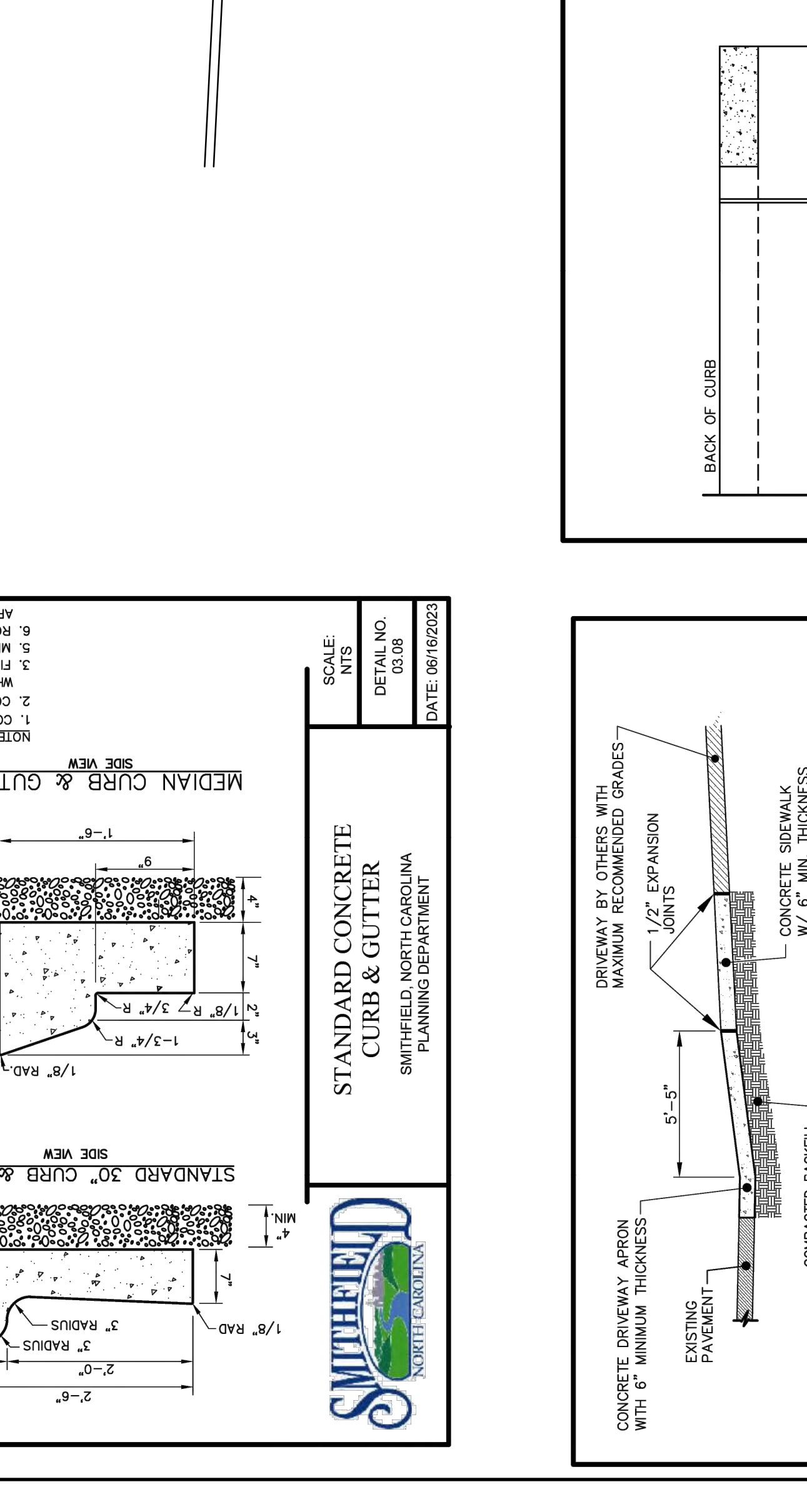
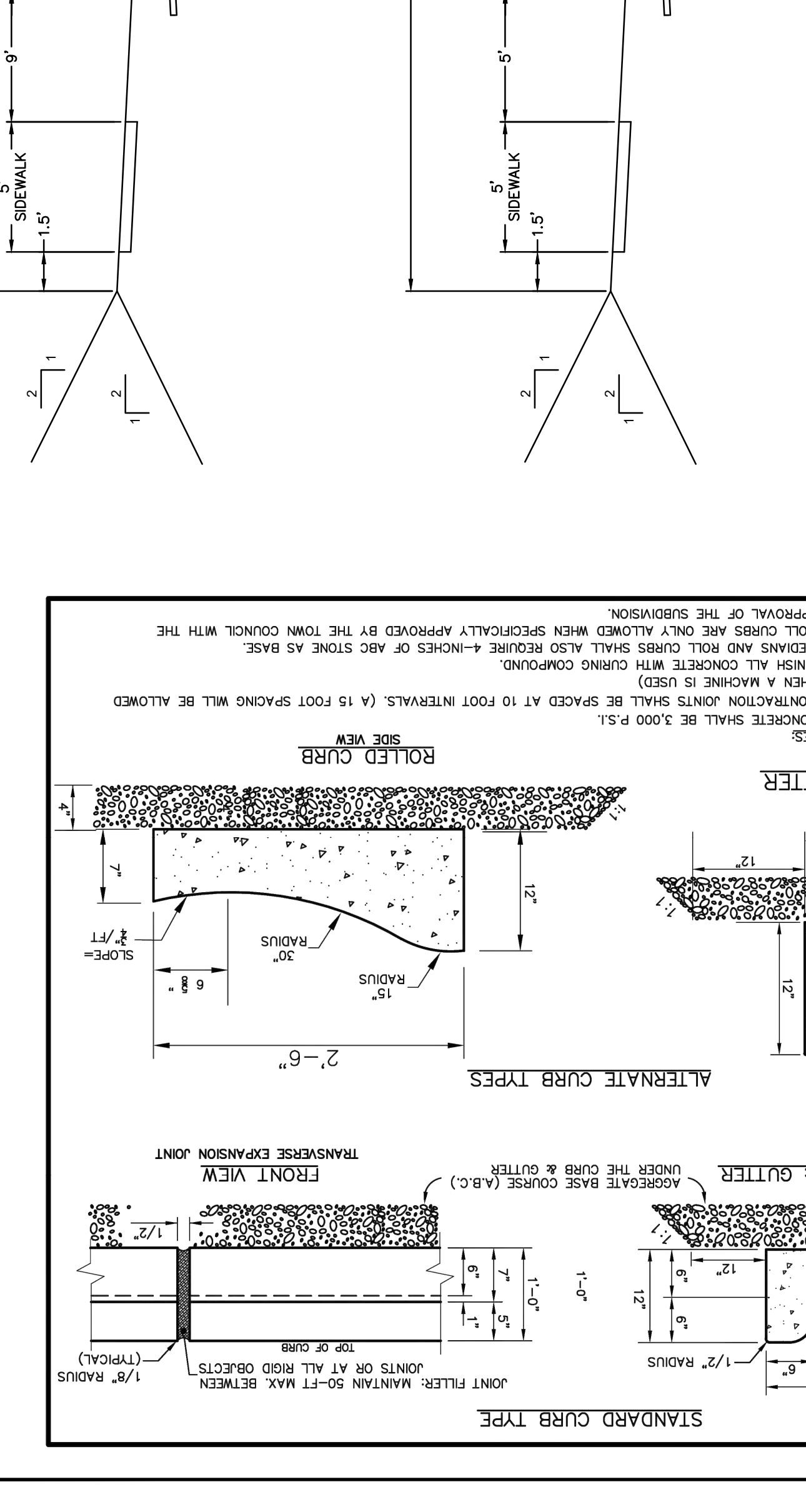
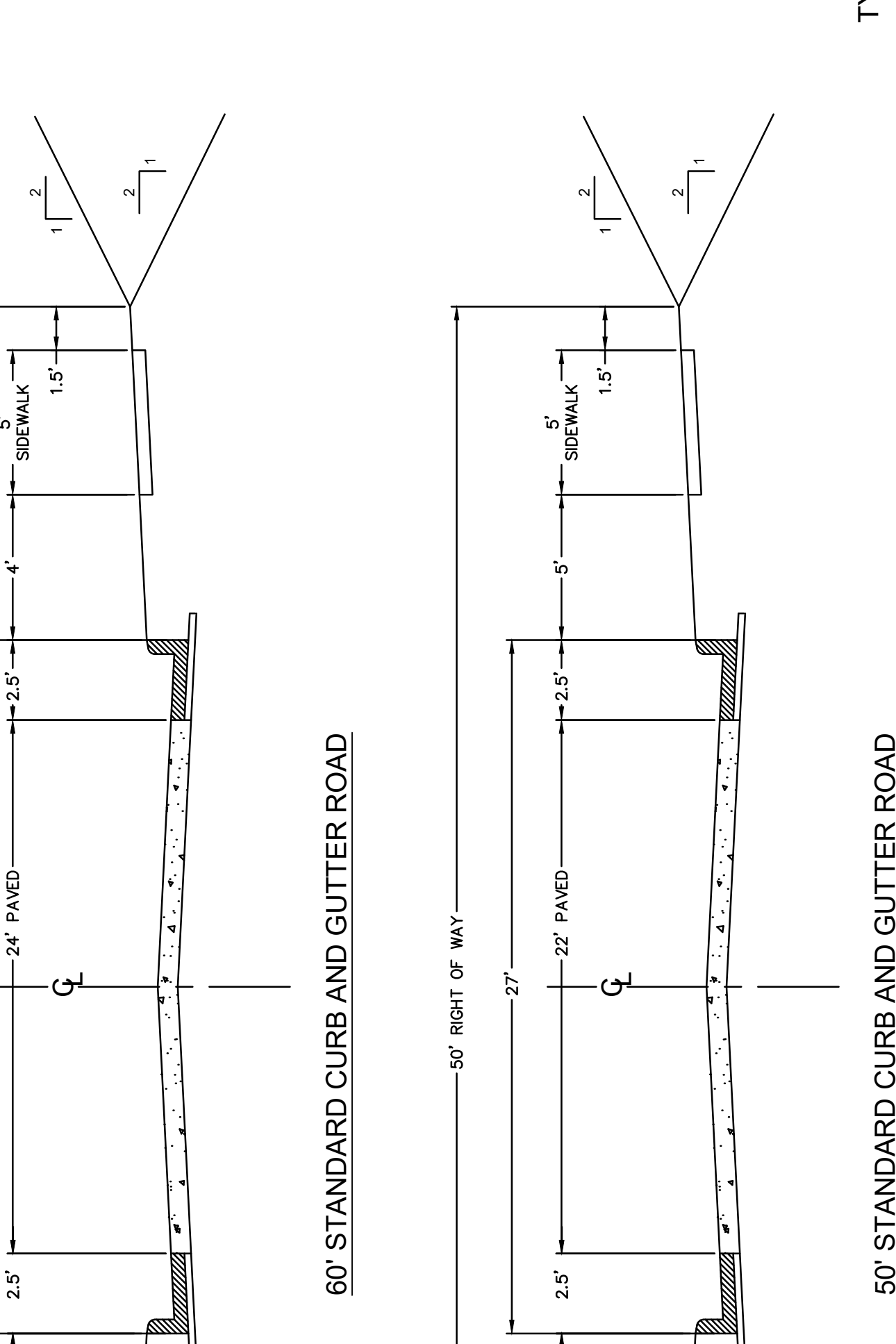
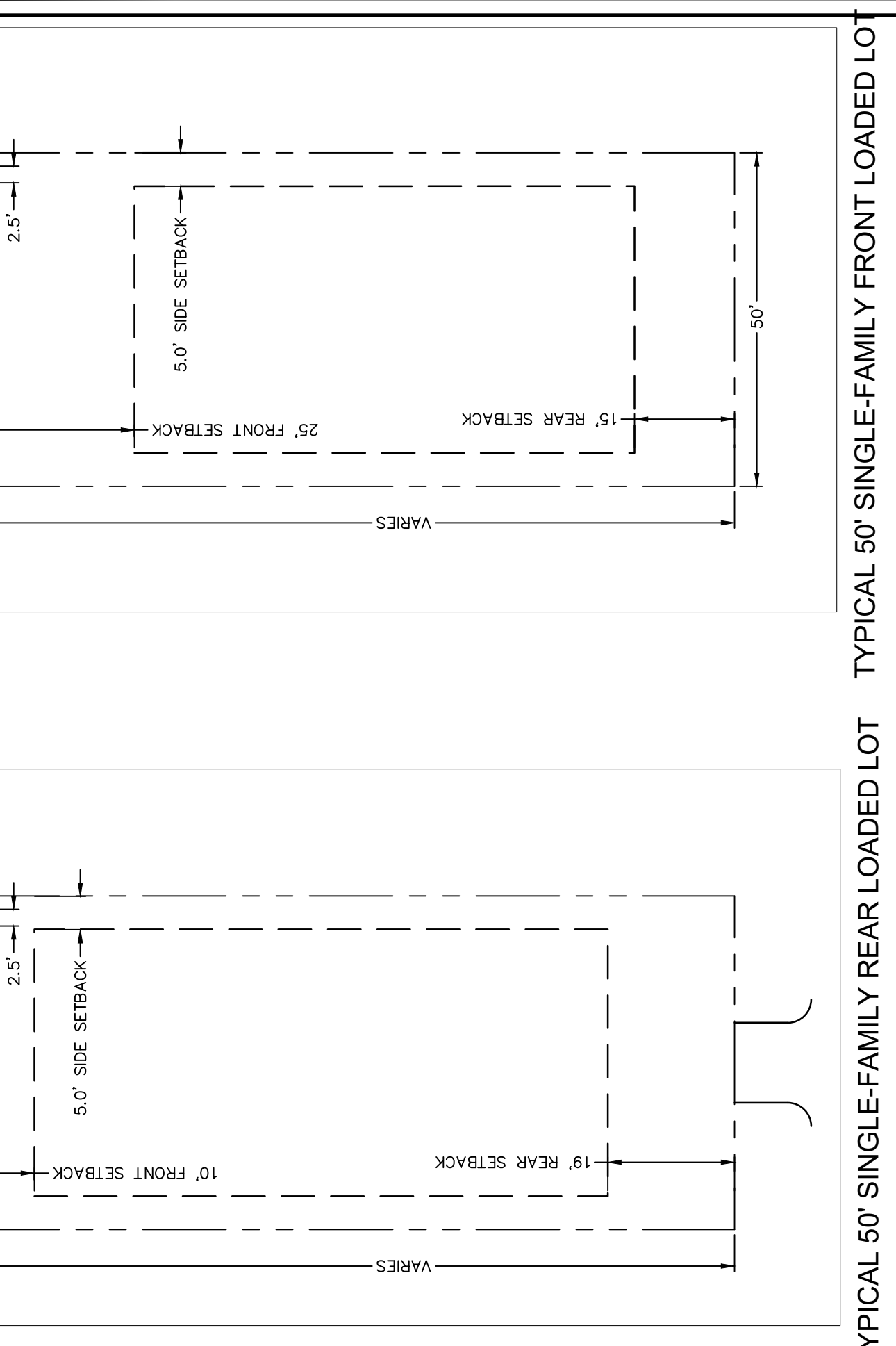
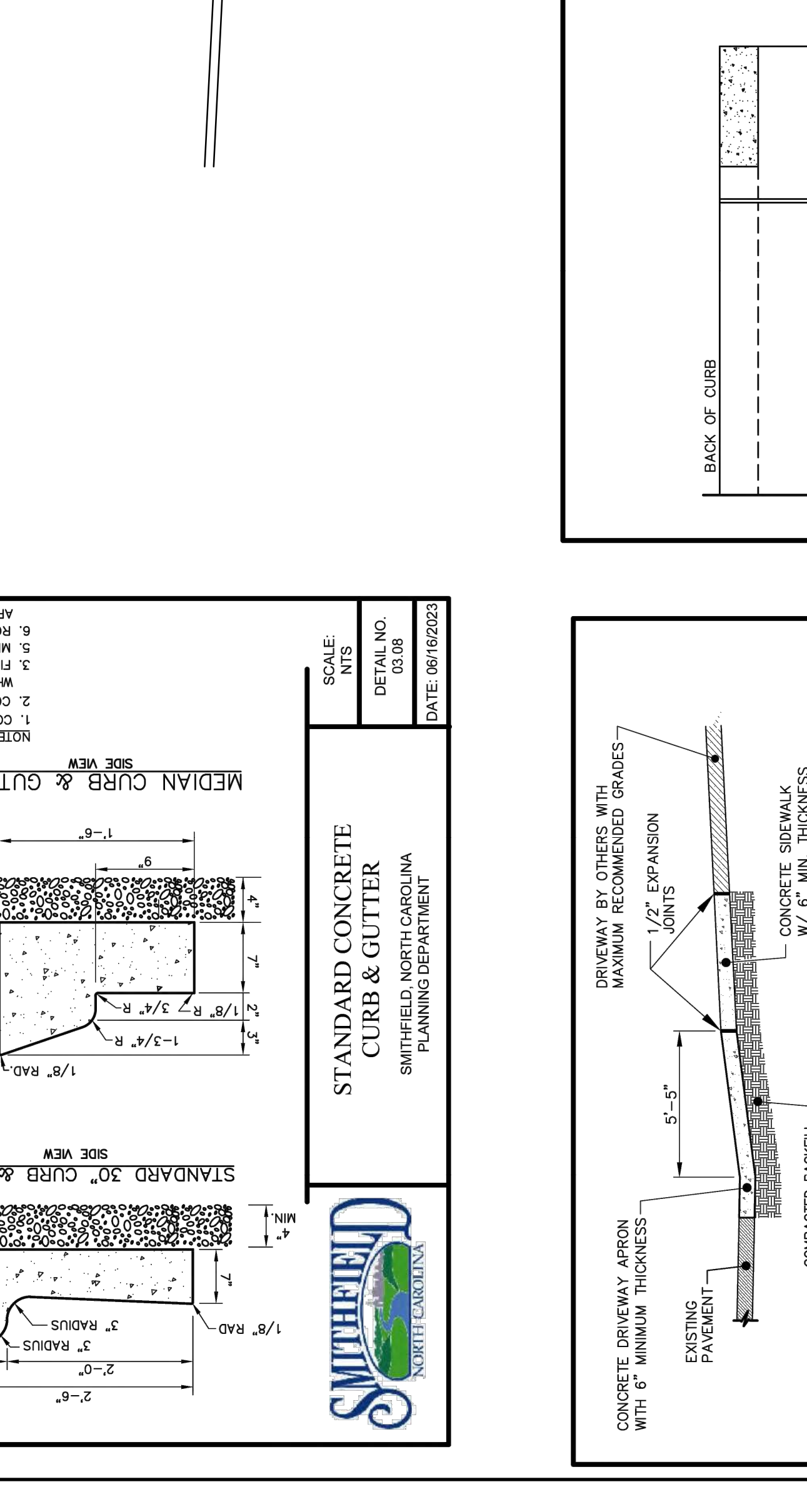
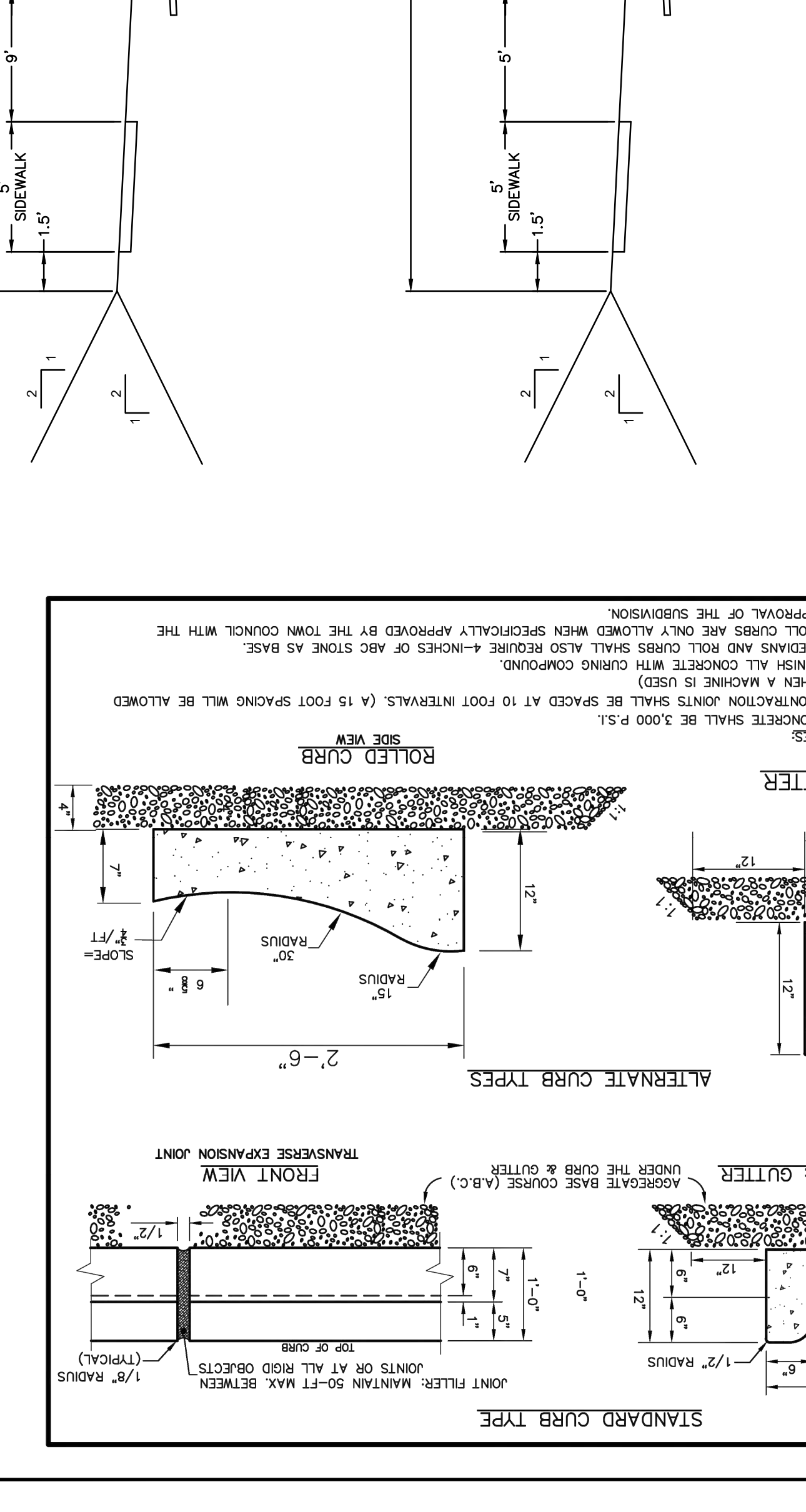
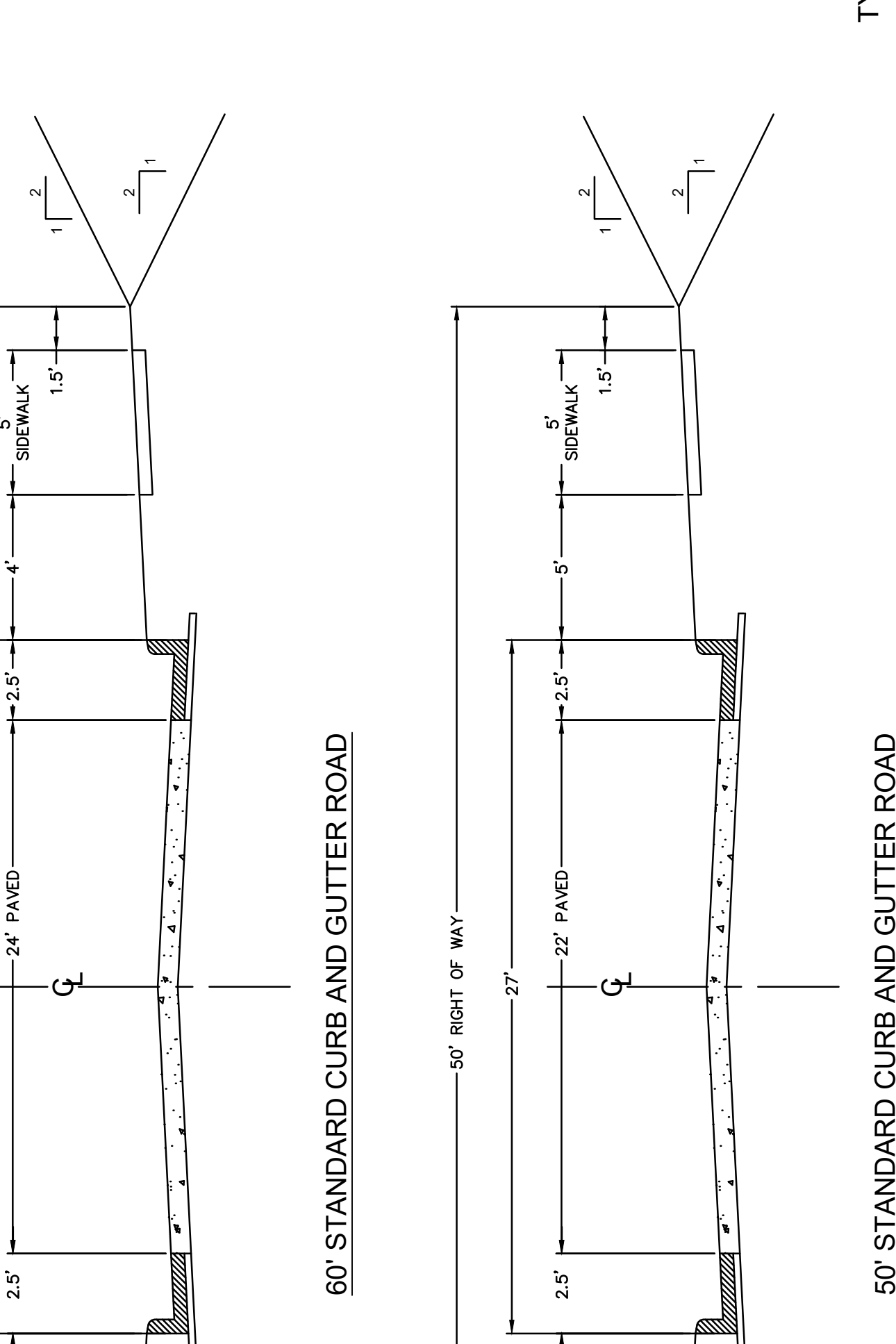
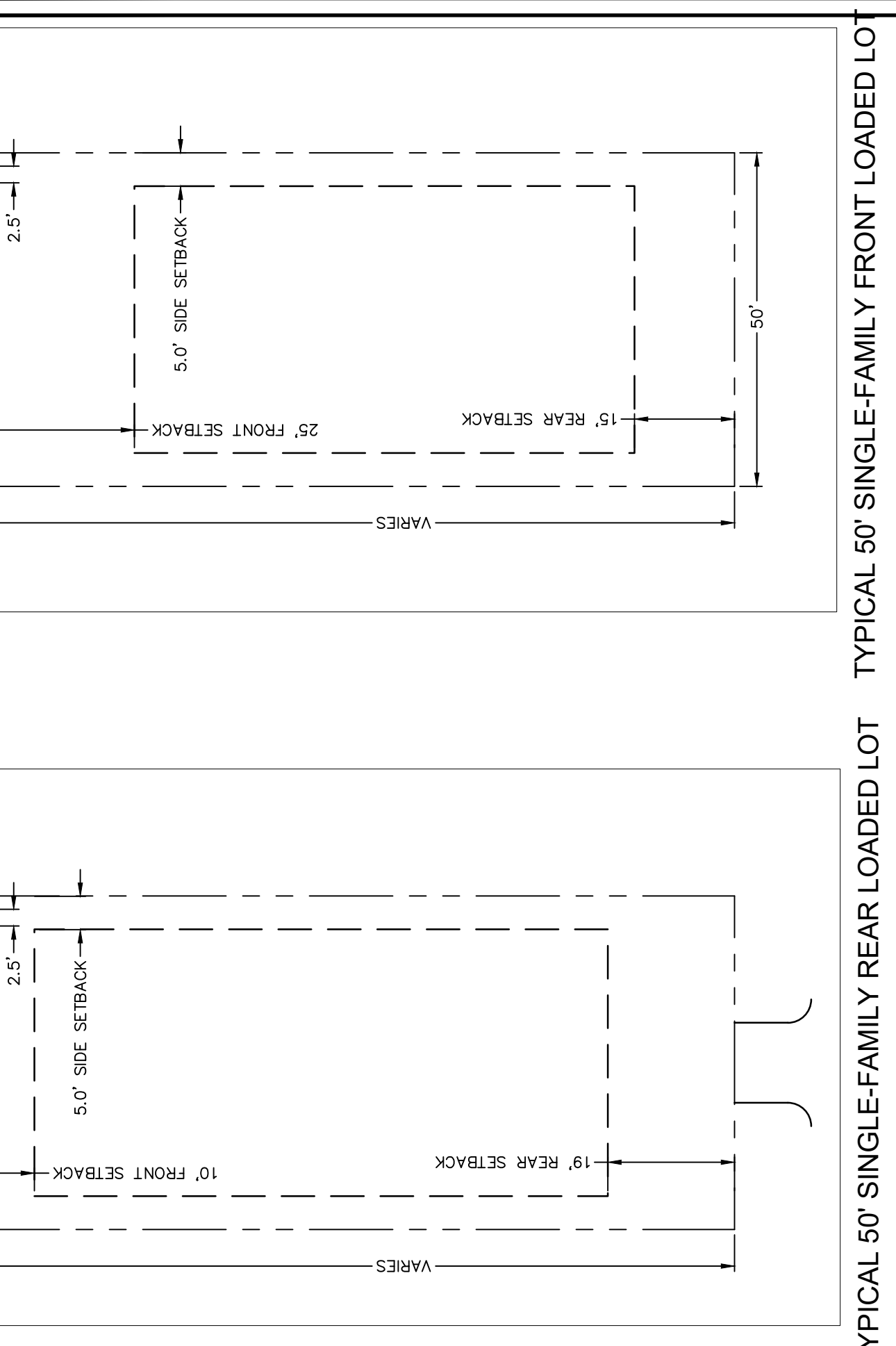
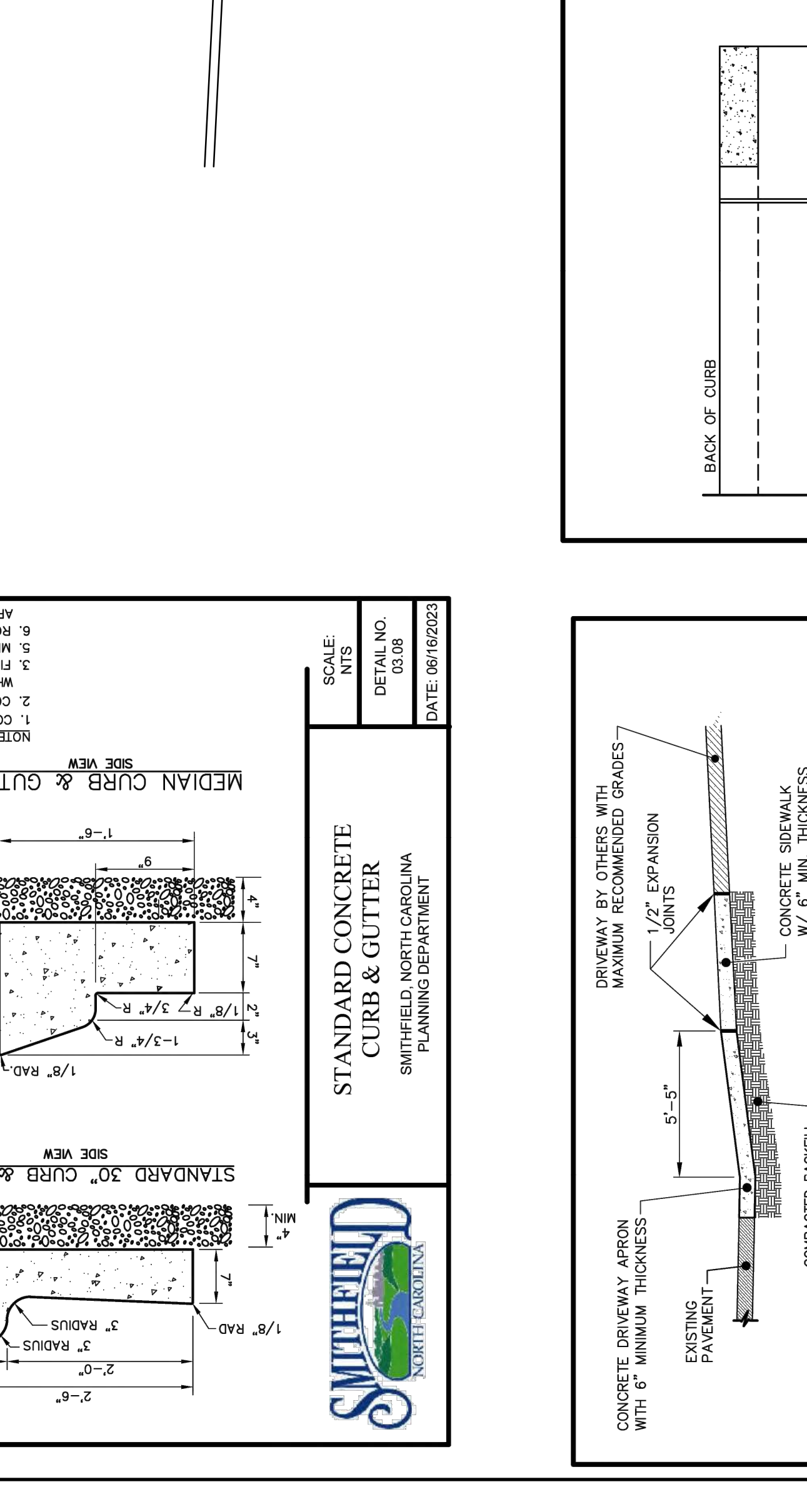
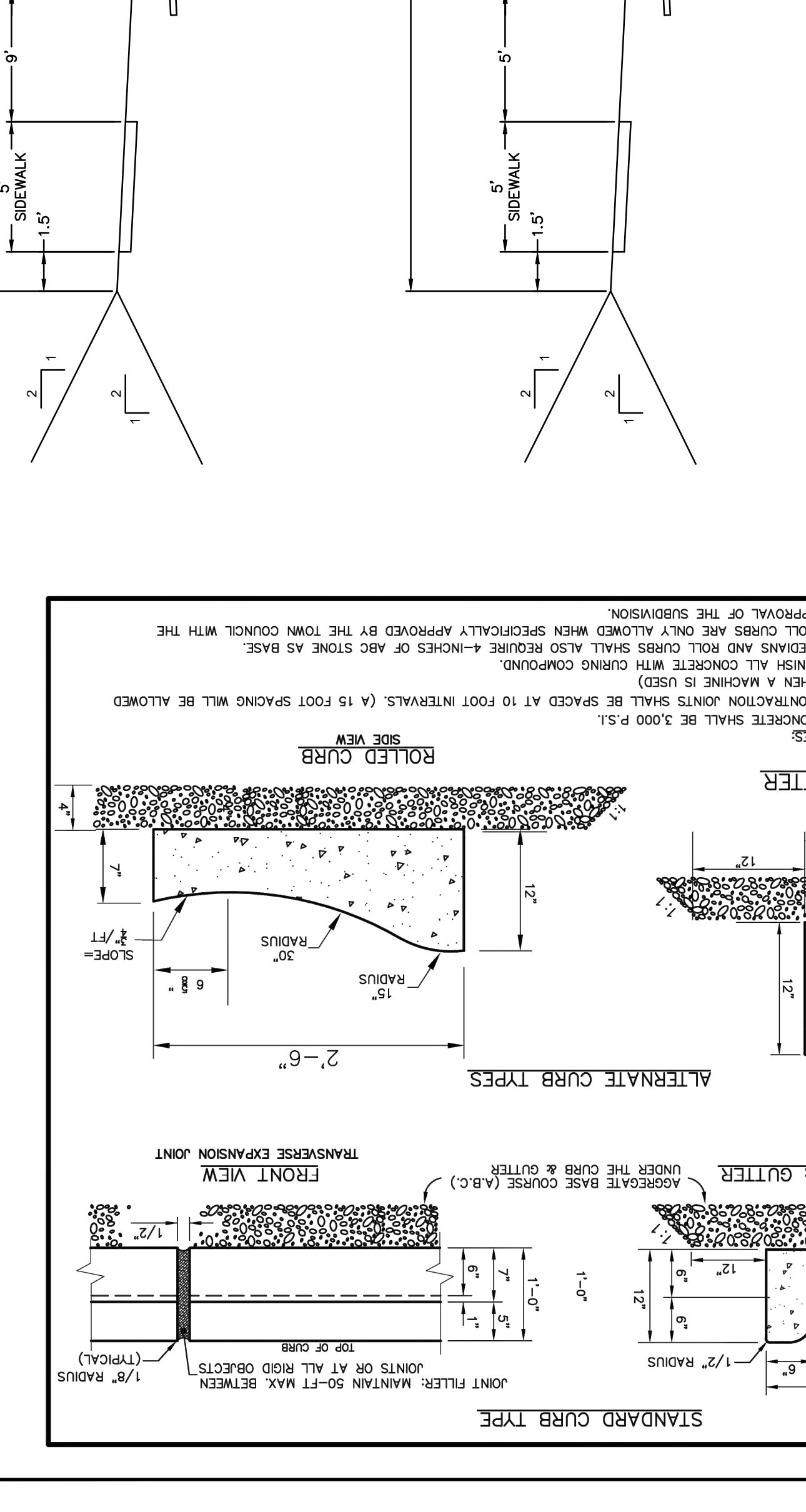
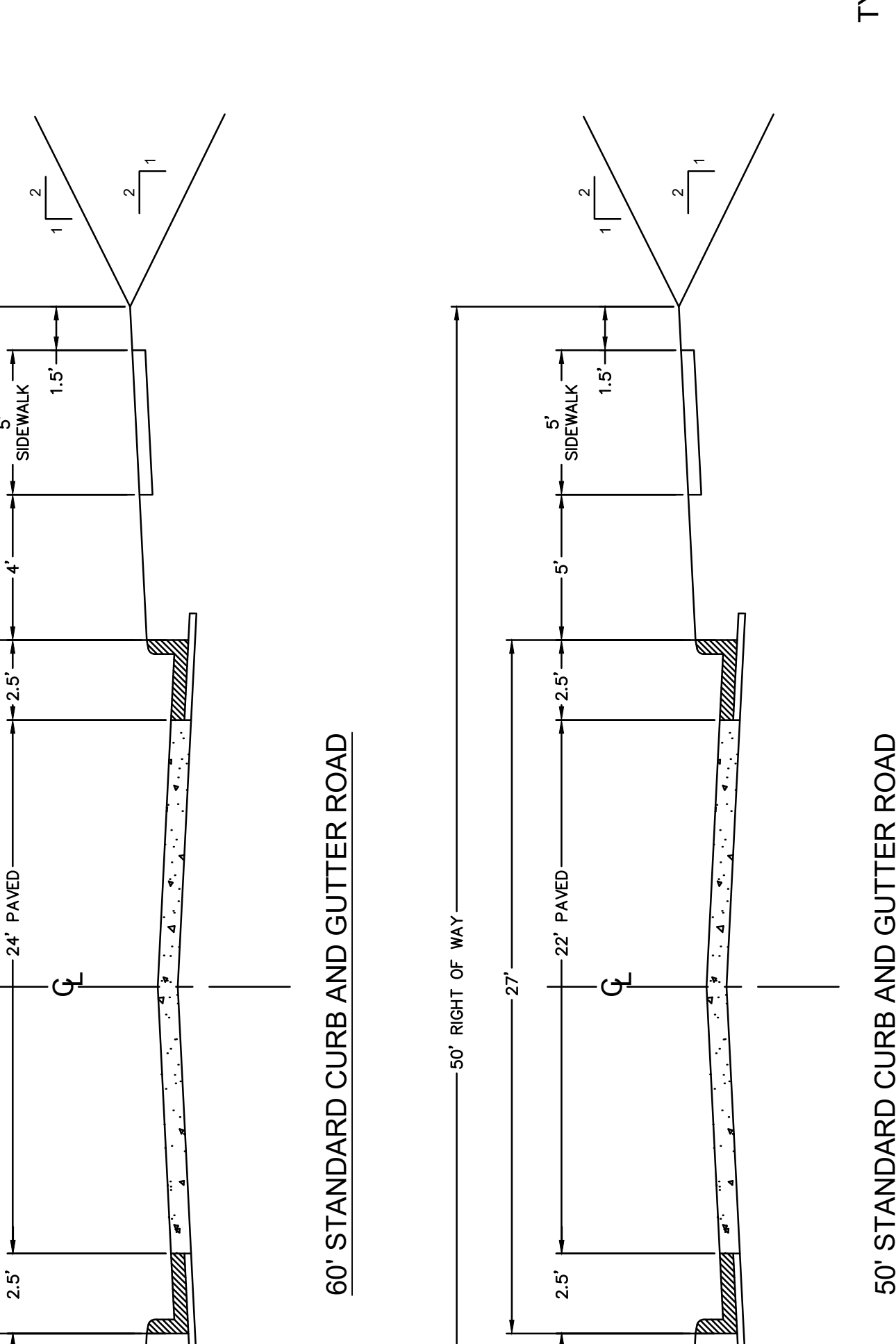
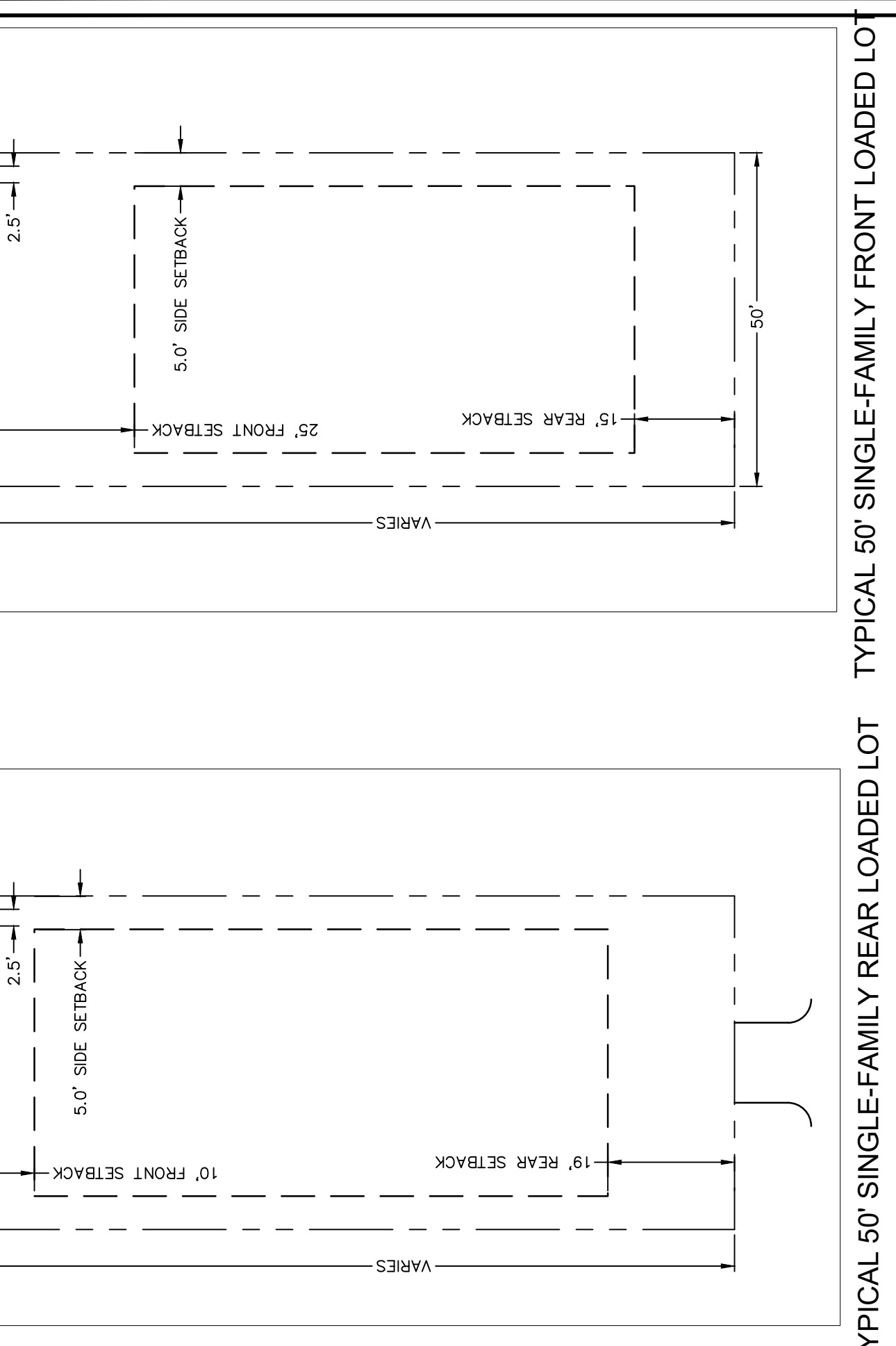
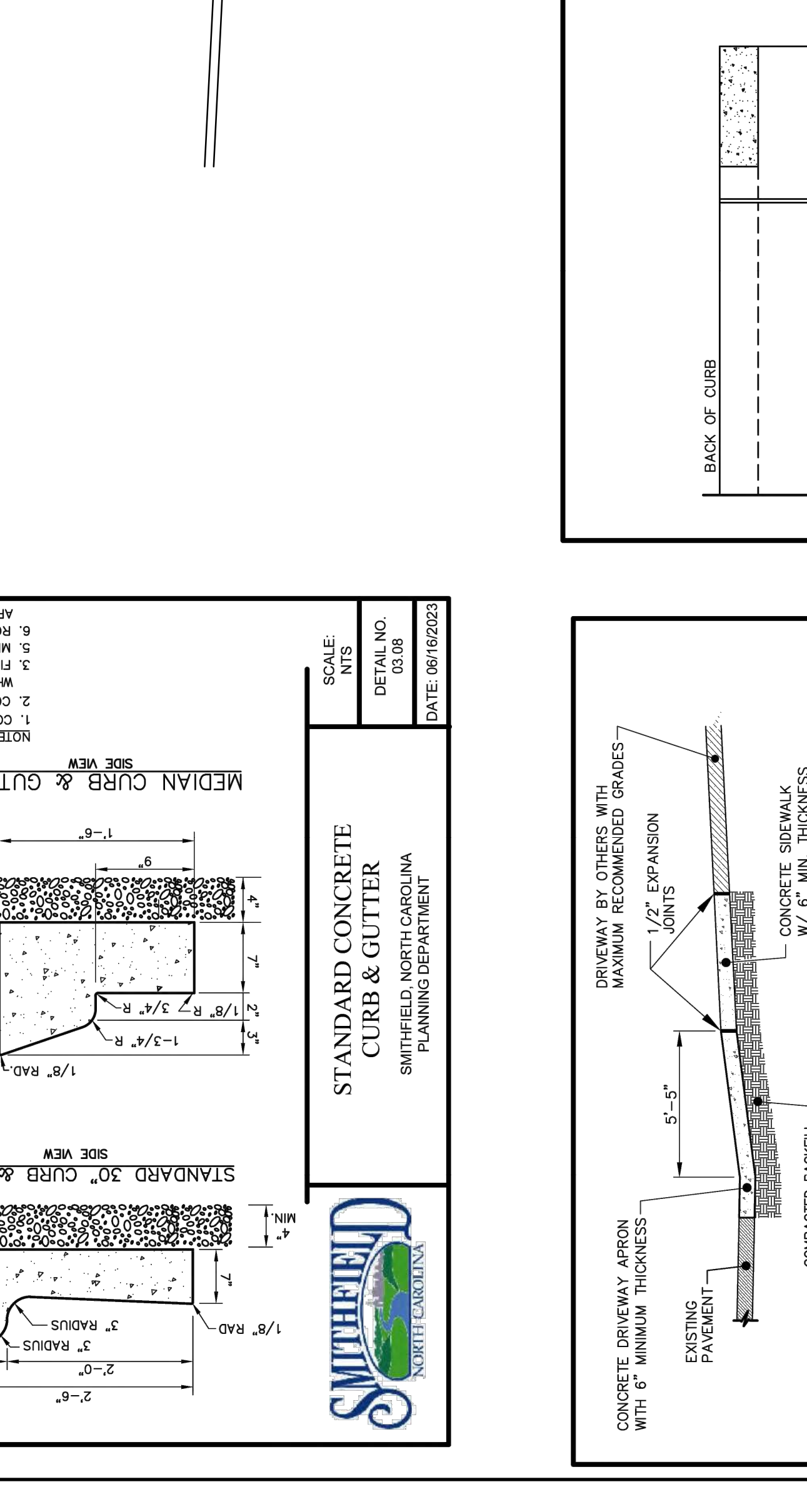
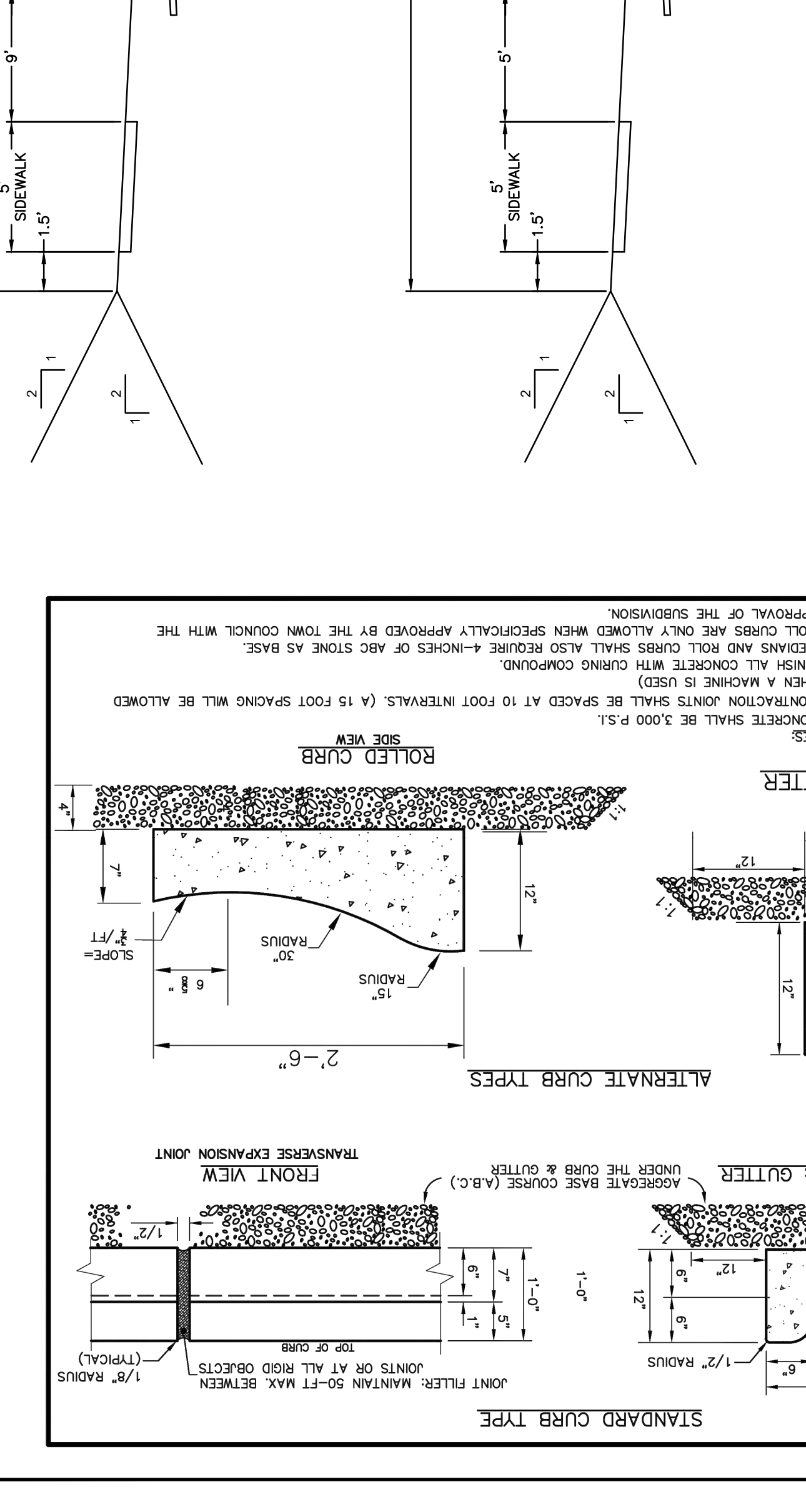
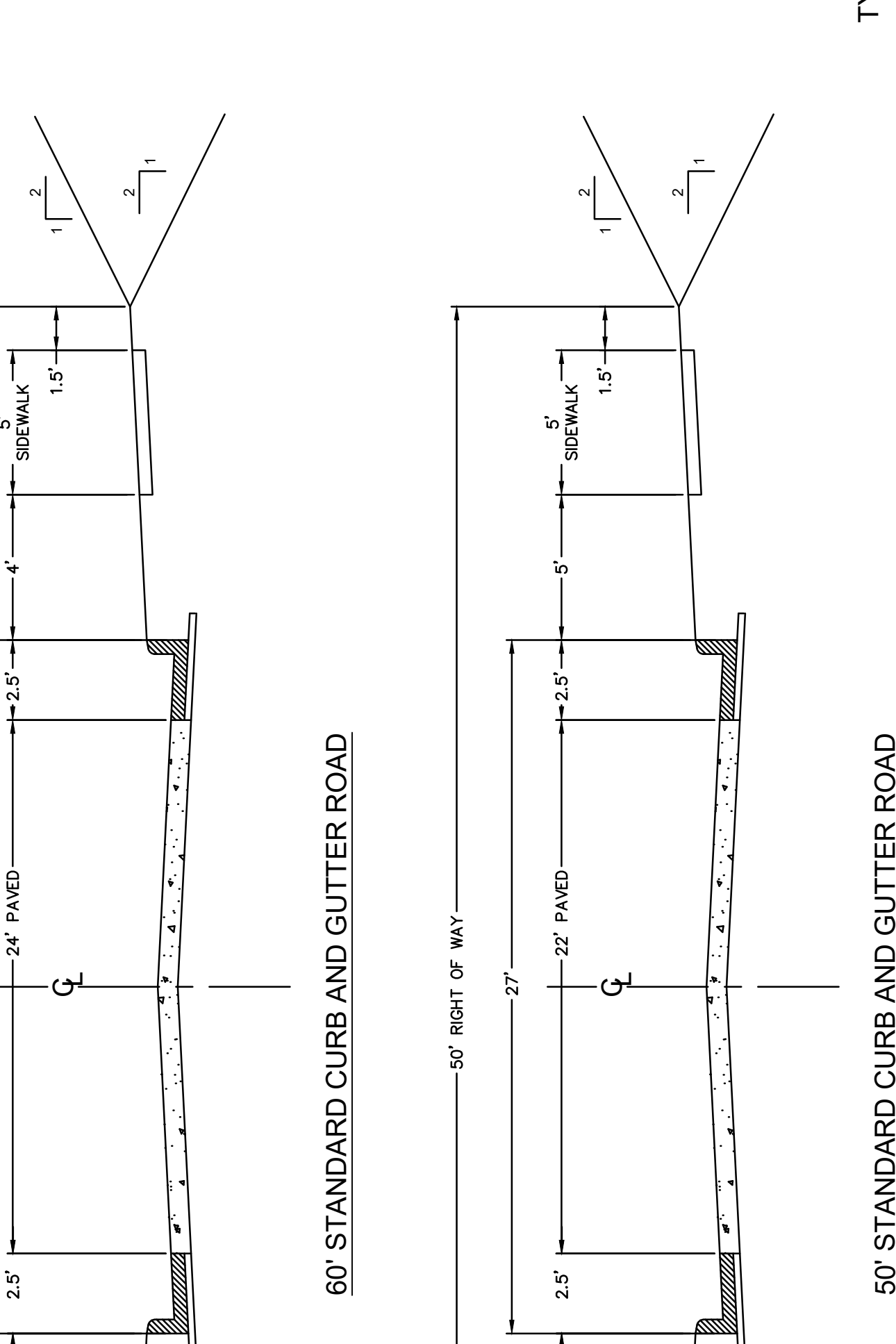
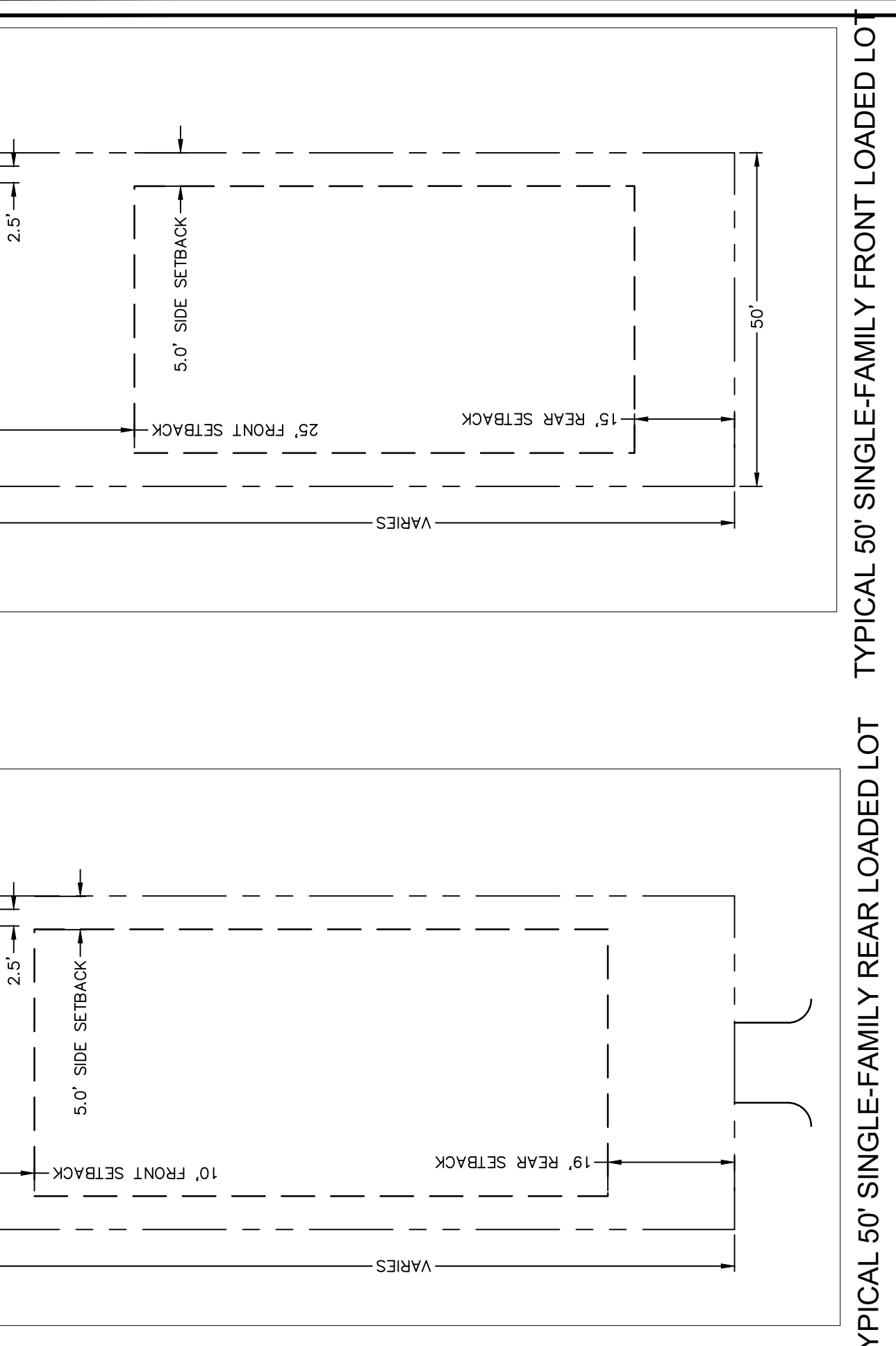
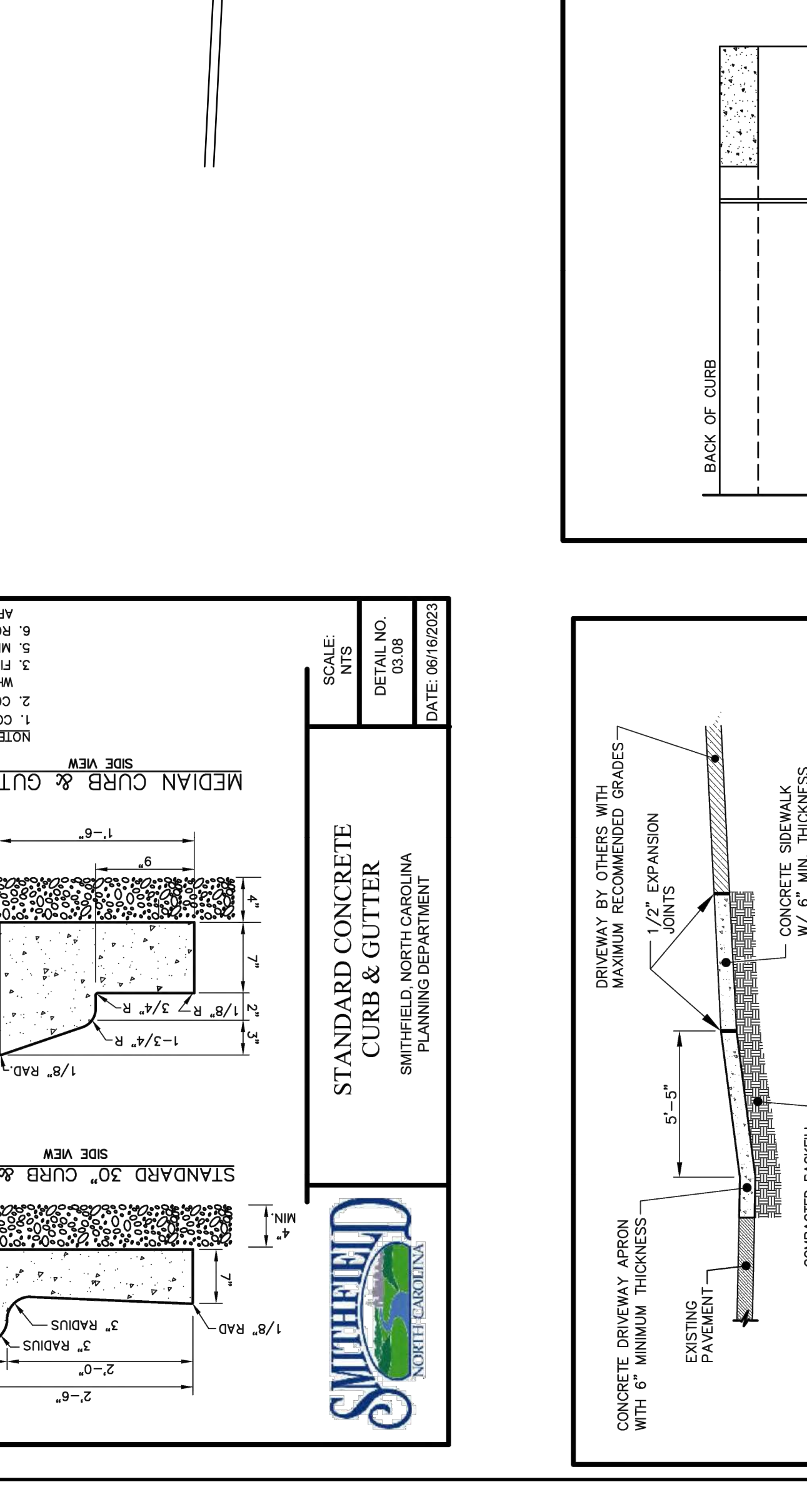
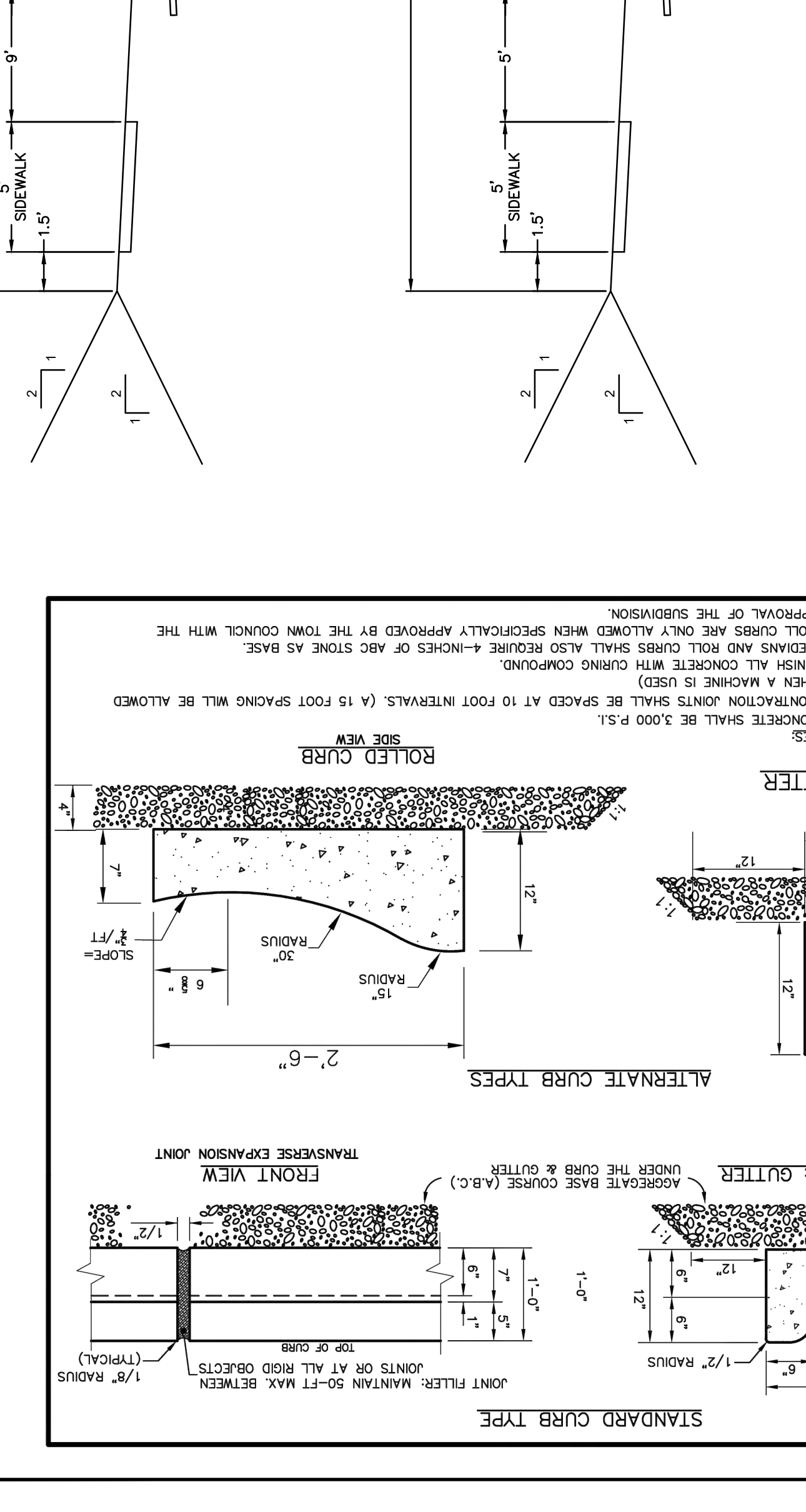
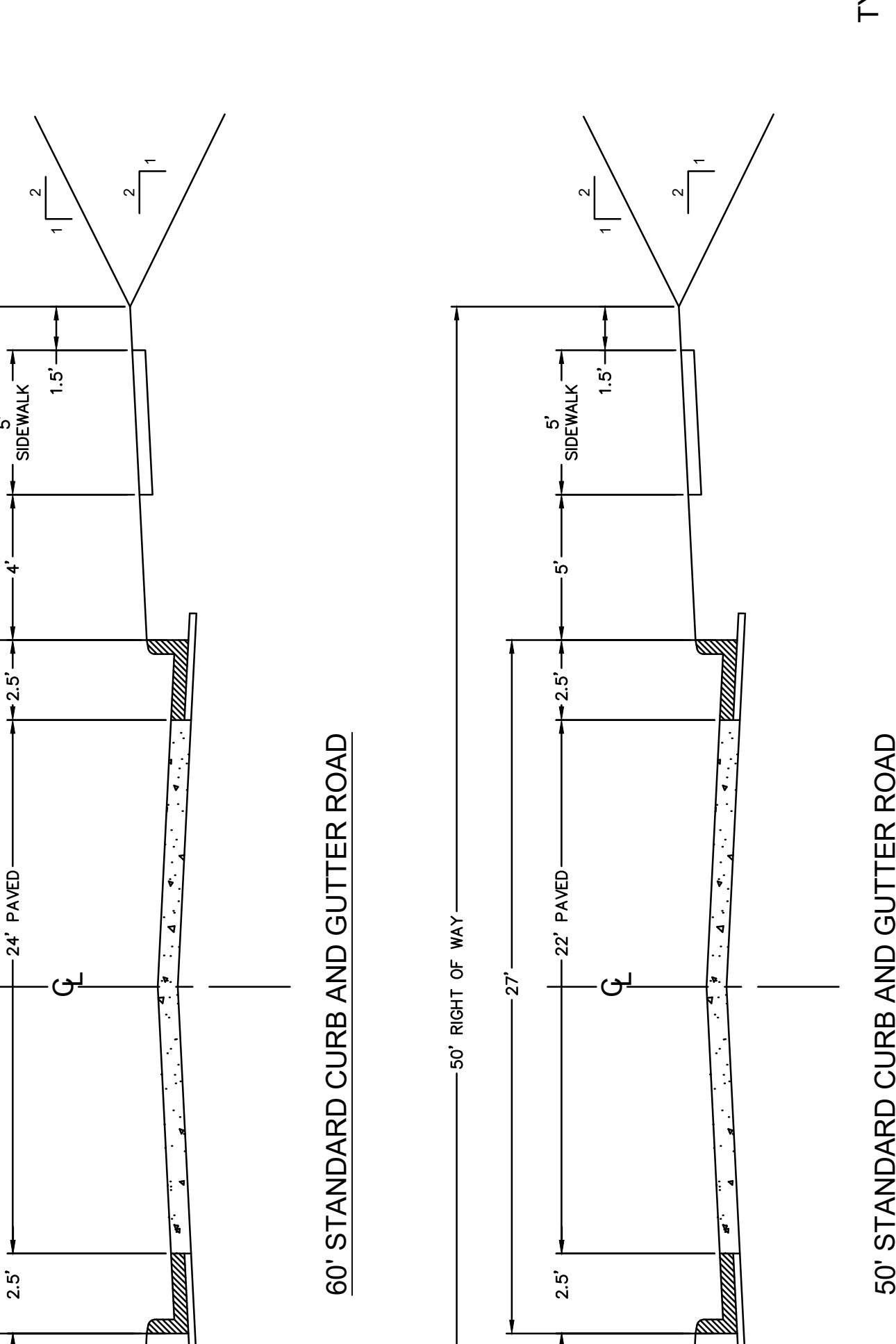
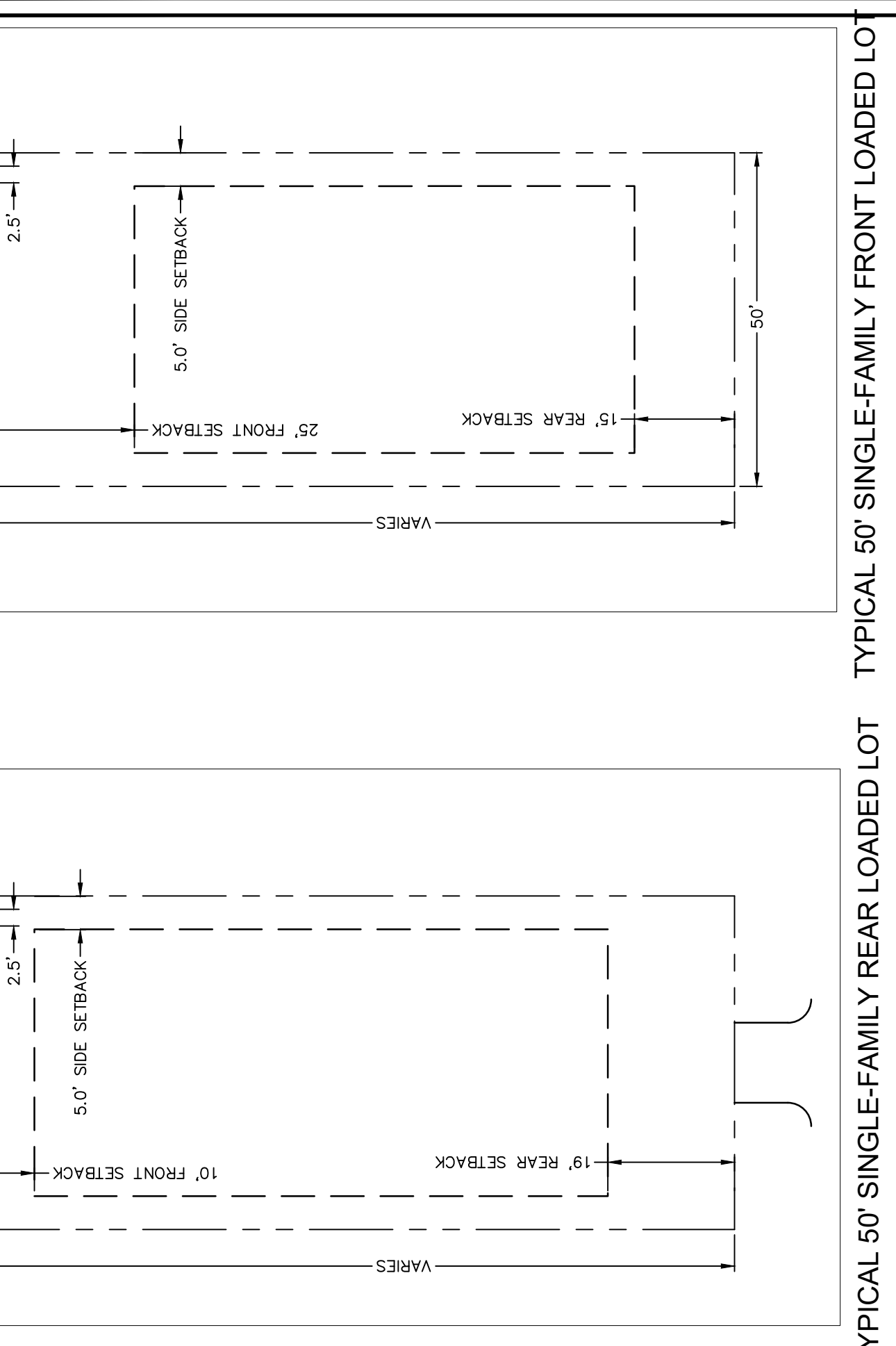
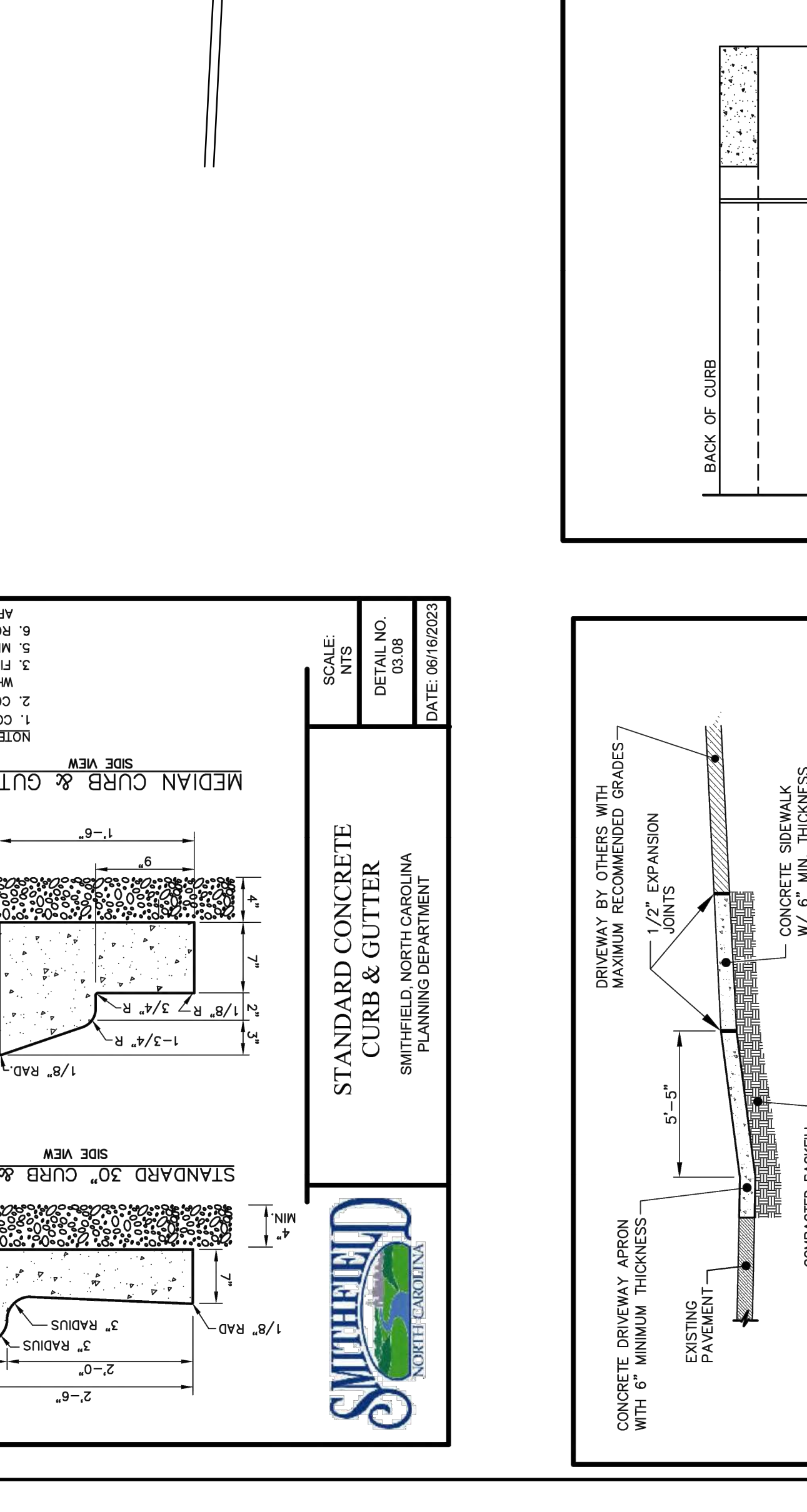
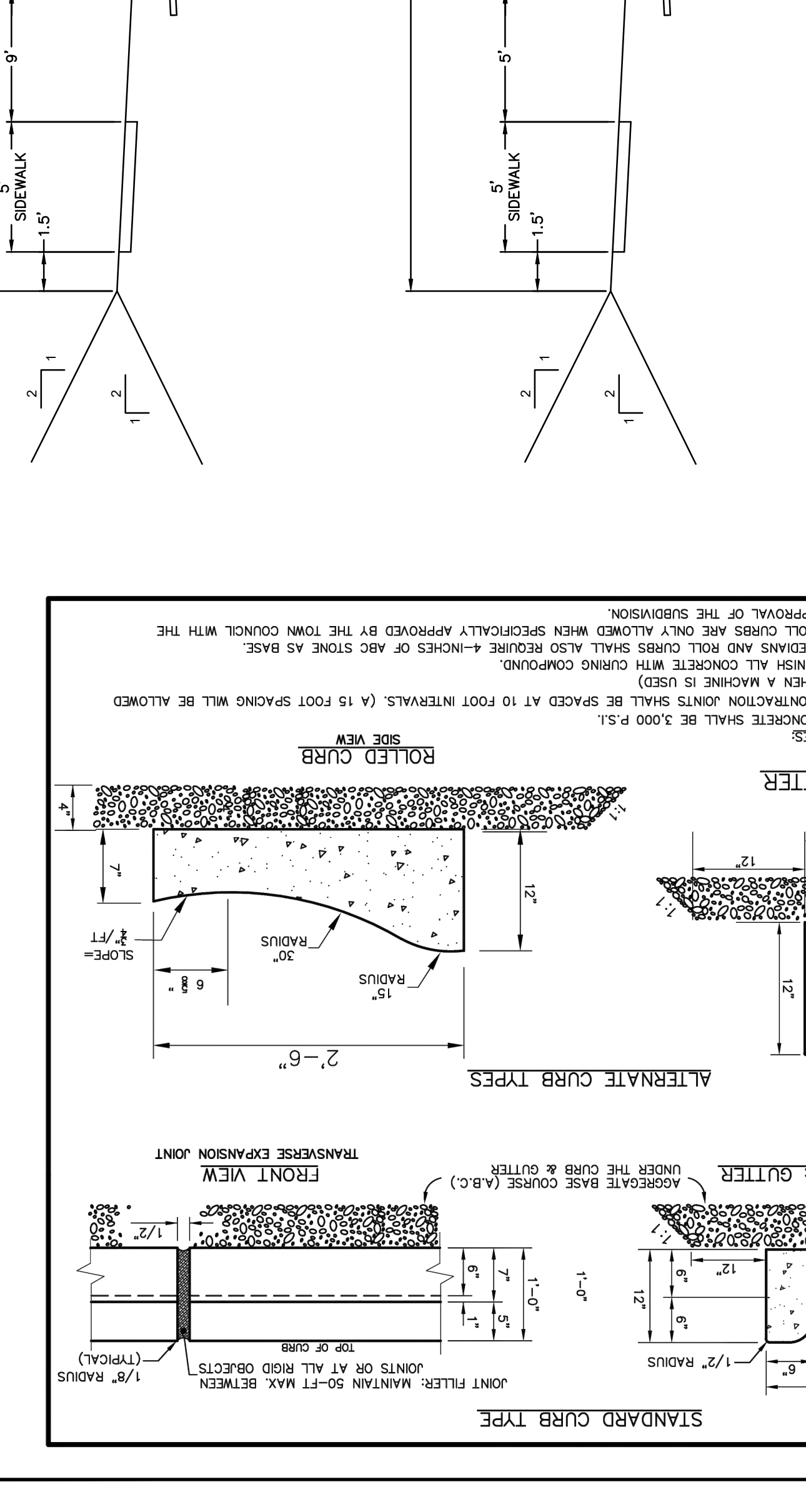
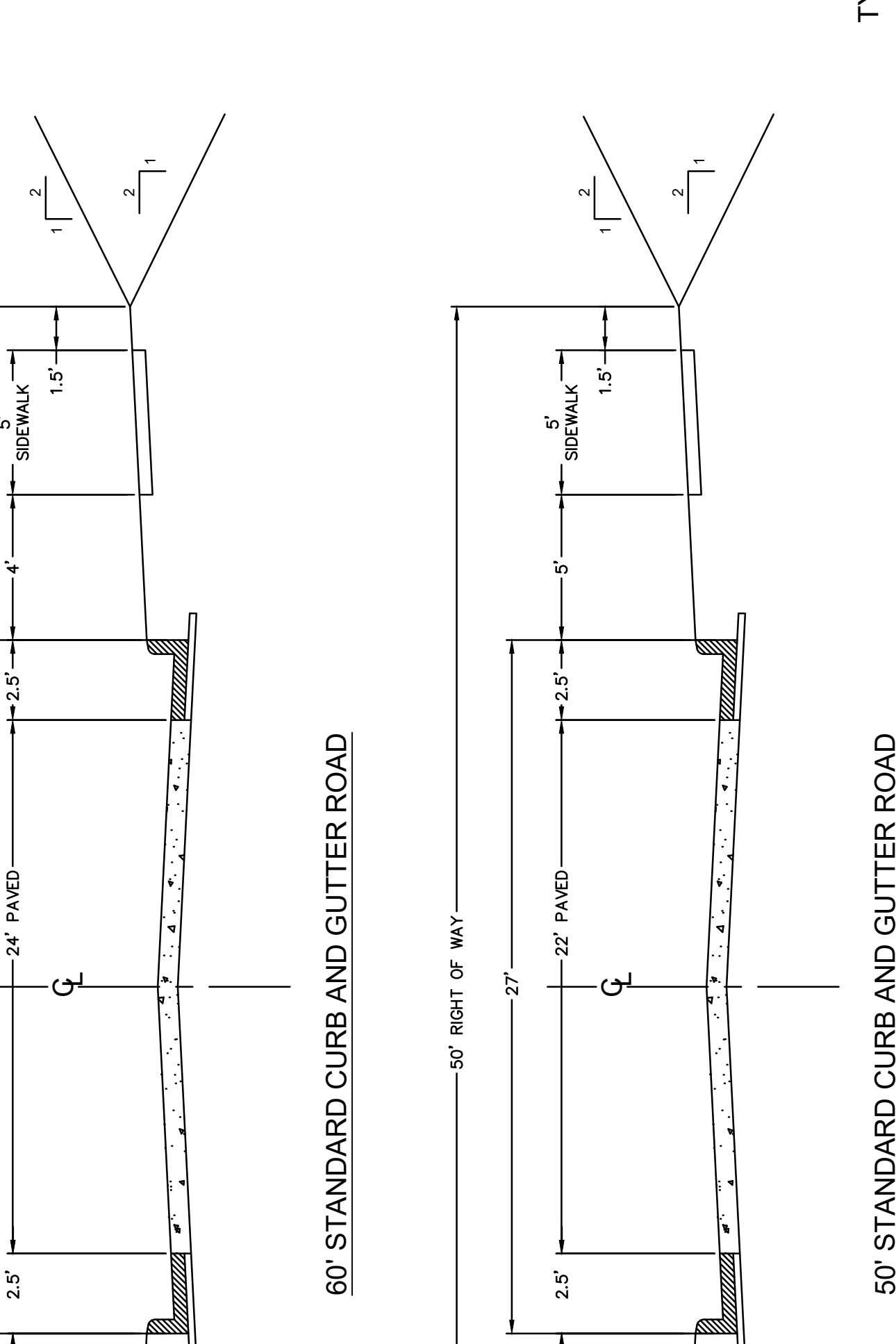
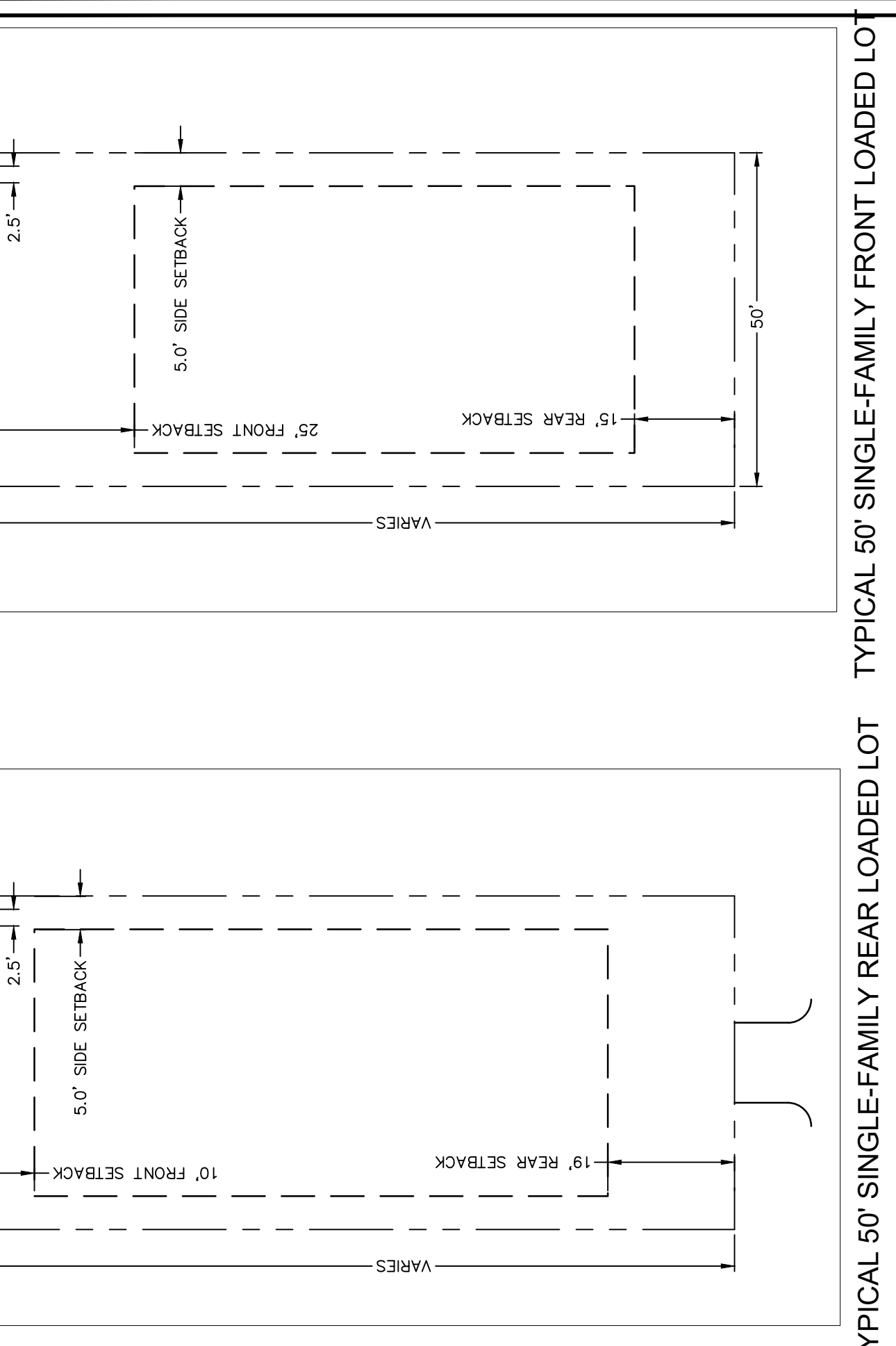
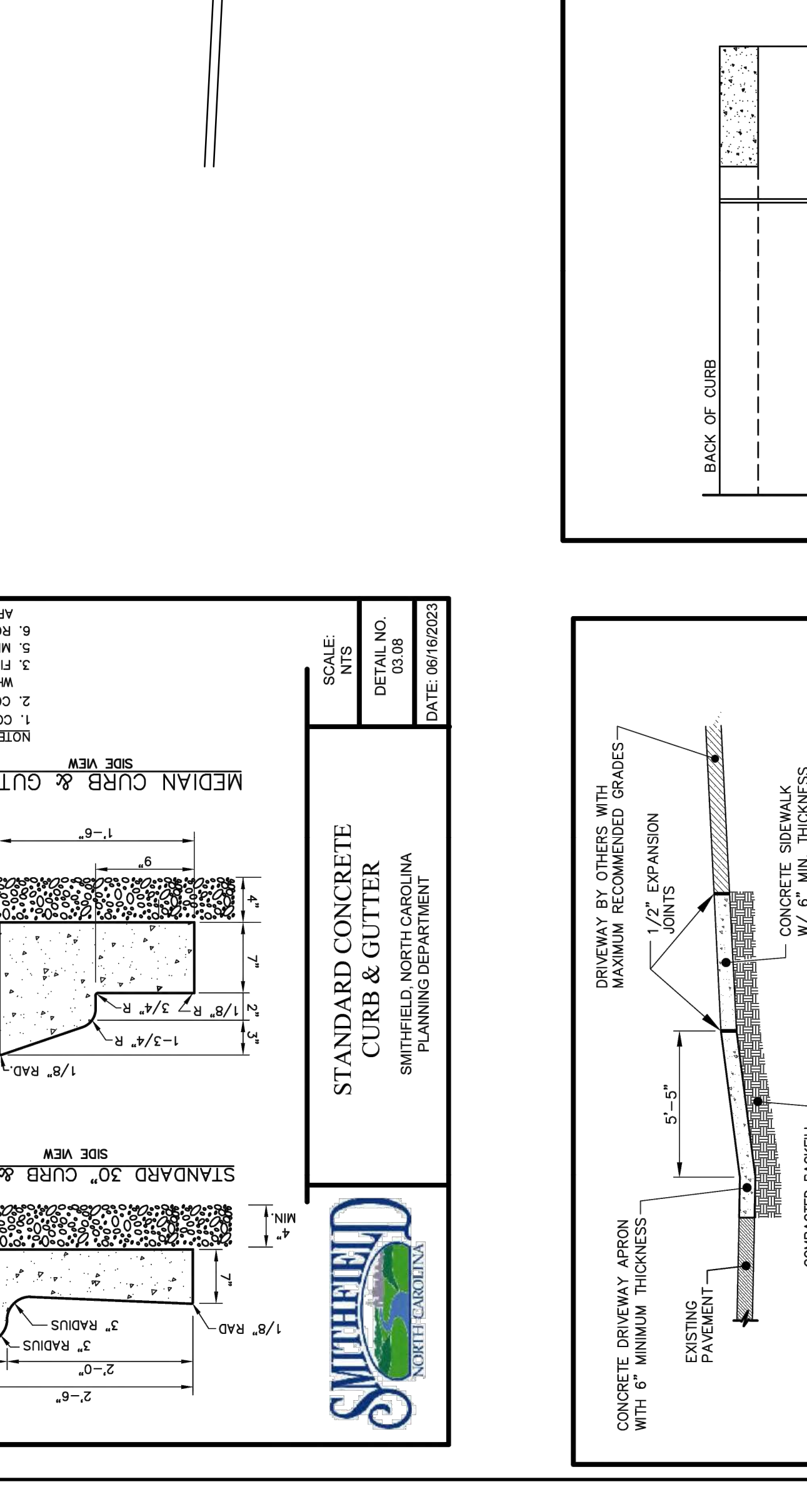
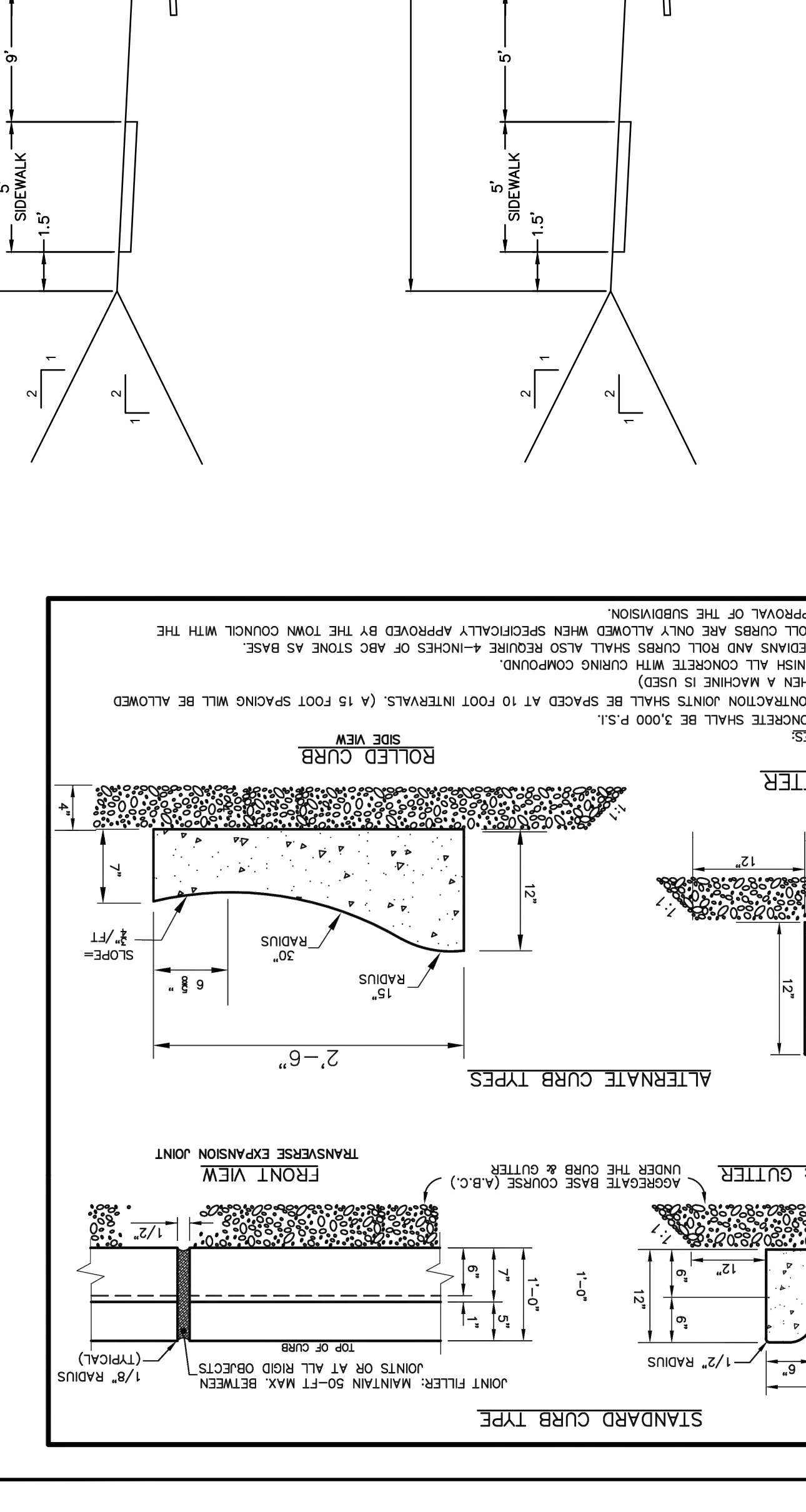
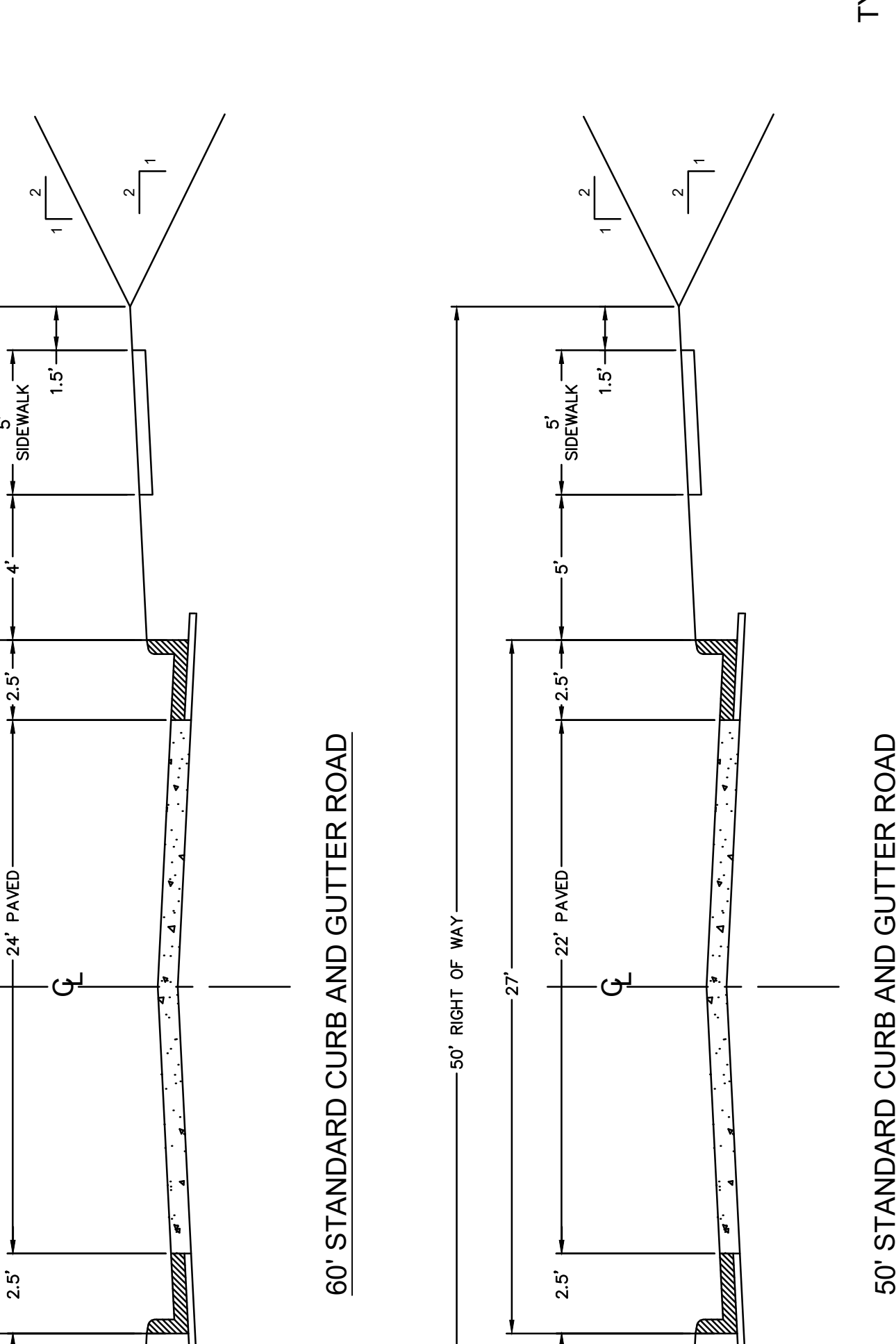
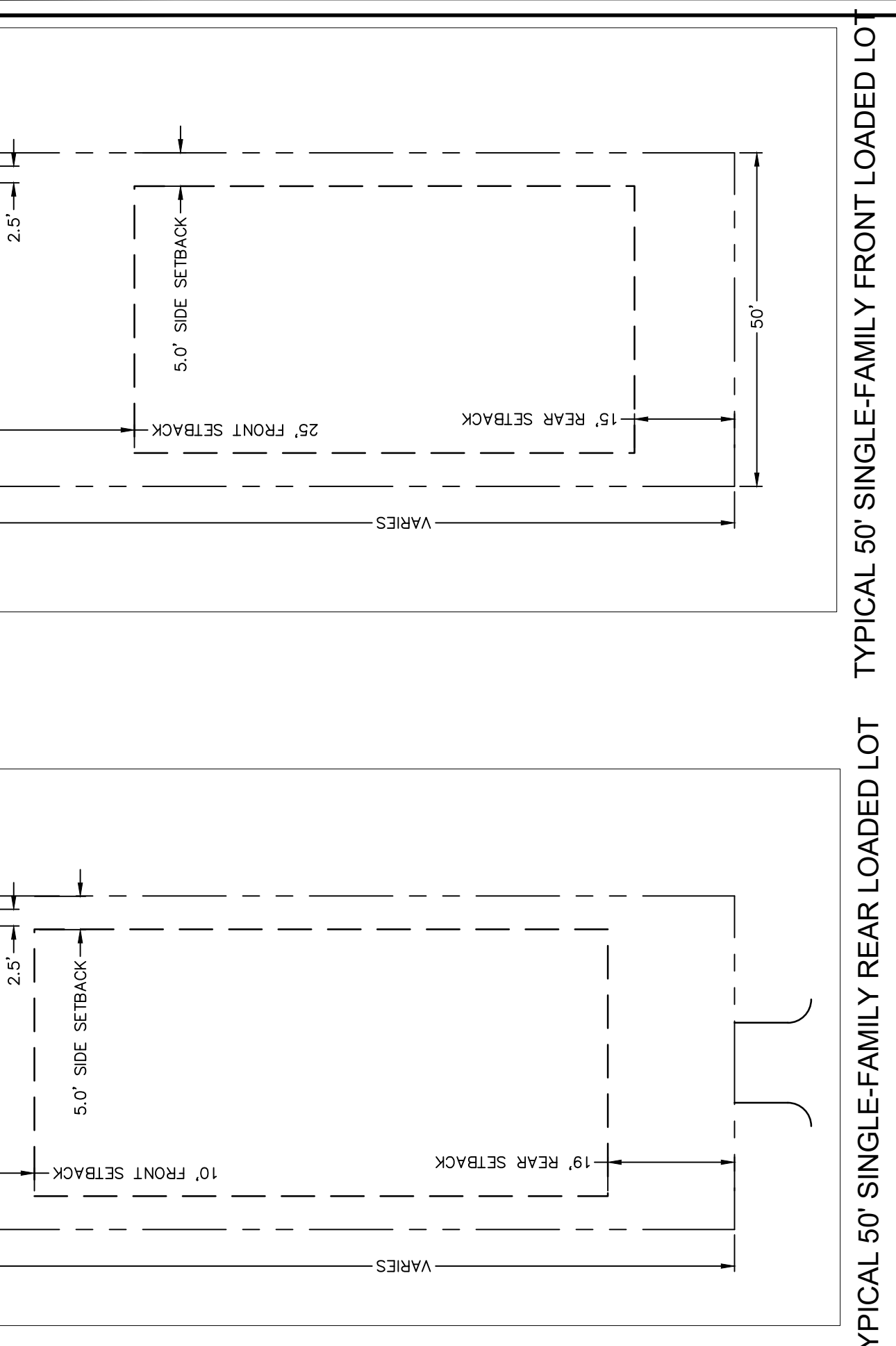
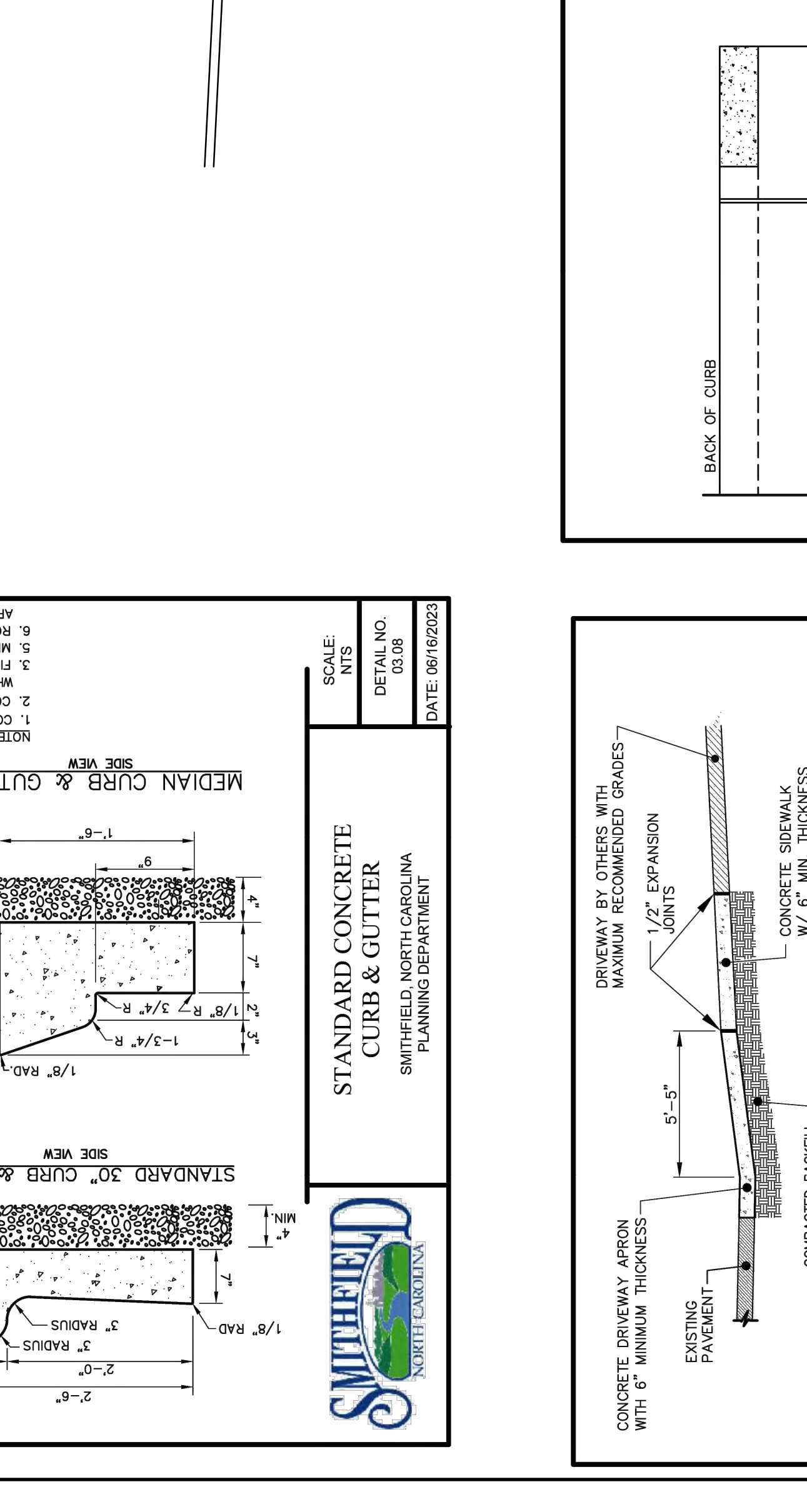
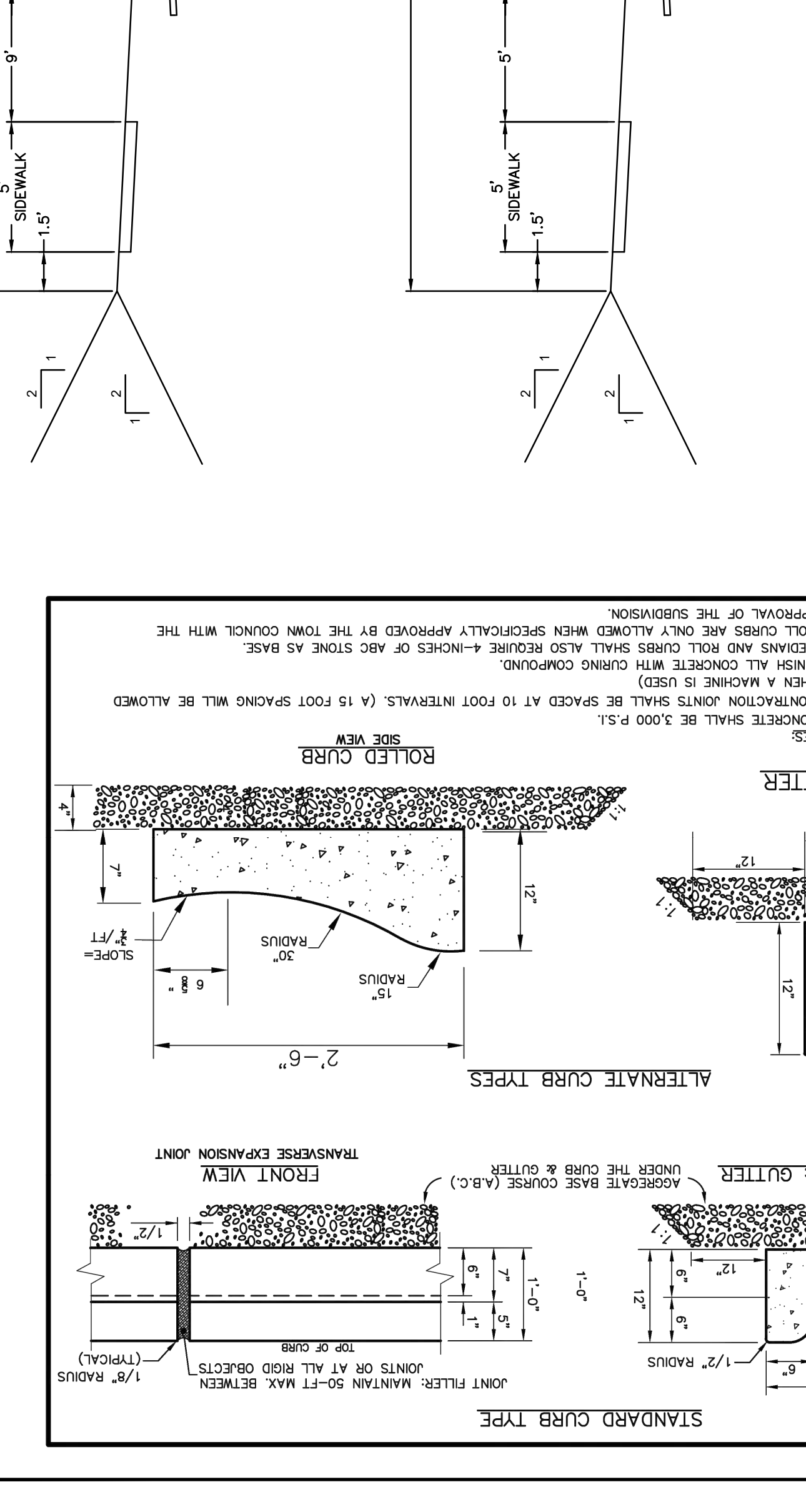
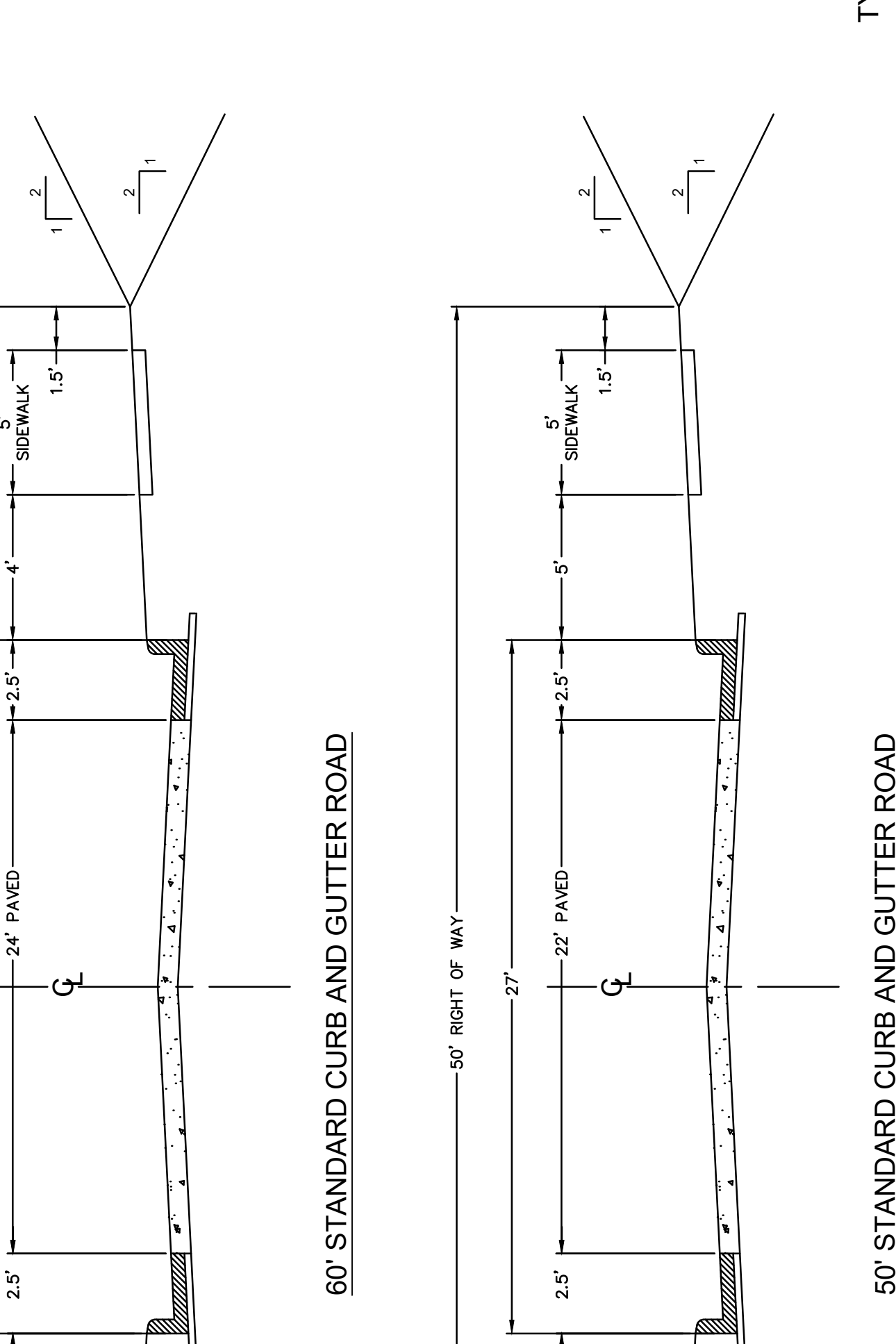
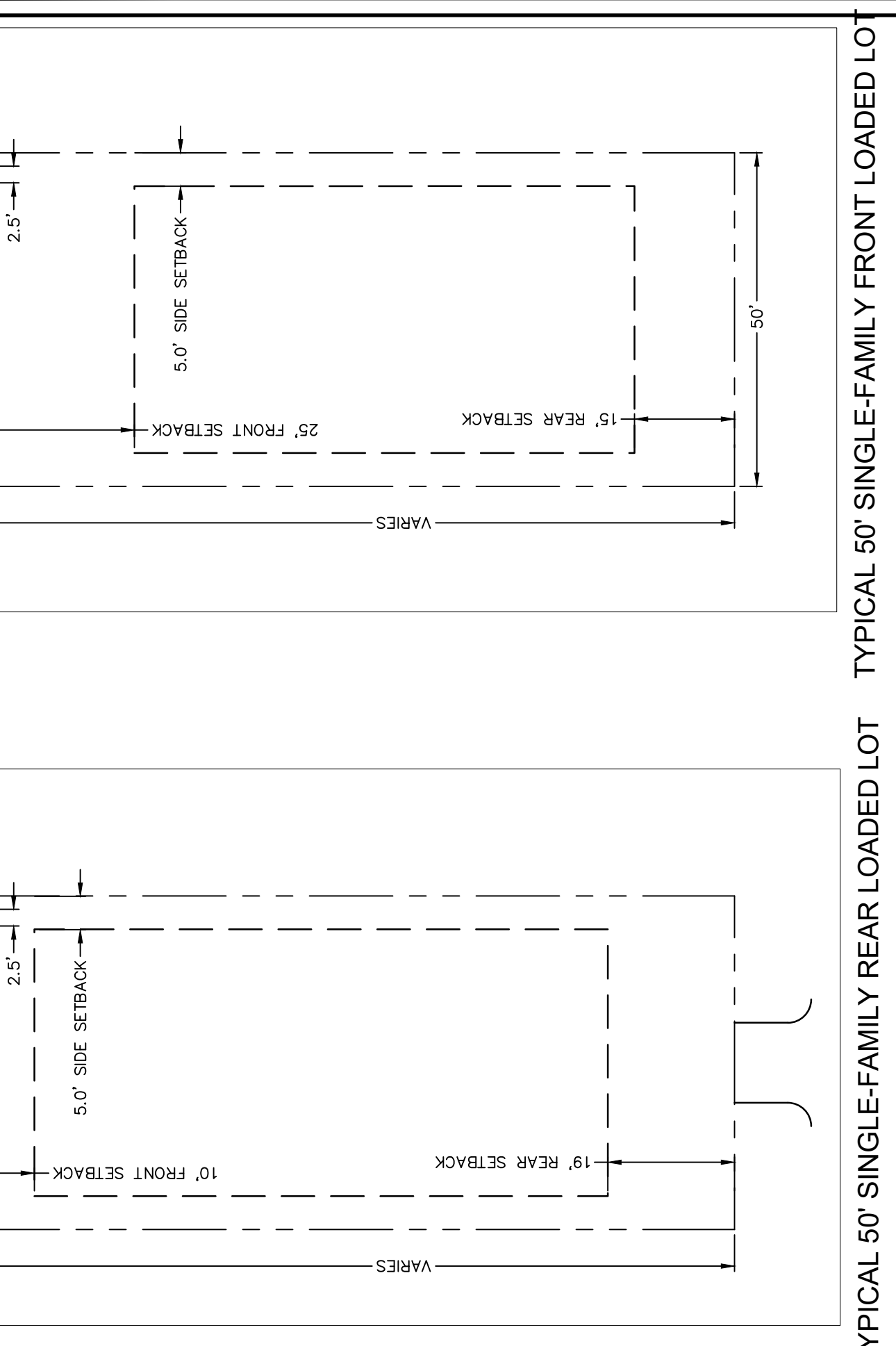
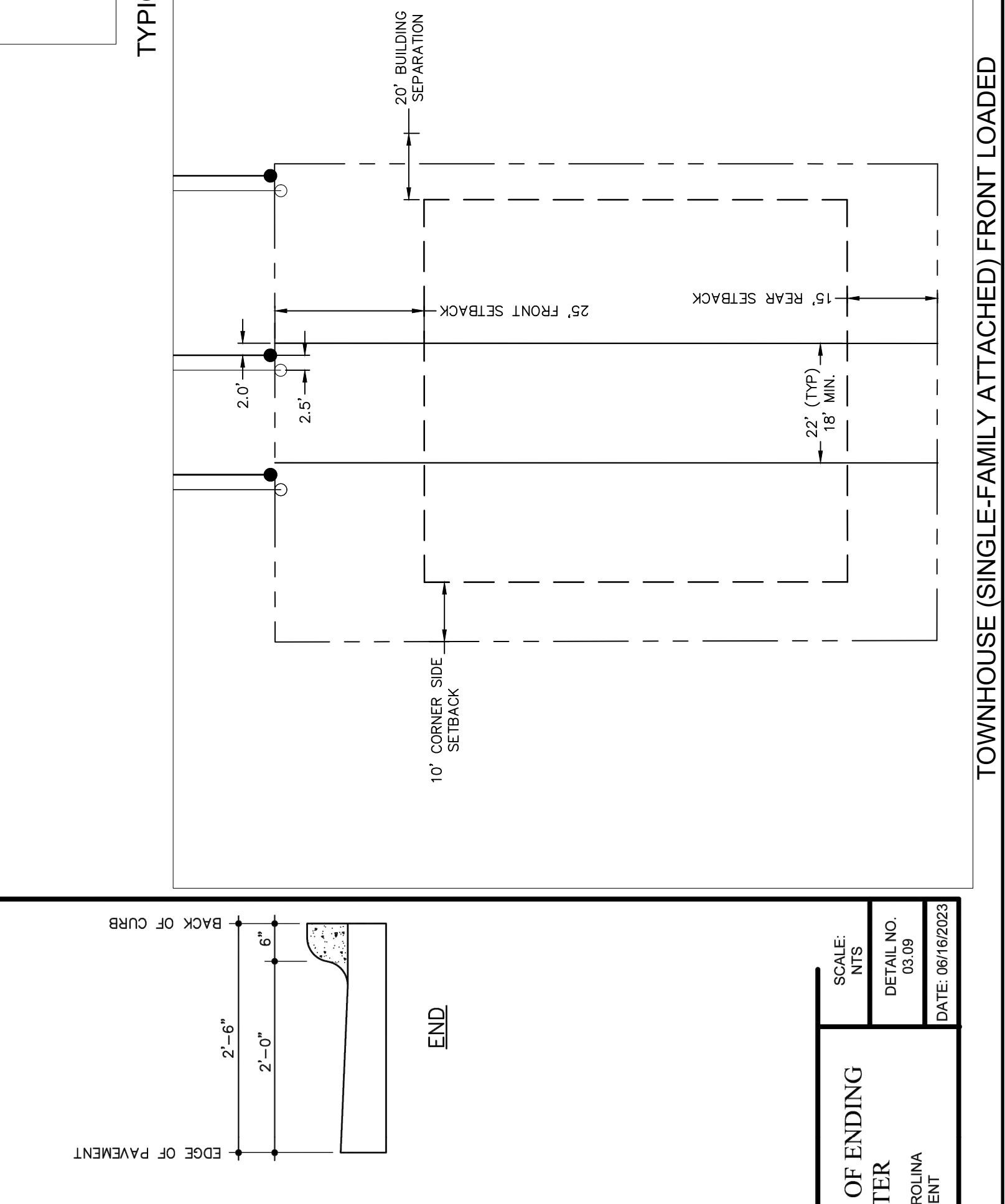
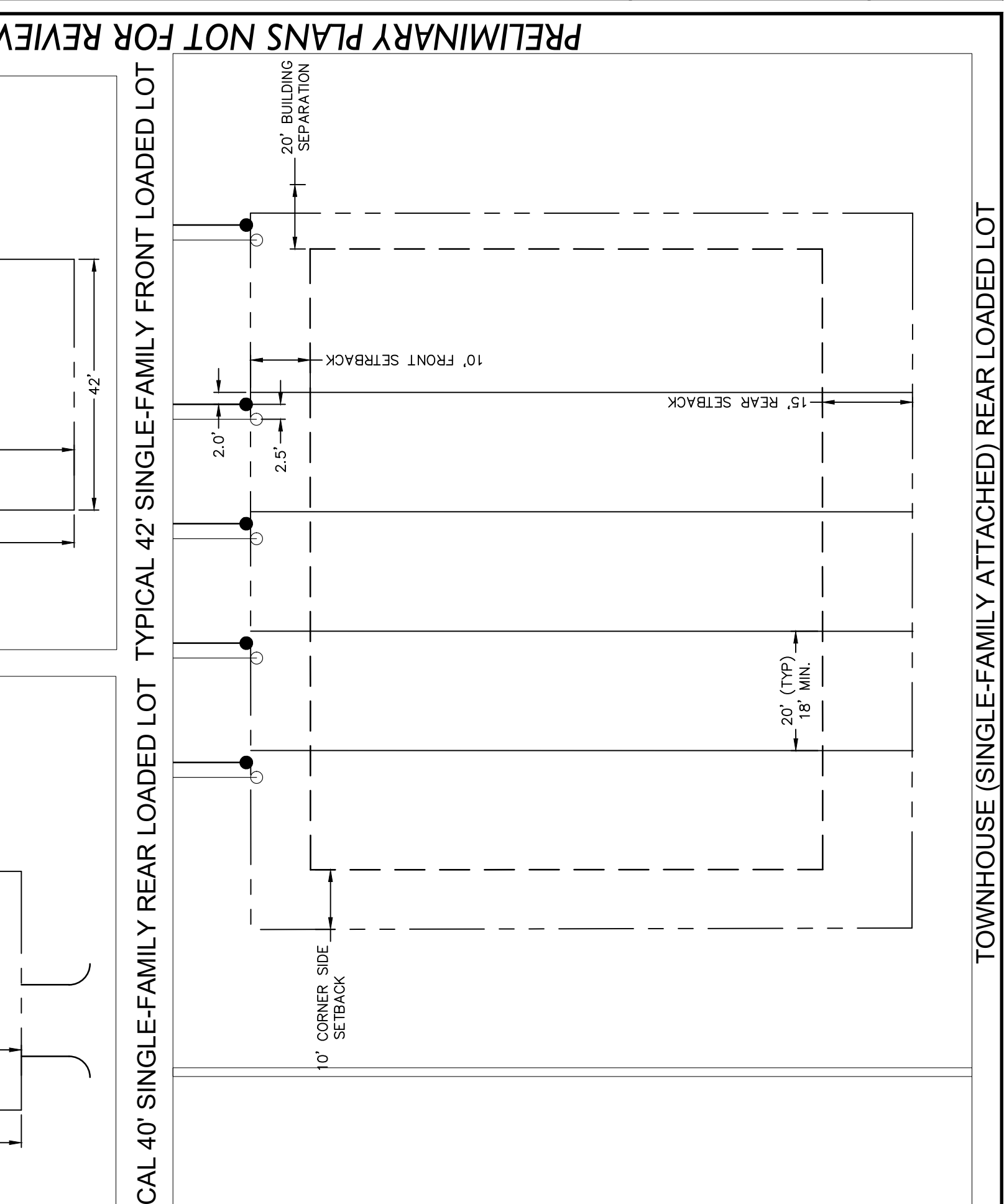
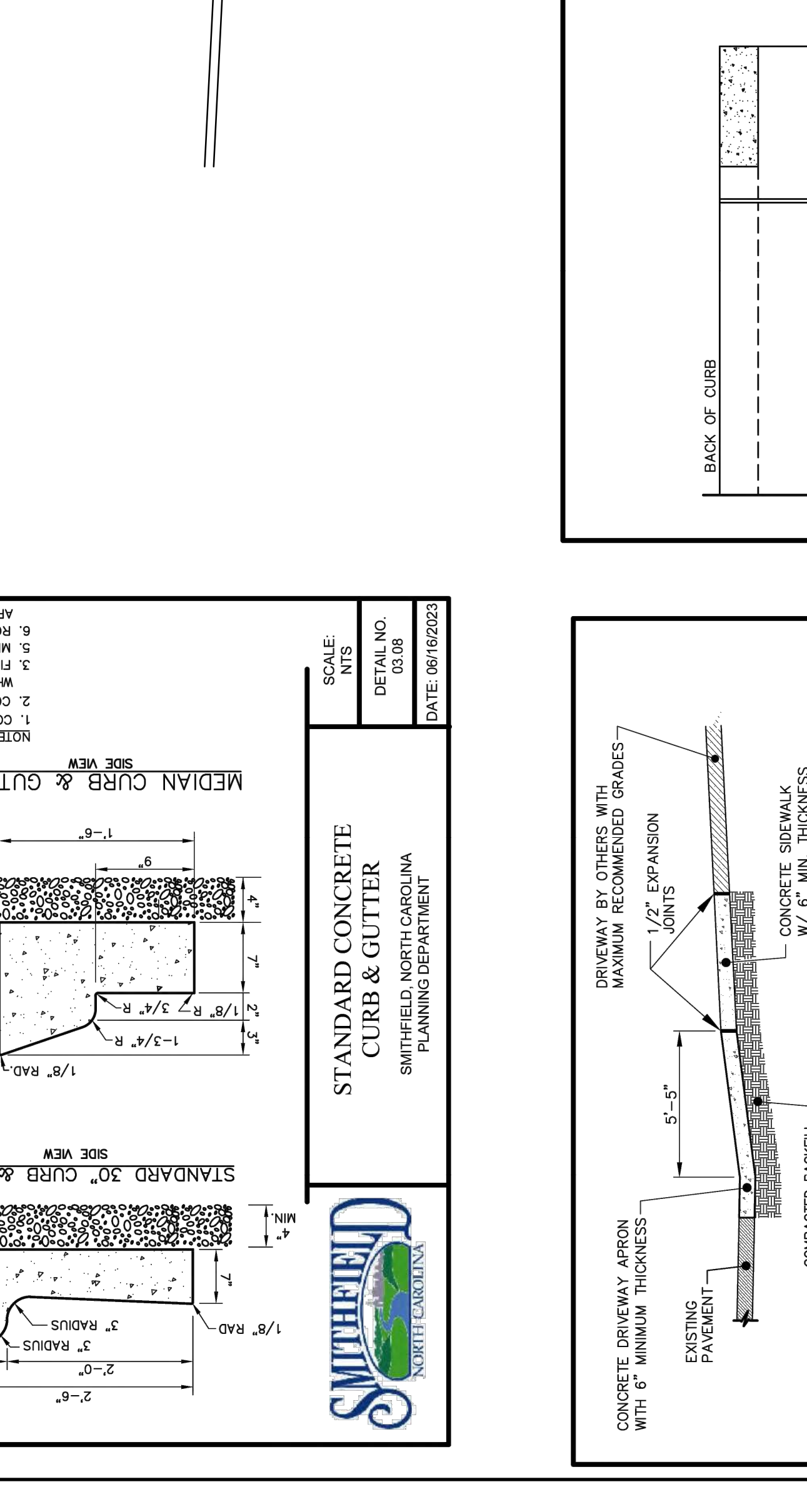
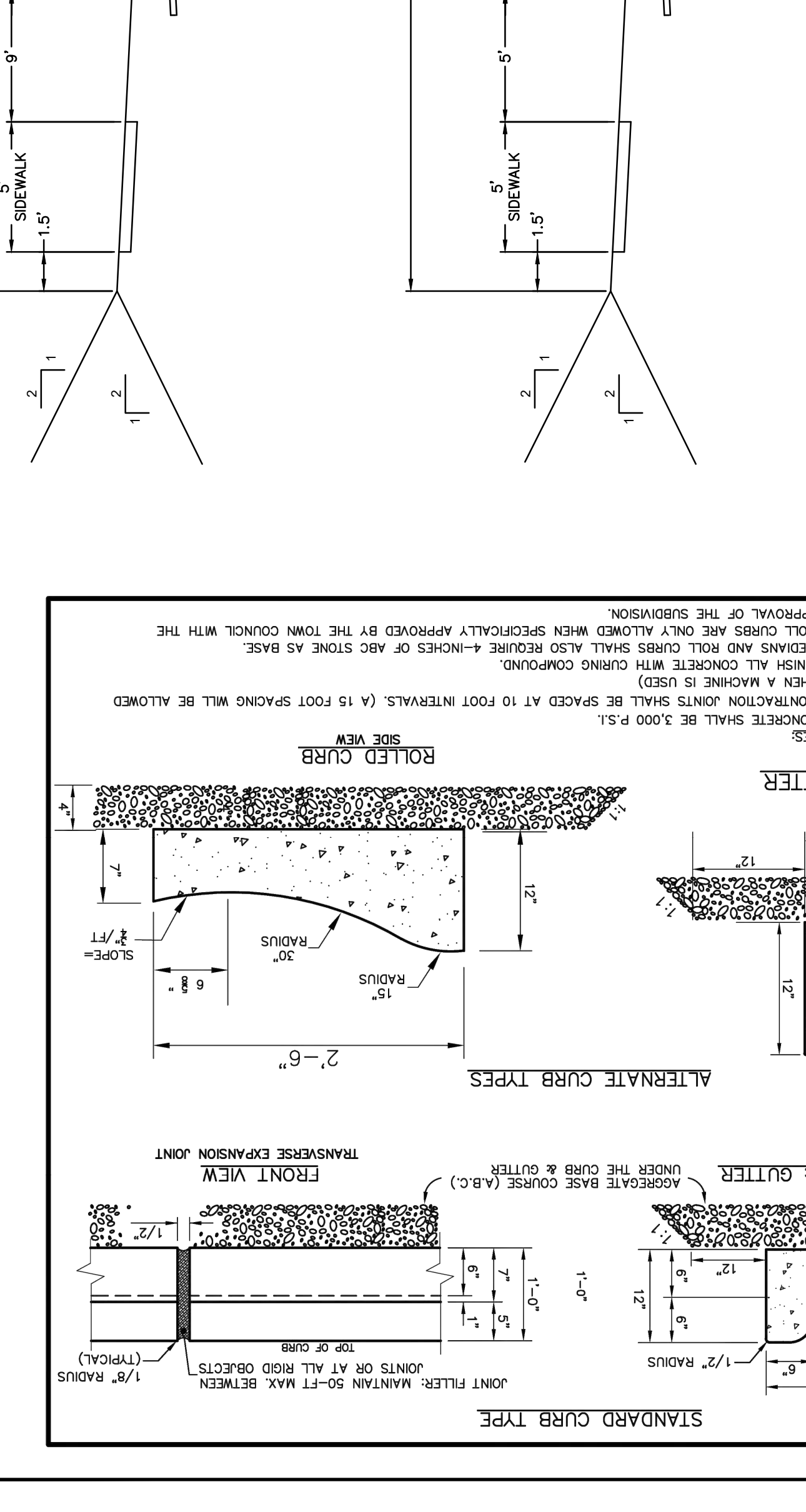
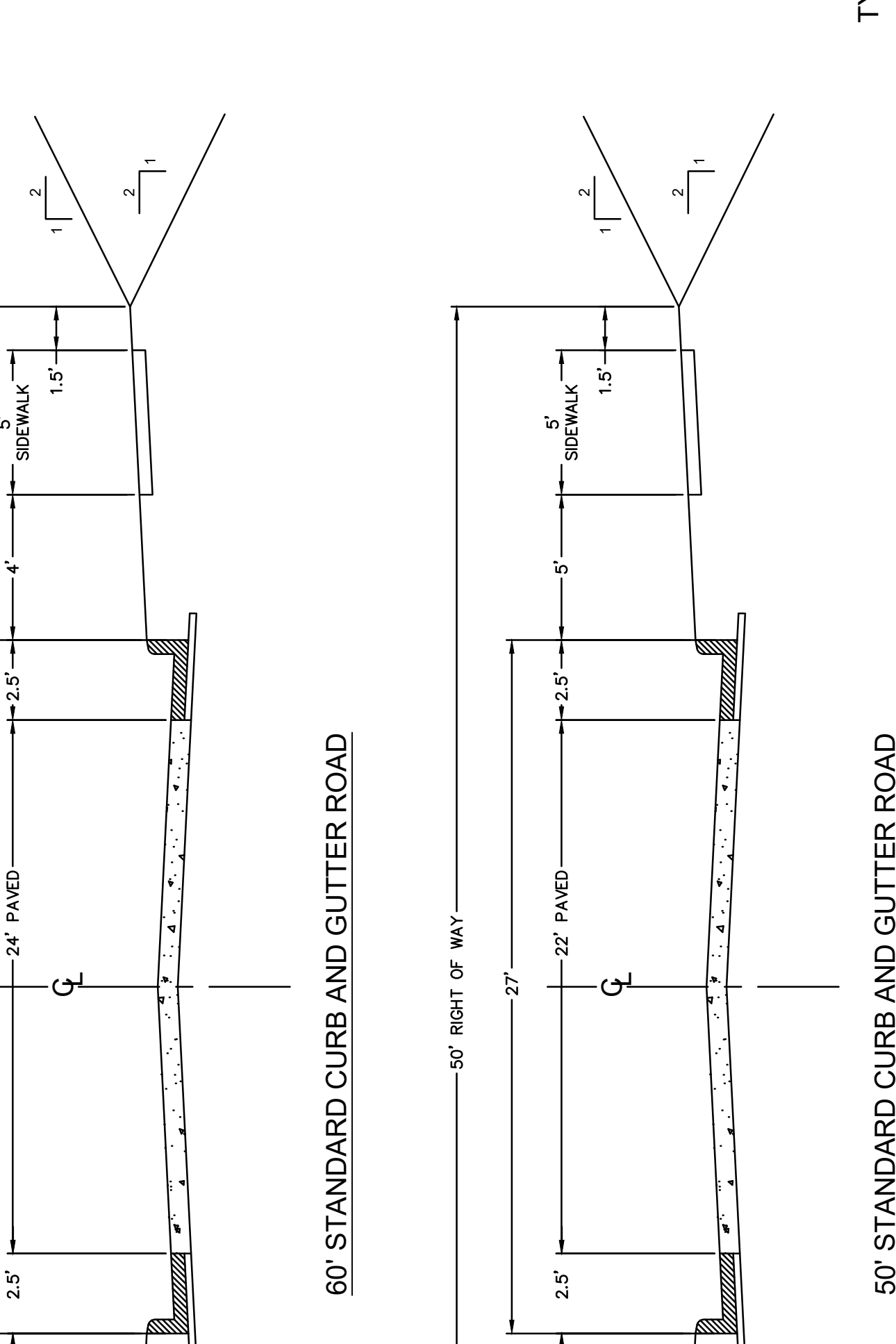
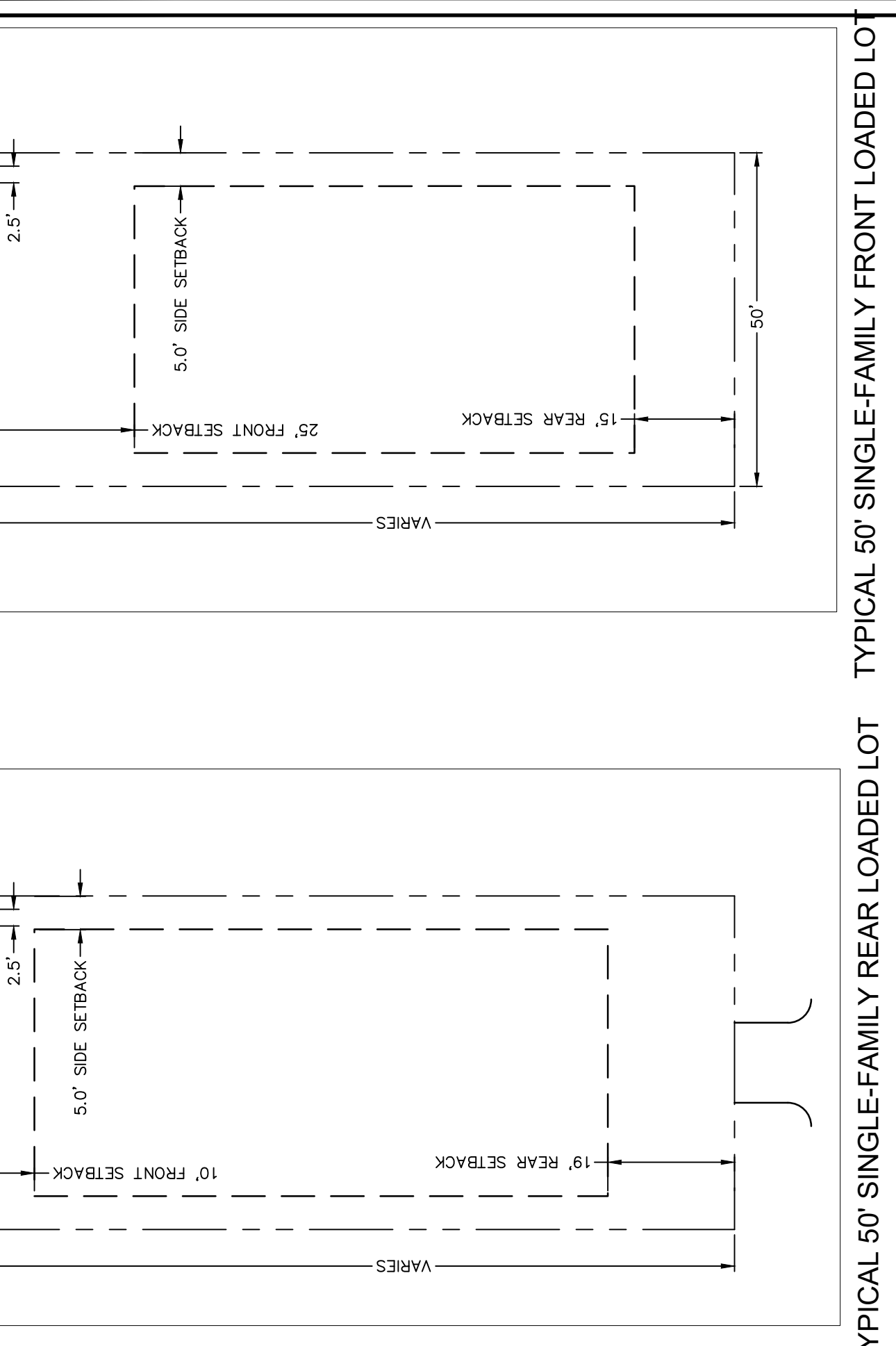
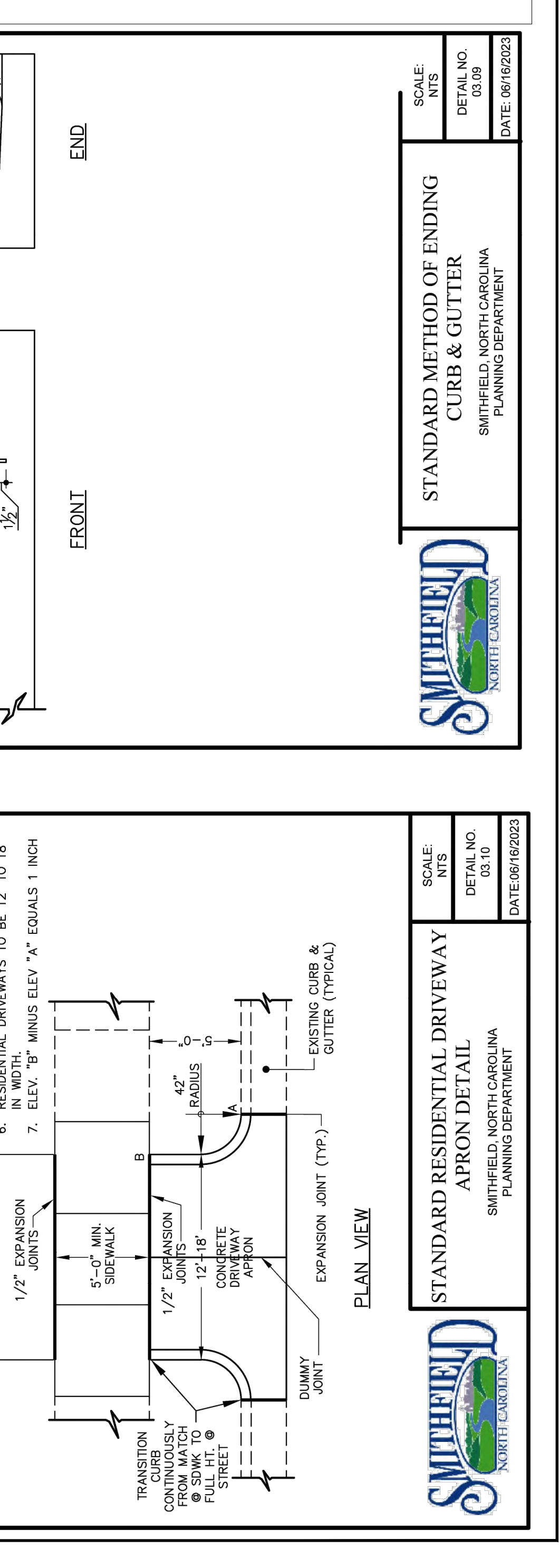
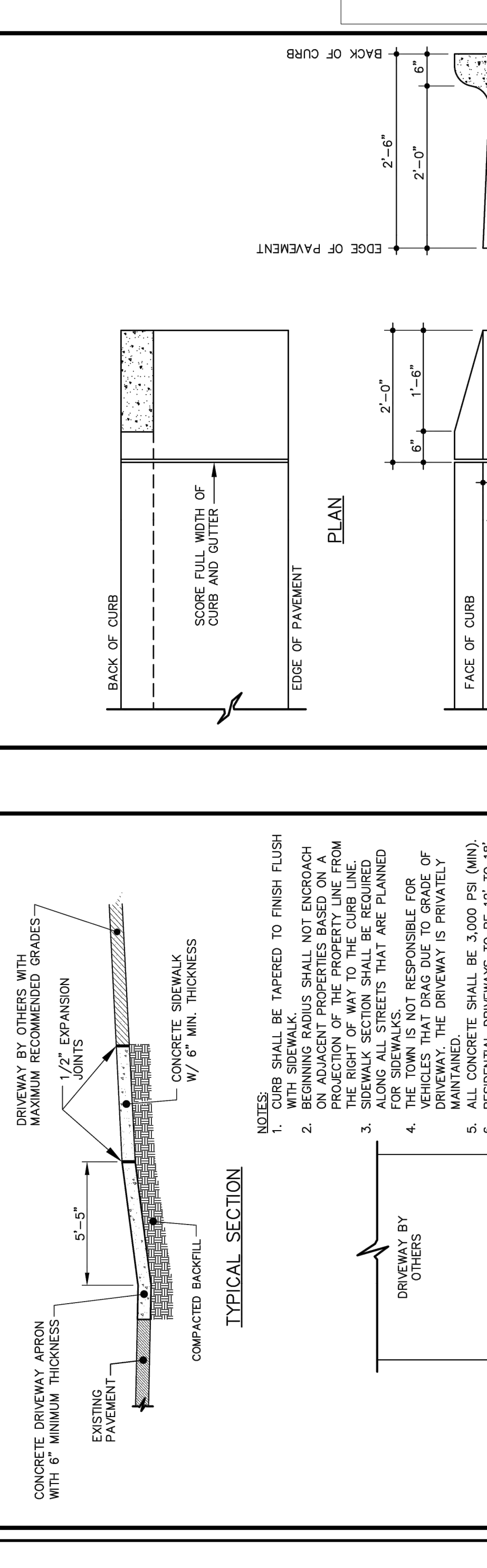
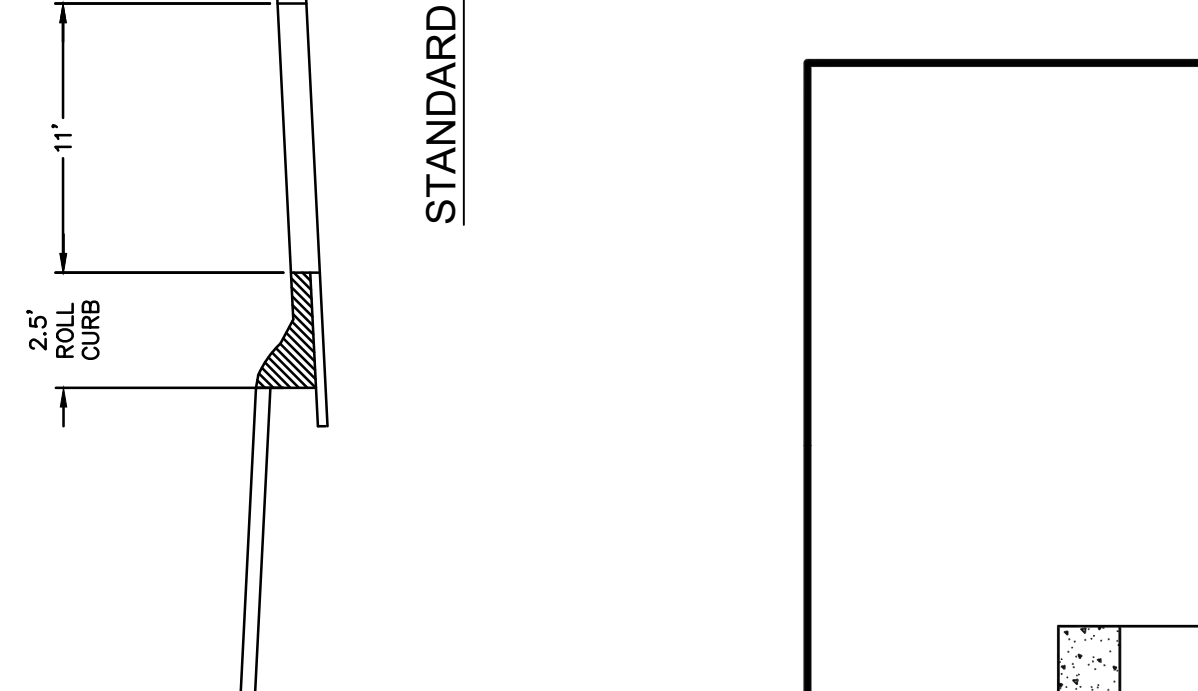
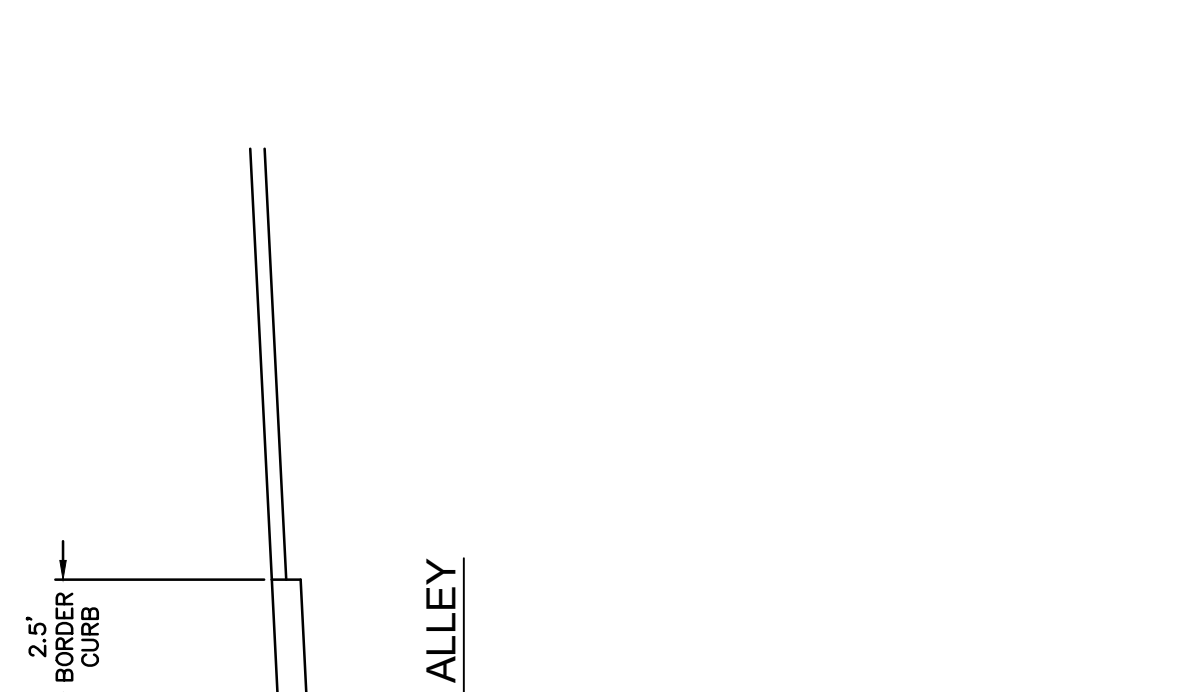
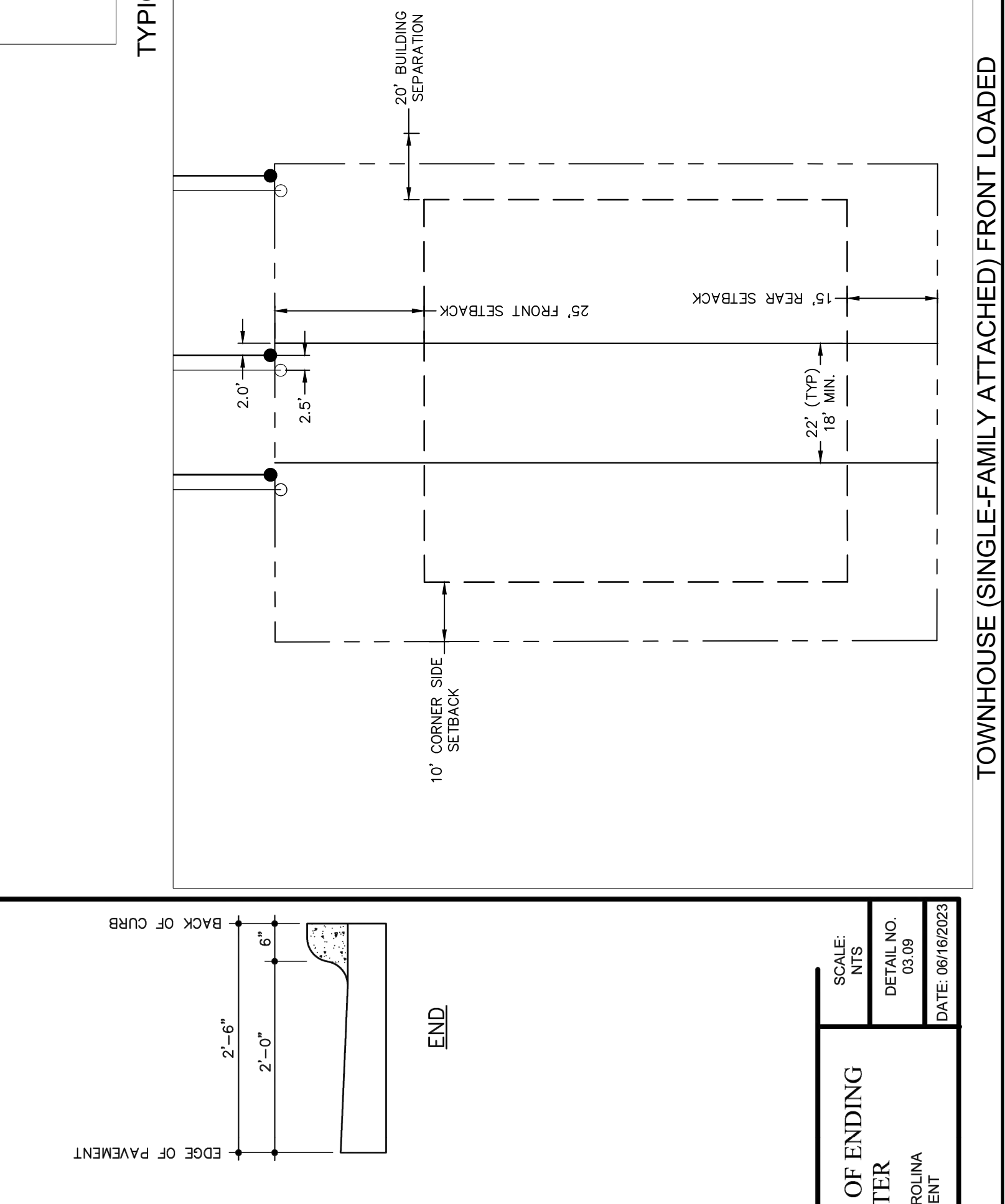
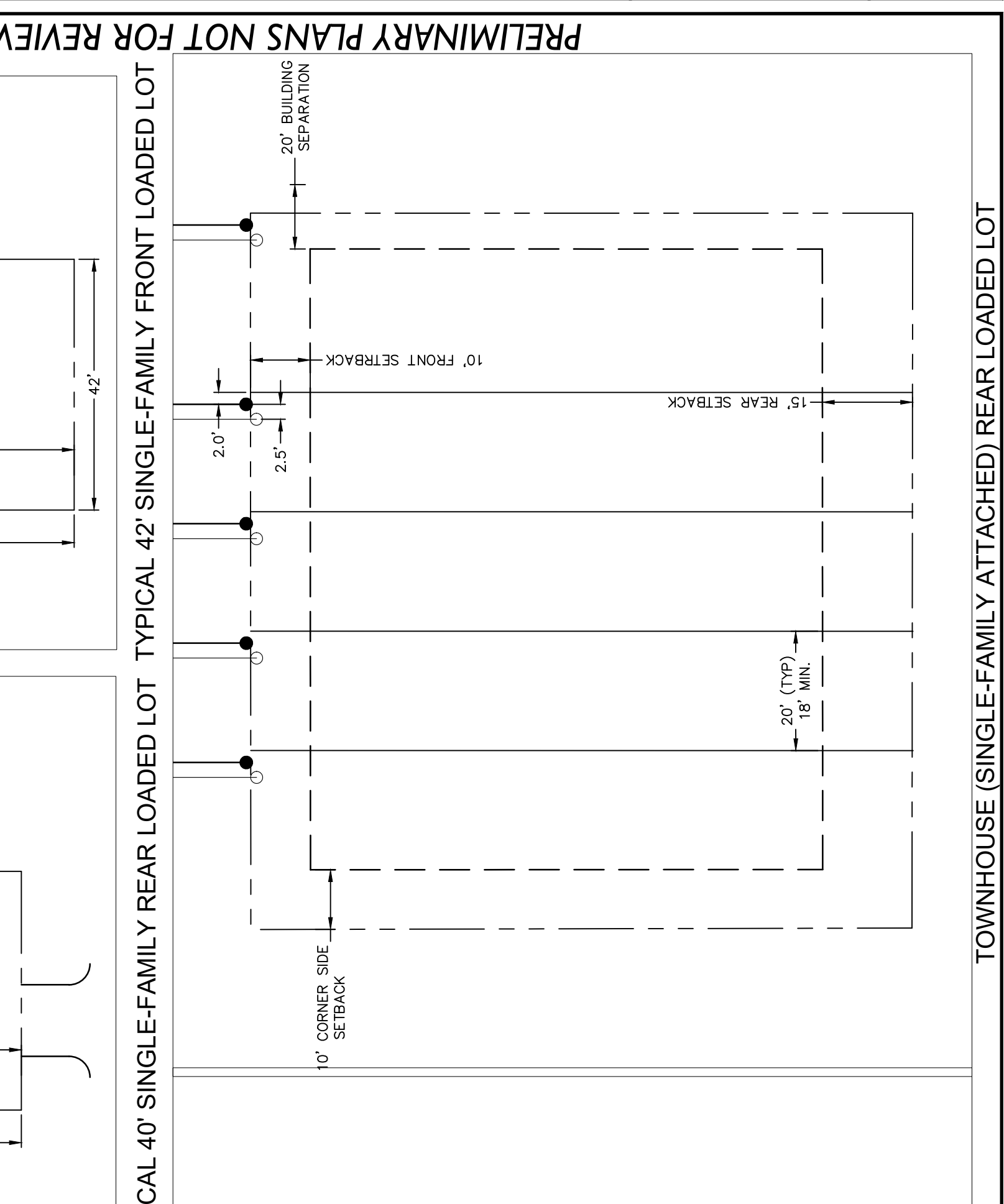
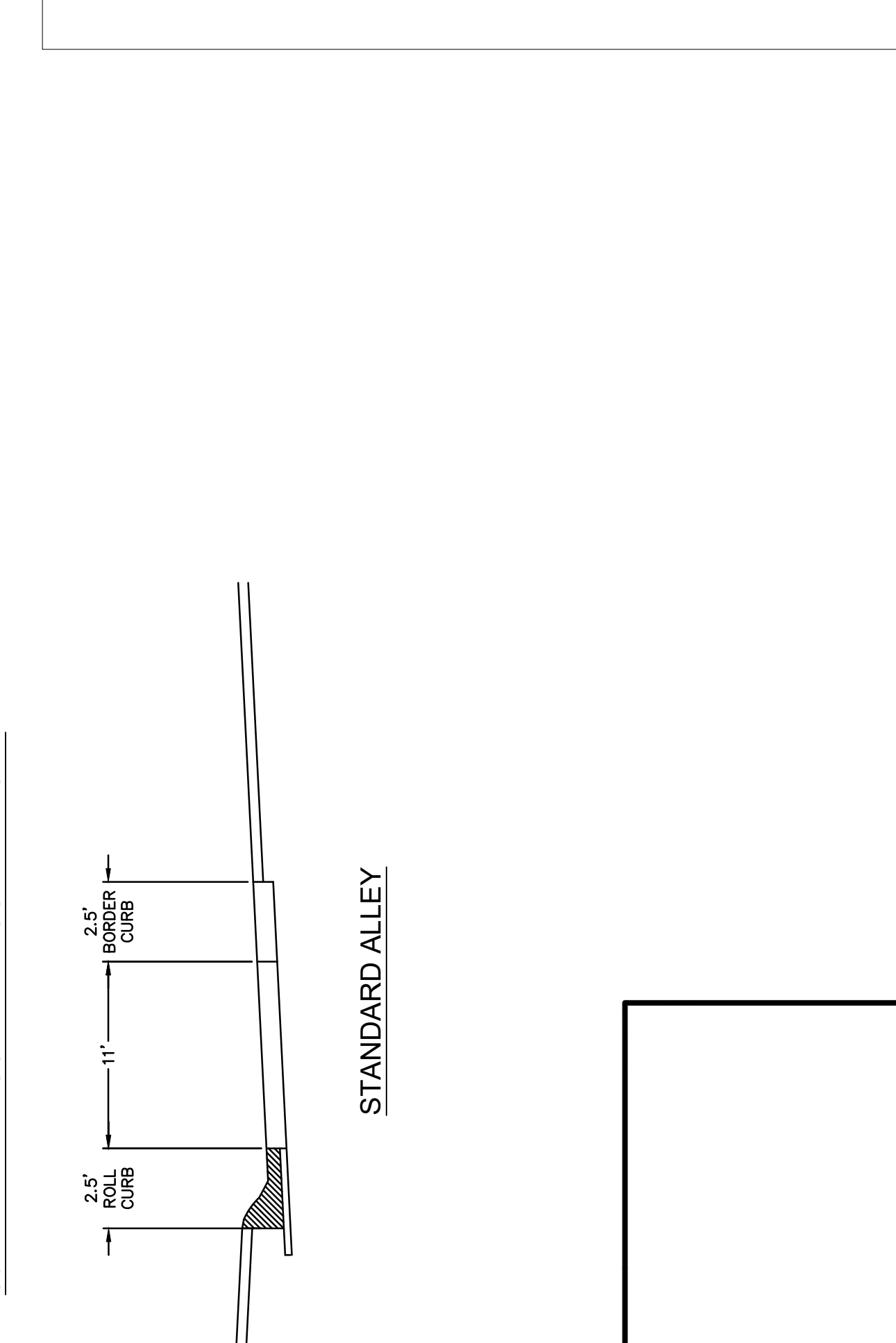
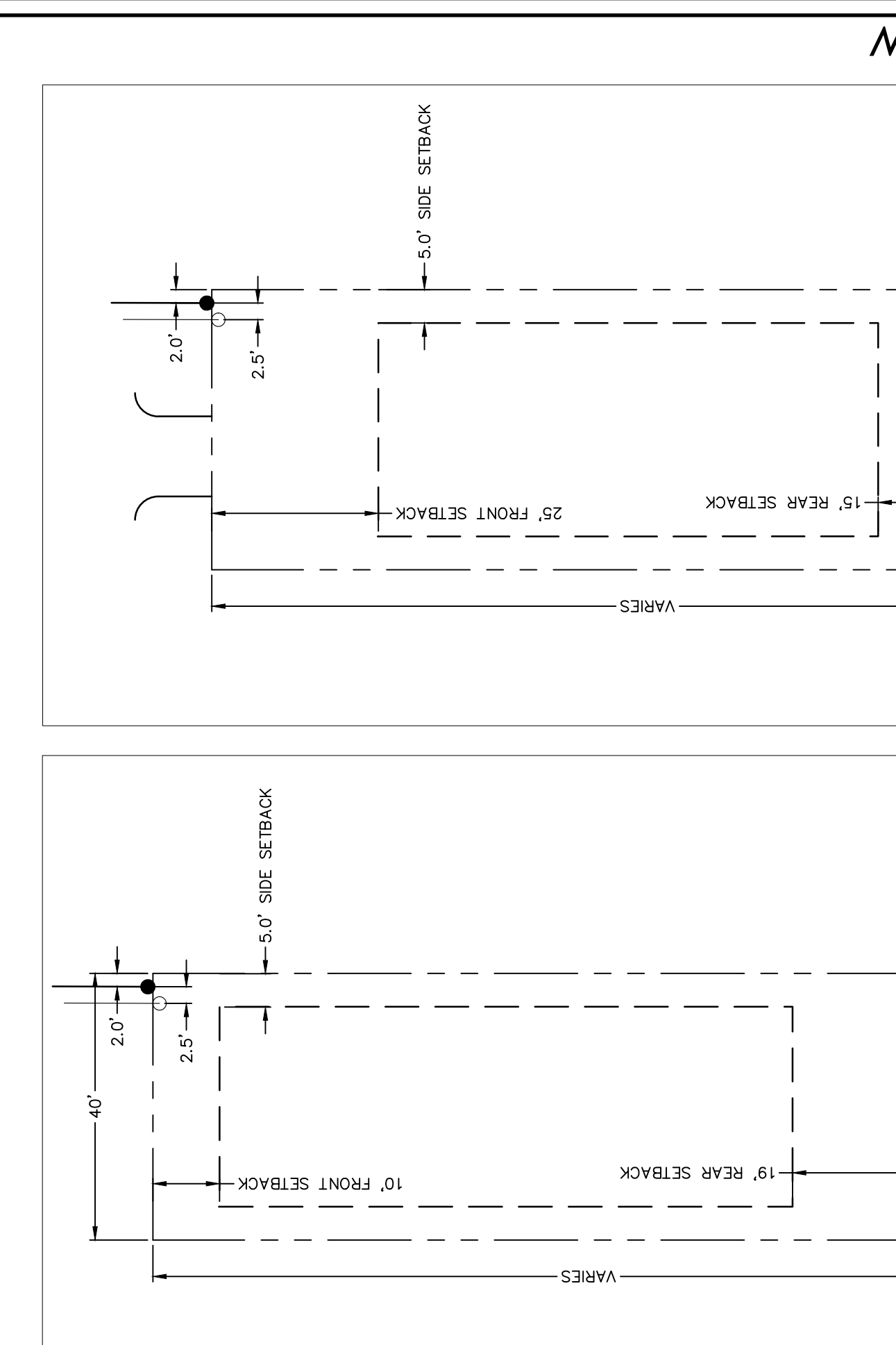
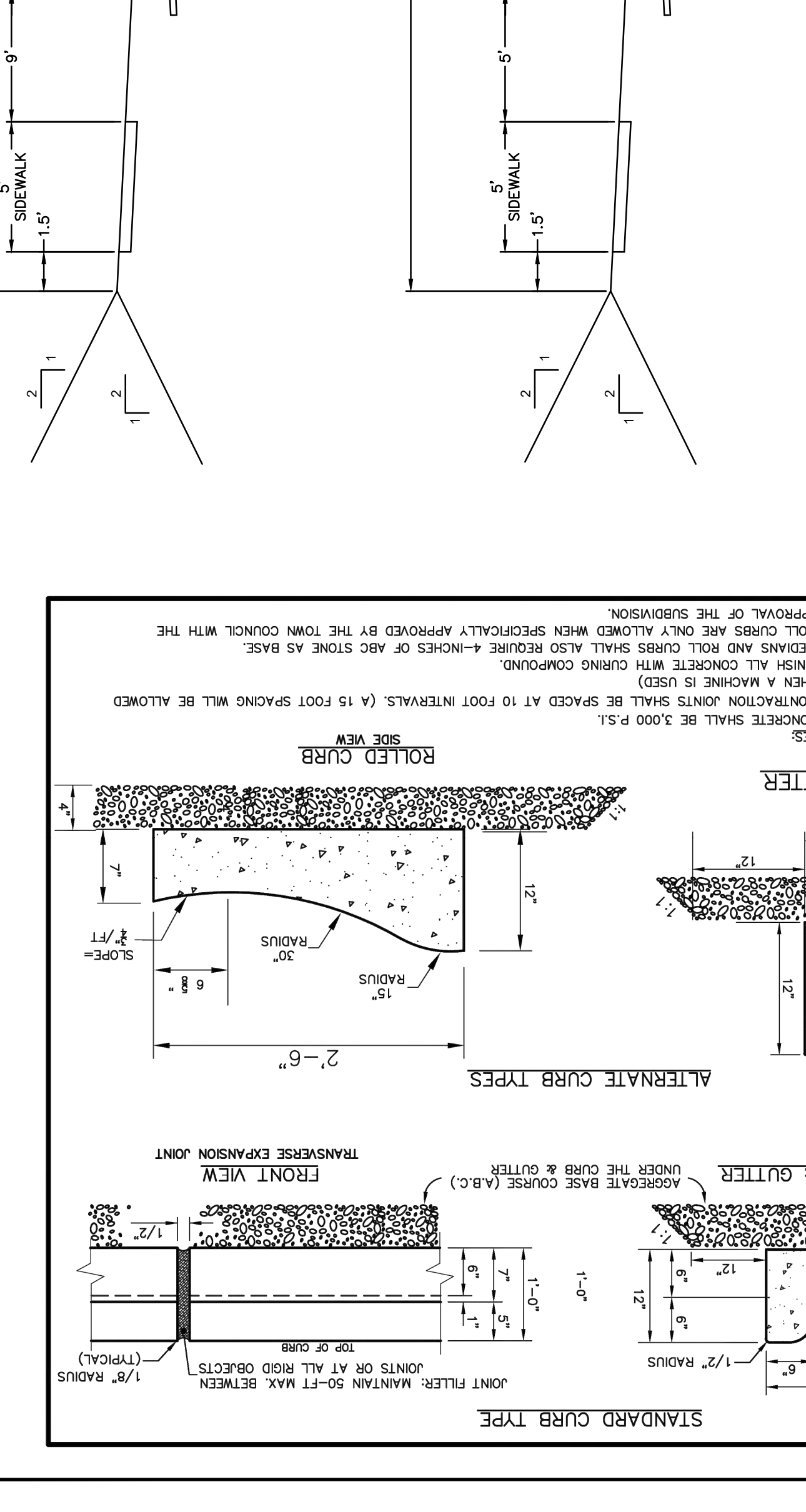
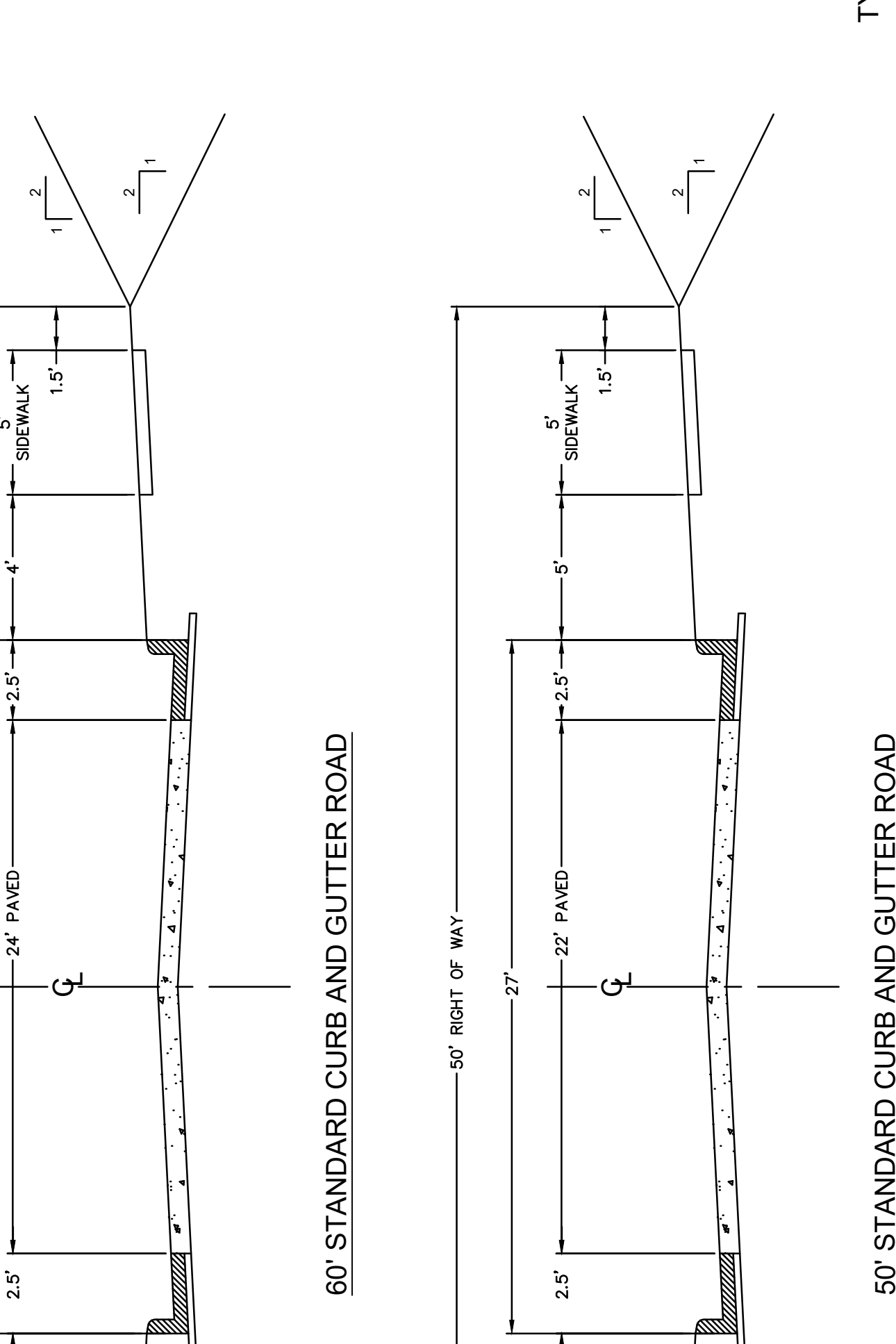
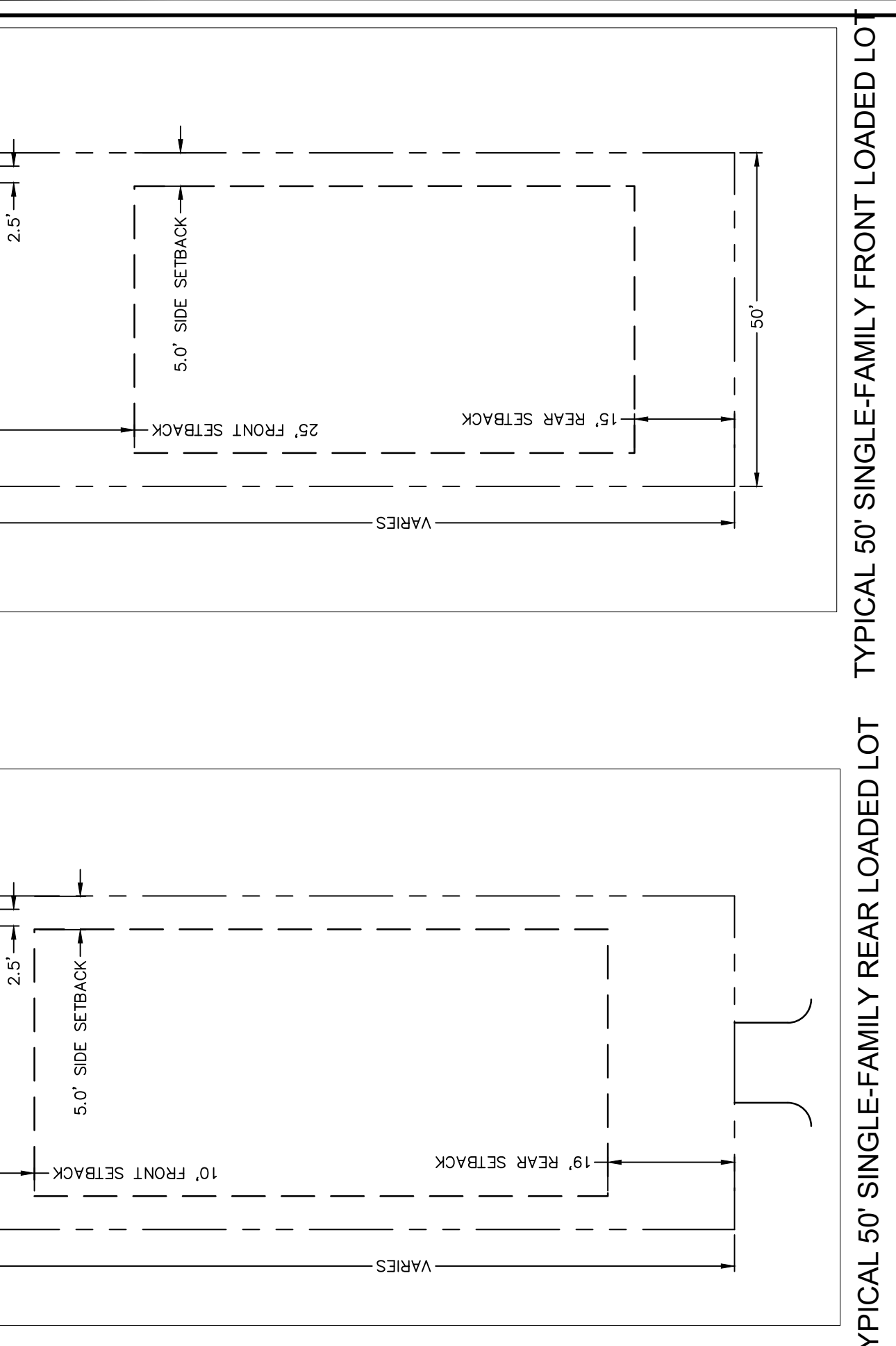


NOTES:
1. THE TOP OF FENCE SHALL BE THE FINISHED GRADE UNDER
2. FENCE SHALL BE LEVEL.



PVC PRESSURE PIPE BACKFILL

No.	Date:	Description:
By:		



**SECTION 6.00
POTABLE WATER**

6.01 WATER DISTRIBUTION

A. DESIGN

LOCATION: WATER LINES SHALL BE EXTENDED ALONG THE ROADWAY TO THE ADJACENT PROPERTY LINE. ALL PUBLIC WATER MAINS SHALL BE LOCATED WITHIN DEDICATED RIGHT OF WAY OR DEDICATED EASEMENTS WITH A MINIMUM WIDTH OF 20 FEET. SEE SECTION 2.10 FOR LANDSCAPE PLANNINGS WITHIN A TOWN EASEMENT.

SIZING: MAJOR TRANSMISSION LINES SHALL BE SIZED IN ACCORDANCE WITH THE "MASTER WATER PLAN OF THE TOWN OF SMITHFIELD" OR AS DIRECTED BY THE PUBLIC UTILITIES DIRECTOR. IN RESIDENTIAL AREAS, MAINS SHALL BE 8-INCH AND BRANCHES SHALL BE 4-INCH. THE TOTAL MAXIMUM LENGTH OF 8-INCH AND 4-INCH MAIN WITHOUT A CONNECTION TO A LARGER MAIN IS 1200 FEET AND 2000 FEET, RESPECTIVELY. WHERE A GROUND GRID DOES NOT EXIST, LINES SHALL BE DESIGNED TO PROVIDE ADEQUATE FLOW AS DIRECTED BY THE PUBLIC UTILITIES DIRECTOR.

B. MATERIAL

MATERIALS TO BE UTILIZED SHALL BE THOSE AS SPECIFIED HEREIN, UNLESS AN APPROVED EQUAL IS AUTHORIZED BY THE PUBLIC UTILITIES DIRECTOR. UNLESS OTHERWISE AUTHORIZED, ANY WATER LINE 12" OR LARGER SHALL BE DUCTILE IRON PIPE (DIP) WITH A MINIMUM WALL THICKNESS OF 0.1875 INCHES AND 12" TO 24" DIAMETER SHALL BE CLASSIFIED WITH ANMA C150 AND C151 FOR A LIVING CONDITION TYPE 2 AND A WORKING PRESSURE AS FOLLOWS:

3" - 12"	350 PSI
15" - 24"	240 PSI
24" - 30"	200 PSI
30" - 54"	150 PSI

PIPE JOINTS SHALL BE OF THE PUSH-ON TYPE AS PER ANMA C111. PIPE UNING SHALL BE GENTLE MORTAR WITH A SEAL COAT OF BITUMINOUS MATERIAL IN ACCORDANCE WITH ANMA C104. GALVANIZED STEEL PIPE WILL NOT BE ALLOWED AS A MATERIAL FOR MAINS OR SERVICES.

C. INSTALLATION

ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS OTHERWISE SPECIFIED. ALL WATER MAINS SHALL BE INSTALLED IN OPEN TRENCHES. LINES ARE INSTALLED ALONG A ROADWAY WHICH DOES NOT HAVE CURB & GUTTER. THE WATER LINE SHALL BE INSTALLED AT EXTRA DEPTH TO PREVENT CONFLICT WITH FUTURE ROAD IMPROVEMENTS OR VERTICAL ALIGNMENT CHANGES.

ALL CONSTRUCTION RELATING TO THE UTILITY IMPROVEMENTS MUST BE PERFORMED BY A CONTRACTOR LICENSED IN NORTH CAROLINA.

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CONVENTION: AIR VALVES SHALL BE OF THE SINGLE HOUSING STYLE THAT COMBINES THE OPERATION OF BOTH AN AIR/VACUUM AND AIR RELEASE VALVE. THE VALVE SHALL BE MANUFACTURED FOR A 150 PSIG WORKING PRESSURE AND BE SIZED BY THE ENGINEER. THE VALVE MUST MEET THE REQUIREMENTS OF ANMA C512 AND BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS.

C. INSTALLATION: VALVES SHALL BE PROPERLY LOCATED, OPERABLE AND AT THE CORRECT ELEVATION. ALL VALVES AND REDUCERS SHALL BE RIGID TO THE TEE OR CROSS IF INSTALLED WITHIN 10 FEET OF THE TEE OR CROSS. VALVES SHALL BE INSTALLED IN SUCH A MANNER THAT THE VALVE OPERATING MECHANISMS CANNOT BE COVERED BY CONCRETE OR OTHER RESTRAINING METHODS WILL BE REQUIRED. THE VALVE BOX SHALL BE CENTERED OVER THE WRENCH NUT AND SEATED ON COMPACTED BACKFILL WITHOUT TOUCHING THE VALVE ASSEMBLY. ALL VALVE BOXES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET. THE VALVE BOX SHALL BE ASSEMBLED INTO THROWN FENELUS WITH THE TOP OF THE COVERING SHALL BE AT LEAST 18 INCHES ABOVE FINISHED GRADE. THE VALVE BOX ENCLOSURES MAY BE USED FOR VALVE BOX ENCLOSURES OUTSIDE THE PAVED AREAS. THE VALVE BOX SHALL BE FIVE (5) FEET, WITH VALVE BOX ENDS BEING FIVE (5) FEET. THE VALVE BOX SHALL BE MANUFACTURED BY THE SAME COMPANY WHICH MANUFACTURED THE VALVE.

6.04 WATER SERVICE TAPS

A. MATERIALS

CORPORATION STOPS SHALL BE BRASS, COMPLETE WITH A FLARED COUPLING AND ANMA STANDARD THREADS AS PER ANMA C800. TAPS SHALL BE LOCATED AT 1800 OR 2400 ON THE CIRCUMFERENCE OF THE PIPE. SERVICE TAPS SHALL BE STAGGERED, ALTERNATING FROM ONE SIDE OF THE WATER MAIN TO THE OTHER AND AT LEAST 12 INCHES APART. SERVICE TAPS SHALL BE A MINIMUM OF 24 INCHES APART IF THEY ARE ON THE SAME SIDE OF THE PIPE.

THE MAXIMUM SIZE OF DIRECT TAPS WITHOUT A FITTING, TAPPING SLEEVE, OR SADDLE FOR DUCTILE IRON WATER MAINS SHALL BE AS FOLLOWS:

SIZE PIPE TO BE TAPPED	MAXIMUM SIZE TAP
4"	1-1/4"
6"	1"
8"	1"
10"	1"
12"	1"

NO BURNED TAPS WILL BE ALLOWED AND EACH CORPORATION STOP WILL BE WRAPPED WITH TETON TAPE FOR DUCTILE IRON PIPE WATER MAINS.

SERVICE SADDLES SHALL BE BRONZE BODY (85-5-5 WATERWORKS BRASS) AND DOUBLE STRAP FOR TAPS OVER 1 INCH WITH SILICON BRONZE NUTS CONFORMING TO ASTM A88 AND FACTORY INSTALLED GRADE 80 RUBBER GASKETS.

COPPER SERVICE TUBING SHALL BE TYPE K SOFT COPPER TUBING PER ASTM B88. THE LONGEST AVAILABLE LENGTH OF SERVICE LINE SHOULD BE USED WITH NO UNIONS. AS AN EXAMPLE, FOR A 3/4 INCH SERVICE CONNECTION, NO UNION SHALL BE USED IN THE SERVICE LINE. SERVICE TUBING SHALL BE ALLOWED FOR EACH 100 FOOT SECTION OF FRACTION. THEREOF, UNIONS SHALL BE MADE WITH FLARE TYPE COUPLINGS.

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6.02 FIRE HYDRANTS

A. LOCATION:

ALL FIRE HYDRANTS SHALL BE INSTALLED ON A WATER LINE WITH A DIAMETER NO SMALLER THAN 6 INCHES. ONLY ONE FIRE HYDRANT MAY BE INSTALLED ON A DEAD END 6-INCH LINE. THERE SHALL BE AT LEAST ONE FIRE HYDRANT AT EACH STREET CORNER. FIRE HYDRANTS SHALL BE INSTALLED WITH A MINIMUM DISTANCE BETWEEN FIRE HYDRANTS, MEASURING ALONG THE STREET, OF 300 FEET. THE MAXIMUM DISTANCE BETWEEN FIRE HYDRANTS SHALL BE 700 FEET. FIRE HYDRANTS SHALL BE INSTALLED IN A LOCATION WHERE THE INTERSECTIONS ARE NOT MORE THAN 700 FEET APART. NO HYDRANT IS REQUIRED BETWEEN THE INTERSECTIONS. IN BUSINESS, OFFICE AND INSTITUTIONAL, AND INDUSTRIAL AREAS, FIRE HYDRANTS SHALL BE INSTALLED WITHIN 100 FEET OF THE STREET AND CENTRAL INTERSECTIONS ARE NOT MORE THAN 450 FEET APART. NO HYDRANT IS REQUIRED BETWEEN INTERSECTIONS ON MAJOR THOROUGHFARES OR ARTERIALS AND ALONG THE STREET AT EACH STREET INTERSECTION AND AT 1000 FOOT INTERVALS. FIRE HYDRANTS SHALL BE INSTALLED WITHIN 100 FEET OF THE INTERSECTIONS. NO HYDRANT IS REQUIRED BETWEEN THE INTERSECTIONS. THE MINIMUM ACCEPTABLE DISTANCE BETWEEN FIRE HYDRANTS SHALL BE 300 FEET. FIRE HYDRANTS SHALL BE INSTALLED ON BOTH SIDES OF ANY ROADWAY CLASSIFIED AS A MAJOR OR MINOR THOROUGHFARE. FIRE HYDRANT SPACING AS REFERENCED ABOVE, VALUES ASSOCIATED WITH FIRE HYDRANT ASSEMBLIES SHALL BE LOCATED WITHIN FIFTEEN (15) FEET OF THE FIRE HYDRANT.

WHEN NEW BUILDINGS ARE CONSTRUCTED OR EXISTING BUILDINGS ARE EXPANDED AND ADDED TOGETHER, HYDRANTS SHALL BE INSTALLED AT 300 FOOT INTERVALS ALONG ALL SIDES OF THE BUILDING THAT ARE ACCESSIBLE TO FIRE PUMPKERS. THESE HYDRANTS SHALL BE AT LEAST 40 FEET AWAY FROM THE BUILDING. THE TOTAL NUMBER OF HYDRANTS SHALL BE 1 PER 10,000 SQUARE FEET OF FLOOR SPACE. THE SEPARATION OF BUILDINGS PLUS ONE HYDRANT PER 10,000 SQUARE FEET OF FLOOR SPACE.

WHERE SPRINKLER SYSTEMS ARE USED, A FIRE DEPARTMENT CONNECTION SHALL BE INSTALLED WITHIN FIFTY (50) FEET OF A FIRE HYDRANT OR AS OTHERWISE DIRECTED BY THE FIRE MARSHALL, WHERE SPRINKLER SYSTEMS OR A RISER ROOM ARE REQUIRED. OUTSIDE ACCESS IN ACCORDANCE WITH NORTH CAROLINA BUILDING CODE SHALL BE PROVIDED. FIRE HYDRANT SYSTEMS SHALL BE AS SPECIFIED IN SECTION 6.06 OF THESE STANDARDS.

B. SPECIFICATIONS: HYDRANTS SHALL CONFORM TO ANMA C502 WITH A MINIMUM VALVE OPENING OF 14 INCHES. HYDRANTS SHALL BE FURNISHED WITH A 4, 1/2 INCH STEAMER AND DOUBLE 24 INCH HOSE CONNECTIONS WITH CAPS AND CHAINS. NATIONAL STANDARD FIRE HYDRANT REEL, BRONZE TO BRONZE SEATING, A MINIMUM 3/4 INCH FOOT BURLY WITH O-RING SEALS AND A TEFELON THRUST BEARING, AS FURNISHED BY MUELLER "GENIURION" (A-421). KENNEDY "GUARDIAN" OR AMERICAN DARING (MARK 73-5). FIRE HYDRANT CAPS SHALL BE ATTACHED TO THE BODY OF THE HYDRANT WITH A MINIMUM 2/0 TWIST LINK, HEAVY DUTY, NON-RIVETING, MACHINE CHAIN.

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METER BOXES FOR 3/4 INCH SERVICES SHALL BE CAST IRON BOX AND COVER WITH A METER YOKE AND A COPPER RESETTER.

METER BOXES FOR 1-1/2 AND 2 INCH SERVICES SHALL BE LIGHT WEIGHT POLYMER CONCRETE AS INDICATED IN STANDARD DETAILS. PIPING FOR 1-1/2 AND 2 INCH SERVICES SHALL BE CONSTRUCTED FROM BRASS AND COPPER TUBING AND SHALL BE EQUIPPED WITH ANGLED CHECK VALVE OUTLETS AND BY-PASS FLANGED VALVE OR BY-PASS FLANGED BALL VALVE INLETS.

WATER SERVICES GREATER THAN 2 INCHES SHALL BE MADE BY A PRIVATE CONTRACTOR OF THE PROPERTY OWNER OR DEVELOPER. A STRAINER SHALL BE PROVIDED UPSTREAM OF THE METER ON LINES GREATER THAN 2 INCHES. METER VALVES WITHIN STREET RIGHT-OF-WAY SHALL MEET HS-20 LOADING REQUIREMENTS. METER VALVES SHALL BE LOCATED OUTSIDE THE METER BOXES. ACCESS DOOR SHALL BE ALUMINUM WITH FINGER LOCK AND STAINLESS STEEL STRAP HINGES & BOLTS. STAINLESS STEEL SLAM LOCK, AN AUTOMATIC HOLD OPEN ARM, AND COMPRESSION SPRINGS TO ALLOW FOR EASY OPENING. POSITIVE DRAINAGE SHALL BE PROVIDED FOR ALL METER VALVES.

INDIVIDUAL WATER SERVICES SHALL BE PROVIDED FROM THE MAIN TO EACH WATER METER FOR SINGLE FAMILY RESIDENCES IN ACCORDANCE WITH STANDARD DETAILS. CONNECTIONS TO EXISTING MAINS SHALL BE MADE BY WET TAPS.

SERVICE CONNECTIONS SHALL BE MADE PERPENDICULAR FROM THE MAIN LINE AND SHALL RUN STRAIGHT TO THE METER WHICH SHALL BE LOCATED AT THE EDGE OF THE MAIN LINE. SERVICE CONNECTIONS SHALL BE MADE PERPENDICULAR FROM THE MAIN LINE AND SHALL BE LOCATED IN STREETS, SIDEWALKS OR PARKING AREAS IN RESIDENTIAL AREAS. IN NON-RESIDENTIAL AREAS, METER LOCATION SHALL BE CONSIDERED ON A CASE-BY-CASE BASIS. PROVISIONS FOR BACKFLOW PREVENTION SHALL BE AS SPECIFIED IN SECTION 6.06 OF THESE STANDARDS.

SERVICE TAPS TO WATER MAINS SHALL BE MADE BY A LICENSED UTILITY CONTRACTOR THAT IS LICENSED UNDER THE STATE ENGINEERING BOARD. THE RESPONSIBILITY OF THE TAP SHALL BE THE CONTRACTOR'S. THE TAP SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT AND SHALL BE IN ACCORDANCE WITH STANDARD DETAILS.

THE WATER METER SHALL BE SIZED BASED ON THE WATER DEMAND. WATER METER SIZE CAN BE DETERMINED AS FOLLOWS:

TABLE 6.1
WATER METER SIZING FOR FLUSH TANKS

METER SIZE (INCHES)	LOAD RANGE (FIXTURES)	FLOW RANGE (FIXTURES)
3/4" PD	1 - 8	0 - 20
1" PD	9 - 50	20 - 50
1 1/2" PD	51 - 100	50 - 100
2" PD	101 - 200	100 - 200
3" T or C	1000 - 2500	200 - 400
4" T or C	2500 - 5000	400 - 600

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6.03 VALVES AND APPURTENANCES

A. LOCATION:

VALVES SHALL BE INSTALLED ON ALL BRANCHES FROM FEEDER MAINS AND ON ALL MAINS. VALVES SHALL BE INSTALLED AT ALL HIGH POINTS OF WATERLINES & INCHES IN DIAMETER OR LARGER AND AT OTHER LOCATIONS AS DIRECTED BY THE TOWN ENGINEER.

THE WATER MAIN SHALL BE INSTALLED AT A GRADE WHICH WILL ALLOW THE AIR TO MIGRATE TO A HIGHPOINT WHERE THE AIR CAN BE RELEASED THROUGH AN AIR VALVE. A MINIMUM PIPE SLOPE OF ONE (1) FOOT PER 500 FEET SHOULD BE MAINTAINED. THE SIZE OF THE AIR VALVE SHALL BE DESIGNED BY THE ENGINEER.

B. SPECIFICATIONS: GATE VALVE GREATER THAN 2 INCHES, SHALL MEET ALL REQUIREMENTS OF ANMA C500 FOR A WORKING PRESSURE OF 150 PSI. ALL SHALL BE MECHANICAL JOINT WITH IRON BODY, BRONZE MOUNTING DOUBLE DISC, PARALLEL SEAT TYPE WITH A NON-RISING STEM AND OPEN LEFT, WITH A DOUBLE O-RING SEAL.

GATE VALVES, UP TO AND INCLUDING 12 INCHES, SHALL BE INSTALLED IN A VERTICAL POSITION.

GATE VALVES, 16 INCHES OR LARGER, SHALL BE INSTALLED ONLY UNDER THE SUPERVISION OF THE TOWN ENGINEER AND SHALL BE HORIZONTALLY INSTALLED AND EQUIPPED WITH LEVEL GEARS, GREASE GASE, ROLLERS, PACKS SCRAPERS, AND A DOUBLE WIPED, 1/2" DIA. OF THE BODY, FULLY REVERSING DISC VALVES SHALL NOT REQUIRE ROLLERS.

C. GATE VALVES, 18 INCHES OR LARGER, INSTALLED IN A VERTICAL POSITION, SHALL ONLY BE INSTALLED IN SPECIAL CONDITIONS UNDER THE DIRECTION OF THE TOWN ENGINEER AND SHALL BE EQUIPPED WITH SPAUR GEARS ENCLOSED IN A GREASE CASE AND WITH A BYPASS LOCATED ON THE SIDE OF THE BODY.

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INSTALLATION: HYDRANTS SHALL BE PLUMB, PROPERLY LOCATED WITH THE PUMPER NOZZLE FACING THE CLOSEST STREET. THE BACK OF THE HYDRANT OPPOSITE THE PIPE SHALL BE LOCATED WITHIN 10 FEET OF THE STREET. HYDRANTS SHALL BE INSTALLED WITH 1 CUBIC YARD OF CONCRETE DOUBLE BRIGLE RODS AND COLLARS SHALL BE CONNECTED FORM THE TEE TO THE HYDRANT. RODS SHALL NOT BE LESS THAN 1/2 INCH DIAMETER STOCK AND COATED WITH BITUMINOUS PAINT. A MINIMUM OF 8 CUBIC FEET OF CONCRETE SHALL BE FLOCCED AROUND THE DRAINS. THE BACKFILL AROUND THE HYDRANT SHALL BE PROTECTED WITH A STANDARD ROD VALVE ROODING DETAIL IN ACCORDANCE WITH STANDARD.

WHERE NO WATERLINE INTERSECTIONS ARE EXISTING, A MAIN LINE VALVE SHALL BE INSTALLED AT EVERY 100 FEET PER 1 INCH DIAMETER MAIN UP TO A DISTANCE OF 2000 FEET BETWEEN VALVES.

BLOWOFFS SHALL BE INSTALLED AT THE END OF ALL DEAD-END WATERLINES.

CONVENTION: AIR VALVES SHALL BE INSTALLED AT ALL HIGH POINTS OF WATERLINES & INCHES IN DIAMETER OR LARGER AND AT OTHER LOCATIONS AS DIRECTED BY THE TOWN ENGINEER.

THE WATER MAIN SHALL BE INSTALLED AT A GRADE WHICH WILL ALLOW THE AIR TO MIGRATE TO A HIGHPOINT WHERE THE AIR CAN BE RELEASED THROUGH AN AIR VALVE. A MINIMUM PIPE SLOPE OF ONE (1) FOOT PER 500 FEET SHOULD BE MAINTAINED. THE SIZE OF THE AIR VALVE SHALL BE DESIGNED BY THE ENGINEER.

B. SPECIFICATIONS: GATE VALVE GREATER THAN 2 INCHES, SHALL MEET ALL REQUIREMENTS OF ANMA C500 FOR A WORKING PRESSURE OF 150 PSI. ALL SHALL BE MECHANICAL JOINT WITH IRON BODY, BRONZE MOUNTING DOUBLE DISC, PARALLEL SEAT TYPE WITH A NON-RISING STEM AND OPEN LEFT, WITH A DOUBLE O-RING SEAL.

GATE VALVES, UP TO AND INCLUDING 12 INCHES, SHALL BE INSTALLED IN A VERTICAL POSITION.

GATE VALVES, 16 INCHES OR LARGER, SHALL BE INSTALLED ONLY UNDER THE SUPERVISION OF THE TOWN ENGINEER AND SHALL BE HORIZONTALLY INSTALLED AND EQUIPPED WITH LEVEL GEARS, GREASE GASE, ROLLERS, PACKS SCRAPERS, AND A DOUBLE WIPED, 1/2" DIA. OF THE BODY, FULLY REVERSING DISC VALVES SHALL NOT REQUIRE ROLLERS.

C. GATE VALVES, 18 INCHES OR LARGER, INSTALLED IN A VERTICAL POSITION, SHALL ONLY BE INSTALLED IN SPECIAL CONDITIONS UNDER THE DIRECTION OF THE TOWN ENGINEER AND SHALL BE EQUIPPED WITH SPAUR GEARS ENCLOSED IN A GREASE CASE AND WITH A BYPASS LOCATED ON THE SIDE OF THE BODY.

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ALL VALVES 16 (16) INCHES AN GREATER SHALL BE INSTALLED IN A MANHOLE AS SHOWN IN THE STANDARD DETAILS

RESILIENT SEAT WEDGE GATE VALVES SHALL BE MANUFACTURED IN ACCORDANCE WITH ANMA C509

VALVE BOXES SHALL BE CAST IRON AT THE SCREW OR TELESCOPIC WITH A 5-INCH OPENING WITH "WATER" STAMPED ON THE COVER. VALVE BOX RING ADJUSTMENTS WILL NOT BE ALLOWED.

BUTTERFLY VALVES SHALL BE INSTALLED IN WATERLINES SIXTEEN (16) INCHES OR GREATER. ALL SHALL MEET THE REQUIREMENTS OF ANMA C504 WITH MECHANICAL JOINTS. 2-INCH OPERATING NUT AND OPEN LEFT. ALL VALVES 15 INCHES AND GREATER SHALL BE INSTALLED IN A MANHOLE AS SHOWN IN STANDARD DETAILS.

BLOW-OFF ASSEMBLIES SHALL BE CONSTRUCTED AS SHOWN IN STANDARD DETAILS. THE VALVE SHALL BE GATE TYPE WITH A NON-RISING STEM AND A 2-INCH OPERATING NUT.

PIPE FITTINGS SHALL BE DUCTILE IRON DESIGNED AND MANUFACTURED AS PER ANMA C110. SIZES OF FITTINGS UP TO AN INCLUDING 12 INCH SHALL BE DESIGNED FOR AN INTERIOR PRESSURE OF 250 PSI. LARGER SIZE FITTINGS SHALL BE DESIGNED FOR AN INTERIOR PRESSURE OF 150 PSI. ALL FITTINGS SHALL BE MECHANICAL JOINT WITH AN ACCEPTABLE JOINTS FOR FITTINGS SHALL BE MECHANICAL JOINT UNLESS OTHERWISE SPECIFIED WITH A SEAL COAT OF BITUMINOUS MATERIAL, ALL IN ACCORDANCE WITH ANMA C104.

REACTION BLOCKING FOR ALL FITTINGS OR COMPONENTS SUBJECT TO HYDROSTATIC THRUST SHALL BE SECURELY ANCHORED BY THE USE OF CONCRETE THRUST BLOCKS POURED IN PLACE. THE REACTION AREAS ARE SHOWN IN STANDARD DETAILS. NO REACTION BLOCKING SHALL BE USED ON FITTINGS OR COMPONENTS SUBJECT TO HYDROSTATIC THRUST. BLOCKING SHALL BE 3,000 PSI CONCRETE. ALTERNATIVE RESTRAINING METHODS MUST BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN NORTH CAROLINA AND APPROVED BY THE TOWN ENGINEER.

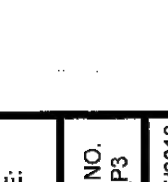
TAPPING SLEEVES SHALL BE TWO PIECE SPLIT CAST IRON SLEEVES. THE SLEEVE SHALL BE MECHANICAL JOINT TO THE MAIN LINE AND FLANGED TO THE TAPPING VALVE. UNLESS STEEL TAPPING SLEEVES SHALL ONLY BE ALLOWED ON ASBESTOS-CEMENT PIPE.

TAPPING SADDLES SHALL BE USED ON MAINS 16 INCHES AND LARGER. SADDLES SHALL BE INSTALLED WITHIN 10 FEET OF THE TEE OR CROSS. SADDLES SHALL BE EQUIPPED WITH A MINIMUM COVER OF 3 FEET. THE VALVE SHALL BE LOCATED OUTSIDE THE METER BOXES. ACCESS DOOR SHALL BE ALUMINUM WITH FINGER LOCK, AN AUTOMATIC HOLD OPEN ARM, AND COMPRESSION SPRINGS TO ALLOW FOR EASY OPENING. POSITIVE DRAINAGE SHALL BE PROVIDED FOR ALL METER VALVES.

THE MAXIMUM SIZED SADDLE OUTLET FOR EACH SIZE OF PIPE TO BE TAPPED SHALL BE AS FOLLOWS:

SIZE PIPE TO BE TAPPED	MAXIMUM SIZE SADDLE OUTLET
18"	8"
20"	10"
24"	12"

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WATER DETAILS

LOCAL 70 RESIDENTIAL DEVELOPMENT

SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
HWY 70

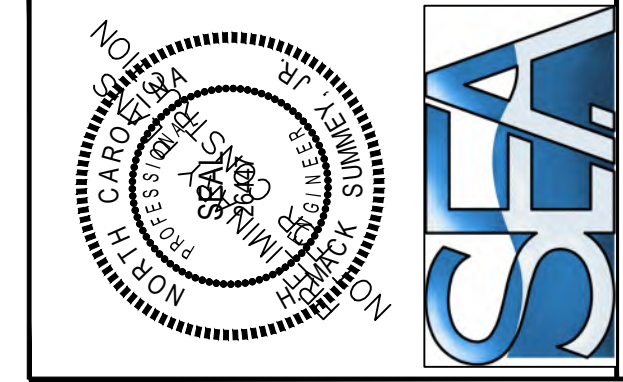
Job No:	E-9516
Checked By:	HMSJ
Drawn By:	CM/JM
Date:	MONTH YEAR
Scale:	AS NOTED
Sheet No:	C-9-A

PRELIMINARY PLANS NOT FOR REVIEW



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No.	Date:	Description:

SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
 HWY 70
LOCAL 70 RESIDENTIAL DEVELOPMENT
WATER DETAILS

Job No: E-9316
 Checked By: HMSJ
 Drawn By: CM/JM
 Date: MONTH YEAR
 Scale: AS NOTED
 Sheet No: C-9.5

CHLORINATION OF A COMPLETED LINE SHALL BE CARRIED OUT IN THE FOLLOWING MANNER:

- TAPS WILL BE MADE AT THE CONTROL VALVE AT THE UPSTREAM END OF THE LINE. THE LINE SHALL HAVE A UNIFORM CONCENTRATION OF 100 PPM TOTAL CHLORINE AT ALL EXTREMITIES, INCLUDING VALVES.
- A SOLUTION OF WATER CONTAINING HIGH TEST HYPOCHLORITE (70%) AVAILABLE TO THE TOWN SHALL BE INTRODUCED INTO THE LINE BY REGULATED PUMPING AT THE CONTROL VALVE TAP. THE CHART BELOW SHOWS THE REQUIRED QUANTITY OF SOLUTION OF LINE TO PRODUCE THE DESIRED CONCENTRATION OF 100 PPM.

PRE SIZE (INCHES)	POUNDS HIGH TEST HYPOCHLORITE (70%) PER 1,000 FEET OF LINE
6	1.76
8	3.12
10	4.48
12	7.04
14	9.52
16	12.44
18	15.36
24	28.00

THE FTH SOLUTION SHALL BE CIRCULATED IN THE MAIN BY OPENING THE CONTROL VALVE AT THE UPSTREAM END OF THE LINE. THE FTH SOLUTION SHALL BE CARRIED TO ALL EXTREMITIES. THE FTH SOLUTION MUST BE PUMPED IN AT A CONSTANT RATE FOR EACH DISCHARGE RATE IN ORDER THAT A UNIFORM CONCENTRATION WILL BE PRODUCED IN MAINS.

HTH SOLUTION SHALL REMAIN IN LINES FOR NO LESS THAN 24 HOURS OR AS DIRECTED BY THE TOWN ENGINEER.

- EXTREME CARE WILL BE EXERCISED AT ALL TIMES TO PREVENT THE HTH SOLUTION FROM ENTERING EXISTING MAINS.
- BACTERIOLOGICAL SAMPLING
 FREE RESIDUAL CHLORINE AFTER 24 HOURS SHALL BE AT LEAST 10 PPM OR THE INSPECTOR WILL REQUIRE THAT THE LINES BE RECHLORINATED.
 FLUSHING OF LINES MAY PROCEED AFTER 24 HOURS, PROVIDED THE FREE RESIDUAL CHLORINE ANALYSIS IS SATISFACTORY. FLUSHING SHALL BE CONTINUED UNTIL AN ORTHODIOLINE CHECK SHOWS THAT THE LINES CONTAIN ONLY THE NORMAL CHLORINE RESIDUAL. SAMPLES FOR BACTERIOLOGICAL ANALYSIS SHALL BE NORMAL CHLORINE RESIDUALS. BACTERIOLOGICAL ANALYSIS SHALL BE COMPLETED. THE CONTRACTOR SHALL PROVIDE PROPER CERTIFICATION OF BACTERIOLOGICAL ANALYSIS TO THE TOWN UPON COMPLETION OF TESTING AND PRIOR TO UTILIZATION OF THE LINE.
 IF TEST RESULTS ARE UNSATISFACTORY, THE CONTRACTOR SHALL IMMEDIATELY RECHLORINATE LINES AND PROCEED WITH SUCH MEASURES AS ARE NECESSARY TO SECURE STERILE LINES.

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END OF SECTION 6.00

A. WATER SERVICE LINE REPAIRS
 WATER SERVICE LINE SEVERED BETWEEN THE WATER MAINS AND THE WATER MAIN SHALL BE REPAIRED WITH NEW TYPE K COPPER TUBING AND BRASS THREE (3) PIECE COMPRESSION UNIONS.
 A CORPORATION STOP PULLED OUT OF A PVC PIPE WATER MAIN SHALL HAVE A CORPORATION STOP PULLED OUT OF A PVC PIPE WATER MAIN SHALL HAVE A CORPORATION STOP PULLED OUT OF A DUCTILE IRON PIPE WATER MAIN SHALL HAVE A CORPORATION STOP PULLED OUT OF A DUCTILE IRON PIPE WATER MAIN. THE STOP SHALL BE MADE AND A NEW CORPORATION STOP INSTALLED ON THE WATER MAIN.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT TO PERFORM ALL TESTING AND INSPECTIONS TO THE SATISFACTION OF THE INSPECTOR. THE TOWN OF SMITHFIELD SHALL PROVIDE WATER FOR TESTING PURPOSES ON WATER MAINS.

- PIGGING AND FLUSHING
 ALL NEW MAINS LESS THAN SIXTEEN (16) INCHES IN DIAMETER SHALL BE RIGGED AND PIGGED. THE PIGGING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF THE TESTING AND CHLORINATION. THE PIGGING SHOULD OCCUR PRIOR TO THE OPERATION OF PIPE AND BLOWN OUT ALONG WATER LINE THROUGH A BLOW-OFF ASSEMBLY OR A FIRE HYDRANT. THE USE OF A DISASSEMBLED FIRE HYDRANT TO REMOVE THE PIG IS NOT ALLOWED. THE PIGGING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF THE TESTING AND CHLORINATION. THE PIGGING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF THE TESTING AND CHLORINATION. THE PIGGING SHALL BE COMPLETED WITHIN SEVEN (7) DAYS OF THE TESTING AND CHLORINATION.
- HYDROSTATIC TESTING
 NO VALVE IN THE EXISTING TOWN OF SMITHFIELD WATER SYSTEM SHALL BE OPERATED WITHOUT AUTHORIZATION FOR THE PUBLIC UTILITIES DEPARTMENT. A SECTION OF LINE WHICH IS TO BE HYDROSTATICALLY TESTED SHALL BE SLOWLY FLOWED TO THE TEST PRESSURE. THE PRESSURE SHALL BE MAINTAINED FOR A PERIOD OF WATER MAINS TAPS USED FOR TESTING PURPOSES SHALL BE REMOVED AFTER TESTING AND REPAIRED USING STAINLESS STEEL FULL CIRCLE REPAIR CLAMP IN ACCORDANCE WITH STANDARD DETAILS.
 THE LINE SHALL BE TESTED TO A PRESSURE OF 200 PSI, AS MEASURED AT THE PRESSURE GAUGE USED IN THE HYDROSTATIC TEST SHALL BE MAINTAINED IN INCREMENTS OF 10 PSI, OR LESS, AT THE END OF THE TEST PERIOD. THE LEAKAGE SHALL BE MEASURED WITH AN ACCURATE WATER METER.

PIPE SIZE (INCHES)	ALLOWABLE LEAKAGE (GALLONS PER 1,000 FEET OF PIPE)
4	0.85
6	1.70
8	2.55
12	3.40
16	4.25
24	5.10

 ALL VISIBLE LEAKS ARE TO BE REPAIRED, REGARDLESS OF THE AMOUNT OF LEAKAGE.
- CHLORINATION
 ALL MATERIALS OR REPLACEMENTS TO THE WATER SYSTEM SHALL BE CHLORINATED BEFORE BEING PLACED IN SERVICE. SUCH CHLORINATION MUST TAKE PLACE UNDER THE SUPERVISION OF AN INSPECTOR.

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THE NEW WATER SYSTEM SHALL BE VALVED OFF FROM THE EXISTING SYSTEM UNTIL A SATISFACTORY BACTERIOLOGICAL SAMPLE HAS BEEN OBTAINED AND THE INSPECTOR HAS APPROVED THE USE OF THE NEW WATER SYSTEM.

6.09 FIRE PROTECTION DURING CONSTRUCTION
 THE FIRE PROTECTION WATER SUPPLY SYSTEM, INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND BE IN AT LEAST THE FUNCTIONAL STATUS PRIOR TO PLACING COMBUSTIBLE MATERIALS ON THE PROJECT SITE. IF PHASED CONSTRUCTION IS PLANNED, THE FIRE PROTECTION WATER SUPPLY SYSTEM SHALL BE INSTALLED IN PHASES IN COORDINATION WITH THE PHASED CONSTRUCTION. THE FIRE PROTECTION WATER SUPPLY SYSTEM SHALL BE INSTALLED IN PHASES IN COORDINATION WITH THE PHASED CONSTRUCTION. THE FIRE PROTECTION WATER SUPPLY SYSTEM SHALL BE INSTALLED IN PHASES IN COORDINATION WITH THE PHASED CONSTRUCTION.

6.10 IRRIGATION SYSTEMS
 ALL IRRIGATION SYSTEMS WITHIN PUBLIC STREET RIGHT OF WAY SHALL OBTAIN AN ENCROACHMENT AGREEMENT FOR THE TOWN, PRIOR TO INSTALLATION OF THE SYSTEM. PLANS DESIGNATING THE LOCATION, SIZE, MATERIAL, DEPTH, ETC. SHALL BE SUBMITTED WITH THE APPLICATION FOR AN ENCROACHMENT AGREEMENT.
 PIPE MATERIAL FOR THE MAINLINE PROPOSED TO BE USED WITHIN THE PUBLIC RIGHT OF WAY SHALL BE SCHEDULE 40 PVC OR GREATER, A DISTANCE OF AT LEAST TWO (2) FEET SHALL BE PROVIDED FROM THE BACK OF THE CURB, A MINIMUM DEPTH OF TWO (2) FEET SHALL BE PROVIDED.
 THE IRRIGATION MAINLINE PIPE SYSTEM SHALL BE HYDROSTATICALLY TESTED AS PER SECTION 6.08, WITH A MINIMUM PRESSURE OF 250 PSI OR 50 PSI ABOVE WORKING PRESSURE.
 IRRIGATION SYSTEMS SHALL HAVE A BACKFLOW PREVENTER INSTALLED IN ACCORDANCE WITH SECTION 6.08
 ALL STREET CROSSINGS OF IRRIGATION SYSTEMS SHALL BE CONTAINED WITHIN AN ENCLOSURE CONDUIT. DUCTILE IRON CASING SHALL BE USED. IRRIGATION SYSTEMS SHALL BE INSTALLED WITHIN THE PUBLIC RIGHT OF WAY. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED WITHIN THE PUBLIC RIGHT OF WAY. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED WITHIN THE PUBLIC RIGHT OF WAY.

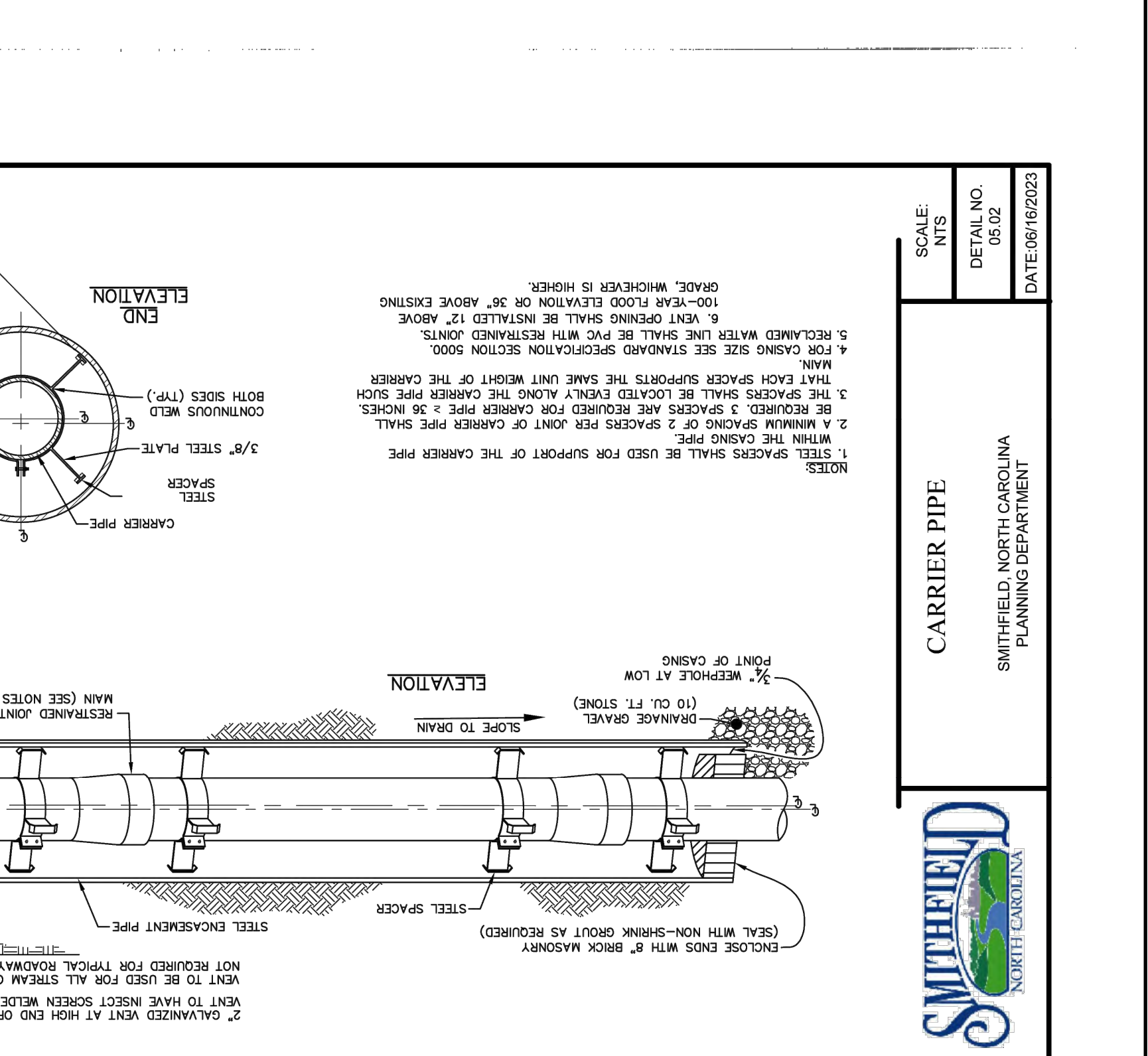
6.11 REPAIR OF WATER LINES
 JOINT LEAKS OF CAST IRON PIPE, DUCTILE IRON PIPE, AND PVC PIPE SHALL USE A BELL JOINT LEAK REPAIR CLAMP, AS MANUFACTURED BY ROCKWELL, OR OTHER APPROVED EQUAL.
 LINE BREAKS OR PUNCTURES SHALL BE REPAIRED BY A FULL CIRCLE CLAMP AS MANUFACTURED BY ROCKWELL, OR OTHER APPROVED EQUAL.
 LINE SPLITS OR BLOW OUTS SHALL BE REPAIRED BY REPLACING THE DAMAGED SECTION WITH DUCTILE IRON PIPE, OR C500 PVC PIPE, WITH REPAIR COUPLINGS AT EACH END. REPAIR COUPLING SHALL BE KRAUSZ HMAX COUPLING, OR APPROVED EQUAL.

WHERE AUTOMATIC FIRE SPRINKLER SYSTEMS ARE USED, A FIRE DEPARTMENT CONNECTION SHALL BE PROVIDED WITHIN FIFTY (50) FEET OF THE FIRE HYDRANT OR AS OTHERWISE DIRECTED BY THE FIRE OFFICIAL. WHEN A SPRINKLER SYSTEM SERVES ONLY PART OF A LARGE STRUCTURE, THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED TO WHICH SECTION OF THE STRUCTURE THE SPRINKLER RISER SERVES. THE LABELING SHALL BE A MINIMUM OF TWO (2) INCH LETTERING.

- REPAIRED SPRINKLER RISER ROOM IS REQUIRED PROVIDING AN ENTRY DOOR TO THE ROOM FROM THE EXTERIOR OF THE BUILDING.
- ALARM COMMUNICATION
 ALL SPRINKLER SYSTEMS ARE TO HAVE ALARM COMMUNICATION EQUIPMENT TO FULLY COMPLY WITH NFPA 72. EQUIPMENT MUST BE FULLY FUNCTIONAL AND REPORTING TO A FULL APPROVED CENTRAL RECEIVING STATION (NFPA 71) BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED FOR THE FACILITY.
- ACCESS
 ALL BUILDINGS WHICH HAVE A FIRE SPRINKLER PROTECTION SYSTEM SHALL PROVIDE ACCESS TO THE SYSTEM. ACCESS SHALL BE PROVIDED TO THE SYSTEM FROM THE MAIN EXTERIOR ENTRANCE TO THE BUILDING OR AS OTHERWISE DIRECTED BY THE FIRE OFFICIAL. MOUNT KNOX BOX ON WALL AT 2 FEET A.F.F. ON DOOR HANDLE SIDE OF THE DEDICATED RISER ROOM DOOR. THIS KNOX BOX SHALL BE ORDERED FROM THE FIRE DEPARTMENT. THE FIRE DEPARTMENT SHALL BE NOTIFIED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED. KEYS SHALL BE AVAILABLE FROM THE TOWN OF SMITHFIELD FIRE DEPARTMENT. AVERAGE DELIVERY TIME IS FIVE (5) TO SIX (6) WEEKS. KEYS SHALL BE PROVIDED TO THE TOWN OF SMITHFIELD FIRE DEPARTMENT BY THE OWNER/MANAGER.
- IDENTIFICATION
 THE EXTERIOR DOOR LEADING TO THE DEDICATED SPRINKLER RISER ROOM SHALL BE LABELED WITH MINIMUM TWO (2) INCH LETTERING DESIGNATING "SPRINKLER RISER ROOM" IN A CONTRASTING COLOR. DOUBLE VINYL LETTERING IS SUGGESTED.
- FIRE ALARM PANEL LOCATION
 WHEN A BUILDING IS PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM AND HAS A FIRE ALARM SYSTEM, THE FIRE ALARM CONTROL PANEL SHALL BE PLACED WHERE THE FIRE DEPARTMENT IS MOST LIKELY TO ACCESS THE BUILDING OR AS DIRECTED BY THE FIRE OFFICIAL. THIS CONTROL PANEL SHALL HAVE THE CAPACITY OF SILENCING AND RECALLING THE FIRE ALARM SYSTEM. THE FIRE ALARM CONTROL PANEL, NONVOCALATURE SHALL CORRESPOND WITH THE ZONE MAP.

6.08 TESTING AND INSPECTION
 ALL MATERIALS USED MUST HAVE A PRELIMINARY INSPECTION BY THE INSPECTOR BEFORE THEY SHALL BE ALLOWED TO BE INSTALLED. MATERIALS REJECTED BY THE INSPECTOR SHALL BE IMMEDIATELY REMOVED FROM THE JOBSITE.

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ALL IRRIGATION SYSTEMS WITH CHEMICAL ADJUSTERS OR BOOSTER PUMPS SHALL BE PROVIDED WITH REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION. INSTALLED IN ACCORDANCE WITH THE FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH. REDUCED PRESSURE ZONE BACKFLOW PREVENTERS MUST HAVE AN ANTI-SIPHONING VALVE INSTALLED ABOVE GROUND. ABOVE GROUND INSTALLATION SHALL HAVE AN INSULATED BOX.

A POST INDICATOR VALVE SHALL BE PROVIDED AT THE RIGHT-OF-WAY OR EDGE OF GRADE. THE POST INDICATOR VALVE SHALL BE INSTALLED AT 36 INCHES ABOVE THE FINISHED GRADE. THE TOWN SHALL MAINTAIN UP TO AND INCLUDING THE POST INDICATOR VALVE, BUT NOT BEYOND.

6.07 AUTOMATIC FIRE SPRINKLER SYSTEM STANDARD

- GENERAL
 FOUR (4) COMPLETE SETS OF WORKING PLANS FOR ALL FIRE SPRINKLER SYSTEMS AND STANDPIPE SYSTEMS ARE TO BE SUBMITTED TO THE TOWN WITH A CURRENT AND PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL. ALL FIRE SPRINKLER SYSTEMS AND STANDPIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE TRIMMINGS (EXAMPLE, RETARD CHAMBER, WATER MOTOR GONG, PRESSURE GAUGES, ETC.) COMPLETE WORKING PLANS SHALL BE APPROVED BY THE TOWN BEFORE AN INSTALLATION OF THE SPRINKLER SYSTEM BEGINS. IF TWENTY (20) PERCENT OF THE SPRINKLER SYSTEM IS INSTALLED, COMPLETE PLANS AND CALCULATIONS ARE REQUIRED. EXISTING SYSTEM ADDITIONS OR THE DISABLING OF ANY SPRINKLER SYSTEM SHALL REQUIRE NOTIFICATION TO THE FIRE OFFICIAL TWENTY-FOUR (24) HOURS IN ADVANCE.
- DESIGN
 FULL WORKING PLANS ARE TO BE IN COMPLETE COMPLIANCE WITH NFPA #13, 130, 135, 136, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
- HYDRAULIC DESIGN
 IF A SYSTEM IS HYDRAULICALLY DESIGNED, THE FOLLOWING DESIGN CRITERIA MUST BE FOLLOWED:
 MARGIN: A TEN (10) PERCENT SAFETY MARGIN MUST BE INCLUDED IN ALL HYDRAULIC CALCULATIONS. SYSTEM SUPPLY MUST EQUAL OR EXCEED L1 TIMES THAT OF THE SYSTEM DEMAND. (EXAMPLE: DEMAND = 50 psi; SUPPLY > 55 psi)
 HOSE ALLOWANCE: A MINIMUM OF 500 GPM OUTSIDE HOSE ALLOWANCE MUST BE PROVIDED FOR ALL SYSTEMS.
 ARE TO FOLLOW NFPA 13 REQUIREMENTS.
- POST INDICATOR VALVE
 POST INDICATOR VALVES SHALL BE IN ACCORDANCE WITH SECTION 6.08
- BACKFLOW PREVENTION SHALL BE IN ACCORDANCE WITH SECTION 6.06

SMITHFIELD NORTH CAROLINA
STANDARD DETAIL AND SPECIFICATIONS MANUAL
 PUBLIC UTILITIES
 SCALE: NTS
 DETAIL NO. 6802.P8
 DATE: 06/05/2018

CARRIER PIPE

SMITHFIELD NORTH CAROLINA
 PLANNING DEPARTMENT
 SCALE: NTS
 DETAIL NO. 6802
 DATE: 06/16/2023

**SECTION 7.00
SANITARY SEWER**

- A. DESIGN
- LOCATION
1. ALL PUBLIC SANITARY SEWER MAINS SHALL BE INSTALLED IN DEDICATED STREET RIGHT-OF-WAY OR IN DEDICATED UTILITY EASEMENTS. SANITARY SEWER MAINS INSTALLED IN UTILITY EASEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC UTILITIES ACT, CHAPTER 78A, ARTICLE 1, SECTION 1-101. THE PAVED SIDEWALK SHALL BE PLACED OUTSIDE OF PAVEMENT LIMITS, IN ACCORDANCE WITH NCOTD STANDARDS.
 2. MINIMUM WIDTHS OF PUBLIC SANITARY SEWER EASEMENTS SHALL BE 30 FEET FOR ALL EASEMENT SHALL BE 40 FEET, SEE SECTION 2.10 FOR LANDSCAPE PLANNING WITHIN UTILITY EASEMENTS.
 3. SEWER MAINS SHALL BE CENTERED WITHIN THEIR EASEMENTS UNLESS OTHERWISE DETERMINED BY THE TOWN ENGINEER.
 4. PROPOSED SANITARY SEWER PARALLELING A CREEK SHALL BE DESIGNED TO A PROPER DEPTH TO ALLOW LATERAL CONNECTIONS SUCH THAT ALL CREEK CROSSINGS WILL BE BELOW STREAM BED ELEVATION UNLESS APPROVED BY THE TOWN ENGINEER. THE TOP OF THE SEWER MAIN SHALL HAVE AT LEAST THREE (3) FEET OF COVER BETWEEN THE SEWER MAIN AND THE STREAM BED. THE SEWER MAIN SHALL BE INSTALLED IN A SEWER MAIN MUST BE MADE OF DUCTILE IRON PIPE WITH RESTRAINED JOINTS EQUIVALENT TO WATER MAIN STANDARDS. NO CROSSING WILL BE PERMITTED WITH LESS THAN ONE (1) FOOT OF COVER.
 5. SANITARY SEWER MAINS SHALL NOT BE INSTALLED UNDER ANY PART OF WATER IMPOUNDMENT.
 6. THE FOLLOWING MINIMUM SEPARATIONS MUST BE MAINTAINED:
 - a) ANY PRIVATE OF PUBLIC WATER SUPPLY SOURCE - 100 FEET
 - b) ANY OTHER STREAM, LAKE, OR IMPONDMENT - 10 FEET
 7. WHERE THE REQUIRED MINIMUM SEPARATION CANNOT BE MAINTAINED, DUCTILE IRON PIPE WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS MUST BE USED. THE MINIMUM SEPARATIONS SHALL NOT BE LESS THAN 50 FEET FROM A PRIVATE WELL OR A PUBLIC WATER SUPPLY SOURCE.
 7. SANITARY SEWER LINES SHALL BE EXTENDED ALONG NATURAL DRAINAGE COURSES TO THE ADJACENT PROPERTY LINES.

SMITHFIELD
NORTH CAROLINA

STANDARD DETAIL AND SPECIFICATIONS MANUAL
SMITHFIELD, NORTH CAROLINA
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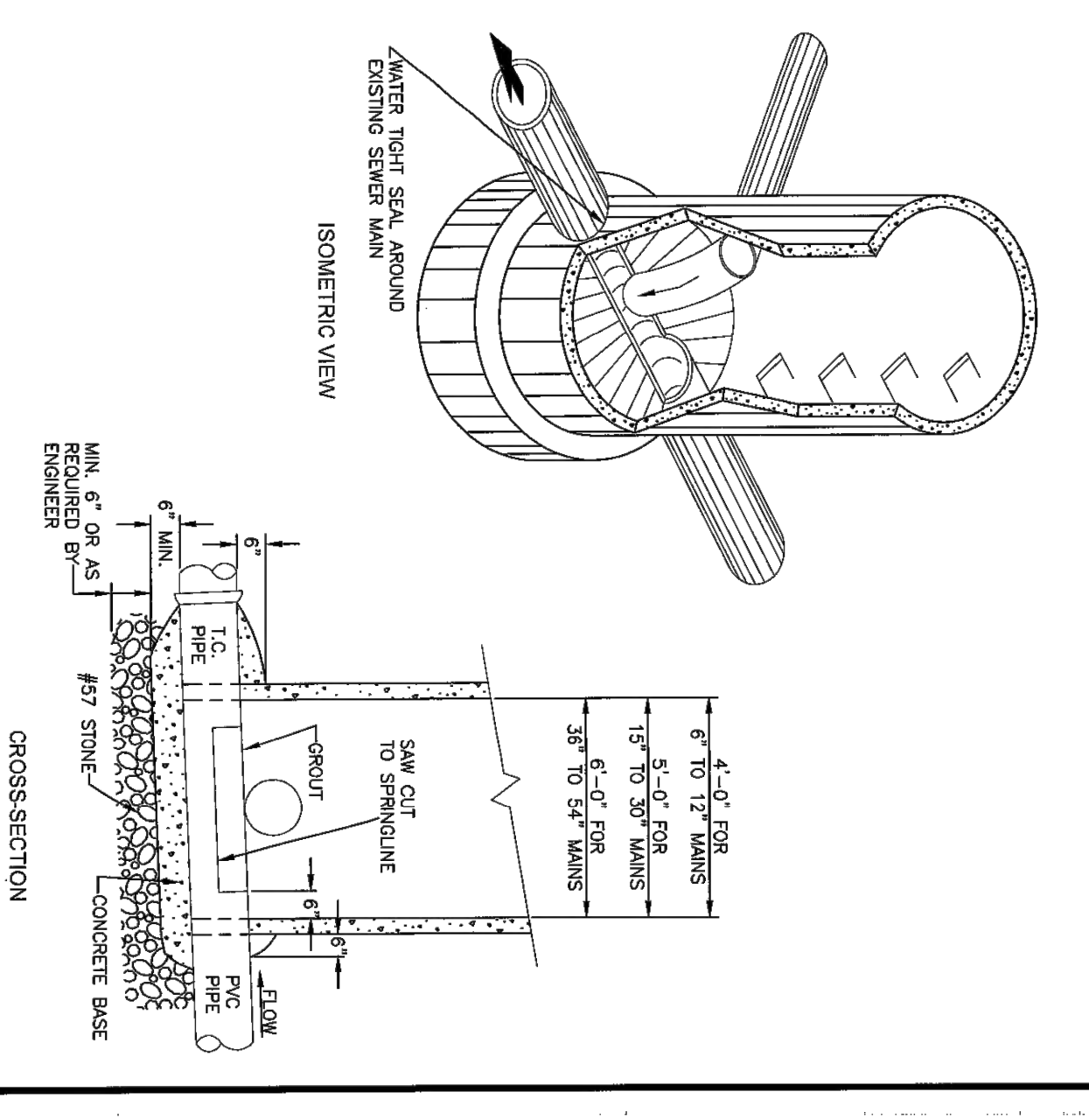
SCALE: NTS
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DATE: 04/02/2018

- SIZE
1. THE MINIMUM SIZE OF A PUBLIC GRANULAR SANITARY SEWER MAIN SHALL BE 8".
 2. MAJOR INTERSECTIONS SHALL BE SIZED IN ACCORDANCE WITH THE MOST CURRENT TOWN ENGINEER'S DESIGN STANDARDS. MINOR INTERSECTIONS SHALL BE SIZED IN ACCORDANCE WITH THE FOLLOWING FLOW FACTORS:
- | LAND USE | FLOW FACTOR |
|------------------------|--------------------------------------|
| RESIDENTIAL | 1.20 GAL/BEROOF (MINIMUM 2 BEDROOMS) |
| OFFICE & INSTITUTIONAL | 0.09 GPD/SQ.FT. BLDG. SPACE |
| INDUSTRIAL | 0.12 GPD/SQ.FT. BLDG. SPACE |
- FLOW FACTORS NOT LISTED HEREIN SHALL BE IN ACCORDANCE WITH THE FACTORS RECOMMENDED BY THE TOWN ENGINEER.
3. THESE FIGURES COVER NORMAL INFILTRATION; HOWEVER, AN ADDITIONAL ALLOWANCE SHALL BE MADE WHERE CONDITIONS ARE UNUSUAL.
 3. FOR EXISTING SEWER SYSTEMS AN ADDITIONAL ALLOWANCE SHALL BE MADE TO THE ABOVE FLOW FACTORS WHERE THE EXISTING FLOW EXCEEDS THESE VALUES AND IMMEDIATE REMEDIAL MEASURES ARE NOT PROPOSED.
 4. THE RATIO OF PEAK TO AVERAGE DAILY FLOW SHALL BE 2.5.
 5. SANITARY SEWERS SHALL BE DESIGNED TO CARRY THE PROJECTED PEAK FLOW AT NO MORE THAN 1 FT/L. THE MINIMUM VELOCITY FOR SANITARY SEWER LINES IS 2.0 FPS.
 6. THE MINIMUM GRADES FOR PUBLIC SANITARY SEWER SHALL BE AS FOLLOWS:
- | MAIN SIZE (IN) | MINIMUM SLOPE (%) |
|----------------|-------------------|
| 8 | 0.50 |
| 10 | 0.40 |
| 12 | 0.30 |
| 15 | 0.15 |
| 18 | 0.12 |
| 21 | 0.10 |
| 24 | 0.08 |
| 30 | 0.06 |
- THE MINIMUM SLOPE FOR THE UPSTREAM REACH OF A SANITARY SEWER LINE SHALL BE 1/8%, IRRESPECTIVE OF LINE SIZE.

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DATE: 04/02/2018



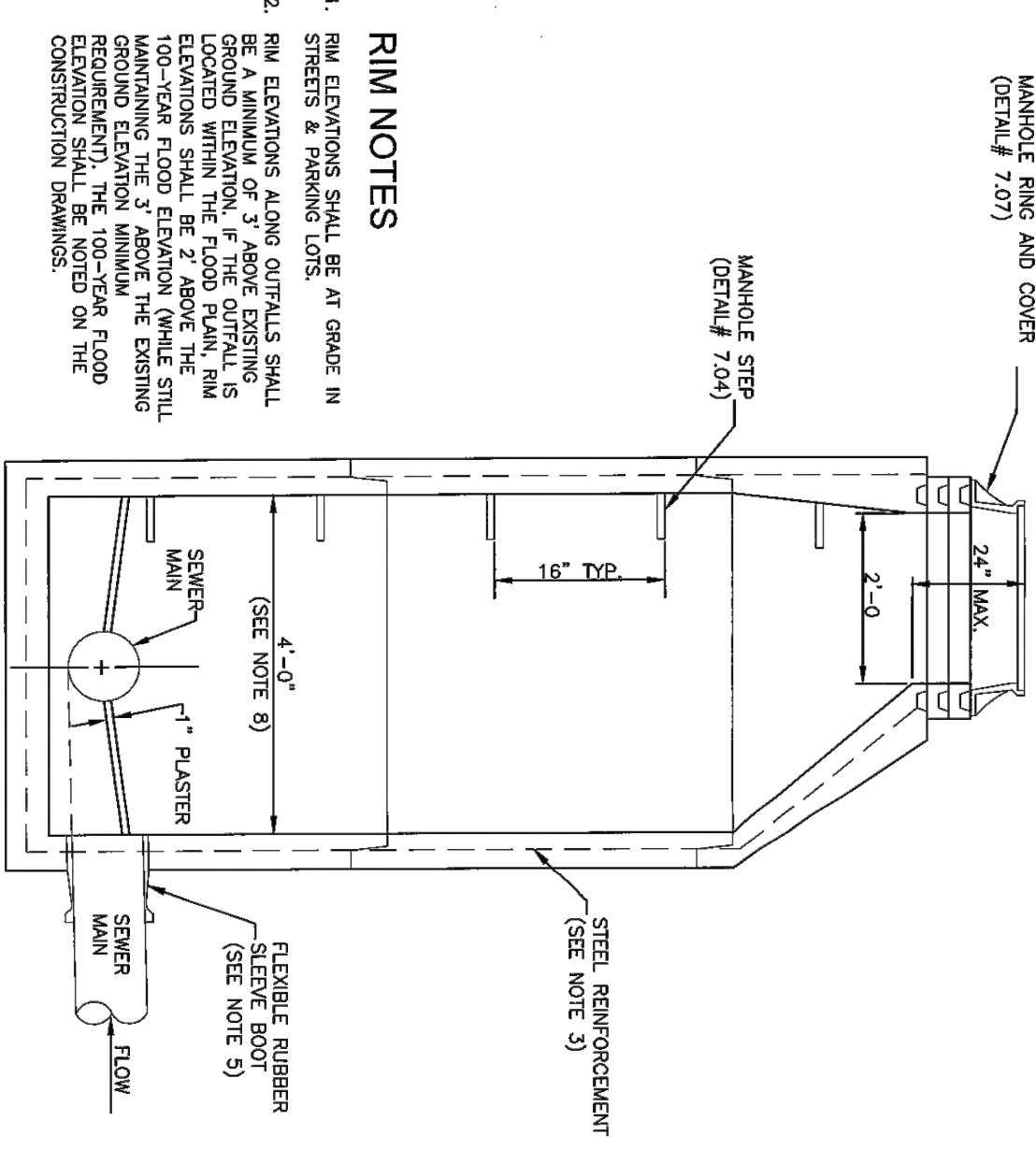
- NOTES:
1. MANHOLE TO BE SET ON CONCRETE BASE AND BASE TO BE ONE FOOT.
 2. FOR WETTER CLAY PIPE, CONCRETE SHALL BE FLOURED TO NEXT EXISTING.
 3. FINE GRADING SHALL BE PROVIDED BY MANUFACTURER.
 4. FLOW SHALL BE MAINTAINED DURING CONSTRUCTION.
 5. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF CONCRETE #57 STONE BASE, 6\"/>

SMITHFIELD
NORTH CAROLINA

DOGHOUSE MANHOLE INSTALLED OVER EXISTING SEWER MAIN
SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
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DATE: 04/02/2018

- GENERAL NOTES
1. ALL PRE CAST CONCRETE MANHOLES SHALL CONFORM TO THE LATEST REVISION OF ASTM C478.
 2. CONCRETE SHALL BE 4000 PSI AT 28 DAYS MINIMUM.
 3. STEEL REINFORCEMENT SHALL BE GRADE 40 BILLET STEEL, CONFORMING TO THE LATEST REVISION OF ASTM-A-185.
 4. STAIRWAYS SHALL BE SEALED WITH RAINY TYPE PLASTIC GROUT PER TEST SPEC. SS-C-153 OR AN O-RING TYPE JOINT CORRESPONDING TO THE LATEST REVISION OF ASTM-C-843.
 5. MANHOLE INLETS AND OUTLETS SHALL BE CAST IN PLACE FLEXIBLE RUBBER STEELERS BOOTS PER THE LATEST REVISION OF ASTM-C-843.
 6. INLETS TO BE CONSTRUCTED OF BRICK WITH A CONCRETE BECH (DETAIL 07.04).
 7. THE MAXIMUM SEPARATION OR INLET IN TO INVERT OUT WITHIN A MANHOLE IS 0.50 FEET.
 8. MANHOLES GREATER THAN 18 FEET IN DEPTH SHALL HAVE AN INSET DIAMETER OF 5'-0\"/>



- RIM NOTES
1. RIM ELEVATIONS SHALL BE AT GRADE IN STREETS & PARKING LOTS.
 2. RIM ELEVATIONS ALONG DRIVEWAYS SHALL BE AT GRADE MINUS 1\"/>

SMITHFIELD
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STANDARD SANITARY SEWER MANHOLE
SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

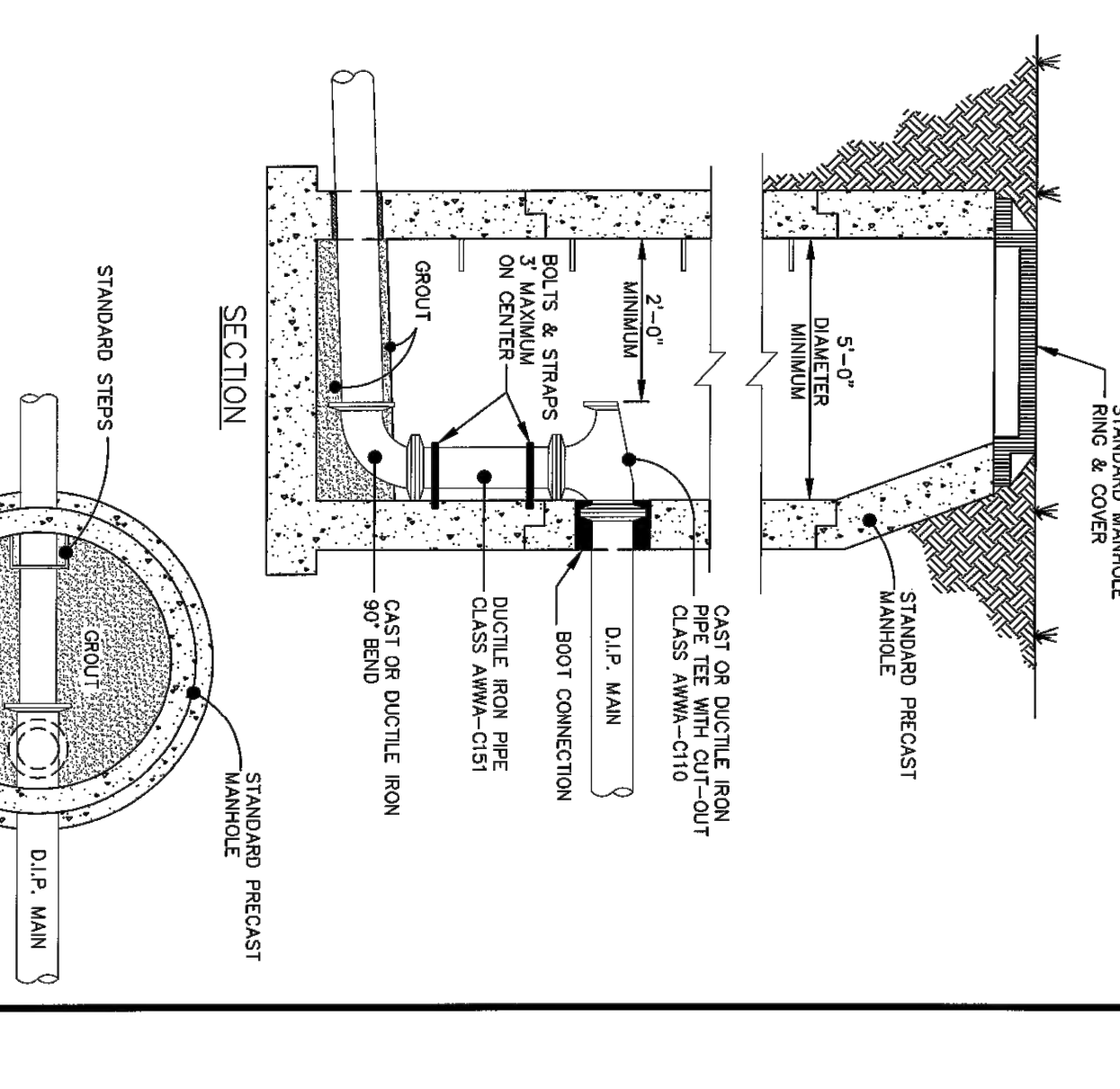
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DETAIL NO: 07.0B
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7. THE MAXIMUM GRADE FOR SANITARY SEWER SHALL BE 1/8%. THE MAXIMUM VELOCITY IN SANITARY SEWERS IS 15 FT/SEC. THESE LIMITS MAY BE EXCEEDED WITH THE APPROVAL OF THE TOWN ENGINEER AND THE INCORPORATION OF THE FOLLOWING PROVISIONS:
 - a. ALL SEWERS OF GREATER THAN 10% SLOPE SHALL BE DUCTILE IRON PIPE.
 - b. CONCRETE ANCHORS SHALL BE INSTALLED ON ALL SEWERS OF GREATER THAN 10% SLOPE AT THE FOLLOWING SPACINGS:
 1. NOT OVER 36" CENTER TO CENTER ON GRADES FROM 10% TO 25%
 2. NOT OVER 24" CENTER TO CENTER ON GRADES FROM 25% TO 40%
 3. NOT OVER 18" CENTER TO CENTER ON GRADES OVER 40%
 8. SEWER EXTENSIONS SHOULD BE DESIGNED FOR PROTECTED FLOWS.
 9. PIPE DIAMETER CHANGES SHALL OCCUR IN A MANHOLE WITH AN INVERT OF THE LARGER PIPE TAPERED SUFFICIENTLY TO MAINTAIN THE SAME ENERGY GRADELINE.
 10. ALL RESIDENTIAL SUBDIVISION LOTS SHALL BE SERVED BY GRANULAR SEWER UNLESS OTHERWISE APPROVED BY THE TOWN ENGINEER. IF A PIPE IS APPROVED, IT SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 7.01. INDICATING A PRIVATE PUMP MAY BE REQUIRED TO SERVE THAT LOT WITH SANITARY SEWER SERVICE. INSTALLATION
1. SANITARY SEWER MAINS SHALL BE DEEP ENOUGH TO SERVE THE ADJOINING PROPERTY SHALL HAVE THE FOLLOWING MINIMUM COVERS:
 - a. FOUR (4) FEET FROM THE TOP OF THE PIPE TO THE FINISHED SUBGRADE WHEN THE ABOVE REQUIREMENTS MAY BE WAIVED AT THE DIRECTION OF THE TOWN ENGINEER, IN WHICH CASE DUCTILE IRON PIPE SHALL BE INSTALLED IN A ROADWAY
 - b. THREE (3) FEET FROM THE TOP OF PIPE TO THE FINISHED GRADE WHEN OUTSIDE A ROADWAY
2. ALL CONSTRUCTION RELATING TO THE UTILITY IMPROVEMENTS WHICH WILL MAINTAINED SHALL BE APPROVED BY A CONTRACTOR LICENSED FOR UTILITIES IN THE STATE OF NORTH CAROLINA.
3. SEWER MAINS FROM 14 TO 30 FEET DEEP SHALL REQUIRE SPECIAL BEDDING IN ACCORDANCE WITH STANDARD DETAILS.

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NORTH CAROLINA

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SMITHFIELD, NORTH CAROLINA
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SCALE: NTS
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DATE: 04/02/2018

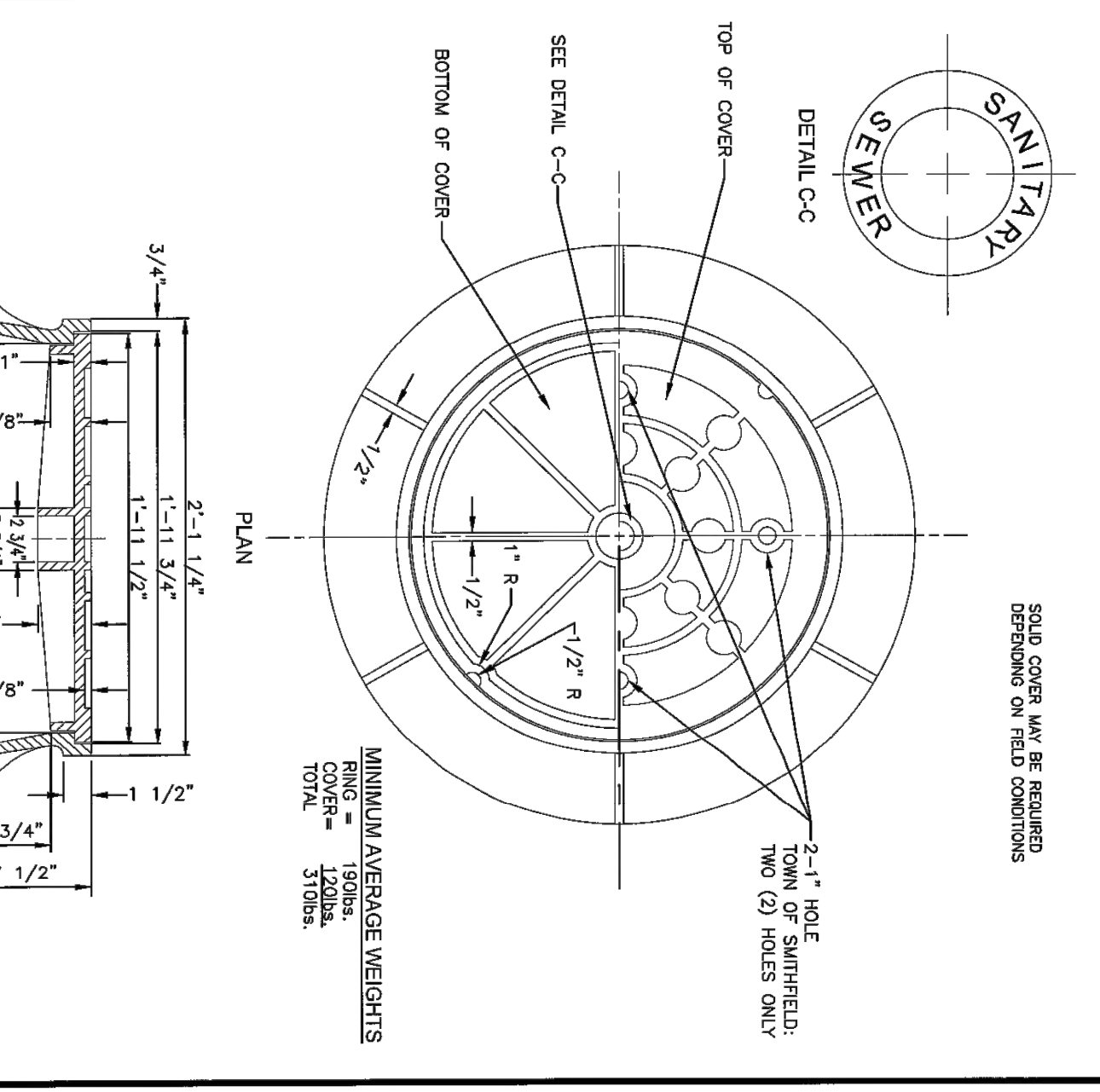


- NOTES:
1. ONE INCH ABOVE ALL OTHERS FOR MANHOLE. A LARGER MANHOLE WILL BE REQUIRED FOR MORE.
 2. PIPE SIZE FOR DROP TO EQUAL INCH SEWER PIPE SIZE.
 3. ALL SEWER MAINS SHALL BE 1/8% SLOPE.
 4. SEWER MAINS SHALL BE 1/8% SLOPE.
 5. SEWER MAINS SHALL BE 1/8% SLOPE.
 6. BETWEEN WELLS IS GREATER THAN 20 INCHES.
 7. SEWER MAINS SHALL BE 1/8% SLOPE.
 8. GREATER THAN 18 FEET IN DEPTH SHALL HAVE AN INSET DIAMETER OF 5'-0\"/>

SMITHFIELD
NORTH CAROLINA

INSIDE DROP MANHOLE
SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO: 07.0B
DATE: 04/02/2018

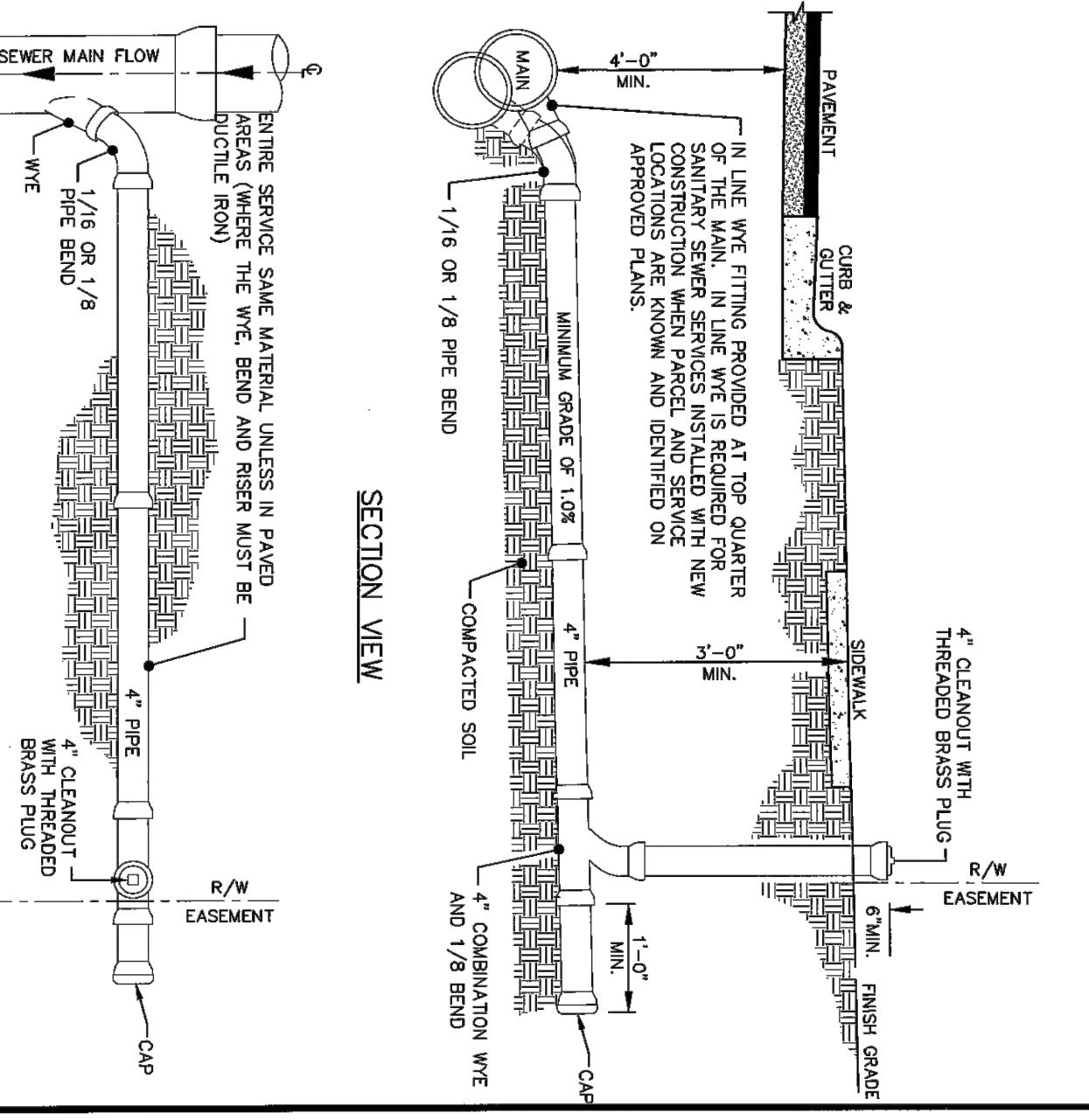


- PROVIDE MANHOLE INSETS MANUFACTURED FROM HIGH DENSITY POLYETHYLENE, MEETING THE REQUIREMENTS OF ASTM D-1555. CLASS A, CONFORMING TO PROTECTIVE COVER AND ONE (1) INCH FROM THE OUTSIDE LIFTING STRAP.
- MINIMUM AVERAGE WEIGHTS
- | COVER | COVERS | TOTAL |
|-------|--------|-------|
| 1000# | 1000# | 3700# |

SMITHFIELD
NORTH CAROLINA

STANDARD MANHOLE RING & COVER
SMITHFIELD, NORTH CAROLINA
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- NOTES:
1. CLEANOUT SHALL BE GRADED AT R/W GRADE OR EDGE OF EASEMENT.
 2. CLEANOUT SHALL BE 18 INCH TOTAL AND DEPTH TO THE CENTER OF THE CLEANOUT.
 3. CLEANOUT SHALL BE 18 INCH TOTAL AND DEPTH TO THE CENTER OF THE CLEANOUT.
 4. CLEANOUT SHALL BE 18 INCH TOTAL AND DEPTH TO THE CENTER OF THE CLEANOUT.
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SMITHFIELD
NORTH CAROLINA

STANDARD SANITARY SEWER TAP AND SERVICE
SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

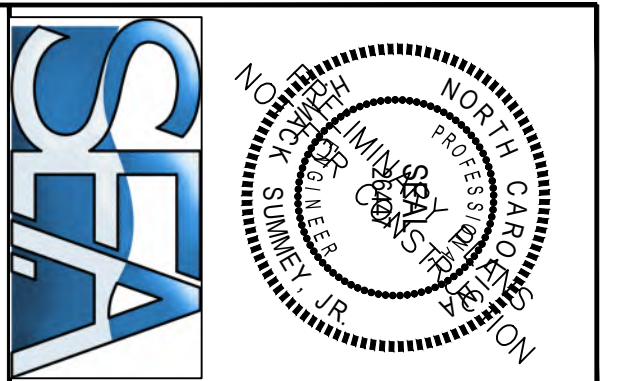
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DATE: 04/02/2018

PRELIMINARY PLANS NOT FOR REVIEW

SANITARY SEWER DETAILS I
LOCAL 70 RESIDENTIAL DEVELOPMENT
HWY 70
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.	Date:	Description:	By:

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NC Professional Engineering Firm License No. P-03356



Scale: AS NOTED
Date: MONTH YEAR
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Job No: E-9516

B. INSTALLATION

INDIVIDUALLY OWNED STRUCTURES SHALL REQUIRE INDIVIDUAL SEWER TAPS TO PUBLIC MAINS. THE TAP SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY OR UNDER THE SUPERVISION OF THE TOWN OF SMITHFIELD PUBLIC UTILITIES DEPARTMENT. SERVICE CONNECTIONS TO NEW LINES ARE THE RESPONSIBILITY OF THE DEVELOPER/OWNER AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE TAP SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE TAP SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE TAP SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE TAP SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.

THE MAIN WITH THE WYE SADDLE ANGLED WITH THE DIRECTION OF FLOW IN THE MAIN SERVICE LINES BETWEEN THREE (3) AND TWELVE (12) FEET IN DEPTH DO NOT REQUIRE A WYE SADDLE. SERVICE LINES SHALL BE PERPENDICULAR TO THE MAIN LINE TO THE EDGE OF THE RIGHT-OF-WAY OR EASEMENT LINE. FOUR (4) INCH LINES SHALL HAVE A MINIMUM SLOPE OF 1.0 FT./100 FT. AND SIX (6) INCH LINES SHALL HAVE A MINIMUM SLOPE OF 0.60 FT./100 FT. CLEANOUTS SHALL BE REQUIRED ON ALL SERVICE LINES AND SHALL BE INSTALLED AT THE PROPERTY LINE. CLEANOUTS SHALL BE PLACED ON ALL SERVICE LINES AT THE RIGHT-OF-WAY OR AT THE EDGE OF THE EASEMENT. ALL CLEANOUTS SHALL EXTEND A MINIMUM OF SIX (6) INCHES ABOVE FINISHED GRADE. THE CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR. THE CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE AND SHALL BE MADE BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.

STANDARD DETAIL SEWER CLEANOUTS LOCATED IN PAVED AREAS MUST HAVE CAST IRON RISERS, CAST IRON FITTINGS AND BRASS CAPS.

ALL SIX (6) INCH OR GREATER SEWER CONNECTIONS SHALL BE INTO A MANHOLE UNLESS OTHERWISE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.

ALL SERVICE LINES WHICH ARE CONNECTED INTO MANHOLES SHALL BE INSTALLED ON THE MANHOLE WITH THE CLEANOUT FROM THE MANHOLE TO THE PROPERTY LINE. THE MARKING OF THE FLOW SERVICE LINE SHALL BE INSTALLED THROUGH MANHOLE CONE SECTIONS OR AT MANHOLE JOINTS. THE USE OF WYES IN THE LINE IS PREFERRED OVER THE USE OF SERVICE SADDLES.

7.05 TESTING AND INSPECTION

ALL MATERIALS USED MUST HAVE PRELIMINARY INSPECTION BY THE CONSTRUCTION INSPECTOR BEFORE MATERIALS ARE USED FOR THE CONSTRUCTION PURPOSES. REFLECTION OF MATERIAL NOT MEETING THESE SPECIFICATIONS WILL BE ORDERED AND SUCH MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE JOB.

SANITARY SEWER LINES SHALL BE FREE AND CLEAN FROM OBSTRUCTIONS AND SHALL BE VISUALLY INSPECTED FROM EVERY MANHOLE TO ENSURE ALL LINES EXHIBIT A FULLY CIRCULAR PATTERN. LINES WHICH DO NOT EXHIBIT A FULLY CIRCULAR PATTERN SHALL BE REPAIRED OR REPLACED. ALL SERVICE LINES SHALL BE VISUALLY INSPECTED PRIOR TO BACK FILLING. CONNECTIONS SHALL BE VISUALLY INSPECTED PRIOR TO BACK FILLING.

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NORTH CAROLINA

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THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND WATER FOR TESTING WILL BE PROVIDED BY THE TOWN OF SMITHFIELD.

SEE SECTION 7.01C FOR ADDITIONAL TESTING REQUIREMENTS FOR SEMI-RIGID PIPE.

THE LOW-PRESSURE AIR TESTING SHALL BE PERFORMED BEFORE ALL LATERALS OR STUBS ARE INSTALLED ON THE LINE AND AFTER THE MAIN HAS BEEN BACKFILLED TO FINISHED GRADE. THE TEST SHALL BE INSTALLED AT EACH MANHOLE AND MONITORED BY A SEPARATE HOSE CONNECTION FROM THE PLUG. AIR THEN SHALL BE SLOWLY INTRODUCED INTO THE SEALED LINE UNTIL THE INTERNAL AIR PRESSURE REACHES 4.0 PSIG. THE PRESSURE SHALL BE MAINTAINED FOR A PERIOD OF 15 MINUTES. THE TIME REQUIRED FOR THE PRESSURE TO DROP 1.0 PSI WILL BE OBSERVED AND RECORDED. THE LINE SHALL BE TERMED "ACCEPTABLE" IF THE PRESSURE DOES NOT DROP 1.0 PSI FOR THE TEST IN THE TOWN OF SMITHFIELD STANDARD DETAILS FOR AIR TEST TABLE.

IF THE SECTION FAILS TO MEET THESE REQUIREMENTS, THE SOURCE OF LEAKAGE SHALL BE IDENTIFIED AND REPAIRED. THE PIPE SECTION SHALL BE RETESTED AND MEET THE SPECIFIED REQUIREMENTS.

7.06 REPAIR OF SANITARY SEWER LINES

THE REPAIR OF DAMAGED SANITARY SEWER LINES SHALL BE AS FOLLOWS:

VC PIPE - REPLACE DAMAGED SECTION WITH PVC PIPE AND INSTALL A FERROU COUPLING AT EACH END.

PVC PIPE - REPLACE DAMAGED SECTION WITH PVC PIPE AND INSTALL A FERROU COUPLING AT EACH END.

DIP PIPE - REPLACE DAMAGED SECTION WITH DIP PIPE AND INSTALL A FERROU COUPLING AT EACH END.

ALL OTHER TYPES OF PIPE SHALL BE REPLACED FROM MANHOLE TO MANHOLE (ENTIRE RUN) WHEN DAMAGE OCCURS. THE REPLACEMENT PIPE SHALL BE EITHER DIP OR PVC, AS CONDITIONS WARRANT.

ALL REPAIRS TO ABANDONED SANITARY SEWER LINES SHALL BE BACKFILLED WITH ABC STONE (CRUSHER RUN) TO A DENSITY OF 95 PERCENT STANDARD PROCTOR.

7.07 WASTEWATER PUMP STATIONS

SIZING, DESIGN, AND APPROVED MANUFACTURERS OF WASTEWATER PUMP STATIONS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE PUMP STATION SHALL BE INSTALLED AND MAINTAINED TO MEET THE NORTH CAROLINA BUILDING CODE IN ADDITION TO ANY OTHER SPECIFICATIONS REQUIRED BY THE TOWN.

7.08 STEP SYSTEM

SEPTIC TANK EFFLUENT PUMP SYSTEMS SHALL BE APPROVED ON A CASE BY CASE BASIS BY THE PUBLIC UTILITIES DIRECTOR.

SMITHFIELD
NORTH CAROLINA

STANDARD DETAIL AND SPECIFICATIONS MANUAL
SMITHFIELD, NORTH CAROLINA
PUBLIC UTILITIES

SCALE: NTS
DETAIL NO. 0702JFH
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PRELIMINARY PLANS NOT FOR REVIEW

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Date:	MONTH YEAR
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Job No.:	E-9516

SANITARY SEWER DETAILS 3

LOCAL 70 RESIDENTIAL DEVELOPMENT

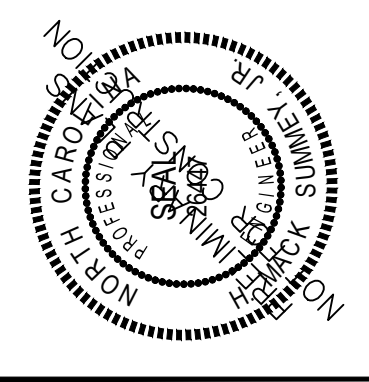
HWY 70
SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Sheet No. **8-9-C**



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No.	Date:
Description:	By:


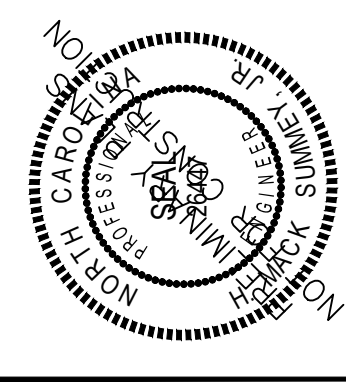
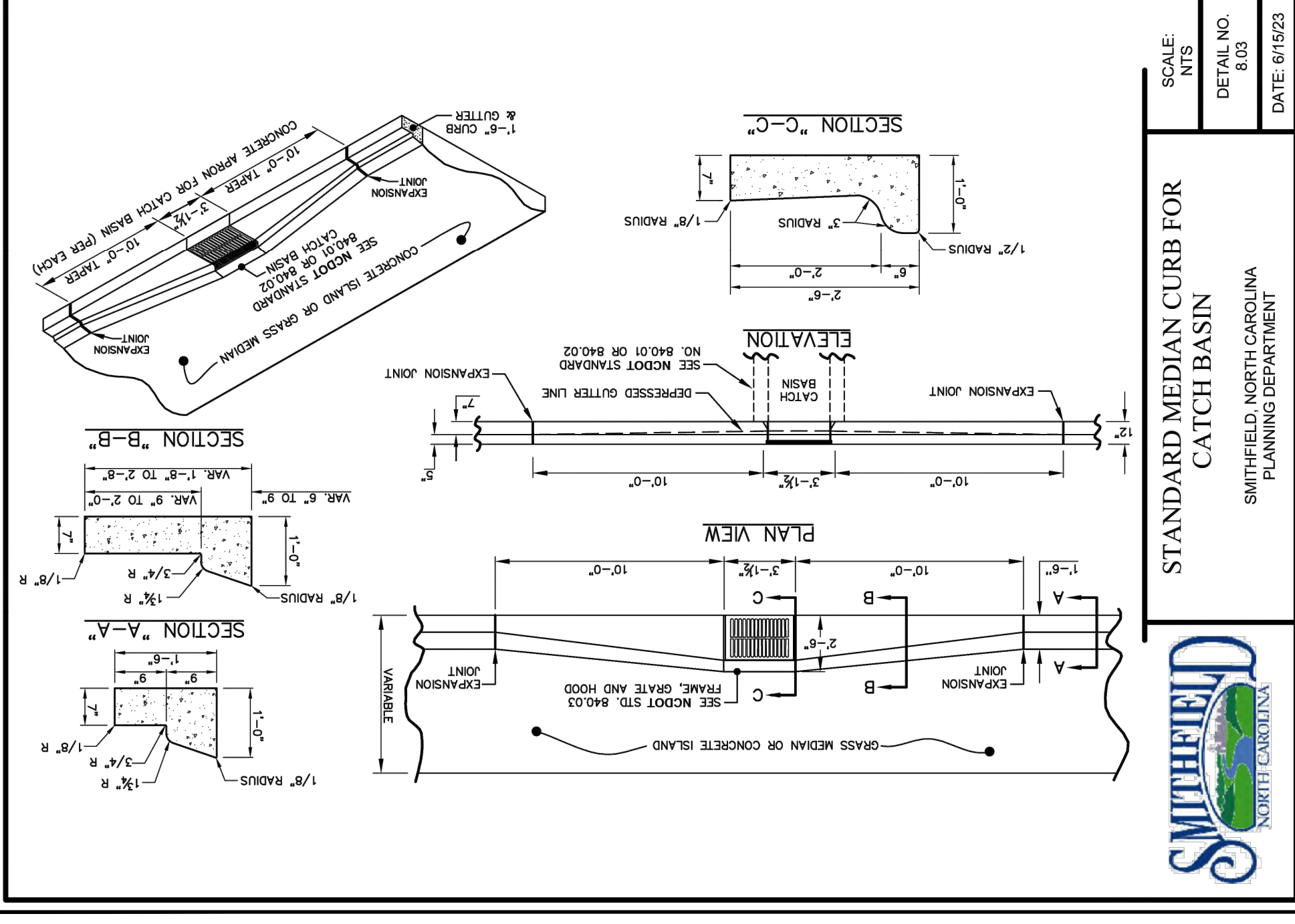
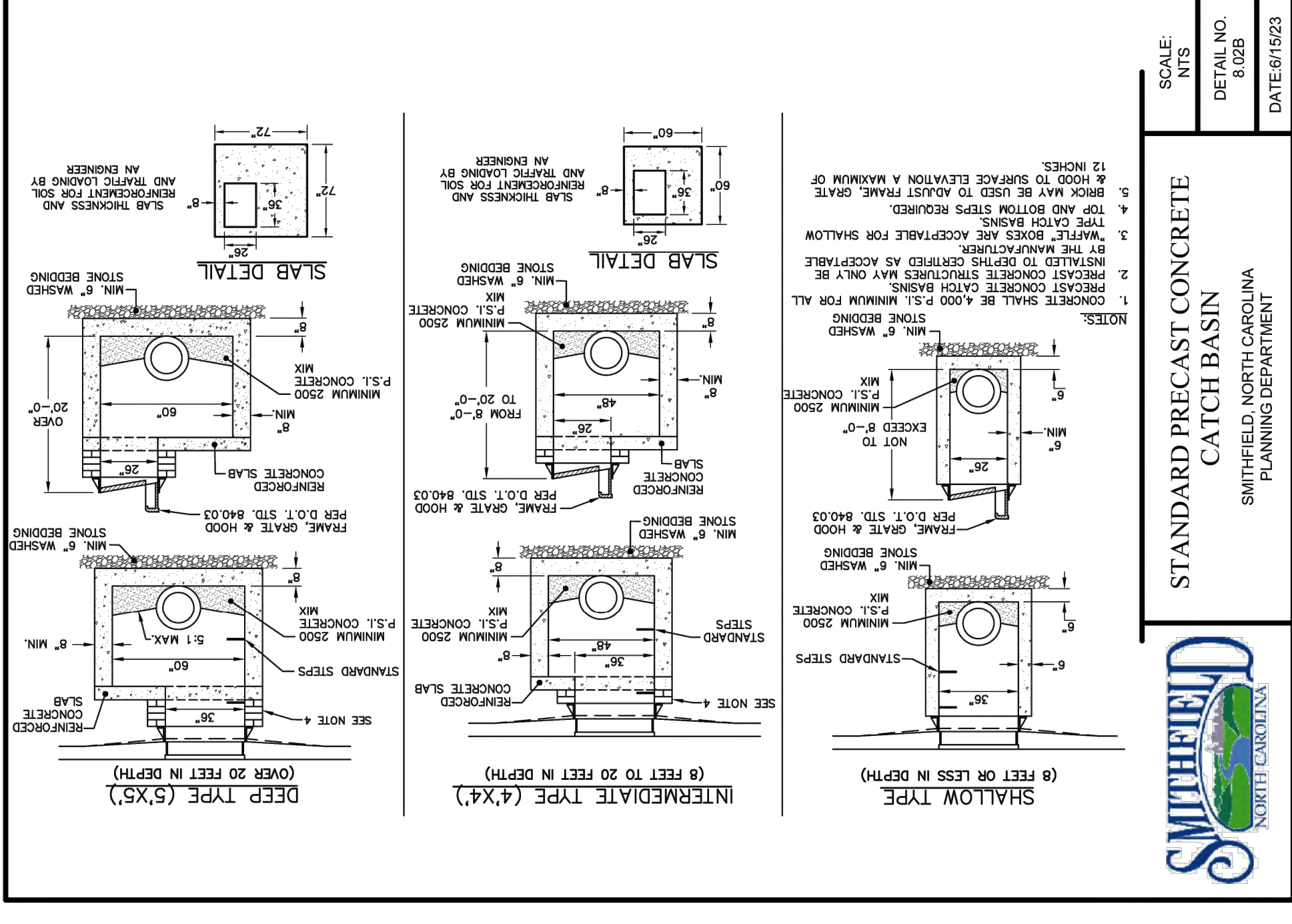
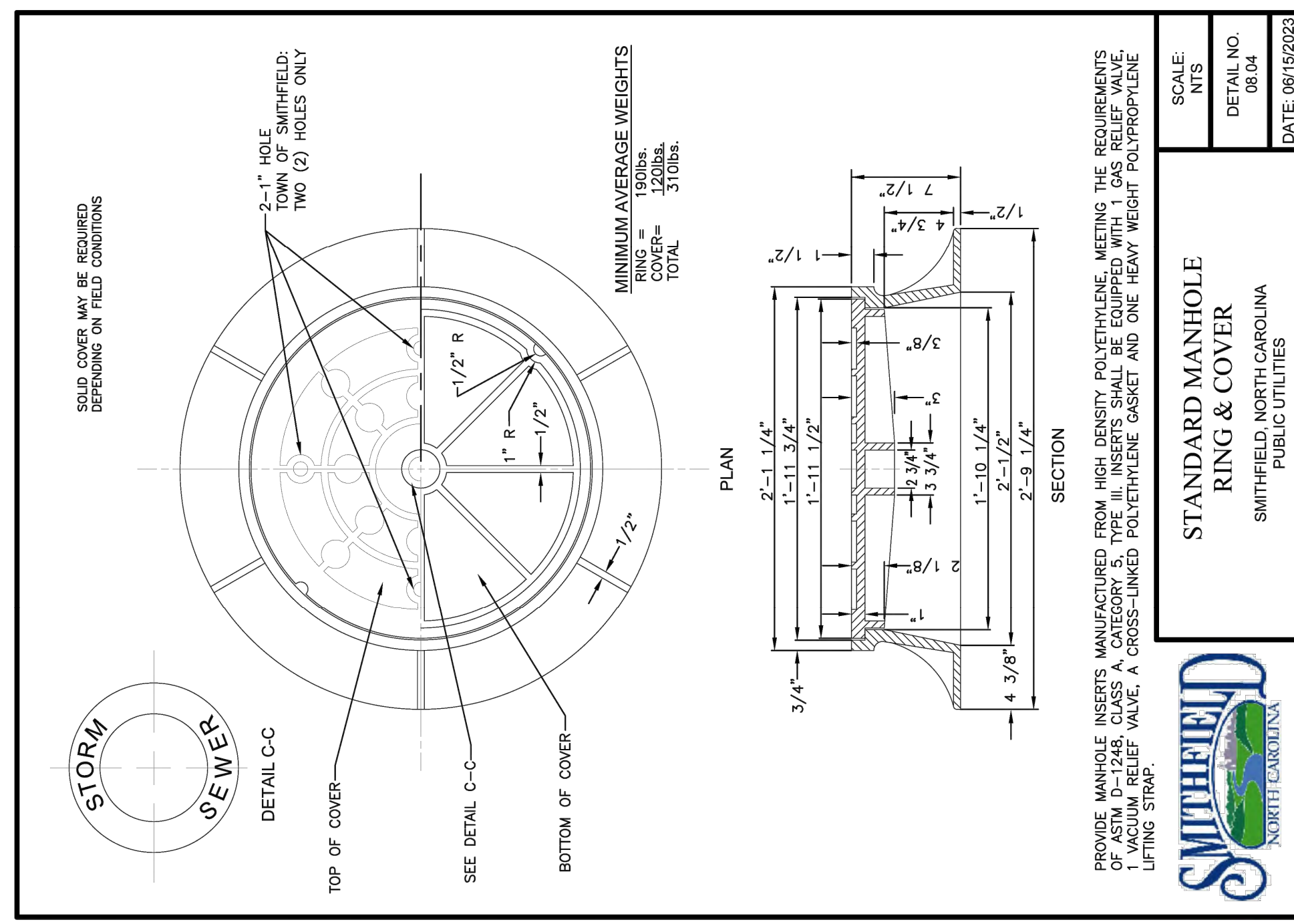
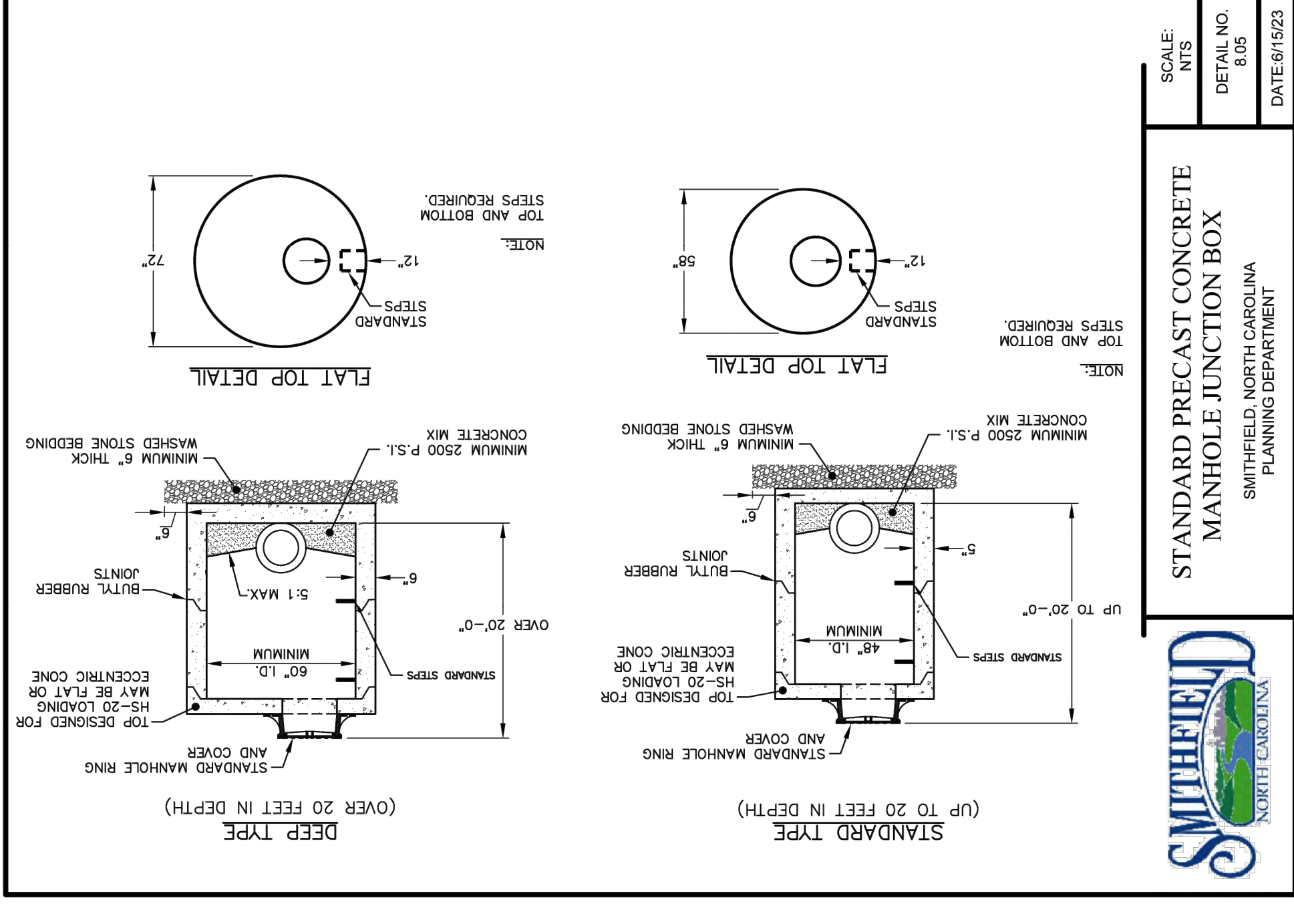
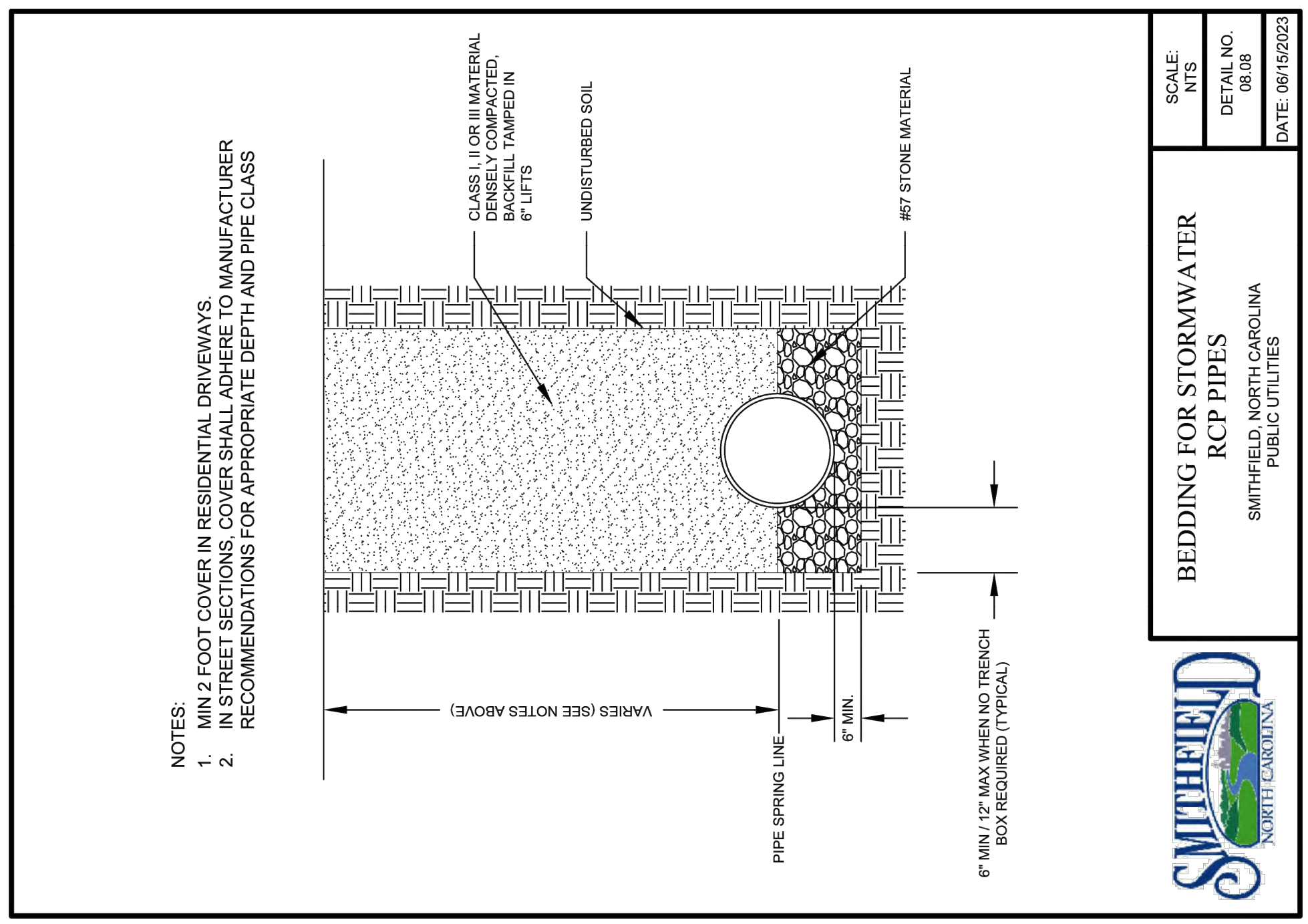
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 Job No.: E-9516

SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
 HWY 70
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 STORM SEWER DETAILS

No.	Date:	Description:

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No.	Date	Description

EROSION CONTROL DETAILS I
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Scale:	AS NOTED
Date:	MONTH YEAR
Drawn By:	CM/JM
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Job No.:	E-9516

Sheet No. **C-910**

PERMANENT SEEDING

DEFINITION:
 Seeding disturbed areas with perennial grasses and (or) legumes to provide a permanent vegetative cover to lessen runoff and soil erosion.

PURPOSE:
 To lessen soil erosion and permanently stabilize disturbed areas created by grading of construction sites.

CONDITIONS WHERE PRACTICE APPLIES:
 All bare soil areas on construction sites which are not covered by structures or other erosion control devices.

PREPARATION:
 Prepare seedbed by ripping, chiseling, harrowing or plowing to depth of six inches so as to produce a loose, friable surface. Remove all stones, boulders, stumps or debris from the surface which would prohibit germination or plant growth. Spread topsoil in a layer 3" - 6" depth.

Incorporate into the soil 800 to 1,000 pounds of 10-10-10 fertilizer plus 500 pounds of twenty percent (20%) superphosphate per acre and two tons of dolomitic lime per acre unless soil tests indicate that a lower rate of lime can be used.

PLANTS & MIXTURE	PLANTING RATE/ACRE	PLANTING DATES
Tall Fescue (Low Maintenance)	100-150 lbs.	Aug. 15 - Oct. 15 Feb. 15 - May 1
Tall fescue Waterways and Lawns (High Maint.)	200-250 lbs.	Aug. 15 - Oct. 15 Feb. 15 - May 1
Blend of two turf-type tall fescues (90%) and two or more improved Kentucky bluegrass varieties (10%) (high maintenance)	200-250 lbs.	Aug. 15 - Oct. 15 Feb. 15 - May 1
Tall Fescue and Kobe or Korean Lespedeza	100 lbs. and 20-25 lbs.	Feb. 15 - May 1 Aug. 15 - Oct. 15
Tall Fescue and German Millet or Sudangrass 2	50 lbs./acre 60 lbs. and 30 lbs.	Nov. 1 - Feb. 1 (Unscarified) July and August
Tall Fescue and Ryegrain 2	70 lbs. and 25 lbs.	Nov. 1 - Jan. 30
Common Bermudagrass	8 lbs. (hulled) 15-20 lbs. (unhulled)	April 15 - June 30 Feb. 1 - March 30

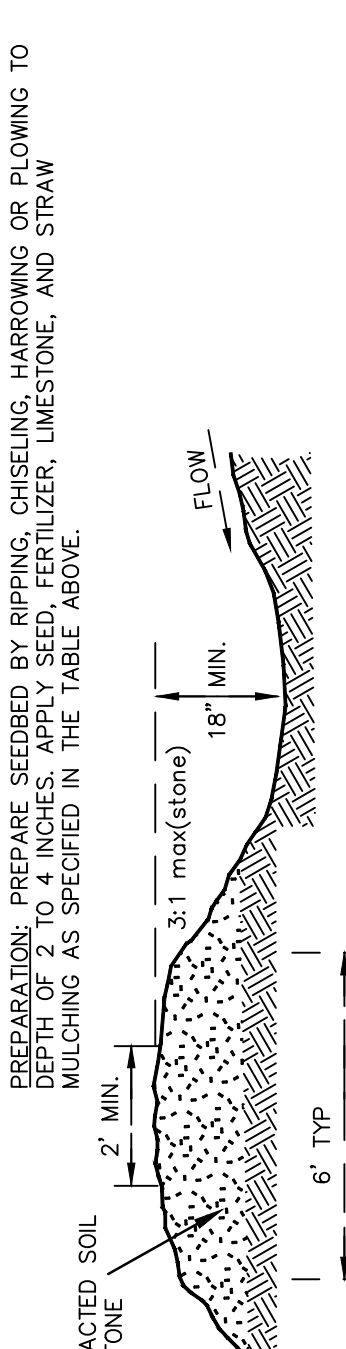
1 For spring seedings, use Scarified Lespedeza seed. For late fall and winter seedings, use unscarified seed.

2 Annuals such as Millet, Sudangrass and Ryegrain must be kept at 10-12" maximum height.

PERMANENT GROUND COVER
 Permanent groundcover is to be provided for all disturbed areas within 15 working days or 90 calendar days (whichever is shorter) following completion of construction or development.

**TEMPORARY SEEDING SPECIFICATIONS
 COASTAL PLAIN REGION**

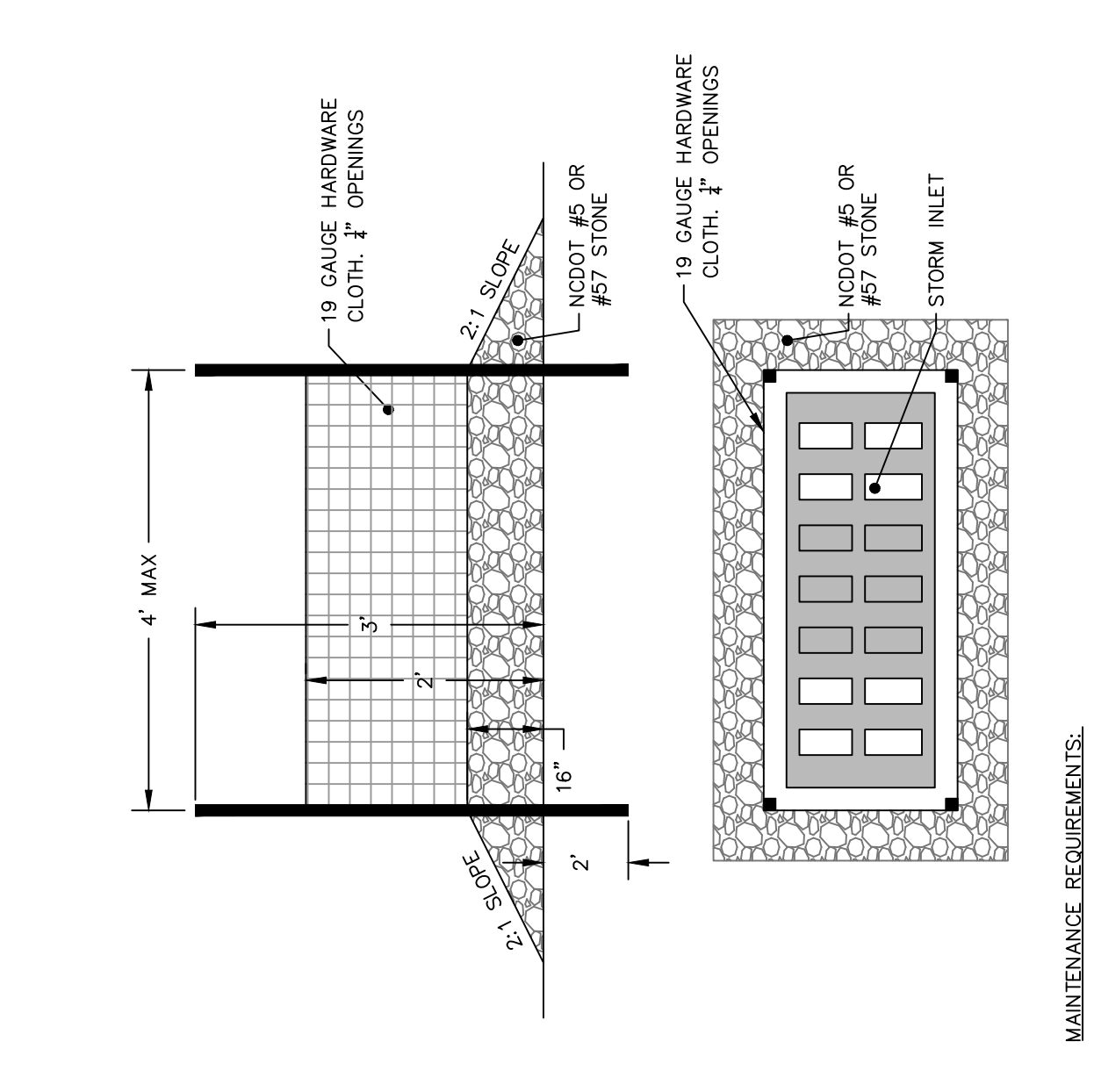
Recommended Seeding Dates	Species	Application Rates (lb/acre)	
		Seed	Straw
Dec. 1 - May 1	Winter Wheat Annual Lespedeza (Kobe)	120 50	4,000
April 15 - Aug 15	German Millet	40	4,000
Aug 15 - Dec 30	Ryegrain	120	2,000



CONSTRUCTION SPECIFICATIONS
 ALL DISPOSAL OF ALL TREES, BRUSH, STUMPS, AND OTHER OBSTRUCTIONAL MATERIAL.
 ENSURE THAT THE MINIMUM CONSTRUCTED CROSS SECTION MEETS ALL DESIGN REQUIREMENTS.
 THE TOP OF THE DIKE IS NOT LOWER AT ANY POINT THAN THE DESIGN ELEVATION PLUS THE SPECIFIED SETTLEMENT.
 PROVIDE SUFFICIENT ROOM AROUND DIVERSIONS TO PERMIT MACHINE OPERATING AND CLEANUP IMMEDIATELY AFTER CONSTRUCTION, UNLESS IT WILL REMAIN IN PLACE LESS THAN 30 WORKING DAYS.

MAINTENANCE
 INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. INSPECT TEMPORARY DIVERSIONS IMMEDIATELY AFTER EACH RAINFALL. INSPECT DIVERSION RIDGES CAREFULLY FOR CRACKS, GULLIES, AND MAKE REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

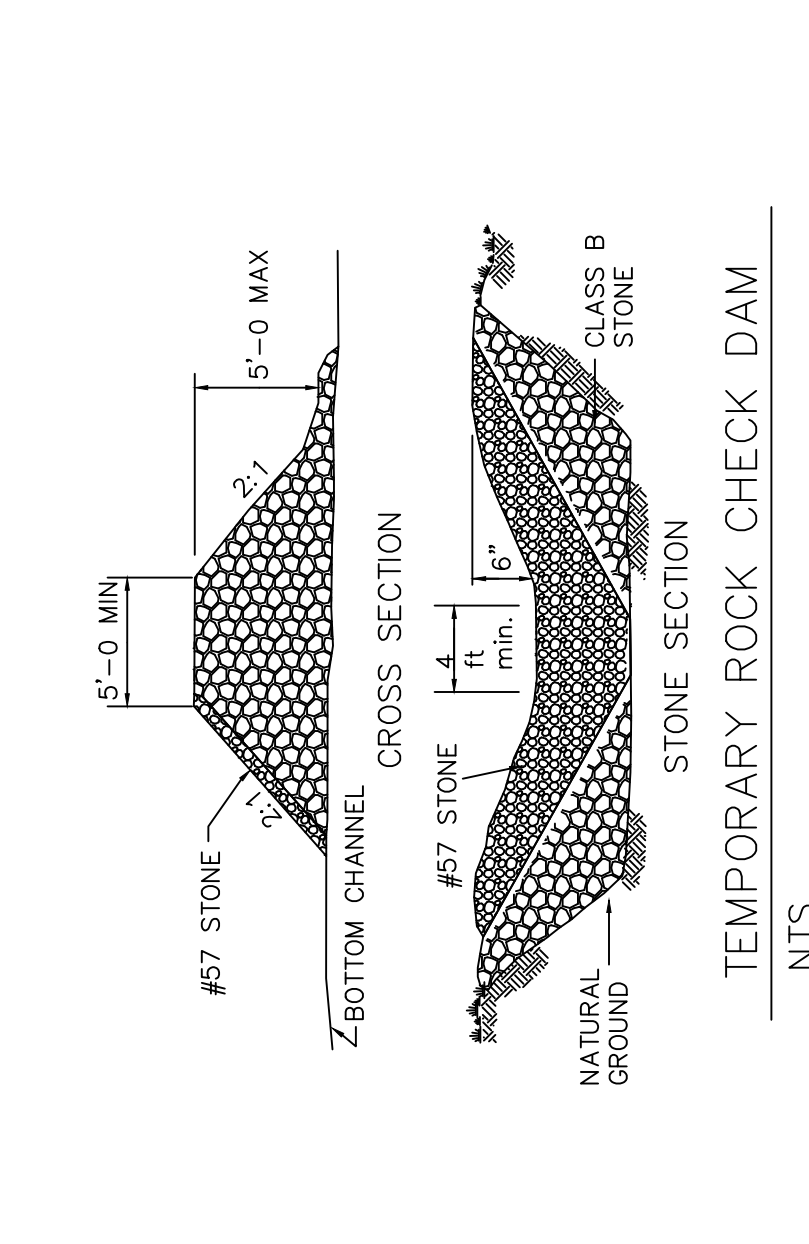
TEMPORARY SILT FENCE



MAINTENANCE REQUIREMENTS:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- REPAIRS SHOULD BE MADE PROMPTLY TO PREVENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE. REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE FENCE DURING CLEANOUT PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIAL AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TEMPORARY ROCK CHECK DAM



MAINTENANCE REQUIREMENTS:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- REPAIRS SHOULD BE MADE PROMPTLY TO PREVENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE. REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE FENCE DURING CLEANOUT PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
- REMOVE ALL FENCING MATERIAL AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

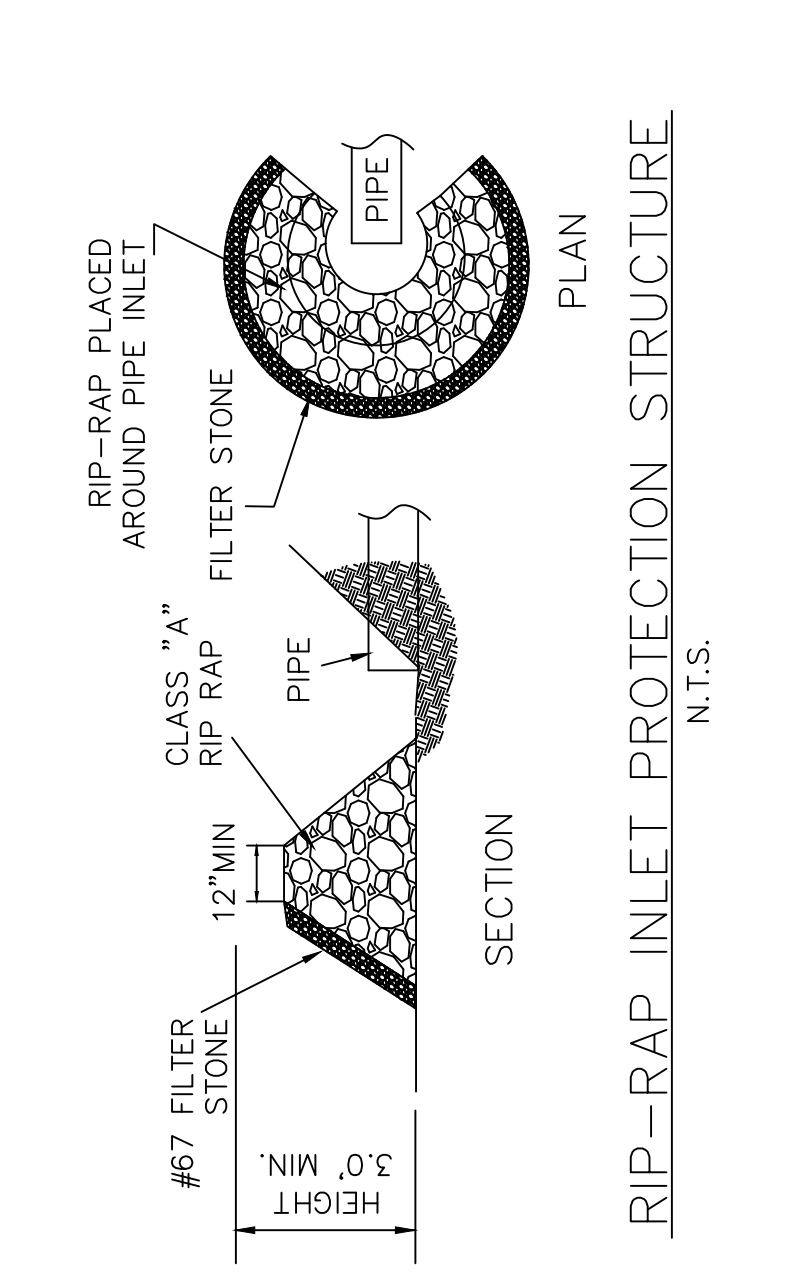
TEMPORARY CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

- STONE - USE COARSE AGGREGATE (2-3 INCH STONE) LENGTHS AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM ENTRIES AND EXITS. WASHING SHALL BE PERFORMED USING WATER DRAINS. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE. THROUGH MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE. AS CONDITIONS DEMAND SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

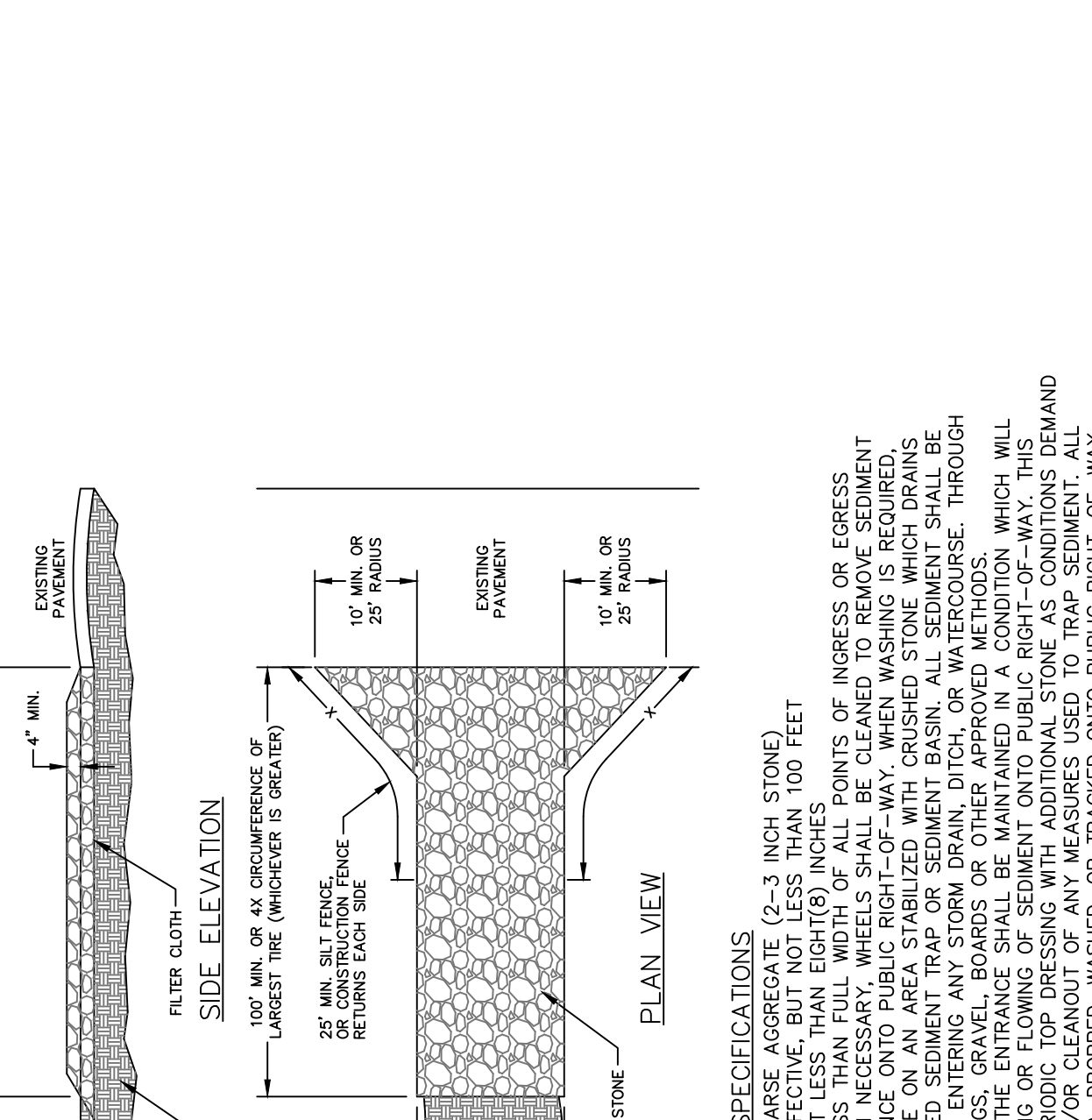
RIP-RAP INLET PROTECTION STRUCTURE



NOTES

- IS IS THE LENGTH OF RIPRAP
- STONE DIMETER BUT NOT LESS
- IN A WELL-DEFINED CHANNEL, CHANNEL BANKS TO AN MAXIMUM TOLERANCE OF 10% INCLINATION IS LESS.
- FLASHER SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.

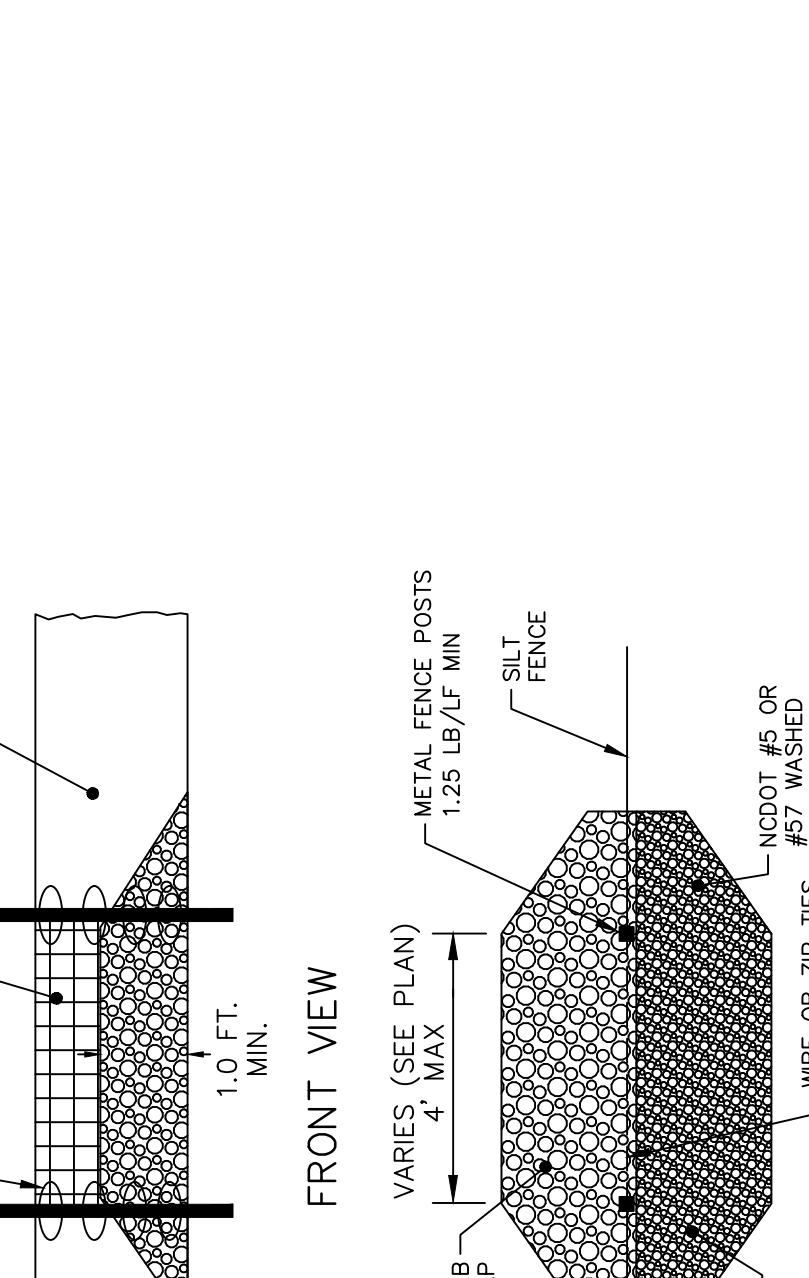
SILT FENCE STONE OUTLET



MAINTENANCE REQUIREMENTS:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- REPAIRS SHOULD BE MADE PROMPTLY TO PREVENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT PRESSURE ON THE FENCE. REMOVE ALL FENCING MATERIAL AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

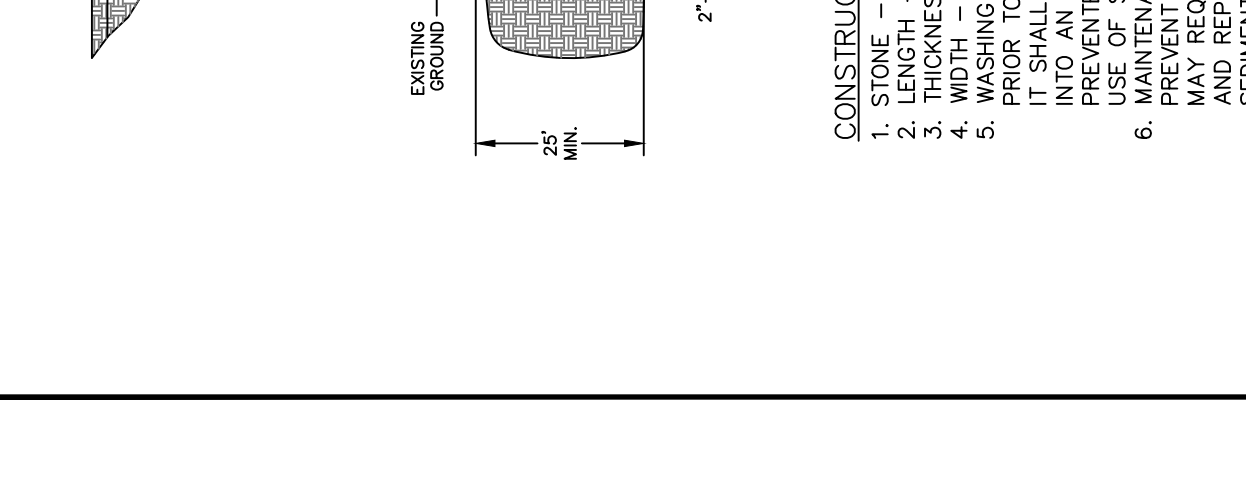
PIPE OUTLET TO FLAT, NON-DEFINED CHANNEL



NOTES

- IS IS THE LENGTH OF RIPRAP
- STONE DIMETER BUT NOT LESS
- IN A WELL-DEFINED CHANNEL, CHANNEL BANKS TO AN MAXIMUM TOLERANCE OF 10% INCLINATION IS LESS.
- FLASHER SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.

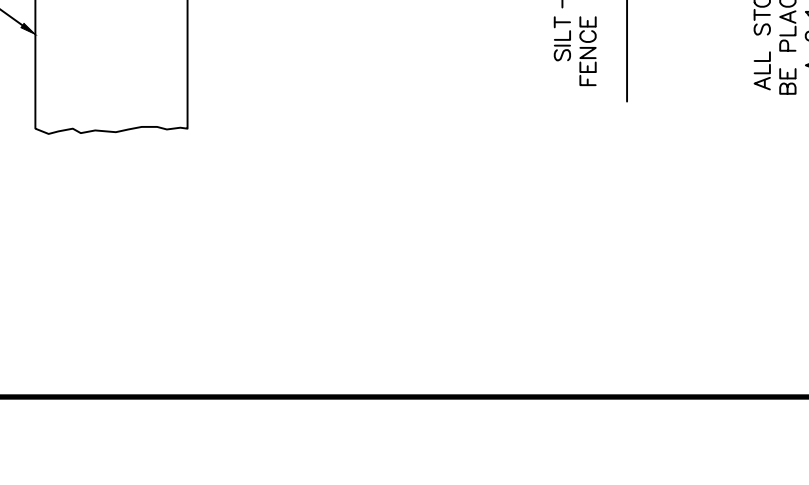
TEMPORARY CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

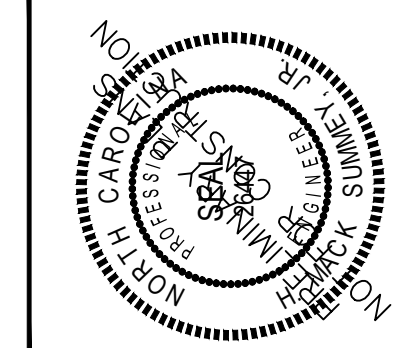
- STONE - USE COARSE AGGREGATE (2-3 INCH STONE) LENGTHS AS EFFECTIVE, BUT NOT LESS THAN 100 FEET.
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- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT FROM ENTRIES AND EXITS. WASHING SHALL BE PERFORMED USING WATER DRAINS. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE. THROUGH MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE. AS CONDITIONS DEMAND SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

RIP-RAP OUTLET PROTECTION



NOTES

- IS IS THE LENGTH OF RIPRAP
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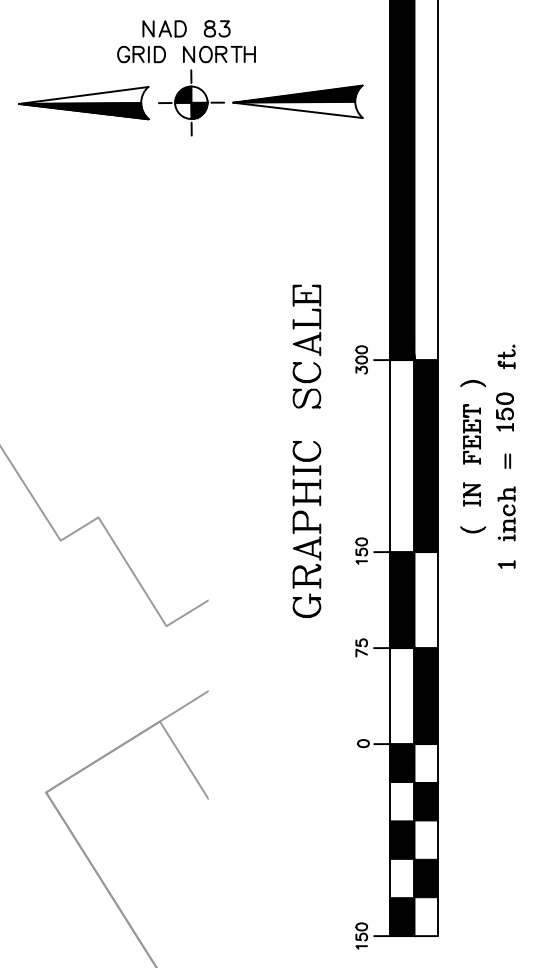
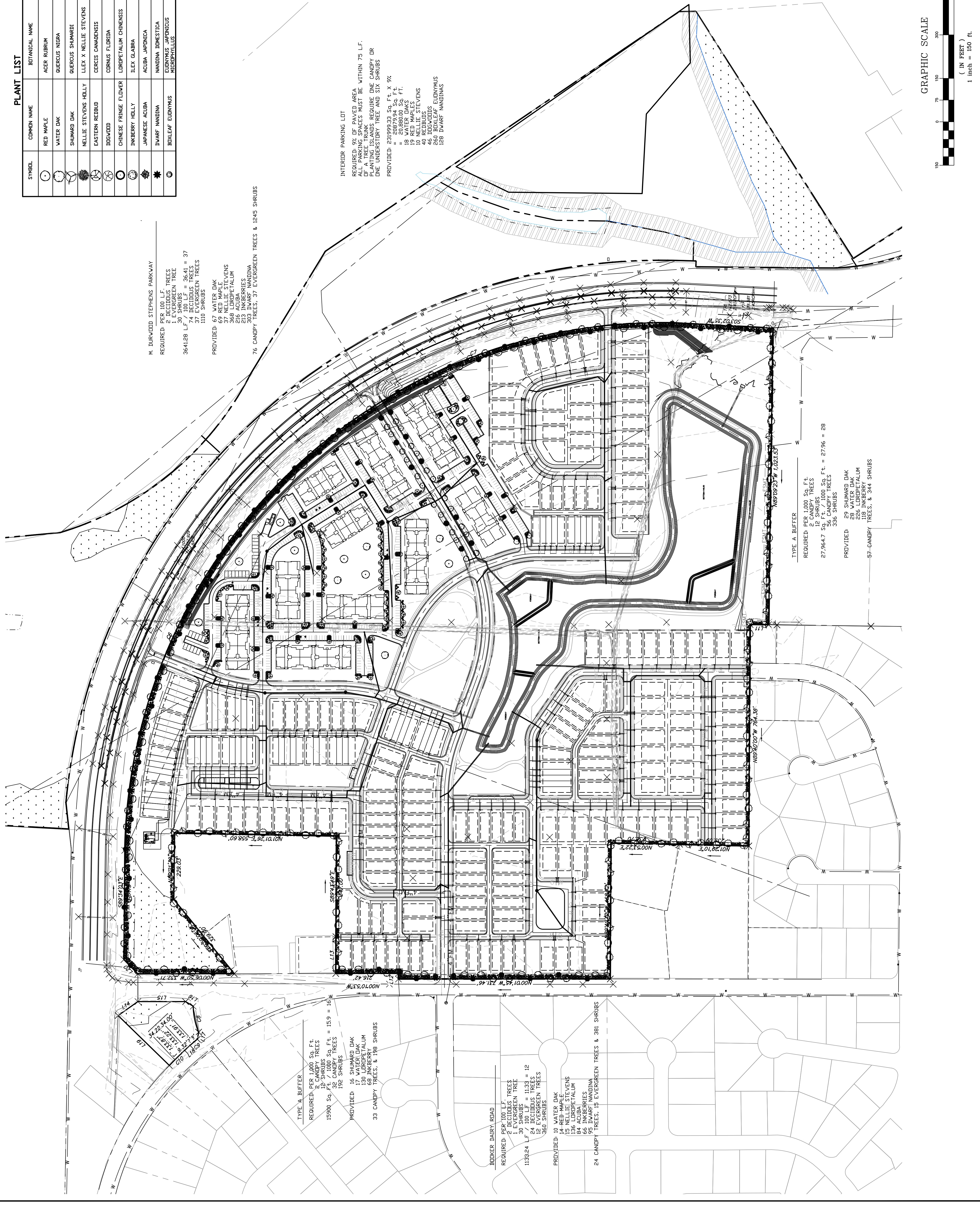
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 Email: info@summeyengineering.com
 N.C. Professional Engineering Firm License No. F-0336

SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA
 HWY 70
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 OVERALL LANDSCAPE PLAN

Job No.: E-9516
 Checked By: HMSJ
 Drawn By: CM/JM
 Date: MONTH YEAR
 Scale: AS NOTED
 Sheet No. 1

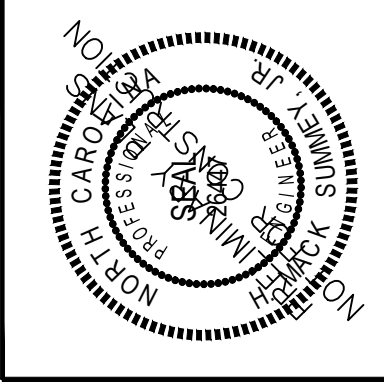
PRELIMINARY PLANS NOT FOR REVIEW

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE/HEIGHT	PLANT CATEGORY	COUNT
(1)	RED MAPLE	ACER RUBRUM	2' CAL. (60")	CANOPY TREE	102
(2)	WATER DAK	QUERCUS NIGRA	2' CAL. (60")	CANOPY TREE	140
(3)	SHUMARD DAK	QUERCUS SHUMARDII	2' CAL. (60")	CANOPY TREE	45
(4)	NELLIE STEVENS HOLLY	LLEX X NELLIE STEVENS	2' CAL. (60")	EVERGREEN	62
(5)	EASTERN REDBUD	CERIS CANADENSIS	2' CAL. (60")	UNDERSTORY TREE	46
(6)	DOGWOOD	CORNUS FLORIDA	2' CAL. (60")	UNDERSTORY TREE	40
(7)	CHINESE FRINGE FLOWER	LOROPETALUM CHINENSIS	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	860
(8)	INKBERRY HOLLY	ILEX GLABRA	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	465
(9)	JAPANESE ACUBA	ACUBA JAPONICA	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	300
(10)	DWARF MANDINA	MANDINA DOMESTICA	3' GALLON MINIMUM AT TIME OF PLANTING	SHRUB	526
(11)	BOXLEAF EUDENYMIUS	EUDENYMIUS HARPENSIUS	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	260





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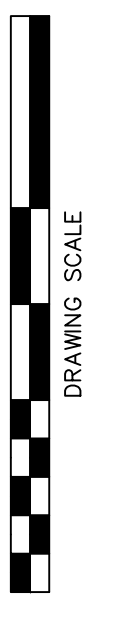


LANDSCAPE PLAN - BLOWUP
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

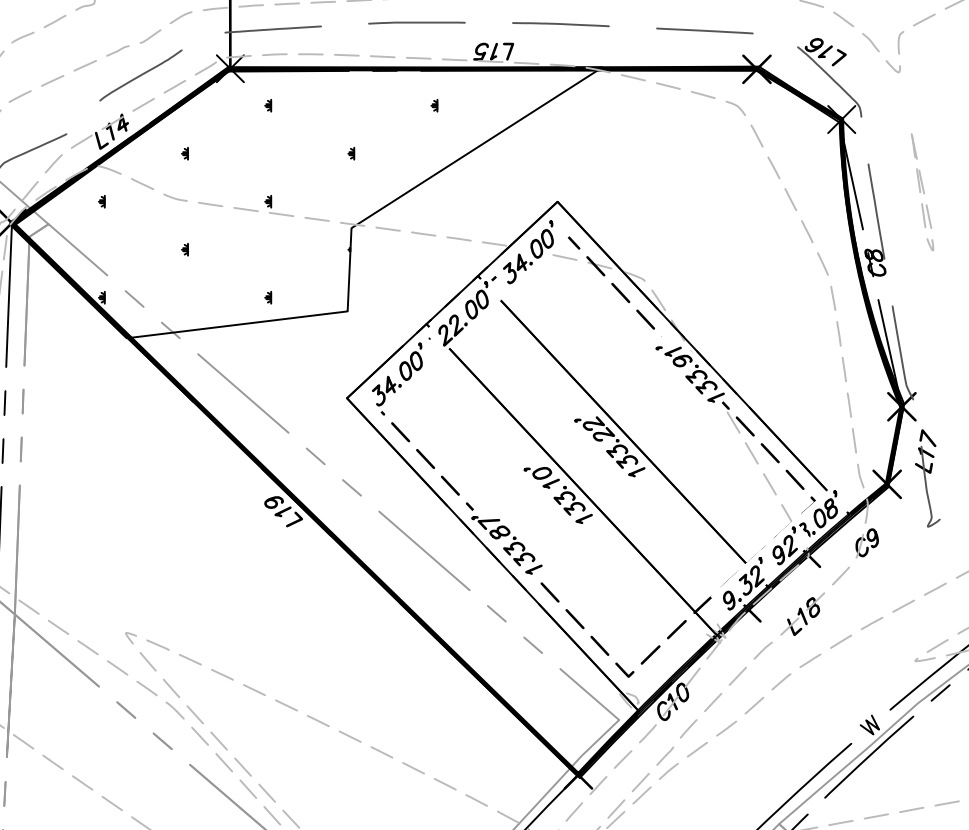
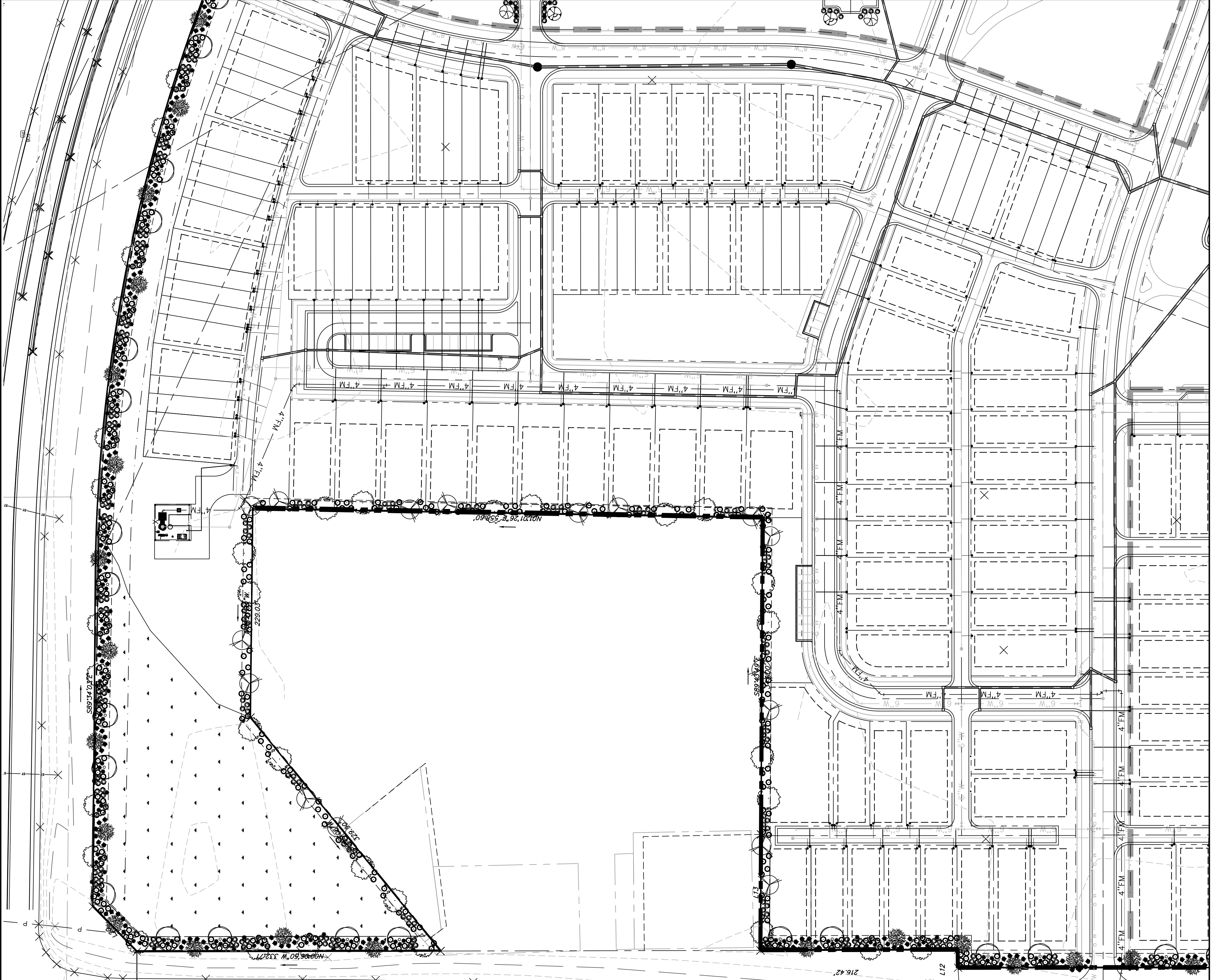
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Sheet No: LA-1

PRELIMINARY PLANS NOT FOR REVIEW

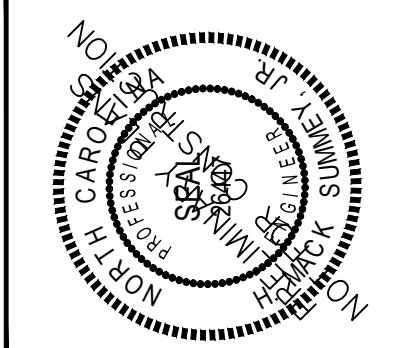


MATCH LINE - SEE SHEET LA-2 FOR CONTINUATION



TYPE A BUFFER
 REQUIRED: PER 1,000 Sq. Ft.,
 2 CANOPY TREES
 12 SHRUBS
 15900 Sq. Ft. / 1000 Sq. Ft. = 15.9 = 16
 32 CANOPY TREES
 192 SHRUBS
 PROVIDED: 16 SHUMARD OAK
 17 WATER OAK
 130 LOROPETALUM
 68 INKBERRY
 33 CANOPY TREES, & 198 SHRUBS

MATCH LINE - SEE SHEET LA-3 FOR CONTINUATION



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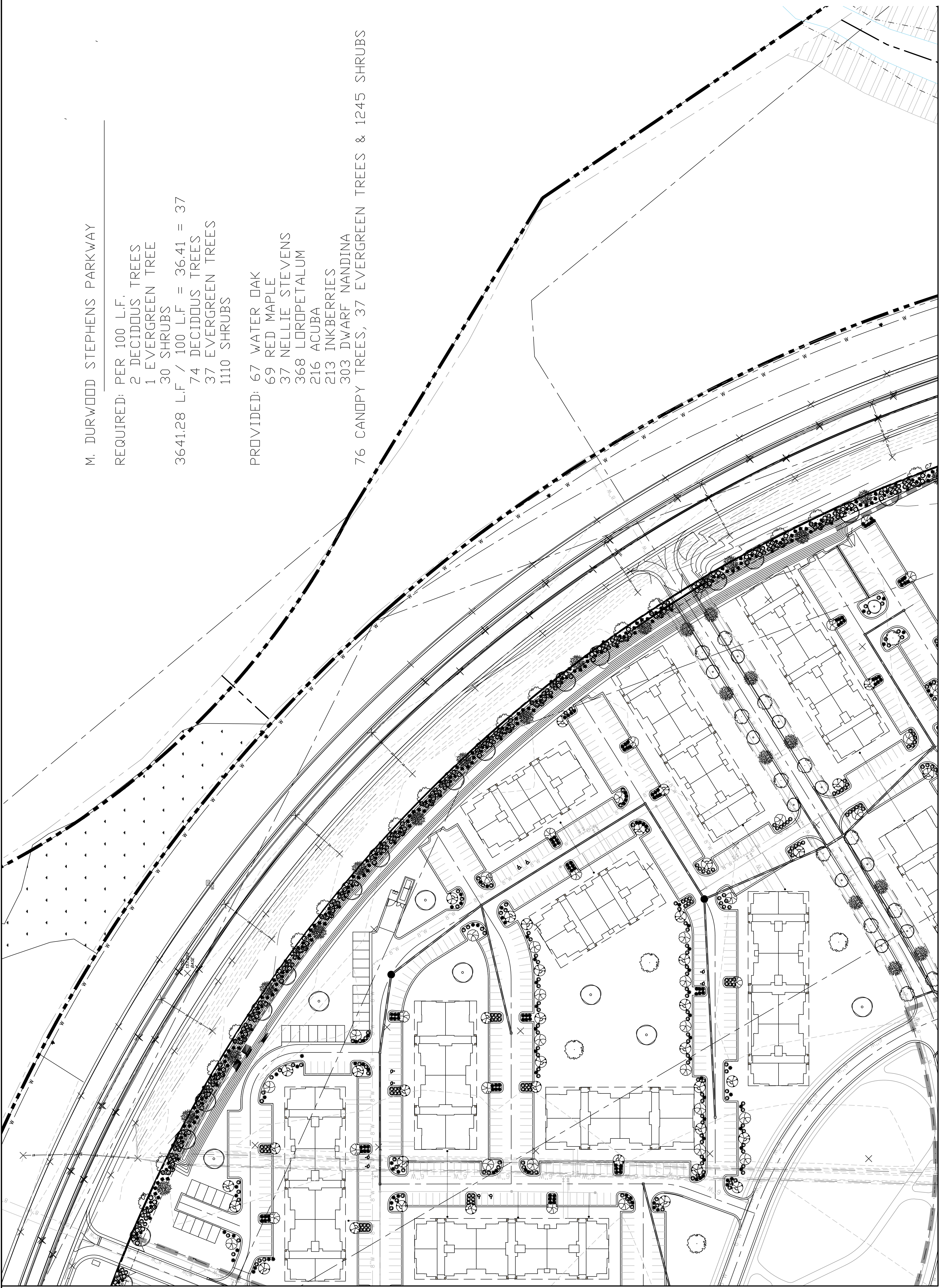
No.	Date:	Description:

LANDSCAPE PLAN - BLOWUP
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

Scale:	AS NOTED
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Checked By:	HMSJ
Job No.:	E-9516

Sheet No. **LA-2**

PRELIMINARY PLANS NOT FOR REVIEW



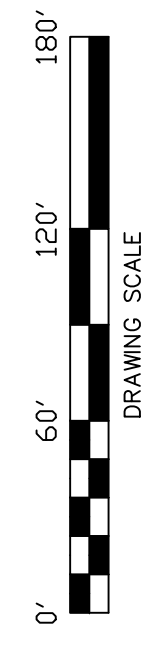
M. DURWOOD STEPHENS PARKWAY

REQUIRED: PER 100 L.F.
 2 DECIDUOUS TREES
 1 EVERGREEN TREE
 30 SHRUBS
 3641.28 L.F. / 100 L.F. = 36.41 = 37
 74 DECIDUOUS TREES
 37 EVERGREEN TREES
 1110 SHRUBS

PROVIDED: 67 WATER OAK
 69 RED MAPLE
 37 NELLIE STEVENS
 368 LORDPETALUM
 216 ACUBA
 213 INKBERRIES
 303 DWARF NANDINA
 76 CANOPY TREES, 37 EVERGREEN TREES & 1245 SHRUBS

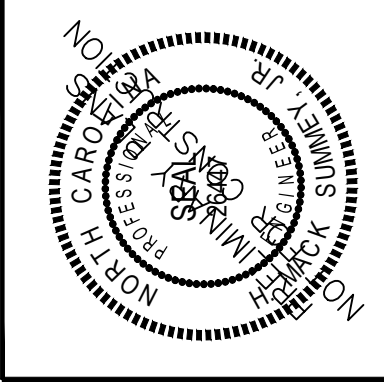
MATCH LINE - SEE SHEET LA-1 FOR CONTINUATION

MATCH LINE - SEE SHEET LA-4 FOR CONTINUATION





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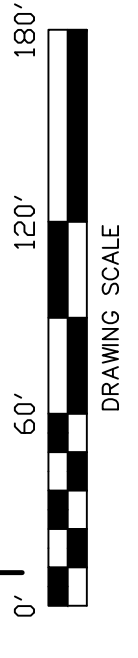


LANDSCAPE PLAN - BLOWUP
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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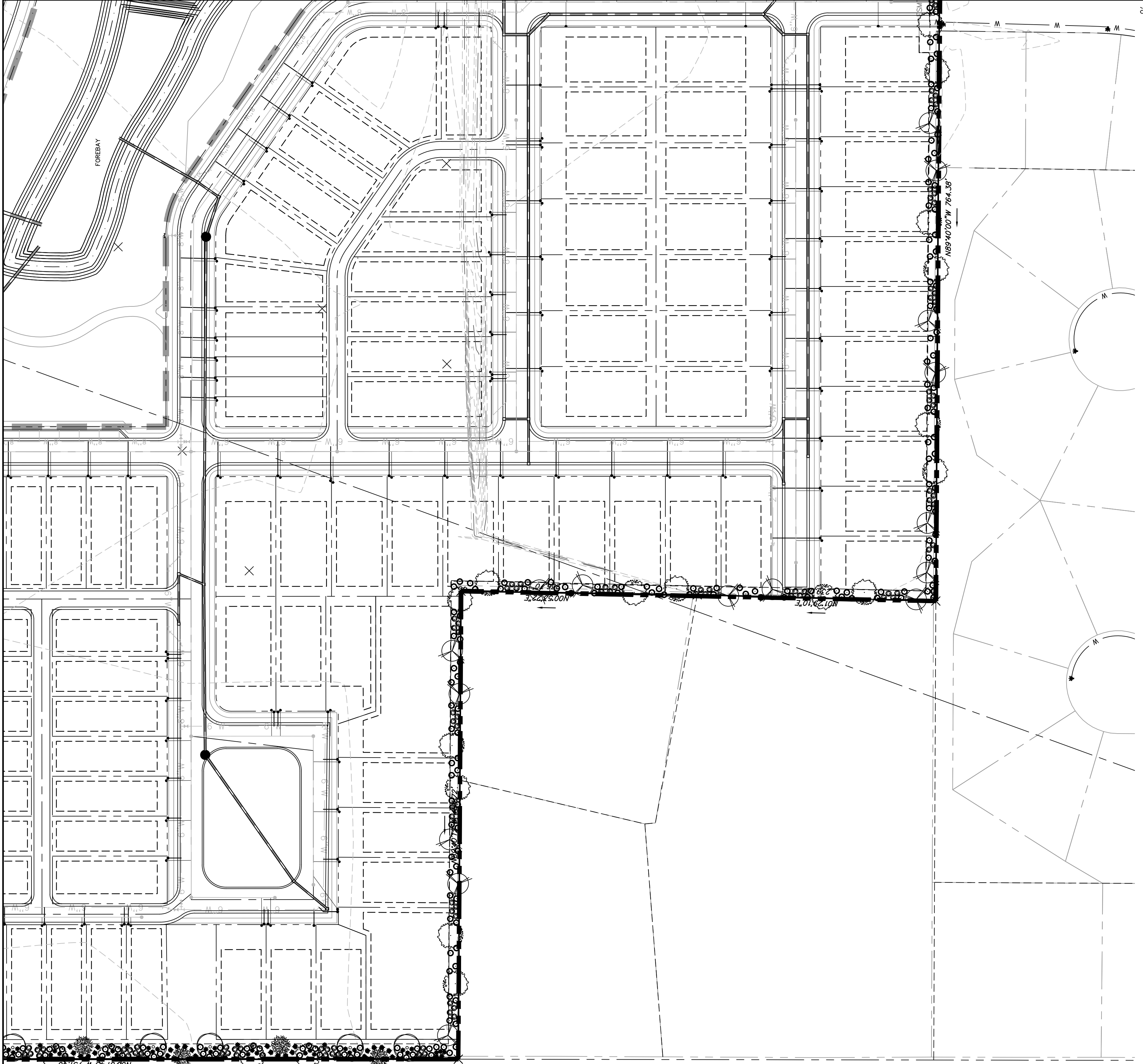
Sheet No. LA-3

PRELIMINARY PLANS NOT FOR REVIEW



MATCH LINE - SEE SHEET LA-4 FOR CONTINUATION

MATCH LINE - SEE SHEET LA-1 FOR CONTINUATION



BOOKER DAIRY ROAD

REQUIRED: PER 100 L.F.
 2 DECIDUOUS TREES
 1 EVERGREEN TREE
 30 SHRUBS
 1133.24 L.F. / 100 L.F. = 11.33 = 12
 24 DECIDUOUS TREES
 12 EVERGREEN TREES
 360 SHRUBS

PROVIDED: 10 WATER OAK
 14 RED MAPLE
 15 NELLIE STEVENS
 136 LOROPETALUM
 84 ACUBA
 66 INKBERRIES
 95 DWARF NANDINA
 24 CANOPY TREES, 15 EVERGREEN TREES & 381 SHRUBS

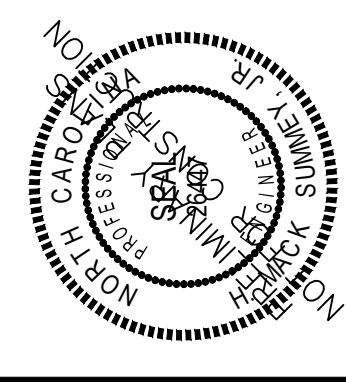
LA-4

Scale:	AS NOTED
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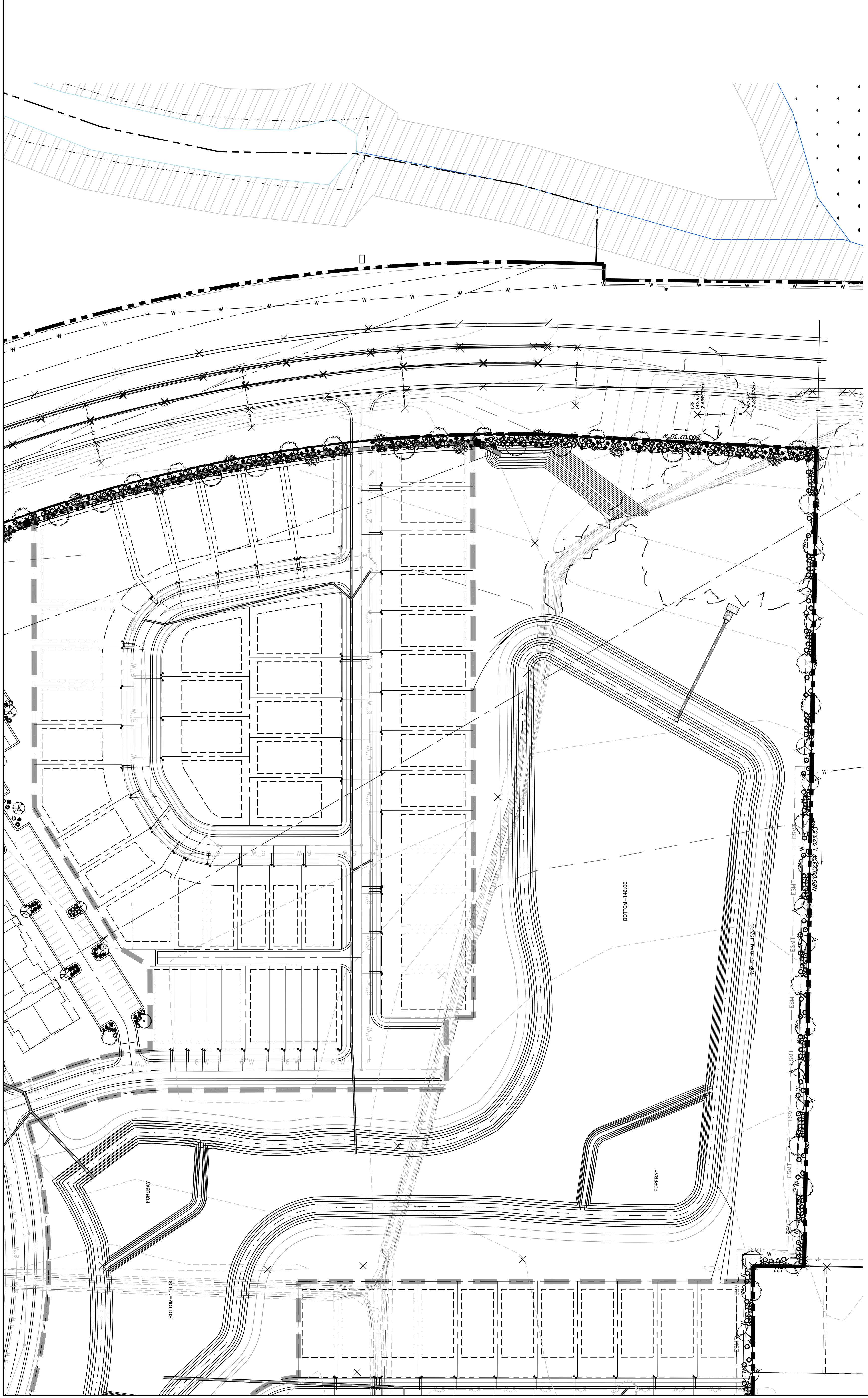
LANDSCAPE PLAN - BLOWUP
 LOCAL 70 RESIDENTIAL DEVELOPMENT
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 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

No.:	
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Description:	
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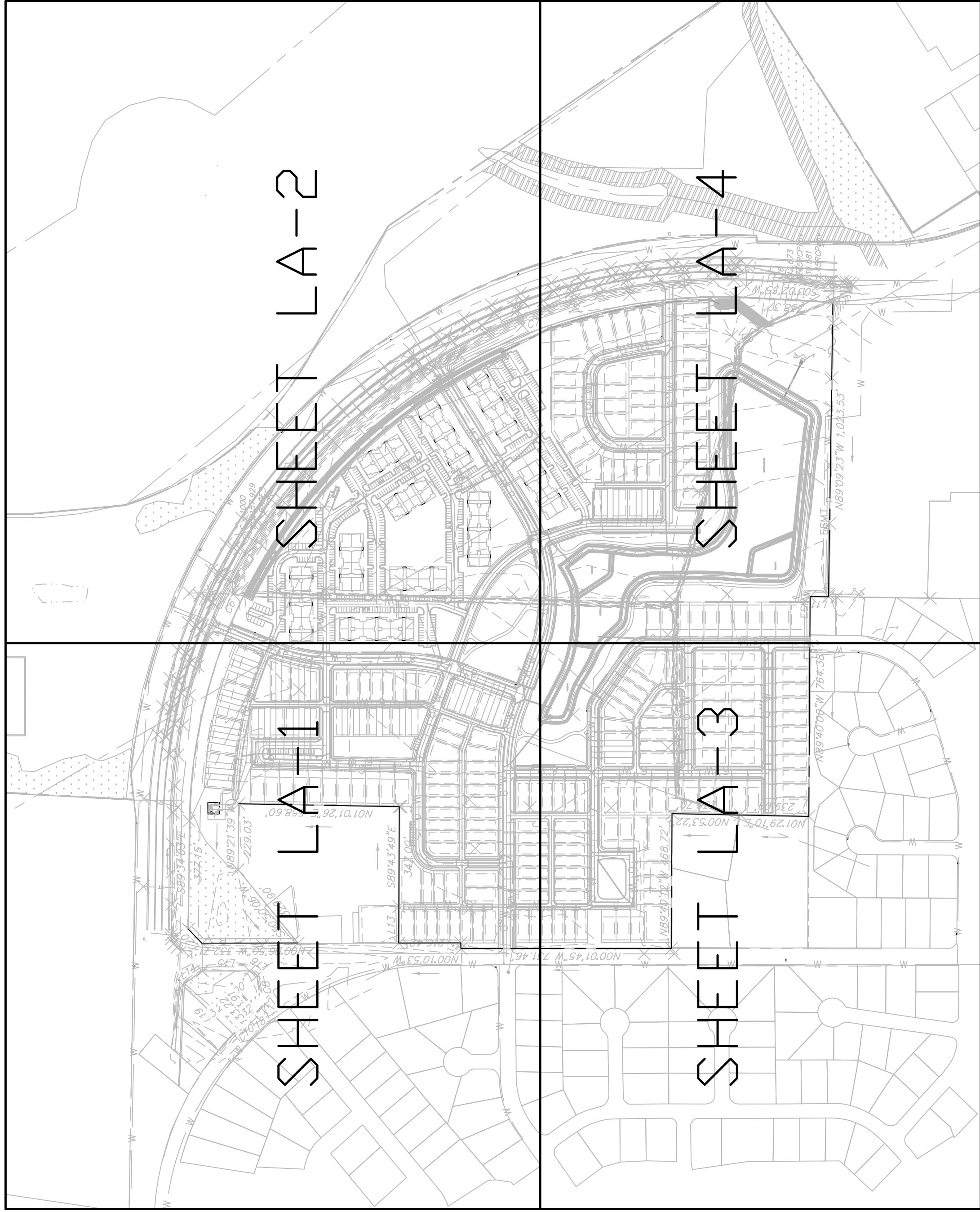


PRELIMINARY PLANS NOT FOR REVIEW



MATCH LINE - SEE SHEET LA-2 FOR CONTINUATION

MATCH LINE - SEE SHEET LA-3 FOR CONTINUATION



PLANT MATERIAL SPECIFICATIONS:

1. CANOPY TREE SIZE
 - CANOPY TREES SHALL HAVE A MINIMUM HEIGHT AT MATURITY OF 40 FEET OR A MINIMUM CROWN WIDTH OF 30 FEET.
 - ALL CANOPY TREES SHALL HAVE A MINIMUM CALIPER SIZE OF 2 INCHES AT PLANTING.
 - EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT AT PLANTING.
2. UNDERSTORY TREE SIZE
 - UNDERSTORY TREES SHALL HAVE A MINIMUM HEIGHT AT MATURITY OF 25 TO 40 FEET, EXCEPT THAT TREES TO BE PLACED BELOW OVERHEAD UTILITY LINES MAY NOT EXCEED A MATURE HEIGHT OF 20 FEET.
 - DROUGHT TOLERANT UNDERSTORY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 1 INCH AT PLANTING.
 - ALL OTHER UNDERSTORY TREES MUST HAVE A MINIMUM CALIPER SIZE OF 2 INCHES AT PLANTING.
3. SHRUB SIZE AND TYPE
 - SHRUB SIZE AND TYPE
 - REQUIRED SHRUBS IN A TYPE A LANDSCAPE YARD OR SHRUBS LOCATED PARALLEL TO THE EDGE OF PARKING LOTS, ACCESS DRIVES, LOADING SPACE, AND OUTDOOR STORAGE SHALL BE EVERGREEN.
 - REQUIRED SHRUBS IN A TYPE B LANDSCAPE YARD SHALL BE 50 PERCENT OR MORE EVERGREEN.
 - REQUIRED SHRUBS IN A TYPE C LANDSCAPE YARD SHALL BE 25 PERCENT OR MORE EVERGREEN.
 - REQUIRED SHRUBS IN A STREETYARD OR IN A TYPE D LANDSCAPE YARD MAY BE EVERGREEN OR DECIDUOUS.
 - ALL SHRUBS MUST BE AT LEAST A 3-GALLON SIZE AND HAVE A MINIMUM HEIGHT OR SPREAD OF 15 INCHES AT THE TIME OF PLANTING. SHRUBS SHALL REACH A MINIMUM HEIGHT OF 36 INCHES AND A SPREAD OF 30 INCHES WITHIN 3 YEARS OF PLANTING.

LANDSCAPE YARD MAINTENANCE NOTES:

1. GENERAL - THE LANDOWNER IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED PLANT MATERIALS AND LANDSCAPE YARDS IN GOOD HEALTH AND APPEARANCE. ANY DEAD, UNHEALTHY, SEVERELY DAMAGED, OR MISSING PLANTS (WHETHER PRESERVED OR INSTALLED) MUST BE REPLACED WITH NEW PLANT MATERIAL EQUAL IN QUANTITY AND QUALITY. REPLACEMENT PLANT MATERIAL SHALL BE INSTALLED WITHIN 180 DAYS OF THE DATE OF OWNER NOTIFICATION. THE OBLIGATION FOR CONTINUOUS MAINTENANCE IS BINDING ON ANY SUBSEQUENT OWNERS OF THE LAND, OR ANY OTHER PARTIES HAVING A CONTROLLING INTEREST IN THE PROPERTY.
 - PROTECTION OF PLANT MATERIAL - THE LANDOWNER OR DEVELOPER SHALL TAKE ACTIONS TO PROTECT TREES AND LANDSCAPING FROM UNNECESSARY DAMAGE DURING ALL FACILITY AND SITE MAINTENANCE OPERATIONS. WHEN LANDSCAPE YARDS ARE ADJACENT TO PARKING LOTS OR DRIVES, PLANTS SHALL BE PROTECTED FROM DAMAGE BY VEHICLES, LUBRICANTS, OR FUELS. MAINTAIN SHAPE AND FUNCTION - ALL REQUIRED TREES (WHETHER CANOPY OR UNDERSTORY) SHALL BE MAINTAINED IN THEIR CHARACTERISTIC NATURAL SHAPE, BE ALLOWED TO REACH THEIR MATURE SIZE, AND SHALL NOT BE SEVERELY PRUNED, SHEARED, TOPPED, OR SHAPED AS SHRUBS. TREES (INCLUDING, BUT NOT LIMITED TO CREPE MYRTLES) THAT HAVE BEEN SO ALTERED, SUCH THAT THEY NO LONGER SERVE THEIR INTENDED FUNCTION AS TREES WITHIN THE LANDSCAPING YARD, SHALL BE CONSIDERED AS DAMAGED VEGETATION AND SHALL BE REPLACED IN ACCORDANCE WITH THIS SECTION.
 - TRIMMING AND PRUNING - TRIMMING AND PRUNING OF TREES SHALL BE CONDUCTED IN COMPLIANCE WITH ANSI STANDARDS AND THE DEVELOPMENT GUIDE. SHRUBS SHALL BE MAINTAINED IN A WAY THAT DOES NOT OBSTRUCT SIGHT DISTANCES AT PUBLIC STREET INTERSECTIONS, OBSTRUCT TRAFFIC SIGNS OR DEVICES, OR INTERFERE WITH THE USE OF SIDEWALKS OR PEDESTRIAN TRAILS.
- 2.
- 3.
- 4.

PLANT LIST

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE/HEIGHT	PLANT CATEGORY	COUNT
	RED MAPLE	ACER RUBRUM	2" CAL. (min)	CANOPY TREE	102
	WATER OAK	QUERCUS NIGRA	2" CAL. (min)	CANOPY TREE	140
	SHUMARD OAK	QUERCUS SHUMARDI	2" CAL. (min)	CANOPY TREE	45
	NELLIE STEVENS HOLLY	LLEX X NELLIE STEVENS	2" CAL. (min)	EVERGREEN	62
	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL. (min)	UNDERSTORY TREE	40
	DOGWOOD	CORNUS FLORIDA	2" CAL. (min)	UNDERSTORY TREE	46
	CHINESE FRINGE FLOWER	LOROPETALUM CHINENSIS	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	860
	INKBERRY HOLLY	ILEX GLABRA	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	465
	JAPANESE ACUBA	ACUBA JAPONICA	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	300
	DWARF NANDINA	NANDINA DOMESTICA	3' GALLON MINIMUM AT TIME OF PLANTING	SHRUB	526
	BOXLEAF EUONYMUS	EUONYMUS JAPONICUS MICROPHYLLUS	3' HEIGHT MINIMUM AT TIME OF PLANTING	SHRUB	260

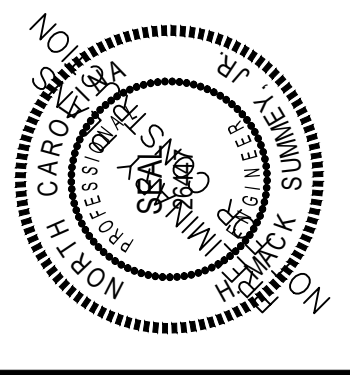
PRELIMINARY PLANS NOT FOR REVIEW

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Sheet No. LA-5

LANDSCAPE PLAN - BLOWUP
 LOCAL 70 RESIDENTIAL DEVELOPMENT
 HWY 70
 SMITHFIELD - JOHNSTON COUNTY - NORTH CAROLINA

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 N.C. Professional Engineering Firm License No. F-0336

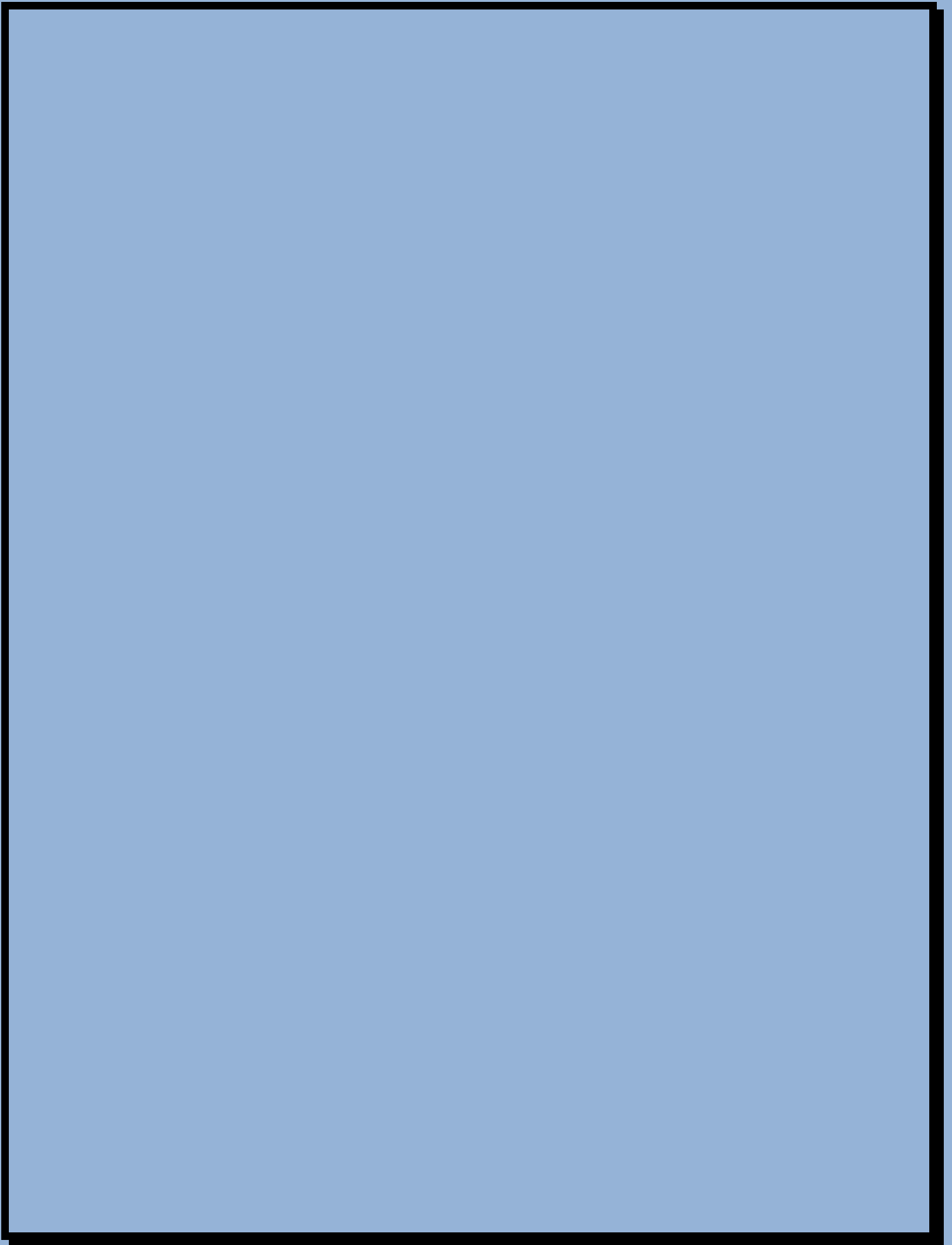


No.	Date:	Description:

S-24-08 Local 70 Preliminary Plat Adjacent Properties List

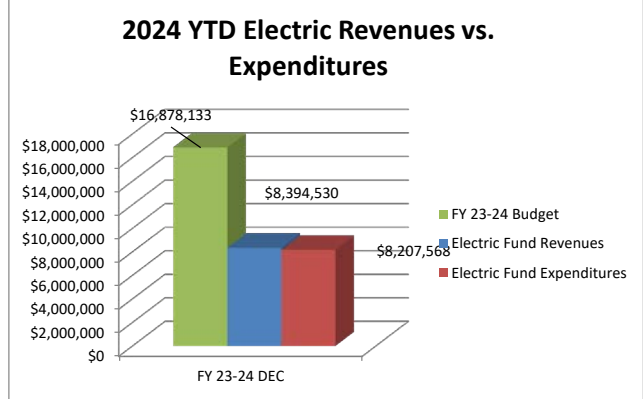
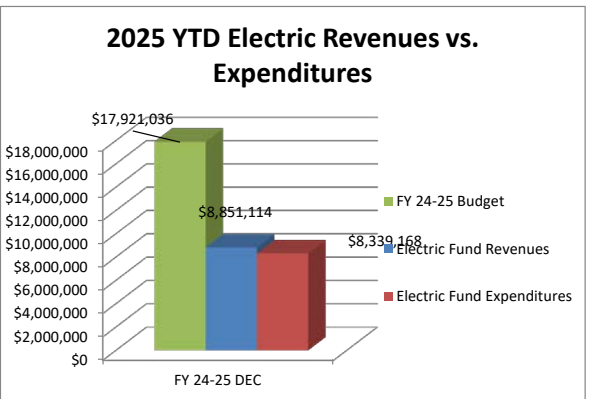
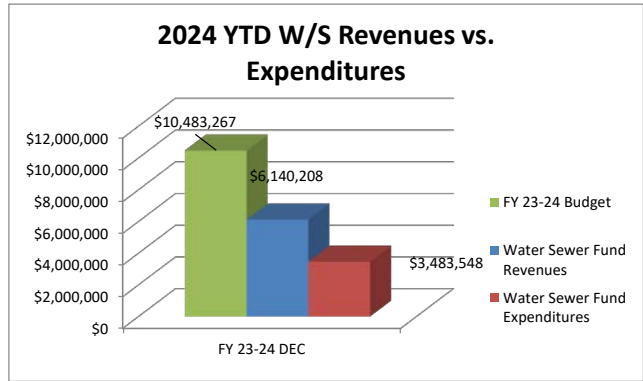
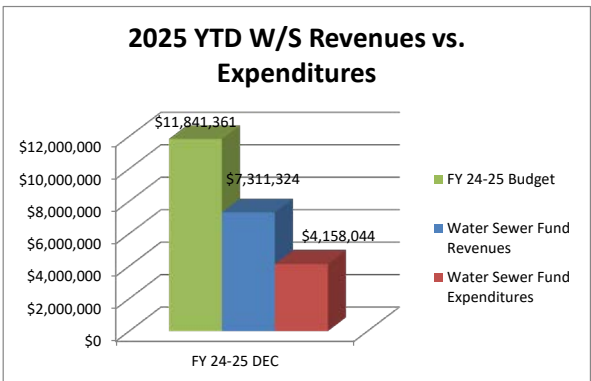
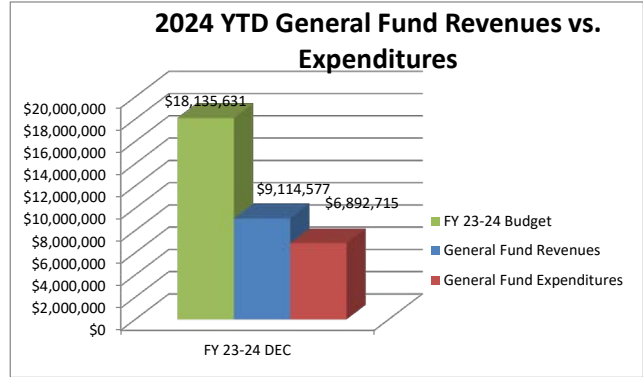
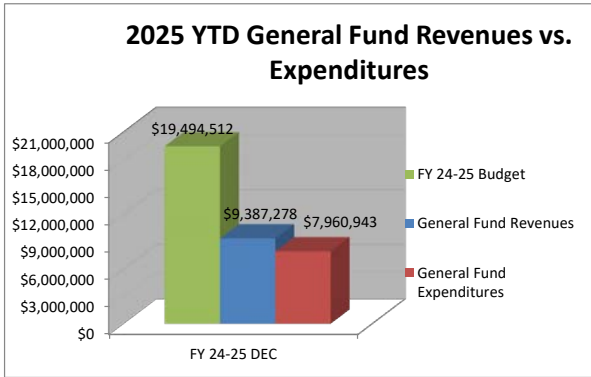
Name1	Name2	Address1	Address2	City	State	Zip
SMITHFIELD GROWTH LLC		1600 COLON RD		SANFORD	NC	27330-9577
SULLIVAN, SHIRLEY P. JOINT TENANTS (WROS)	MUSTGRAVE, TANYA S. JOINT TENANTS (WROS)	1505 E BOOKER DAIRY RD		SMITHFIELD	NC	27577-9472
BENITEZ, JOSE	BENITEZ, JENNY	1511 E BOOKER DAIRY RD		SMITHFIELD	NC	27577-9472
OLSEN, MARGIE B	OLSEN, PAUL A	1211 E BOOKER DAIRY RD		SMITHFIELD	NC	27577-9419
JUAREZ, ELIZABETH CORTES	PEREZ, JUAN MANUEL	525 DEVILS RACETRACK RD		FOUR OAKS	NC	27524-9304
OLSEN, PAUL A	OLSEN, MARGIE B	1211 E BOOKER DAIRY RD		SMITHFIELD	NC	27577-9419
RESENDIZ, JOSE E.		215 LITTLE DOVE RD		PIKEVILLE	NC	27863-8341
DEMERITT, TAMMY SANDRA		1111 E BOOKER DAIRY RD		SMITHFIELD	NC	27577-9417
LMR RENTALS		201 S BRIGHTLEAF BLVD STE 1		SMITHFIELD	NC	27577-4077
AUSTIN, DALE L	AUSTIN, SANDRA W	1116 OLD BOOKER DAIRY RD		SMITHFIELD	NC	27577-9416
NORRIS, NELDA ELAINE WRIGHT LIFE ESTATE	NORRIS, BRANDY MICHELLE REMAINDER	1204 OLD BOOKER DAIRY RD		SMITHFIELD	NC	27577-3751
MOORE, JAMES H JR	MOORE, YVONNE C	713 CHESTNUT DR		SMITHFIELD	NC	27577-0000
CHAPPELL, LUCILLE		1302 BOOKER DAIRY RD		SMITHFIELD	NC	27577
JIMENEZ, LILA GUADALUPE GUTIERREZ	CASTRO, OSVALDO DIAZ	2 EDEN DR		SMITHFIELD	NC	27577-4805
HEATH, NICOLE JOINT TENANTS (WROS)	HEATH, WYATT JOINT TENANTS (WROS)	2 EDEN DR		SMITHFIELD	NC	27577-4805
ATKINSON, ROBERT WESLEY JR.		PO BOX 1765		SMITHFIELD	NC	27577-1765
BEAN, LYNDSAY		10 ALPINE CT		SMITHFIELD	NC	27577-4818
GILMORE, RODNEY	GILMORE, JENNIFER	9 SHERWOOD CT		SMITHFIELD	NC	27577-4835
SILVA, RUTH M		12 HAZELWOOD CT		SMITHFIELD	NC	27577-0000
EASTERLING, JULIANNE G	DONAHUE, GEORGE C	721 N OAK ST		MCPHERSON	KS	67460-3443
JEMMA PROPERTIES LLC		3717 ROLSTON DR		RALEIGH	NC	27609-7226
BOOKER DAIRY HOMEOWNERS ASSOCIATION		154 BAYHILL DR		SMITHFIELD	NC	27577-8936
GRIFFIN, BETH CAPPS	OLIVER, LAURA TALTON	161 CREEKWOOD CIR		SMITHFIELD	NC	27577-9411
TITMUS, HENRY EDWARD	TITMUS, SANELA BEKTIK	169 CREEKWOOD CIR		SMITHFIELD	NC	27577-9411
CORDON, GERBER DE JESUS REINOSO		172 CREEKWOOD CIR		SMITHFIELD	NC	27577-9411
PITTMAN, HARRY M	PITTMAN, NELLIE G	151 VALLEYWOOD CIR		SMITHFIELD	NC	27577-9435
ATKINSON, FRANZ C.		PO BOX 70407		BROOKLYN	NY	11207-0407
NGUYEN, TRONG MINH	TRAN, PHUONG	152 VALLEYWOOD CIR		SMITHFIELD	NC	27577-9435
NGUYEN, VU		373 BAYHILL DR		SMITHFIELD	NC	27577-9434
HARRIS, CLEMMON LIFE ESTATE	MEDINA, TANISHA C. REMAINDER	388 BAYHILL DR		SMITHFIELD	NC	27577-9433
SANCHEZ, VICTOR M	MACEDO, ROSEDELIA	353 BAYHILL DR		SMITHFIELD	NC	27577-9434
PACHECO, FAUSTO H.		368 BAYHILL DR		SMITHFIELD	NC	27577-9433
WALMART REAL ESTATE TRUST	SAM M WALTON DEVELOPMENT COMPLEX		PO BOX 8050M	BENTONVILLE	AR	72712
DEPARTMENT OF TRANSPORTATION		1546 MAIL SERVICE CTR		RALEIGH	NC	27699-1500
HLK COMMERCIAL LLC	DICKY EVERETT PARRISH REVOCABLE TRUST	2533 LITTLE DIVINE RD		SELMA	NC	27576-7833
H O I LIMITED PARTNERSHIP OF SMITHFIELD			PO BOX 26405	GREENSBORO	NC	27404-0000
LEE 1996 FAMILY LTD PTNRP			PO BOX 237	SMITHFIELD	NC	27577-0237
NELL M HOWELL REVOCABLE TRUST	HOWELL, NELL M TRUSTEE		PO BOX 528	SMITHFIELD	NC	27577-0000
TMG WC CCH SELMA 35, LLC		1700 W HIGGINS RD STE 400		DES PLAINES	IL	60018
SYSCO FOOD SERVICES OF RAL LLC		1390 ENCLAVE PKWY		HOUSTON	TX	77077-2025
ROBERTS & WELLONS, INC.	NELL M. HOWELL REVOCABLE TRUST		PO BOX 1046A	SMITHFIELD	NC	27577
WC JOCO 50 LLC		10 PARKWAY NORTH BLVD STE 120		DEERFIELD	IL	60015-2526

Financial Report



Town of Smithfield

Revenues vs. Expenditures



TOWN OF SMITHFIELD
MAJOR FUNDS FINANCIAL SUMMARY REPORT
 December 31, 2024
 Gauge: 6/12 or 50 Percent

50.00%

GENERAL FUND

Revenues	Actual to Date		Budget		Actual to Date		YTD % Collected
	FY '23-24		FY '24-25		FY '24-25		
Ad Valorem Taxes	\$ 4,287,024	\$	8,844,025	\$	4,918,001		55.61%
Other Taxes and Licenses	89,544		65,350		116,217		177.84%
Unrestricted Intergovernmental	2,607,954		4,934,757		1,456,637		29.52%
Restricted Intergovernmental	415,282		676,390		458,818		67.83%
Permits and Fees	1,257,835		3,083,906		1,984,930		64.36%
Investment Earnings	270,588		373,339		239,705		64.21%
Miscellaneous	182,350		205,300		129,977		63.31%
Transfer From Other Funds	-		712,790		-		0.00%
Sale of Fixed Assets	4,000		50,700		51,050		100.69%
Insurance Recovery	-		31,925		31,943		100.06%
Fund Balance Appropriated	-		516,030		-		0.00%
Total	\$ 9,114,577	\$	19,494,512	\$	9,387,278		48.15%

TOWN OF SMITHFIELD
MAJOR FUNDS FINANCIAL SUMMARY REPORT
December 31, 2024
Gauge: 6/12 or 50 Percent

	Actual to Date		Budget		Actual to Date		YTD %	
	FY '23-24		FY '24-25		FY '24-25		Spent	
Expenditures								
General Gov.-Governing Body	\$ 235,342	\$	720,092	\$	249,082		34.59%	
Non Departmental	381,364		1,181,994		447,313		37.84%	
Debt Service	356,744		419,096		347,145		82.83%	
Finance	70,143		159,150		61,883		38.88%	
IT	135,920		190,700		54,079		28.36%	
Planning	168,035		445,025		200,646		45.09%	
Police	1,833,179		5,396,865		2,577,780		47.76%	
Fire	1,219,127		3,403,656		1,359,243		39.93%	
General Services/Public Works	340,767		1,230,323		434,577		35.32%	
Streets	320,353		825,027		191,317		23.19%	
Motor Pool/Garage	81,322		173,700		94,018		54.13%	
Powell Bill	40,326		398,195		21,518		5.40%	
Sanitation	675,799		1,706,469		727,115		42.61%	
Stormwater	12,715		286,480		109,996		38.40%	
Parks and Rec	497,716		1,416,944		535,192		37.77%	
SRAC	500,354		1,236,800		530,304		42.88%	
Sarah Yard Center	23,509		51,300		19,735		38.47%	
Contingency	-		252,696		-			
Total	\$ 6,892,715	\$	19,494,512	\$	7,960,943		40.84%	
YTD Fund Balance Increase (Decrease)	2,221,862		-		1,426,335			

TOWN OF SMITHFIELD
MAJOR FUNDS FINANCIAL SUMMARY REPORT
 December 31, 2024
 Gauge: 6/12 or 50 Percent

50.00%

ELECTRIC FUND

Revenues	Actual to Date		Budget	Actual to Date		YTD %
	FY '23-24	\$	FY '24-25	FY '24-25	Collected	
Electric Sales	8,075,030	\$	16,270,040	\$	8,543,624	52.51%
Connection Fees	47,450		92,000		45,325	49.27%
Miscellaneous	61,649		108,375		72,917	67.28%
Penalties	44,876		85,000		43,743	51.46%
Investment earnings	165,525		250,000		145,505	58.20%
Fund Balance Appropriated	-		993,125		-	0.00%
Total	8,394,530	\$	17,798,540	\$	8,851,114	49.73%

Expenditures	Actual to Date		Budget	Actual to Date		YTD %
	FY '23-24	\$	FY '24-25	FY '24-25	Spent	
Administration/Operations	1,633,996	\$	3,151,083	\$	1,548,949	49.16%
Purchased Power - Non Demand	2,416,687		3,940,660		2,811,341	71.34%
Purchased Power - Demand	3,229,356		7,828,164		3,058,205	39.07%
Purchased Power - Debt	578,088		1,156,176		578,088	50.00%
Debt Service	342,585		342,586		342,585	100.00%
Capital Outlay	6,856		35,000		-	0.00%
Contingency	-		249,721		-	0.00%
Transfers to Electric Capital Proj Fund	-		1,000,000		-	0.00%
Transfers to General Fund	-		95,150		-	0.00%
Total	8,207,568	\$	17,798,540	\$	8,339,168	46.85%

YTD Fund Balance Increase (Decrease) 186,962 - 511,946

TOWN OF SMITHFIELD
MAJOR FUNDS FINANCIAL SUMMARY REPORT
December 31, 2024
Gauge: 6/12 or 50 Percent

50.00%

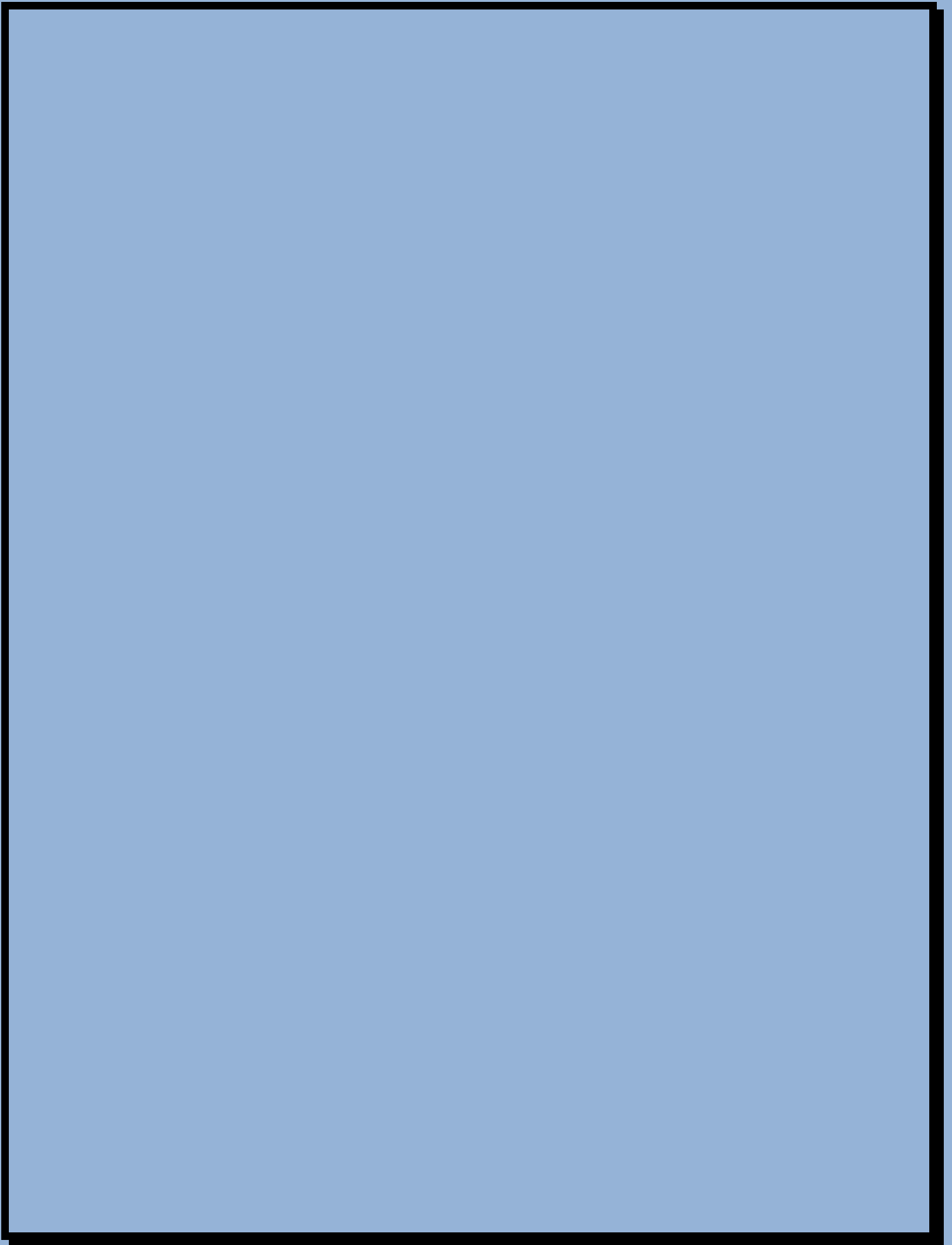
CASH AND INVESTMENTS FOR DECEMBER 2024

General Fund (Includes P. Bill)	25,072,645		
Water and Sewer Fund	16,426,482		
Electric Fund	11,395,248		
NCOBM Fund (21)	547,441		
JB George Endowment (40)	140,434		
Water Plant Expansion (43)	954,817		
Capital Project Fund: Wtr/Sewer (45)	1,229,832		
Capital Project Fund: General (46)	1,198,773		
Capital Project Fund: Electric (47)	(68,620)		
FEMA Acquisitions and Elevations (48)	550		
Firemen Relief Fund (50)	115,588		
Fire District Fund (51)	326,964	1st CITIZENS	39,293,631 1.75% / 4.29%
General Capital Reserve Fund (72)	182,900	NCCMT	5,560,012 5.000%
Total	57,523,054	KS BANK	2,446,826 3.00%
		TRUIST	10,222,585 3.25%
			<u>\$ 57,523,054</u>

Account Balances Confirmed By Finance Director on

1/24/2025

Department Reports



FINANCE DEPARTMENTAL REPORT FOR NOVEMBER 2024

ACCOMPLISHMENTS

- Implemented monthly financial reporting for the appearance commission
- Accounts Receivable related policies written for board approval
- Assisted with the implementation of the new employee benefit management team
- Refunded numerous utility accounts with credit balances or applied credit balances to new accounts for old utility accounts; cleaned up the inactive revenue codes on utility accounts
- Saved \$3,600 in professional fees (Finance Department) and approximately \$2,000 in bank service charges (General, Water Sewer, Electric Fund)
- Implemented invoice and pre audit approval process for accounts payable
- Updated all grant and capital project ordinances to comply with ordinance and resolution statutory requirements
- Drafted the revised employee handbook for manager and council approval

WORK IN PROGRESS

- In process of updating the Customer Service Policy Manual (approval delayed for new regulations) and creating a Red Flag Policy for utility billing customer information
- In process of implementing a monthly closing schedule for all finance functions for timely reporting
- In process of setting up general ledger account reconciliations and delegating those tasks to finance and customer service staff
- In process of updating internal control policies and procedures in relation to finance and customer service
- In process of comprehensive inventory of fixed assets for all departments
- In process of working with Town Clerk and Town Manager to properly account for capital reserve / capital project funds
- In process of working to implement online payments with PIO for various departments including planning and fire inspection fees
- Assisting with the transition of various tasks related to the exiting Human Resource Director, such as NEOGOV (delayed)
- In process of implementing a training plan for each employee in finance and customer service departments
- Assisting with the phone implementation and internet / fiber projects
- In process of implementing purchase card program with potential savings of \$85K based on historical spending patterns

GOALS

- Update all policies and procedures related to finance and customer service in the near term for council approval
- Work with various departments to obtain a document management system so all departments can access documents for various town projects



Planning Department Development Report

Preliminary Subdivisions

Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	PB Review Date	TC Hearing Date	Approval Date	CD Approval	Note
S-24-08	Local 70 Residential Developmen	14057011X/ 14057011Y	Smithfield Growth LLC	11/21/2024	12/5/2024	1/21/2024			
S-24-07	Buffalo Road Subdivision	14A033005 14057011Y,	Vesta Enterprises, Inc.	11/18/2024	12/5/2024	1/21/2024			
S-24-06	Local 70 (Interim) plat	14057011X	Smithfield Growth LLC	10/4/2024	11/14/2024	12/17/2024	12/17/2024		
S-24-05	Powell Tract Subdivision	15I08014 15049017/	Crantock Land	8/25/2024	10/3/2024	12/3/2024	denied		Tabled by owner
S-24-03	Wellons Woods	15049010	BRL Engineering	4/8/2024					
S-24-02	Hillcrest-Poplar-Riverdale	15083049B	BRL Engineering	3/7/2024	4/4/2024	4/16/2024	4/16/2024		
S-24-01	Jubilee Creek	167300-68-6746	CMH Homes Inc/McIntyre & Assoc	12/17/2023	3/7/2024	3/19/2024	5/7/2024	11/7/2024	

Final Plats

Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	Approval Date	Note
S-22-02	Finley Landing Phase 2		CE Group		12/19/2024	
S-24-06	Local 70 Interim Plat		Smithfield Growth LLC		12/19/2024	

Conditional Zonings

Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	PB Review Date	TC Hearing Date	Decision	Notes
CZ-24-08	Village on the Neuse	14001001/140750 11A	Village on the Neuse LLC	8/19/2024	11/14/2024	12/3/2024	Approved	
CZ-24-07	Waddell Drive Townhomes	15005031, 15005029	Spectrum Realty, LLC and Sun Auto Wash, LLC	10/8/2024	11/14/2024	12/17/2024	Approved	
CZ-24-06	Finley Landing Alt Plan	15077035H	CE Group	9/9/2024	10/3/2024	10/15/2024	Denied	
CZ-24-05	Buffalo Ridge	140001021 15026055/150260	Smithfield Land Group	7/30/2024	9/5/2024	9/17/2024	Approved	
CZ-24-04	Massey Street Subdivision	54	Clay Pigeon Properties LLC	7/3/2024	8/1/2024	8/20/2024	Approved	
CZ-24-03	Buffalo Ridge	140001021	Smithfield Land Group	5/3/2024	6/6/2024	6/18/2024	Denied	
CZ-24-02	Local 70 PUD	14057011Y, 14057011Y	Smithfield Growth llc	3/11/2024	4/4/2024	5/21/2024	Approved	
CZ-24-01	Carmax	15L110061	Centerpoint/CE Group	2/2/2024	3/7/2024	3/19/2024	Approved	

Special Use Permits

Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	PB Review	TC Hearing	Decision	Notes
SUP-24-05	Stadler Station	15074012E	Brown Investment Properties	8/13/2024	10/3/2024	11/19/2024	Approved	
SUP-24-04	Heritage Townes at NC210	15079012A	Shovel Ready Johnston, Inc	8/6/2024				Tabled by applicant
SUP-24-03	Country Club Townhomes	15J11023	Crantock Land, LLC	8/12/2024	9/5/2024	11/19/2024	Denied	
SUP-24-02	Heritage Townes at Waddell	15005023, 15005022	Shovel Ready Johnston, Inc	7/5/2024	10/3/2024	12/17/2024	Approved	
SUP-24-01	Hartley Drive Townhomes	15089019A/15K09 010A /15K09010P	Terra Eden	7/1/2024	8/1/2024	8/20/2024	Approved	

Rezoning

Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	PB Review	TC Hearing	Decision	Notes
RZ-24-09	36 East Edgerton HI- to B-3	15006015/ 15007014	JCC/New Vision Partners LLC	11/8/2024	11/14/2024	12/17/2024	Approved	
RZ-24-08	606 S 3rd Street	15039027 14001001/140750	Syed Rizvi	8/13/2024	9/5/2024	9/17/2024	Denied	
RZ-24-07	Village on the Neuse to R-8	11A 15015033/150160	Village on the Neuse LLC	8/19/2024	10/3/2024		Withdrawn	
RZ-24-06	400 Brightleaf to B-3	33/15016032	David Dupree	5/24/2024	7/11/2024	8/13/2024	Approved	
RZ-24-05	Watershed Boundary Update		Town Staff	12/22/2023	6/6/2024	6/18/2024	Approved	
RZ-24-04	Heavner Property to R-8	15089019A/15K09 010A /15K09010P	Terra Eden	4/5/2024	5/2/2024	5/21/2024	Approved	
RZ-24-03	1558 W Market St to B-3	15077033B 15L11014A /	Lena Patterson Parks	4/28/2024	5/2/2024	5/21/2024	Approved	
RZ-24-02	Joco Massey Tract to O/I	15L11014E 15j08015b	JOCO	3/20/2024	5/2/2024	5/21/2024	Approved	
RZ-24-01	Swift Creek Property to LI	/15j08014C	Tulloss/Grosclose	3/2/2024	4/4/2024	5/7/2024	Approved	

Site Plans

Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	First Review Complete	2nd Review Complete	Approval Date	Notes
SP-24-14	Gates Concrete	15079005F	Larry Gates	11/14/2024	12/23/2024			
SP-24-13	JCC Repaving	169308-87-5887 15084003D/	JCC	10/21/2024	12/11/2024			
SP-24-12	Smithfield West	15084003F	Jim Perricone	10/17/2024	11/18/2024			
SP-24-11	Smithfield Storage	15077023	Adams and Hooge	10/16/2024	12/9/2024			
SP-24-10	Town Place Suites	15008046T	Barlett Engineering	6/2/2024	7/30/2024			

SP-24-09	Neuse Charter Elementary	14057005E	Terra Eden	5/21/2024	6/14/2024	7/2/2024	7/2/2024
SP-24-08	Market Street Plaza	15K110023	Adams and Hodge	5/16/2024	10/9/2024		
SP-24-07	JoCo Waste Water Plant Bldg	15o99006	Dellinger Inc	5/13/2024		5/29/2024	
SP-24-06	CarMax	15K110061	CE Group	4/22/2024	5/10/2024	6/21/2024	
SP-24-05	Equipment Share	15060031	Onyx Creative	4/25/2024	8/15/2024	11/25/2024	Email comments
SP-24-04	Express Oil Change						Project withdrawn
SP-24-03	Airport Industrial Park Lot 13	15J08017P	Capital Civil Engineering	2/7/2024	2/22/2024		12/6/2024
SP-24-02	Bulldog Harley-Davidson	15074012R	Onsite Civil Group	11/17/2023	2/21/2024	3/19/2024	4/25/2024
SP-24-01	Lynn's Automotive Repair	15077009	ECLS Global Inc	2/1/2024	2/21/2024	4/2/2024	5/16/2024 Project on hold
Annexations							
Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	Council Hearing	Decision	Notes
ANX-24-02	Local 70	14057011Y	Smithified Growth LLC	11/25/2024	1/21/2024		
ANX-24-01	SST Properties	15077033C	SST Properties	3/15/2024	5/21/2024	Approved	
Variances							
Case ID	Project Name	Tax ID	Owner/Applicant	Submittal Date	BOA Review Date	Decision	Notes
BA-24-09	Curated Collections Sign		Carolina Venture				
BA-24-08	Variance	15L11008T	Investments, LLC/Curated Collections of NC LLC	12/3/2024	1/30/2025		
BA-24-07	Johnston Animal Hospital - Sign height variance	15005056	Jodee Langdon	11/21/2024		Withdrawn	
BA-24-06	Equipment Share					Withdrawn	
BA-24-05	Brightleaf Plaza Signs-setback variance	15005041	Jim Perricone	8/2/2024	8/29/2024	approved	
BA-24-04	Reginald Barnes - street frontage variance	15063037	Reginald Barnes	7/24/2024	8/29/2024	approved	
BA-24-03	Market Street Plaza - 8' Streetyard Variance	15K10023	Adams and Hodge Engineering, PC	7/10/2024	8/29/2024	Approved	
BA-24-02	Holly's Open Air Market - 35' front setback variance	15041023	Professional Permits	1/18/2024	4/25/2024	Approved	Incomplete application
BA-24-01	Packing Plan Road 937 N Brightleaf- 8' side yard variance	15007001	Comfort Shield HVAC of NC	2/14/2024	3/28/2024	Approved	
UDO Text Amendments							
Case ID	Project Name	Applicant	Submittal Date	PB Review Date	TC Hearing	Decision	Notes

ZA-24-04	Tattoo Establishments	Staff	10/18/2024					
ZA-24-03	Misc. MF Amendments	Staff	10/7/2024	11/14/2024-1/2/25	1/21/2025			
ZA-24-02	MF in B-3	Staff	7/1/2024	8/1/2024	8/13/2024	Approved		SB382 invalidated this amendment
ZA-24-01	Driveways	Staff	5/2/2024	6/6/2024	6/18/2024	Approved		
ZA-23-06	Articles 2, 10, Append A	Staff	4/26/2023	5/4/2023	11/12/2024	Approved		
ZA-23-09	Watershed Boundary Update	Staff	12/20/2023	12/7/2023	1/4/2024	Approved		



Town of Smithfield
 Planning Department
 350 E. Market St Smithfield, NC
 P.O. Box 761, Smithfield, NC 27577
 Phone: 919-934-2116
 Fax: 919-934-1134

Permits Issued for December 2024

		Permit Fees	Permits Issued
Zoning	Land Use	\$1300.00	14
Subdivisions	Major Subdivision	\$1,225.00	13
Site Plan	Minor Site Plan	\$475.00	10
Zoning	Sign	\$150.00	3
Zoning	Wireless Communication (Small Cell)	\$0.00	0
Zoning	Single Family & Two Family Zoning	\$50.00	2
ROW Encroachment	Right of Way Encroachment	\$0.00	2
Report Period Total:		\$3,150.00	44
Fiscal YTD Total:		\$22,300.00	358

Permit#	Permit Type	Sub Type	Address	File Open Date	Fees
ROW24-00000	ROW Encroachment	ROW Encroachment	Bradford Street	12/11/2024	0
ROW24-00000	ROW Encroachment	ROW Encroachment	White Oak Drive	12/20/2024	0
SP24-000179	Site Plan	Minor Site Plan	200 North Roderick Drive	12/02/2024	25
SP24-000180	Site Plan	Major Site Plan	835-871 Olive Branch Drive	12/03/2024	50
SP24-000181	Site Plan	Major Site Plan	880 Olive Branch Drive	12/04/2024	25
SP24-000182	Site Plan	Major Site Plan	896 Olive Branch Road	12/04/2024	25
SP24-000183	Site Plan	Minor Site Plan	53 Ascott Circle	12/04/2024	25
SP24-000184	Site Plan	Major Site Plan	55 Airport Industrial Drive	12/06/2024	100
SP24-000185	Site Plan	Minor Site Plan	130 Galilee Branch Drive	12/09/2024	25
SP24-000186	Site Plan	Minor Site Plan	242, 384-410 Hopewell Branch Court	12/10/2024	100
SP24-000187	Site Plan	Minor Site Plan	545 East Market Street	12/10/2024	100
SP24-000188	Site Plan	Minor Site Plan	912 Olive Branch Drive	12/10/2024	25
SP24-000189	Site Plan	Minor Site Plan	173 Galilee Branch Drive	12/10/2024	25
SP24-000190	Site Plan	Major Site Plan	164-184 Cowlily Court	12/11/2024	150
SP24-000191	Site Plan	Major Site Plan	321-345 West Saltgrass Lane	12/11/2024	175
SP24-000192	Site Plan	Major Site Plan	349-369 West Saltgrass Lane	12/11/2024	150
SP24-000193	Site Plan	Major Site Plan	809 Olive Branch Drive	12/17/2024	25
SP24-000194	Site Plan	Major Site Plan	91, 129, 151 Retreat Run	12/17/2024	75
SP24-000195	Site Plan	Major Site Plan	120, 126, 130, 134, 138 Paramount Drive	12/17/2024	125
SP24-000196	Site Plan	Major Site Plan	146, 150, 154, 158 Paramount Drive	12/17/2024	100
SP24-000197	Site Plan	Major Site Plan	164, 168, 172, 176 Paramount Drive	12/17/2024	100
SP24-000198	Site Plan	Major Site Plan	306, 310, 314, 318, 322 Thompson Overlook	12/18/2024	125
SP24-000199	Site Plan	Minor Site Plan	1112 South Walnut Drive	12/20/2024	25
SP24-000200	Site Plan	Minor Site Plan	701 East Street	12/20/2024	25
SP24-000201	Site Plan	Minor Site Plan	545 East Market Street	12/31/2024	100
Z24-000155	Zoning	Land Use	1025 Outlet Center Drive Suite 905	12/06/2024	100

Z24-000157	Zoning	Single Family & Two F	106 Whitley Drive	12/03/2024	25
Z24-000159	Zoning	Sign	100 Smithfield Crossing Street	12/06/2024	50
Z24-000160	Zoning	Sign	150 South Equity Drive Units G and H	12/10/2024	50
Z24-000161	Zoning	Land Use	1329 North Brightleaf Boulevard A2 and A3	12/10/2024	100
Z24-000162	Zoning	Land Use	1327 North Brightleaf Boulevard Building E	12/10/2024	100
Z24-000163	Zoning	Land Use	502 East Market Street Unit A	12/16/2024	100
Z24-000164	Zoning	Sign	502 East Market Street Unit A	12/16/2024	50
Z24-000165	Zoning	Land Use	240 West Market Street	12/16/2024	0
Z24-000166	Zoning	Land Use	1209 West Market Street	12/17/2024	100
Z24-000167	Zoning	Land Use	1025 Outlet Center Drive	12/18/2024	100
Z24-000169	Zoning	Land Use	513 Outlet Center Drive	12/20/2024	100
Z24-000170	Zoning	Single Family & Two F	105 South Third Street	12/20/2024	25
Z24-000171	Zoning	Land Use	104 Airport Industrial Drive Suite 101	12/20/2024	100
Z24-000172	Zoning	Land Use	2317 South Brightleaf Boulevard	12/20/2024	100
Z24-000173	Zoning	Land Use	104 Airport Industrial Drive Suite 102	12/27/2024	100
Z24-000174	Zoning	Land Use	104 Airport Industrial Drive Ste 103	12/27/2024	100
Z24-000175	Zoning	Land Use	22 Noble Street	12/30/2024	100
Z24-000176	Zoning	Land Use	1327 North Brightleaf Boulevard Unit A	12/31/2024	100



SMITHFIELD POLICE DEPARTMENT

110 S. Fifth Street • Smithfield, NC 27577
Phone: (919) 934-2121 • Fax: (919) 934-0223

MONTHLY STATISTICS

MONTH ENDING December 31, 2024

	MONTHLY TOTAL	YEAR TO DATE TOTAL
CALLS FOR SERVICE	1623	20269
INCIDENT REPORTS TAKEN	119	1415
BURGLARY	5	39
CASES CLOSED	69	1018
ACCIDENT REPORTS	91	1030
ARREST REPORTS TAKEN	75	913
DRUGS	17	199
DWI	4	58
CITATIONS ISSUED	125	1969
PARKING/PAID	18/3	846/187
SPEEDING	7	103
NOL/DWLR	53	734
FICT/CNCL/REV REG CARD/TAG	26	256

Smithfield, North Carolina • The Heart of Johnston County Since 1777

REPORTED UCR OFFENSES FOR THE MONTH OF DECEMBER 2024

PART I CRIMES	December	December	+/-	Percent	Year-To-Date		+/-	Percent
	2023	2024		Changed	2023	2024		Changed
MURDER	0	0	0	N.C.	1	1	0	0%
RAPE	0	0	0	N.C.	3	2	-1	-33%
ROBBERY	0	0	0	N.C.	6	8	2	33%
Commercial	0	0	0	N.C.	1	4	3	300%
Individual	0	0	0	N.C.	5	4	-1	-20%
ASSAULT	4	2	-2	-50%	39	53	14	36%
* VIOLENT *	4	2	-2	-50%	49	64	15	31%
BURGLARY	3	5	2	67%	44	43	-1	-2%
Residential	2	1	-1	-50%	22	20	-2	-9%
Non-Resident.	1	4	3	300%	22	23	1	5%
LARCENY	48	52	4	8%	418	381	-37	-9%
AUTO THEFT	2	1	-1	-50%	23	26	3	13%
ARSON	0	1	1	N.C.	2	2	0	0%
* PROPERTY *	53	59	6	11%	487	452	-35	-7%
PART I TOTAL:	57	61	4	7%	536	516	-20	-4%
PART II CRIMES								
Drug	11	15	4	36%	153	208	55	36%
Assault Simple	13	2	-11	-85%	132	117	-15	-11%
Forgery/Counterfeit	0	0	0	N.C.	16	17	1	6%
Fraud	3	7	4	133%	84	72	-12	-14%
Embezzlement	1	1	0	0%	9	12	3	33%
Stolen Property	2	0	-2	-100%	5	9	4	80%
Vandalism	4	6	2	50%	53	67	14	26%
Weapons	3	0	-3	-100%	10	12	2	20%
Prostitution	0	0	0	N.C.	0	0	0	N.C.
All Other Sex Offens	0	1	1	N.C.	2	5	3	150%
Gambling	0	0	0	N.C.	0	0	0	N.C.
Offn Agnst Faml/Chld	0	1	1	N.C.	1	9	8	800%
D. W. I.	7	3	-4	-57%	54	58	4	7%
Liquor Law Violation	0	0	0	N.C.	2	4	2	100%
Disorderly Conduct	1	0	-1	-100%	7	7	0	0%
Obscenity	0	0	0	N.C.	0	1	1	N.C.
Kidnap	0	0	0	N.C.	3	1	-2	-67%
Human Trafficking	0	0	0	N.C.	0	0	0	N.C.
All Other Offenses	19	23	4	21%	289	268	-21	-7%
PART II TOTAL:	64	59	-5	-8%	820	867	47	6%
=====								
GRAND TOTAL:	121	120	-1	-1%	1356	1383	27	2%

N.C. = Not Calculable



**Town of Smithfield
Fire Department
December 2024**

I. Statistical Section

Dec.

Confirmed Structure Fires	7
EMS Responses	182
Misc./Other Calls	38
Mutual Aid Calls	15
TOTAL EMERGENCY RESPONSES	293

Dec. YTD

Fire Inspections	76	859
Public Fire Education Programs	1	38
# Of Children Educated	15	4,981
# Of Adults Educated	15	1,797
Plans Review Construction/Renovation Projects	24	242
Fire Department Permits reviewed / Issued	40	405
Business Preplans	0	0
Fire Related Injuries & Deaths	0	0
# Of Civilian Deaths	0	0
# Of Civilian Injuries	0	0

II. Major Revenues

Dec. YTD

Inspections/Permits	\$6,137.76	\$16,746.76
Fire Recovery USA	\$1,808.80	\$22,294.39

III. Personnel Update:

Continuous Part-time positions available, 19 p/t positions currently filled including the p/t fire inspector.
1 Firefighter Vacancy

IV. Narrative of monthly departmental activities:

- Squad was in-service 7 of 22 days
- Total Training Hours for December = 378.5 hours
- Website Updating (Continuing)

- Command Staff Meeting.
- Follow-ups and Re-inspections.
- Complete Open inspections
- Meet with County on Buildings with Challenging Issues and permit problems
- Exit/Emergency Light testing guide to be completed and provided for large occupancies.
-

V. Upcoming Plans

- Complete Open inspections
- Amazon Annual Inspection
- Hospital Evacuation Drill
- New Projects Meeting with Building Inspections
- Fire Investigation Documentation and Preparation
-

**Town of Smithfield
Public Works Department
December 31, 2024**



<u>158</u>	Total Work Orders completed by the Public Works Department
<u>4</u>	Burials, at \$775.00 each = <u>\$3,1000.00</u>
<u>0</u>	Cremation Burial, \$425.00 each = \$0
<u>\$0</u>	Sunset Cemetery Lot Sales
<u>\$0</u>	Riverside Extension Cemetery Lot Sales
<u>507.72</u>	tons of household waste collected
<u>184.00</u>	tons of yard waste collected
<u>3.04</u>	tons of recycling collected
<u>0</u>	gallons of used motor oil were recycled
<u>0</u>	scrap tires were recycled

Town of Smithfield
Public Works Appearance Division
Cemetery, Landscapes, and Grounds Maintenance
Buildings, Facilities, and Sign Division
Monthly Report
December 31, 2024



I. Statistical Section

- 4 Burials
- 5 Works Orders – Buildings & Facilities Division
- 51 Work Orders – Grounds Division
- 31 Work Orders – Sign Division

II. Major Revenues

Sunset Cemetery Lot Sales:	\$ <u>0</u>
Riverside Ext Cemetery Lot Sales:	\$ <u>0</u>
Grave Opening Fees:	\$ <u>3,100.00</u>
Total Revenue:	\$ <u>3,100.00</u>

III. Major Expenses for the Month:

Paid \$17,390.00 to Best Brothers Tree Service for removal of 74 Bradford Pear trees.
 Paid \$3,250.00 to Barbour Beaver Control company.
 Paid \$2,400 to craft digging service for Cemetery burials

IV. Personnel Update:

No one hired for the month of December.

V. Narrative of monthly departmental activities:

The overall duties include daily maintenance on cemeteries, landscapes, right-of-ways, buildings and facilities. The Safety meeting was on Behavior Based Safety with speaker Jaime Pearce.

**Town of Smithfield
Public Works Fleet Maintenance Division
Monthly Report
Dec. 31, 2024**



I. Statistical Section

 2 Preventive Maintenances

 0 North Carolina Inspections

 24 Work Orders

II. Major Revenues

None for the month

III. Major Expenses for the Month:

None for the month

IV. Personnel Update:

None for the month

V. Narrative of monthly departmental activities:

The shop employee performed preventive maintenance on most Town owned. Vehicles. The Safety meeting was on "Behavior Based Safety" with speaker Jaime Pearce.



Reporting

12/01/2024 - 12/31/2024

Last Month

Work Orders 16

Purchase Orders

Reporting

Requests

Assets

Messages

Categories

Parts Inventory

Library

Meters

Automations

Locations

Teams / Users

Vendors

Work Orders

Asset Health

Reporting Details

Recent Activity

Export Data

Custom Dashboards

Assigned To

Due Date

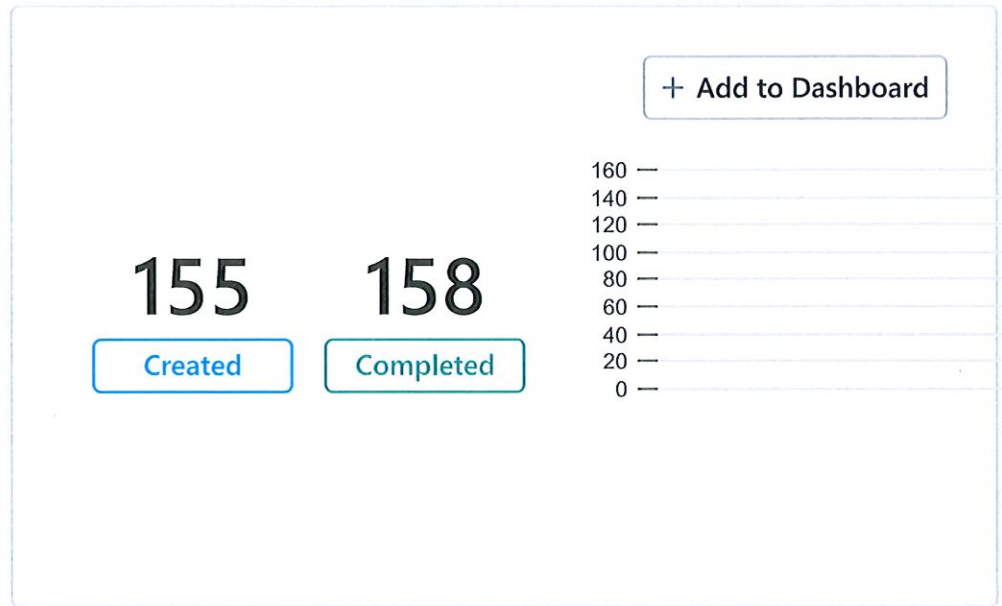
Category

+ Add Filter

My Filters

Created vs. Completed

Created vs. Completed



Grouped by: Team | User | Asset | Location

Category	Assigned	Completed	Cor
Sanitation Division	49	53	10E
Signage	31	31	10C
Streets Division	5	5	10C
Appearance Division	52	52	10C
Funeral records	1	-	-
Utilities	15	15	10C
Garage	256	1	10C

Support

Lawrence Davis

Settings



Work Orders List for 01/01/2025 - 01/31/2025

WORK ORDER INFO	LOCATION & ASSET	DUE & STATUS	TIME & COST	PROCEDURE ANSWERS
#4503 819 repair tire Type: Reactive Utilities Andrew Strickland	Drainage Division Parent: Public Utilities (Electric Department) Truck# 819	✓ Done Completed by Andrew Strickland on 01/02/2025	Total Time Costs Total Time 1h 0m 0s Total Costs \$22.33	
#4508 Diagnose and repair 820 Type: Reactive Utilities Andrew Strickland	Drainage Division Parent: Public Utilities (Water and Sewer) Truck# 820	✓ Done Completed by Andrew Strickland on 01/02/2025	Total Time Costs Total Time 6h 0m 0s Total Costs \$133.98	
#4519 Replaced front wheel hubs 300 Type: Reactive Sanitation Division Andrew Strickland	Drainage Division Parent: Sanitation Division Truck #300	✓ Done Completed by Andrew Strickland on 01/03/2025	Total Time Costs Total Time 2h 0m 0s Total Costs \$44.66	
#4537 Service 315 Type: Reactive Sanitation Division Andrew Strickland	Drainage Division Parent: Sanitation Division Truck 315	✓ Done Completed by Andrew Strickland on 01/08/2025	Total Time Costs Total Time 1h 0m 0s Total Costs \$22.33	

PROCEDURE ANSWERS

TIME & COST

DUE & STATUS

LOCATION & ASSET

WORK ORDER INFO

#4538
Change tires 321
 Type: Reactive
Sanitation Division
 Andrew Strickland

Public Works Facility
 Truck 321
 Parent: Sanitation Division

✓ Done
 Completed by Andrew Strickland on 01/08/2025

Total Time Costs
 Total Time 4h 0m 0s
Total Costs \$89.32

#4539
Checked snow plow
 Type: Reactive
Sanitation Division
 Andrew Strickland

Drainage Division
 Truck 401/
 snow plow
 Parent: Drainage Division

✓ Done
 Completed by Andrew Strickland on 01/08/2025

Total Time Costs
 Total Time 3h 0m 0s
Total Costs \$66.99

#4540
Changed batteries 405
 Type: Reactive
Drainage Division
 Andrew Strickland

Drainage Division
 Truck #405 (Parent: Big Dump Truck)
 Parent: Drainage Division

✓ Done
 Completed by Andrew Strickland on 01/08/2025

Total Time Costs
 Total Time 1h 0m 0s
Total Costs \$22.33

#4550
Replaced bulb 709
 Type: Reactive
Utilities
 Andrew Strickland

Drainage Division
 Truck# 15709
 Parent: Public Utilities (Water and Sewer)

✓ Done
 Completed by Andrew Strickland on 01/09/2025

Total Time Costs
 Total Time 1h 0m 0s
Total Costs \$22.33

#4557
Replaced rear differential 309
 Type: Reactive
Sanitation Division
 Andrew Strickland

Drainage Division
 Truck 309
 Parent: Sanitation Division

✓ Done
 Completed by Andrew Strickland on 01/10/2025

Total Time Costs
 Total Time 24h 0m 0s
Total Costs \$535.92

#4563
 Andrew Strickland

Drainage Division

✓ Done

Total Time Costs \$22.33

PROCEDURE ANSWERS

TIME & COST

DUE & STATUS

LOCATION & ASSET

WORK ORDER INFO

Replaced Hydraulic line 319
 Type: Reactive
Sanitation Division
 Andrew Strickland

Parent: Sanitation Division
 Truck #319

Completed by Andrew Strickland on 01/13/2025

Total Time 1h 0m 0s
Total Costs \$22.33

#4564
Removed plow from 408 and 401
 Type: Reactive
Drainage Potholes and street repairs
 Andrew Strickland

Parent: Drainage Division
 Truck #408 (F550)

Completed by Andrew Strickland on 01/13/2025

Total Time Costs \$44.66
 Total Time 2h 0m 0s
Total Costs \$44.66

#4577
Replaced alternator 806
 Type: Reactive
Utilities
 Andrew Strickland

Parent: Public Utilities (Electric Department)
 Truck# 806

Completed by Andrew Strickland on 01/14/2025

Total Time Costs \$44.66
 Total Time 2h 0m 0s
Total Costs \$44.66

#4583
Regen 806
 Type: Reactive
Utilities
 Andrew Strickland

Parent: Public Utilities (Electric Department)
 Truck# 806

Completed by Andrew Strickland on 01/15/2025

Total Time Costs \$22.33
 Total Time 1h 0m 0s
Total Costs \$22.33

#4584
Service 319
 Type: Reactive
Sanitation Division

Parent: Sanitation Division
 Truck #319

Completed by Andrew Strickland on 01/15/2025

Total Time Costs \$44.66
 Total Time 2h 0m 0s
Total Costs \$44.66

WORK ORDER INFO

LOCATION & ASSET

DUE & STATUS

TIME & COST

PROCEDURE ANSWERS

Andrew Strickland

#4586

Service truck 311

Type: Reactive

Fleet Division

Drainage Division

Parent: Sanitation Division

Completed by Andrew Strickland on 01/15/2025

✓ Done

Andrew Strickland

#4585

Service 304

Type: Reactive

Sanitation Division

Drainage Division

Parent: Sanitation Division

Completed by Andrew Strickland on 01/15/2025

✓ Done

Andrew Strickland

#4587

Replaced bucket pins

Parent: Kubota

Type: Reactive

Appearance Division

Appearance Division

Parent: Appearance Division

Completed by Andrew Strickland on 01/16/2025

✓ Done

Andrew Strickland

#4606

Changed tail light bulb 408

Type: Reactive

Drainage

Drainage Division

Parent: Drainage Division

Completed by Andrew Strickland on 01/21/2025

✓ Done

Andrew Strickland

Total Time Costs
Total Time
2h 0m 0s
\$44.66

Total Time Costs
Total Time
1h 0m 0s
\$22.33

Total Time Costs
Total Time
30m 0s
\$11.17

WORK ORDER INFO	LOCATION & ASSET	DUE & STATUS	TIME & COST	PROCEDURE ANSWERS
#4607 Attach snow plow 408 Type: Reactive Drainage Andrew Strickland	Drainage Division Truck #408 (F550) Parent: Drainage Division	✓ Done Completed by Andrew Strickland on 01/21/2025	Total Time Costs Total Time Total Costs	\$22.33 1h 0m 0s \$22.33

Created vs. Completed Category	Assigned		Completed		Group by Category Completed Ratio
	Assigned	Completed	Assigned	Completed	
Sanitation Division	6	6	6	6	100%
Appearance Division	1	1	1	1	100%
Utilities	15	15	15	15	100%
Garage	1	1	1	1	100%
Parks and rec	1	1	1	1	100%

Town of Smithfield
Public Works Drainage/Street Division
Monthly Report
Dec. 31, 2024



I. Statistical Section

- a. All catch basins in problem areas were cleaned on a weekly basis
- b. 0 Work Orders – 0 Tons of Asphalt was placed in 0 utility cuts,) 0 gator areas and 0 overlay.
- c. 0 Work Order – 0 Linear Feet Drainage Pipe installed.
- d. 0 Work Orders - 0 Linear Feet of ditches were cleaned
- e. 18 Work Orders – 750 lbs. of Cold Patch was used for 15 Potholes.

II. Major Revenues
None for the month

III. Major Expenses for the Month:
None for the month

IV. Personnel Update:
None for the month

V. Narrative of monthly departmental activities:
The Public Works Department safety meeting was on "Behavior Based Safety" with Jamie Pearce.

Work Orders List for 01/01/2025 - 01/31/2025



WORK ORDER INFO	LOCATION & ASSET	DUE & STATUS	TIME & COST	PROCEDURE ANSWERS
#4500 Stopsign leaning Type: Reactive Signage J.B. Young	Appearance Division	✓ Done Completed by J.B. Young on 01/02/2025	Total Time Costs Total Time \$1.77	\$1.77 7m 4s \$1.77
#4501 35mph sign faded Type: Reactive Signage J.B. Young	Appearance Division	✓ Done Completed by J.B. Young on 01/02/2025	Total Time Costs Total Time \$4.95	\$4.95 19m 47s \$4.95
#4504 Faded 35mph sign Type: Reactive Signage J.B. Young	Appearance Division	✓ Done Completed by J.B. Young on 01/02/2025	Total Time Costs Total Time \$5.12	\$5.12 20m 29s \$5.12
#4506 Faded 25 mph sign Type: Reactive Signage J.B. Young	Appearance Division	✓ Done Completed by J.B. Young on 01/02/2025	Total Time Costs Total Time \$5.99	\$5.99 23m 57s \$5.99
#4513 Stopsign been hit and leaning Type: Reactive Signage	Appearance Division	✓ Done Completed by J.B. Young on 01/03/2025	Total Time Costs Total Time \$3.30	\$3.30 13m 12s \$3.30

J.B. Young

Appearance Division

#4515
Stopsign leaning

Type: Reactive

[Signage](#)

J.B. Young

✓ Done

Completed by J.B. Young on
01/03/2025

Total Time Costs

Total Time

\$2.68

10m 44s

Total Costs \$2.68

#4528

Appearance Division

Install new 3-way
stopsigns

Type: Reactive

[Signage](#)

J.B. Young

✓ Done

Completed by J.B. Young on
01/07/2025

Total Time Costs

Total Time

\$25.26

1h 41m 2s

Total Costs \$25.26

#4534

Appearance Division

Scrape dirt roads

Type: Reactive

[Signage](#)

J.B. Young

✓ Done

Completed by J.B. Young on
01/08/2025

Total Time Costs

Total Time

\$17.78

1h 11m 7s

Total Costs \$17.78

#4536

Appearance Division

Faded stopsign

Type: Reactive

[Signage](#)

J.B. Young

✓ Done

Completed by J.B. Young on
01/08/2025

Total Time Costs

Total Time

\$5.64

22m 34s

Total Costs \$5.64

#4546

Appearance Division

Faded street blades

Type: Reactive

[Signage](#)

J.B. Young

✓ Done

Completed by J.B. Young on
01/09/2025

Total Time Costs

Total Time

\$18.60

1h 14m 23s

Total Costs \$18.60

#4554

Appearance Division

Street blades missing

✓ Done

Total Time Costs

\$19.59

WORK ORDER INFO

LOCATION & ASSET

DUE & STATUS

TIME & COST

PROCEDURE ANSWERS

Type: Reactive

[Signage](#)

J.B. Young

Completed by J.B. Young on 01/10/2025

Total Time 1h 18m 22s

Total Time

\$19.59

Total Costs

#4566

Potholes

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/13/2025

Total Time Costs \$4.14

Total Time 16m 33s

Total Time

\$4.14

Total Costs

#4567

Potholes

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/13/2025

Total Time Costs \$3.68

Total Time 14m 43s

Total Time

\$3.68

Total Costs

#4568

Pothole

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/13/2025

Total Time Costs \$2.11

Total Time 8m 27s

Total Time

\$2.11

Total Costs

#4569

Pothole

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/13/2025

Total Time Costs \$3.88

Total Time 15m 30s

Total Time

\$3.88

Total Costs

#4570

Pothole

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/13/2025

Total Time Costs \$2.27

Total Time 9m 5s

Total Time

\$2.27

Total Costs

WORK ORDER INFO

LOCATION & ASSET

DUE & STATUS

TIME & COST

PROCEDURE ANSWERS

#4573

Stopsign leaning

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on
01/14/2025

Total Time Costs

Total Time
27m 37s

\$6.90

#4574

Pothole

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on
01/14/2025

Total Time Costs

Total Time
10m 24s

\$2.60

#4575

Pothole

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on
01/14/2025

Total Time Costs

Total Time
11m 26s

\$2.86

#4576

Potholes

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on
01/14/2025

Total Time Costs

Total Time
12m 58s

\$3.24

#4578

Faded street blades

Type: Reactive

[Signage](#)

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on
01/14/2025

Total Time Costs

Total Time
1h 22m 13s

\$20.55

#4595

Street blades bent

Type: Reactive

Appearance Division

✓ Done

Completed by J.B. Young on
01/17/2025

Total Time Costs

Total Time
1h 21m 9s

\$20.29

Signage

J.B. Young

#4596

Faded stopsign

Type: Reactive

Signage

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/17/2025

Total Time Costs

Total Time

\$4.18

16m 43s

Total Costs

\$4.18

#4603

Faded 25mph sign

Type: Reactive

Signage

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/21/2025

Total Time Costs

Total Time

\$2.98

11m 56s

Total Costs

\$2.98

#4605

Street blades missing

& Faded stopsign

Type: Reactive

Signage

J.B. Young

Appearance Division

✓ Done

Completed by J.B. Young on 01/21/2025

Total Time Costs

Total Time

\$31.61

2h 6m 27s

Total Costs

\$31.61

Signed off by

Date

**Town of Smithfield
Public Works Sanitation Division
Monthly Report
December 31, 2025**



I. Statistical Section

The Division collected from approximately 4,360 homes, 4 times during the month

- a. Sanitation forces completed 51 work orders
- b. Sanitation forces collected tons 507.72 of household waste
- c. Sanitation forces disposed of loads 92 of yard waste and debris at Spain Farms Nursery
- d. Recycled .73 tons of clean wood waste (pallets) at Convenient Site Center
- e. Town's forces collected 2 tons of construction debris (C&D)
- f. Town disposed of 0 scrap tires that was collected at Convenient Site Center
- g. Recycling forces collected 3.04 tons of recyclable plastic
- h. Recycled 0 lbs. of cardboard material from the Convenient Site Center
- i. A total of 0 gals of Anti-freeze was collected at the Convenient Site Center
- j. Recycled 2,640 lbs. of plastics & glass (co-mingle) from the Convenient Site Center.

II. Major Revenues

- a. Received \$0.00 from Sonoco Products for cardboard material
- b. Sold 740lbs. of aluminum cans for \$88.80
- c. Sold 3,680 lbs. of shredder steel for \$ 258.60 to Foss

III. Major Expenses for the Month:

Spain Farms Nursery was paid \$ 3,496.00 for disposal of yard waste and debris. Rehigh Pacific Co. was paid \$1,500.00 for new trash cans. Sampson Bladen Oil Co. was paid \$1,174.00 for bulk order of oil and hydro fluid. Velocity Truck Centers was paid \$956.75 for new radiator connectors on KB # 304. Walker Napa Auto Parts was paid \$569.93 for Def and battery pack,

IV. Personnel Update: There has been no new hires.

V. Narrative of monthly departmental activities: The Public Works department worked closely with Downtown Development and Parks and Recreation by providing traffic control devices for the Christmas Parade events.

Public Works Safety Training was on "Behavior Based Safety with Jamie Pearce.

Community Service Workers worked 0 Hrs.

**Town of Smithfield
Public Works Storm Water Division
Monthly Report
December 31, 2024**



I. Statistical Section

II. Major Revenues
None

III. Major Expenses for the Month:

Paid \$9,720.00 to Stuckey's Backhoe Service Inc. for pipe repair in Randers Court in Eden Woods .

IV. Personnel Update:

None

V. Narrative of monthly departmental activities:

Street Sweep and storm drain cleaning and repair.

V. The Public Works safety meeting was on "Behavior Based Safety" with Jaime Pearce with Wellness Works.



MONTHLY REPORT FOR DECEMBER, 2024

PROGRAMS STATISTICS	DECEMBER, 2024	24/25 FY YTD	DECEMBER, 2023	23/24 FY YTD
NUMBER OF PROGRAMS	7	56	8	56
TOTAL ATHLETICS PARTICIPANTS	357	3807	274	2017
TOTAL NON/ATHLETIC PARTICIPANTS	3518	6486	4311	7117
SARAH YARD COMMUNITY CENTER	103	774	101	773
NUMBER OF GAMES PLAYED	0	733	0	0
TOTAL NUMBER OF PLAYERS (GAMES)	0	15557	0	0
NUMBER OF PRACTICES	318	616	210	273
TOTAL NUMBER OF PLAYER(S) PRACTICES	2862	7698	1890	2526
	DECEMBER, 2023	23/24 FY YTD	DECEMBER, 2023	23/24 FY YTD
PARKS RENTALS	1	175	9	252
USERS (PARKS RENTALS)	12	22002	275	1288
TOTAL UNIQUE CONTACTS	6,495	51,818	6,577	32,242
	DECEMBER, 2023	23/24 FY YTD	DECEMBER, 2023	23/24 FY YTD
PARKS AND RECREATION REVENUES	\$ 1,705.00	\$ 77,716.00	\$ 2,565.00	\$ 45,703.00
PARKS AND RECREATION EXPENDITURES (OPERATIONS)	\$ 66,294.00	\$ 526,330.00	\$ 62,910.00	\$ 428,681.00
PARKS AND RECREATION EXPENDITURE (CAPITAL OUTLAY EQUIP)	\$ 8,861.00	\$ 526,330.00	\$ 12,068.00	\$ 69,034.00
SARAH YARD COM CTR EXPENDITURES (OPERATIONS)	\$ 2,298.00	\$ 15,435.00	\$ 3,095.00	\$ 16,033.00
SARAH YARD COM CTR EXPENDITURES (CAPITAL OUTLAY EQUIP)	\$ -	\$ 4,300.00	\$ -	\$ 7,475.00

NOTES: CHRISTMAS TREE LIGHTING
CHRISTMAS PARADE
COOKIES AND HOT CHOCOLATE POP UPS
GRINCH RUN AND JINGLE BELL JOG
YOUTH BASKETBALL (360+ PLAYERS)



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COOKIES AND HOT CHOCOLATE POP UPS
GRINCH RUN AND JINGLE BELL JOG
YOUTH BASKETBALL (360+ PLAYERS)



- **Statistical Section**

- Electric CP Demand 24,749 Kw relative to November's demand of 17,725 Kw.
- Electric System Reliability was 99.9999%, with zero (0) recorded main line outages; relative to November's 99.9985%.
- Raw water treated on a daily average was 4.465 MG relative to 4.012 MG for November; with maximum demand of 5.974 MG relative to November's 4.984 MG.
- Total finished water to the system was 125.440 MG relative to November's 111.014 MG. Average daily for the month was 4.046 MG relative to November's 3.581 MG. Daily maximum was 5.559 MG (December 11th) relative to November's 4.435 MG. Daily minimum was 2.882 MG (December 7th), relative to November's 2.566 MG.

- **Miscellaneous Revenues**

- Water sales were \$252,132 relative to November's \$295,478
- Sewer sales were \$432,078 relative to November's \$498,301
- Electrical sales were \$1,384,502 relative to November's sales of \$1,247,365
- Johnston County Water purchases were \$184,790 for 72.752 MG relative to November's \$225,489 for 88.917 MG.

- **Major Expenses for the Month**

- Electricity purchases were \$1,150,304 relative to November's \$904,480
- Johnston County sewer charge was \$192,505 for 43.066 MG relative to November's \$166,607 for 37.272 MG.

- **Personnel Changes**

Chris Smith retired from part-time employment on December 20, 2024

Rodney Johnson retired as Electric Superintendent on December 31, 2024.



**Town of Smithfield
Electric Department
Monthly Report
December, 2024**

I. Statistical Section

- Street Lights repaired –45
- Area Lights repaired-5
- Service calls – 32
- Underground Electric Locates -718
- Poles changed out/removed or installed -3
- Underground Services Installed -9

II. Major Revenues

- N/A

III. Major Expenses for the Month:

- N/A

IV. Personnel Update:

- The Electrical Dept. has a full staff at this time.

V. Miscellaneous Activities:

- The Electrical Dept. has only house services & street lights to install at East River Phases 3,4 & 5 as houses are completed.
- The Electrical Dept. is working on replacing old poles and upgrading lines in the East Market St. area.
- The Electrical Dept is continuing to work on the Pole Audit Town wide.
- The Electrical Dept. helped the Street Dept. install Christmas Decorations along Market St., Peedin Rd. and West Smithfield.



Public Utilities Water and Sewer

Monthly Statistics	Month Ending	12/31/2024
	<i>Monthly Total</i>	<i>Year to Date Total</i>
Water Calls	91	991
Sewer Calls	42	689
Utility Locates	586	4850
Storm Drainage Calls	1	11
Total Calls	720	6541
Quotes new services	1	65
Inspections	7	165
Locate existing water & sewer services	12	82
Disconnect water	1	40
Reconnect water	2	13
Test meter	1	67
Temp hydrant meter	0	25
Discolored water call	1	36
Low pressure call	2	78
Leak detection	22	246
Meter check	24	304
Meter repair	15	161
Service leak	4	73
Water main leak	16	51
Replace existing water meter	11	103
Install new water meter	35	223
Install new water service	0	42
Renew water service	2	45
Water blow off repair	0	4
Street cuts	8	99
Repair utility cut or sink hole	5	35

Fire hydrant repair	3	22
Fire hydrant replaced	2	14
Camera Sewer main or service	2	44
Sewer odor complaint	0	21
Sewer main repair	7	110
Clean out repair or install	7	93
LF of sewer main cleaned	350	14905
Lf of sewer service cleaned	1630	14605
Lf of storm drain cleaned	0	4060

- Serviced and maintained 22 Sanitary Sewer Lift Stations 2 times per week
- Inspected all aerial sewer lines
- Inspected all high priority manholes weekly
- **Helped public works with cleaning storm drain lines and catch basins during and before rain events**

Major Expenses for the month of September

- Had Stuckey to make some water and sewer repairs that we were not able to.
- Still having work done on the Vac truck.
- Lumos is still destroying lines.

Upcoming Projects for the month of November

- I 95 project continues.
- Floyd landing work continues.
- Hydromechanics will resume replacing and repairing fire hydrants.

Personnel Updates

Chris Smith retired again



MONTHLY WATER LOSS REPORT

December 2024

(12) - Meters with slow washer leaks

(3) 3/4" Line, 1/8", 1 day

1" Line, 1/8", 1 week

1" Line, 1/8", 1 day

(4)-2" Line, Shear, 2 days

(3)-2" Line, 1/8", 1 day

(4)-6" Line, Shear, 1 day

(3)-Fire Hydrants Slow drip

