



PLANNING BOARD AGENDA

Members:

Chair: Mark Lane (ETJ)
Vice-Chair: Ashley Spain (ETJ)

Jamie Beasley (Town) Luke Stancil (Town)
Nariman Jaminia (Town) Alisa Bizzell (Town)

Staff:

Stephen Wensman, AICP, ALA, Planning Director
Micah Woodard, CZO, Planner I
Julie Edmonds, Administrative Support Specialist

Meeting Date: Thursday, January 8th, 2026
Meeting Time: 6:00 p.m.
Meeting Place: Council Chambers, Smithfield Town Hall



**PLANNING BOARD AGENDA
FOR REGULAR MEETING
JANUARY 8, 2026
MEETING TIME: 6:00 PM
TOWN HALL COUNCIL CHAMBERS**

- 1) **Call to Order.**
- 2) **Pledge of Allegiance.**
- 3) **Identify voting members.**
- 4) **Approval of the agenda.**
- 5) **Approval of the minutes from December 4, 2025.**
- 6) **New Business.**
 - a) ZA-25-05 Board Composition and TC Notice: Town Staff has been directed by the Town Council to amend the Unified Development Ordinance Article 3, Section 3.3, 3.4.2 and to amend board composition, chair and vice chair requirements, term limits and other minor updates, and Article 4, Section 4.6.4 to reflect current practice as to when Planning Board recommendations shall be received by the Town Council.
 - b) CZ-25-06 Bellamy: Rock Tower Partners LLC is requesting approval of a revised Bellamy R-8 conditional rezoning master plan consisting of 11,076 units of residential: 885 detached single-family residential lots and 191-townhouse lots over +/-500-acres of land. The development area is concurrently seeking annexation into the Town of Smithfield.
 - c) CZ-25-07 West Smithfield Amazon Commercial: Applicant, Real Zeal Property Group, LLC. requests the rezoning of +/- 3 acres of land in the Light Industrial District to B-3 Conditional with a site plan for a convenience store. The convenience store is planned to have direct access to the highway with a right-in and right-out driveway and a secondary access to the future industrial road.
 - d) CZ-25-08 Grace Homemade Flex Commercial: Dalton Engineering is requesting the rezoning of a 1.15 acres property located on the north side of East Market Street between 6th and 7th Street from B-2 to B-2 Conditional with a master plan for a flex commercial building and site development.
- 7) **Old Business.**
 - a) Continued discussion of CA-25-01 Comp Plan Amendment: After the December 4th 2025 Planning Board Meeting Chairman Lane requested the Planning Board and Staff re-review the Comprehensive Growth Management Plan amendments before a final recommendation is made to the Town Council.
- 8) **Adjournment.**

**Draft
Town of Smithfield
Planning Board Minutes
Thursday, December 4th, 2025
Council Chambers
6:00 PM**

Members Present:

Chairman Mark Lane
Vice-Chairman Ashley Spain
Nariman Jaminia
Jaime Beasley
Luke Stancil
Alisa Bizzell

Members Absent:

Staff Present:

Stephen Wensman, Planning Director
Micah Woodard, Planner I
Julie Edmonds, Administrative Support Specialist

Staff Absent:

CALL TO ORDER

PLEDGE OF ALLEGIANCE

IDENTIFY VOTING MEMBERS

APPROVAL OF AGENDA Jaime Beasley made a motion to approve the amended agenda; seconded by Nariman Jaminia. Unanimously Approved

APPROVAL OF MINUTES November 6th, 2025

Alisa Bizzell made a motion to approve the minutes, seconded by Nariman Jaminia. Unanimously approved.

New Business

NOMINATION OF NEW VICE-CHAIRMAN

Mark Lane opened the floor for nominations for a new vice-chairman.

Jaime Beasley nominated Ashley Spain; seconded by Luke Stancil. Unanimously approved.

Approval of 2026 Planning Board Meeting Schedule

Alisa Bizzell made a motion to approve the 2026 meeting schedule; seconded by Nariman Jaminia.

Mark Lane added an informal discussion with DSDC Director, Heidi Gilmond to talk about downtown parking.

SUP-25-01 Adrenaline Designs: Adrenaline Designs, LLC seeks a special use permit to utilize property located within the B-3 (Entranceway, Highway Business) zoning district for a tattoo establishment. The property considered for approval is located at 1247 N. Brightleaf Boulevard in the Center Point Plaza shopping center at the north east corner of the Booker Dairy Road and N Brightleaf Boulevard intersection. The property is further identified by the Johnston County Tax ID 14074002.

Micah Woodard stated the applicant Adrenaline Designs; LLC has requested a special use permit to operate a tattoo establishment within the B-3 zoning district. The business would be operating from 1247 N. Brightleaf Blvd in Center Point Plaza shopping center. The UDO (Unified Development Ordinance) requires tattoos and body piercing establishments have a special use permit to operate in the B-2 or B-3 zoning districts.

The Planning staff initiated an ordinance amendment that was reviewed by the Planning Board in January 2025 that would remove the special use requirement for tattoo establishments and would make the use permitted by right in the B-2 and B-3 zoning districts. Planning Staff believe the special use requirement is a relic of the past when there was a stigma about such establishments. The tattoo and body piercing shops are commonplace today and concerns about health and safety are addressed with state regulation of the industry. A public hearing before the Town Council for this amendment has not yet been scheduled.

Micah Woodard stated Planning staff recommends approval by Town Council for the proposed ordinance amendment. He also stated that all Findings of Fact have been met and this request will not affect surrounding businesses and will be in conformance with the UDO requirements.

Nariman Jaminia asked if neighboring businesses in this strip mall were aware of the business that has been proposed?

Stephen Wensman stated they will receive notice by mail.

Mark Lane stated no other Planning Board member had any comment. He announced this case will go before Smithfield Town Council on Tuesday, January 20th, 2026 at 7:00 pm.

SUP-25-02 Aruza Pest Control: Allied Commercial Properties of Johnston, LLC seeks a special use permit to utilize property located within the B-3 (Entranceway, Highway Business) zoning district for a pest control business (Aruza Pest Control) to operate on their property. The property considered for approval is located at 1338 N. Brightleaf Boulevard. The property is further identified by the Johnston County Tax ID 14002010C.

Micah Woodard stated Aruza Pest Control is requesting a special use permit to operate a pest control business at 1338-A North Brightleaf Boulevard. In the Unified Development Ordinance (UDO) Section 6.6, Table of Uses, Exterminating Services is shown as a special use. The proposed use will be located in a multi-tenant commercial building with 2 tenant suites. The other tenant in the building is an industrial supply company. There is adequate parking on site for the uses. The use of the property will involve storage of small quantities of insecticide that are licensed and inspected by the NC Department of Agriculture and Consumer Services. The materials are not volatile and shouldn't be a detriment to adjacent properties.

Christopher Pickar of Clayton and also an employee of Aruza Pest Control came forward to answer any questions from the Planning Board.

Nariman Jaminia asked Mr. Pickar if his business would be doing any fogging?

Christopher Pickar said yes, mosquito fogging but not fumigations.

Nariman Jaminia asked if the equipment was cleaned on-site?

Christopher Pickar said yes it will be a controlled atmosphere where everything is triple rinsed and containers are punctured to ensure they aren't used away from the business. He also stated the water will not end up in the sewer.

Planning Staff recommends to Town Council that the proposed Special Use Permit request be approved in accordance with the finding of fact. They also stated this request will not affect surrounding businesses and will be

in conformance with the UDO requirements. This case will go before Smithfield Town Council on Tuesday, January 20th, 2026 at 7:00 pm.

Heidi Gilmond, director of DSDC (Downtown Smithfield Development Corporation) explained their role as a non-profit organization is to partner with the Town of Smithfield to revitalize and create a more economically vibrant downtown district. The district stretches from the Neuse River to Hwy 301 on Market Street and then Bridge Street to Johnston and Church St. An independent study by a third-party consultant was done over a year ago to address the parking situation in downtown Smithfield. The findings of the study were presented to Town Council in April of last year. The findings of the study showed market street was more than three times the allowed ratio of crashes for vehicle damage. Regardless how you park or get in and out of your vehicle on Market Street it is hazardous. The consultants presented three options. The top two options were to retain parking on the north side of the street or widen the lanes to meet current DOT standards. It was decided that removing parking on both sides of the road was the safest and to widen the lanes to 11 feet. The Planning Board members discussed their opinions of how the parking should be done. Everyone has a better understanding of what changes the DOT will be making.

Old Business

Continue discussion for CA-25-01 Comp Plan Amendment: Staff is requesting the Planning Board review the Comprehensive Growth Management Plan amendments and make a recommendation to the Town Council.

Stephen Wensman wanted to discuss the Comprehensive Growth Management Plan with the board. He stated Micah Woodard updated the comp plan map to reflect any changes the Planning Board suggested. He wants to make sure everyone is happy with the final changes before presenting them to Town Council. He mentioned there was a lot of development coming and these decisions are important. When the comp plan was done in 2019 the town didn't anticipate growth it's currently having. Micah Woodard told the board they were given 12 maps showing all 4 areas showing what's current, staff's recommendation and the recommendations of the Planning Board from the November 6th meeting. Stephen briefly covered each area of change.

Area 1: It's all low density. The Town Plan also envisions low density residential septic development in the area. Since the Town Plan was adopted, the County has constructed a large pump station on the JNX Airport property. There is developable land to the north of the pump station that could feasibly be sewered. It's been of interest to the development community for some time. With the pump station now operational, Medium Density Residential is feasible. Medium density translates to residential densities as high as 9.61 units per acre and can include townhouses and multifamily apartment development. The Planning Board was in agreement at the last meeting to keep this area low density.

Area 2: Staff is recommending to guide all of this area for Medium Density Residential. Medium density translates to residential densities as high as 9.61 units per acre and can include townhouses and multi-family apartment development. Stephen said other codes look at net acres but Smithfield's code looks at gross acres. Bellamy Subdivision is being planned which will bring sewer to the north side of Poplar Creek. Sewer is also feasible to the east of Swift Creek Road, potentially by being bored under the Neuse River from the Buffalo Road area.

Area 3: Local 70 Mixed Use PUD. The PUD area will be developed for light industrial or commercial uses. The Town Plan had envisioned a mixed-use center around Buffalo Road at the interchange to future I-42, and some office/residential to the south. The update recommends moving the mixed-use center to the north side of Buffalo Road and creating a larger area for industrial/employment. This makes sense given easy access to future I-42 and the need for industrial growth in the town.

Area 4: This area encompasses the entire area east of I-95. The Town Plan did not envision sewered growth in this area, but Mallard Crossing changes all that. Staff is recommending a larger light Industrial area near the Brogden Road interchange. Staff would like to see a mixed use around the US 70 business east/I-95 interchange. The Planning Board recommends commercial because of the courthouse complex being built there.

Nariman Jaminia made a motion to recommend approval of the comprehensive plan amendment based on the changes made at tonight's meeting, CA-25-01 and subsequent minor change to town Pedestrian Plan; seconded by Ashley Spain. Unanimously approved.

Nariman made a suggestion to discuss changes in the UDO at the next Planning Board meeting.

Adjournment

Alisa Bizzell made a motion to adjourn; seconded by Ashley Spain. Unanimously approved.

Next Planning Board meeting is January 8th, 2026, at 6pm.

Respectfully Submitted,

A handwritten signature in black ink that reads "Julie Edmonds". The signature is written in a cursive, flowing style.

Julie Edmonds
Administrative Support Specialist

DRAFT



Request for Planning Board Action

**Agenda
Item:** ZA-25-05
Date: 1/8/2026

Subject: Zoning Text Amendment
Department: Planning
Presented by: Micah Woodard, Planner I
Presentation: Business Item

Issue Statement

Request by the Planning Department to amend the Unified Development Ordinance Article 3, Section 3.3, 3.4.2 and to amend board composition, chair and vice chair requirements, term limits and other minor updates and Article 4, Section 4.6.4 to reflect current practice as to when Planning Board recommendations shall be received by the Town Council.

Financial Impact

None.

Action Needed

The Planning Board is respectfully requested to review the zoning text amendment and to decide whether to recommend approval, approval with changes, or to recommend denial of the request.

Recommendation

Planning Staff recommend the Planning Board to recommend approval of the zoning text amendment ZA-25-05 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public's interest.

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Draft Zoning Text Amendment
2. Consistency Statement
3. Application



Staff Report

Agenda
Item: ZA-25-05

OVERVIEW:

The Town Staff has been directed by the Town Council to amend the Unified Development Ordinance Article 3, Section 3.3, 3.4.2 and to amend board composition, chair and vice chair requirements, term limits and other minor updates, and Article 4, Section 4.6.4 to reflect current practice as to when Planning Board recommendations shall be received by the Town Council.

DRAFT ORDINANCE.

Section 3.3.3.1. This section is being amended to eliminate alternate members of the Planning Board. There is no requirement in State Statues requiring alternate members and appointees are often disappointed to find they are unable to vote.

Members are currently appointed for 3-year terms with no limit on the number of reappointments. To broaden public involvement in the town, term limits of 2 terms are proposed.

Section 3.3.3.3. This section has minor amendments such as allowing the UDO Administrator to assign other staff members to serve as Secretary and advisor to the board. Also, the Town has no Building Inspector on staff.

This text is being amended because the current ordinance requires a quorum of 4 members to conduct business, whereas a quorum is the majority of the members, excluding vacant seats, which in some instances could be less than 4 members.

Section 3.3.3.5.4. This section is being updated to reflect that a quorum shall consist of a majority of Commission members, excluding vacant seats.

Section 3.4.2.2. This section is being amended to eliminate alternate members of the Board of Adjustment. There is no requirement in State Statues requiring alternate members and appointees are often disappointed to find they are unable to vote.

Members are currently appointed for 3-year terms with no limit on the number of reappointments. To broaden public involvement in the town, term limits of 2 terms are proposed. The "vacancies" text is being amended to have similar wording between the Planning Board and Board of Adjustments.

Section 3.4.2.6.3. This section is being amended to clarify that the UDO Administrator can assign other staff members to serve as Secretary and advisor to the board.

Section 4.6.4.1. This section is being updated to reflect current practices for receiving the Planning Board recommendations.

Section 4.10.4. Amended BOA voting to exactly reflect NCGS 160 406.

CONSISTENCY STATEMENT (STAFF OPINION):

Staff find the zoning text amendment consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest.

RECOMMENDATION:

Planning Staff recommend the Planning Board recommend approval of the zoning text amendment ZA-25-05, with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest.

STAFF RECOMMENDED MOTION:

"Move to recommend approval of zoning text amendment, ZA-25-05, finding the amendment consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest."

ORDINANCE # ZA-25-05
AN ORDINANCE TO AMEND THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ARTICLE 3, SECTION 3.3, 3.4.2 AND ARTICLE 4, SECTION 4.6.4
TO AMEND BOARD COMPOSITION AND TOWN COUNCIL
NOTICE REQUIREMENTS.

WHEREAS, the Smithfield Town Council wishes to amend certain provisions in the Town of Smithfield Unified Development Ordinance by making changes to Unified Development Ordinance Article 3, Section 3.3, 3.4.2 and to amend board composition, chair and vice chair requirements, term limits and other minor updates and Article 4, Section 4.6.4 to reflect current practice as to when Planning Board recommendations shall be received by the Town Council.

WHEREAS, it is the objective of the Smithfield Town Council to have the UDO promote regulatory efficiency and consistency and the health, safety, and general welfare of the community;

NOW, THEREFORE, be it ordained that the following Articles are amended to make the following changes set forth in the deletions (strikethroughs) and additions (double underlining) below:

PART 1

[Revise Article 3.3 Planning Board - to eliminate alternate members, add term limits and other minor updates]

...

3.3.3. Creation and Organization.

3.3.3.1. Composition and Vacancies. The Planning Board shall consist of seven (7) members ~~and two (2) alternate members~~. Five (5) members ~~and one (1) alternate member~~ shall be citizens and residents of the town and shall be appointed by the Town Council. Two (2) members ~~and one (1) alternate member~~ shall be citizens and residents of the extraterritorial jurisdiction of the town as described pursuant to G.S. § 160D-307 and shall be appointed by the Board of County Commissioners, upon receipt of a resolution from the Town Council requesting that such appointments be made. If the Board of County Commissioners fails to make the appointments requested within ninety (90) days of receipt of the resolution, the Town Council shall make the appointments. The Town Council will ensure that proportional representation on the Planning Board shall be maintained in accordance with G.S. § 160D-307, as amended. ~~Alternate members shall not be entitled to vote on matters before the Planning Board except when a regular Planning Board member is absent from a duly called meeting. In that situation, the alternate shall have the same privileges as the regular members and may count for quorum purposes and vote if a regular member is absent.~~

The terms of the members shall be for three (3) years with eligibility for reappointment to a second full term. Vacancies occurring for reasons other than expiration of terms shall be filled as they occur by the entity appointing them for the period of the unexpired term.

3.3.3.2. Attendance at Meetings. Faithful attendance at the meetings of the Planning Board is important for the functioning of the Board. If a member is absent from three (3) meetings within any three hundred sixty-five-day period without permission of the Board and the Member does not resign, then the Town Manager may hold an informal hearing with the Member as to whether his or her absence is excusable or whether it so damages the Board as to constitute cause for removal. After the hearing the Manager may excuse the absences or may refer the issue to the Town Council for a hearing on whether there is cause for removal. The

Manager shall give the Member ten (10) days' notice of the time and place of the hearing and the Member may present evidence as to why he or she should not be removed.

3.3.3.3. Organization, Rules, Meetings and Records. A Chair and Vice-Chair shall be nominated from among the board membership and shall be appointed by majority vote of the Board. Chair and Vice-Chair terms shall be for two (2) years. Upon completion of a two-year term, the Board shall make nominations and appoint new officers or reappoint existing officers. The UDO Administrator, or other assigned staff members, shall serve as Town staff member Building Inspector and UDO Administrator shall serve as Secretary and advisor to the Planning Board and shall be responsible for keeping the record of minutes of the Planning Board. The Board shall adopt rules for transaction of its business subject to review and approval by the Town Council and shall keep a record of its member attendance and of its resolutions, discussions, findings and recommendations, which record shall be a public record. Except as otherwise stated in Section 3.3.3.4.3 below, the Board shall hold at least one (1) meeting monthly, and all of its meetings shall be open to the public. There shall be a quorum of four (4) members for the purpose of taking any official motion required by this ordinance. There shall be a quorum consisting of a majority of Commission members, excluding vacant seats, for the purpose of taking any official motion required by this ordinance.

3.3.3.4. Offices and Duties.

3.3.3.4.1. Chair. A Chair shall be elected by the voting members of the Planning Board. The Chair shall decide all matters of order and procedure, subject to these rules, unless directed otherwise by a majority of the Board in session at the time. The Chair shall appoint any committees found necessary to investigate any matters before the Board.

3.3.3.4.2. Vice-Chair. A Vice-Chair shall be elected by the Board from among its voting members in the same manner and for the same term as the Chair. He/she shall serve as acting Chair in the absence of the Chair, and at such times he shall have the same powers and duties as the Chair.

3.3.3.4.3. Secretary. The secretary, subject to the direction of the Chair and the Board, shall keep all records, shall conduct all correspondence of the Board and shall generally supervise the clerical work of the Board. The secretary shall keep the minutes of each meeting of the Board. These shall show the record of all important facts pertaining to every meeting and hearing, every resolution acted upon by the Board and all votes of members of the Board upon any resolution or other matter, indicating the names of members absent or failing to vote.

3.3.3.4.4. Member Responsibilities. A Member shall request to be excused from discussion of or voting on any matter where the outcome of the matter being considered is reasonably likely to have a direct, substantial, or readily identifiable impact on the Member. A Member shall represent him or herself as a board member and not undermine board recommendations at any other public meetings that address planning issues.

3.3.3.5. Meetings.

3.3.3.5.1. Regular Meetings. Regular meetings of the Board shall be held in the Council Chambers of Town Hall in accordance with a schedule as established by the Planning Board.

3.3.3.5.2. Special Meetings Special meetings of the Board may be called at any time by the Chair, or in his absence, the Vice-Chair. At least twenty-four (24) hours' notice of the time and place of special meetings shall be given, by the secretary or by the Chair, to each member of the Board; provided that this requirement may be waived by a majority of all the members.

3.3.3.5.3. Cancellation of Meetings. Whenever there is no business for the Board, the Chair may dispense with a regular meeting by giving notice to all members not less than twenty-four (24) hours prior to the time set for the meeting.

3.3.3.5.4. Quorum. ~~A quorum shall consist of four (4) members of the Board for zoning changes and amendments.~~ A quorum shall consist of a majority of Commission members, excluding vacant seats. All actions of the Commission shall be taken by majority vote, a quorum being present.

...

PART 2

[Revise Article 3, Section 3.42 to eliminate Board of Adjustment alternate members, add term limits and other minor updates.]

3.4.2. Creation and Organization.

3.4.2.1. The Board of Adjustment shall be governed by the terms of G.S. § 160D-302.

3.4.2.2. Membership Composition and Vacancies. The Board of Adjustment shall consist of five (5) regular members ~~and two (2) alternate members.~~ Four (4) members ~~and one (1) alternate member~~ shall be citizens and residents of the town and shall be appointed by the Smithfield Town Council. One (1) member ~~and one (1) alternate member~~ shall be citizens and residents of the extraterritorial jurisdiction surrounding the Town of Smithfield, as described pursuant to G.S. § 160D-307 and shall be appointed by the Board of County Commissioners of Johnston County, upon receipt of a resolution from the Town Council requesting that such appointments be made. If the Board of County Commissioners fails to make the appointments requested within ninety (90) days of receipt of the resolution, the Town Council shall make the appointments. The Town Council will ensure that proportional representation on the Board of Adjustments shall be maintained in accordance with G.S. § 160D-307, as amended. ~~Alternate members shall not be entitled to vote on matters before the Board of Adjustment except when a regular Board of Adjustment member is absent from a duly called meeting. In that situation, the alternate shall have the same privileges as the regular members and may count for quorum purposes and vote if a regular member is absent.~~

The term of office of the members of the Board shall be for three (3) years with eligibility for reappointment to a second full term. All members shall be subject to any appointee policy in effect by the Town of Smithfield during the term of appointment. ~~Any vacancy which may occur will be filled according to this ordinance and any appointee policy in effect at that time.~~ Vacancies occurring for reasons other than expiration of terms shall be filled as they occur by the entity appointing them for the period of the unexpired term. ~~Members may be paid or reimbursed as current Town of Smithfield policy allows.~~

3.4.2.3. Attendance at Meetings. Faithful attendance at the meetings of the Board of Adjustment is important for the functioning of the Board. If a member is absent from three (3) meetings within any three hundred sixty-five-day period without permission of the board and the Member does not resign, then the Town Manager may hold an informal hearing with the Member as to whether his or her absence is excusable or whether it so damages the Board as to constitute cause for removal. After the hearing the Manager may excuse the absences or may refer the issue to the Town Council for a hearing on whether there is cause for removal. The Manager shall give the Member ten (10) days' notice of the time and place of the hearing and the Member may present evidence as to why he or she should not be removed.

3.4.2.4. Meetings of the Board of Adjustment.

3.4.2.4.1. Regular Meetings. Regular meetings of the Board shall be held in Town Hall in accordance with a schedule as established by the Board of Adjustment; provided, however, that meetings may be held at some other convenient place in the town if directed by the Chair in advance of the meeting, and provided further that if no business needing the attention of the Board has arisen since the last

meeting and no unfinished business is pending, then the Chair may notify twenty-four (24) hours in advance the other members through the secretary that the meeting for that month will not be held.

3.4.2.4.2. Special Meetings. Special meetings of the Board may be called at any time by the Chair, or in his absence, the Vice-Chair. At least twenty-four (24) hours written notice of the time and place of special meetings shall be given by the Secretary or the Chair to each member of the Board.

3.4.2.4.3. The Board shall conduct its meetings in accordance with the quasi-judicial procedures set forth in Article 4, Part III.

3.4.2.4.4. Conflicts on Quasi-Judicial Matters. A member of the Board of Adjustment or any other body exercising the functions of the Board of Adjustment shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons' constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter. If an objection is raised to member's participation and that member does not recuse himself or herself, the remaining members shall, by majority vote, rule on the objection.

3.4.2.4.5. All meetings of the Board shall be open to the public and whenever feasible the agenda for each board meeting shall be made available in advance of the meeting.

3.4.2.5. Quorum and Voting.

3.4.2.5.1. The concurring vote equal to four-fifths (4/5) of the full membership of the board and not excused from voting (a quorum being present), shall be necessary to grant any variance. All other actions of the board shall be taken by majority vote of those present and not excused from voting, a quorum being present.

3.4.2.5.2. Once a member is physically present at a board meeting, any subsequent failure to vote shall be recorded as an affirmative vote unless the member has been excused in accordance with subsection 3.4.2.4.3 or has been allowed to withdraw from the meeting in accordance with Subsection 3.4.2.4.4.

3.4.2.5.3. A member may be excused from voting on a particular issue by majority vote of the remaining members present under the following circumstances:

3.4.2.5.3.1. If the matter at issue involves the member's own official conduct; or

3.4.2.5.3.2. If the participation in the matter might violate the letter or spirit of the member's code of professional responsibility.

3.4.2.5.4. A member may be allowed to withdraw from the entire remainder of a meeting by majority vote of the remaining members present for any good and sufficient reason other than the member's desire to avoid voting on matters to be considered at the meeting.

3.4.2.5.5. A roll call vote shall be taken upon the request of any member.

3.4.2.6. Board of Adjustment Officers and Duties.

3.4.2.6.1. Chair. The Chair shall be elected by majority vote of the membership of the Board from among its members. ~~His term of office shall be for a~~ one (1) year term, and until his successor is elected, beginning on July 1st. The Chair shall be eligible for re-election. Subject to these rules, the Chair shall decide upon all points of order and procedure, unless directed otherwise by a majority of the Board in session at the time. The Chair shall appoint any committees found necessary to investigate any matter before the Board.

3.4.2.6.2. Vice-Chair. A Vice-Chair shall be elected by the Board from among its members in the same manner and for the same term as the Chair. He shall serve as acting Chair in the absence of the Chair, and at such times he shall have the same powers and duties as the Chair.

3.4.2.6.3. Secretary. ~~The UDO Administrator, or assigned successors, shall serve as Secretary. The UDO Administrator, or other assigned staff members, shall serve as Secretary and advisor to the Board of Adjustments and shall be responsible for keeping the record of minutes of the Board of Adjustments.~~

PART 3

[Revised Article 4, Section 4.6.4 to amend language for Town Council notice requirements.]

4.6.4. Action by the Town Council.

Action to consider a rezoning petition, including the scheduling of a public hearing, will be at the discretion of the Town Council.

4.6.4.1. ~~Before an item is scheduled for a public hearing before the Town Council,~~ the Planning Board's recommendation on each proposed zoning amendment must be received by the Town Council. If no recommendation is received from the Planning Board within thirty (30) days from the date when submitted to the Planning Board, the petitioner may take the proposal to the Town Council without a recommendation from the Planning Board. However, the Planning Board may request the Town Council to delay final action on the amendment until such time as the Planning Board can present its recommendations.

...

PART 4

That the Unified Development Ordinance shall be page numbered and revision dated as necessary to accommodate these changes.

PART 5

That these amendments of the Unified Development Ordinance shall become effective upon adoption. Duly adopted this the ____ of _____, 2025.

M. Andy Moore, Mayor

ATTEST

Elaine Andrews, Town Clerk

DRAFT

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD TOWN COUNCIL
ZA-25-05**

Whereas the Smithfield Town Council, upon acting on a zoning ordinance amendment to the *Unified Development Ordinance* and pursuant to NCGS §160D-605, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Town Council, upon acting on a zoning ordinance amendment to the *Unified Development Ordinance* and pursuant to NCGS §160D-605, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD TOWN COUNCIL AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND APPROVAL OF THE ORDINANCE AMENDMENT,

That the final action regarding zoning ordinance amendment ZA-25-05 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Town Council and information provided at the regularly scheduled meeting of Town Council; and

It is the objective of the Town of Smithfield Town Council to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning ordinance amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Town Council at their regularly scheduled meeting. Therefore, the ordinance amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND APPROVAL OF THE ORDINANCE FAILS,

That the final action regarding zoning ordinance amendment ZA-25-05 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Town Council to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning ordinance amendment does not promote this and therefore is neither reasonable nor in the public interest.



Town of Smithfield
Planning Department
350 E. Market St Smithfield, NC 27577
P.O. Box 761, Smithfield, NC 27577
Phone: 919-934-2116
Fax: 919-934-1134

Petition for Amendment to the Unified Development Ordinance

Pursuant to Article 4 of the Town of Smithfield Unified Development Ordinance, Proposed amendments may be initiated by the Town Council, Planning Board, Board of Adjustment, members of the public, or by one or more interested parties. The application for any amendment shall contain a description of the proposed zoning regulation.

APPLICANT INFORMATION:

Stephen Wensman

Petitioner's Name

350 E Market Street

Address or PO Box

Smithfield

City, State, Zip Code

919-934-2116

Telephone

Proposed amendment to the Town of Smithfield Unified Development Ordinance:

Amend Sec. 3.3.3.1, 3.3.3.3, 3.3.3.5.4, 3.4.2.2, 3.4.2.6.3, 4.6.4.1, 4.10.4 to amend board composition, chair and vice chair requirements, term limits and other minor updates,

and Article 4, Section 4.6.4 to reflect current practice as to when Planning Board recommendations shall be received by the Town Council

(Attach additional sheets as necessary)

This application must be accompanied by a Statement of Justification which addresses the following:

1. How the amendment proposed would serve the public interest or correct an obvious error in the existing ordinance.
2. How the amendment proposed will enhance or promote the purposes and goals of the adopted plans and policies of the governing body.

The undersigned hereby authorizes the filing of this petition and certifies that the information contained herein stands alone based on the merits of this request and is accurate to the best of their knowledge and belief.

Stephen Wensman

Digitally signed by Stephen Wensman
Date: 2025.12.22 08:50:22 -05'00'

12/22/25

Signature of Petitioner

Date

FOR OFFICE USE ONLY

File Number: _____ Date Received: _____ Amount Paid: _____



Request for Planning Board Action

Agenda CZ-25-
Item: 06
Date: 1/8/26

Subject: Bellamy R-8 Conditional Zoning Map Amendment
Department: Planning
Presented by: Stephen Wensman, Planning Director
Presentation: Public Meeting

Issue Statement

Rock Tower Partners LLC is requesting approval of Bellamy, a R-8 conditional rezoning master plan consisting of 1,076 units of residential: 885 detached single-family residential lots and 191-townhouse lots over +/-500-acres of land.

Financial Impact

The subdivision will add to the town's tax base.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the conditional rezoning master plan and decide whether to grant approval, approval with conditions, or denial.

Recommendation

Planning Staff recommend approval of CZ-25-06 with 9 conditions with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and that the request is reasonable and in the public interest

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application
4. Bellamy Rezoning Booklet
5. Bellamy Master Plan Set
6. Summary of Changes



Staff Report

Agenda CZ-
Item: 25-06

OVERVIEW:

Rock Tower Partners LLC is requesting approval of a revised Bellamy R-8 conditional rezoning master plan consisting of 11,076 units of residential: 885 detached single-family residential lots and 191-townhouse lots over +/-500-acres of land. The development area is concurrently seeking annexation into the Town of Smithfield.

The previous Bellamy Conditional Zoning CZ-25-05 was denied by the Town Council on October 7, 2025 and this application is similar to the previous with the following changes:

1. The total lot count for Bellamy has been reduced from 1147 to 1076 (a 71-unit reduction resulting in a new overall proposed density of 2.15 DU/AC).
2. The northern Townhome POD has been removed and replaced with detached SFD lots, resulting in an 86-unit reduction of the densest product type (from 277 to 191 total Townhomes).
3. Average lot sizes have been increased. The percentage of 60' and 70' wide detached SFD lots was nearly doubled (from ~22.5% to ~40% of SFD lots).
4. All lots within 500' of the existing hog farm lagoon and its associated 4 structures have been removed, resulting in significant separation between the existing hog farm and proposed residential units.
5. Bellamy's layout is no longer proposing to abandon/realign the northern section of Lee Youngblood Rd, leaving this northern access point accessible to support the existing hog farm. No proposed lots will have driveway access off Lee Youngblood Road.
6. The proposed minimum side setback for 60' and 70' wide lots have been increased to 7' minimum (was 5' minimum previously).
7. Due to the reduction in density, the proposed recreation area dedication now represents approximately 50% more land than required by code (~147 acres shown on concept plan; a minimum of 135 acres to be provided per our application; only 93 acres required by code).
8. A 20' Type B perimeter buffer has been added to the shared property boundary with NC PIN # 169600-30-1019 to the north. This parcel represents the only adjacent property with an existing home within 300' of proposed lots.
9. A proposed zoning condition has been added requiring 2 guest parking spaces per townhome building, requiring a minimum of 90 guest parking spaces to support the

Townhome POD. The required guest parking spaces are now shown on the Master Plan.

10. A roadway stub has been added to NC PIN # 168600-90-9600 on the Master Plan, to support connection to a potential future phase of the Tralee Subdivision.
11. To support the future needs of a growing region, the applicant has offered ~7 acres of land along Lee Youngblood Road for donation to the Town to serve a potential future EMS/Fire facility (location identified on the Master Plan).
12. The developer has agreed to adjust the phasing plan to make the phase by the hog farm the last phase of the development.

PROPERTY LOCATION:

The property is located on Wilson Mills Road and Lee-Youngblood Road, north and east of Poplar Creek.

APPLICATION DATA:

Applicant/Developer:	Rock Tower Partners, LLC
Owner:	E&F Properties Inc.
Engineer:	McAdams (David Bergmark)
Proposed Use:	single-family and townhouse residential
Fire District:	Wilsons Mills
School Impacts:	Additional students
Parks and Recreation:	Park Dedication Proposed (125-acres)
Water and Sewer Provider:	Town of Smithfield (with annexation)
Electric Provider:	Duke
Existing Zoning:	R-20A and WS-IV PA Overlay
Proposed Zoning:	R-8 CZ and WS-IV PA Overlay
Tax IDs:	17K08039A/17K08032
Land area:	+/-150 acres
Active/Managed Open Space:	7 acres
Passive/Unmanaged Open Space:	135 acres
Public R/W:	+/-46,000 lin. ft.
Water Main:	+/- 46,000 lin. ft.
Sewer Main:	+/- 50,900 lin. ft.
Development Density:	2.2 dwelling units/acre

ADJACENT ZONING AND LAND USES: (see attached map)

	Zoning	Existing Land Uses
North	AG/SFR (Wilsons Mills)	Agriculture/Single Family Residential
South	R-20A	Rural Residential/Agricultural.
East	R-20A	Rural Residential/Agricultural.
West	R-20A/SFR-2	Residential/Agricultural.

EXISTING CONDITIONS/ENVIRONMENTAL:

The property considered for approval is agricultural land with woodlands, wetlands and fields. There are several blueline streams and floodplain present on the site. A gasoline easement bi-sects the development from west to east. The property is within the WS-IV Protected Area Overlay.

MASTER PLAN/ANALYSIS:

- **Comprehensive Land Use Plan.**

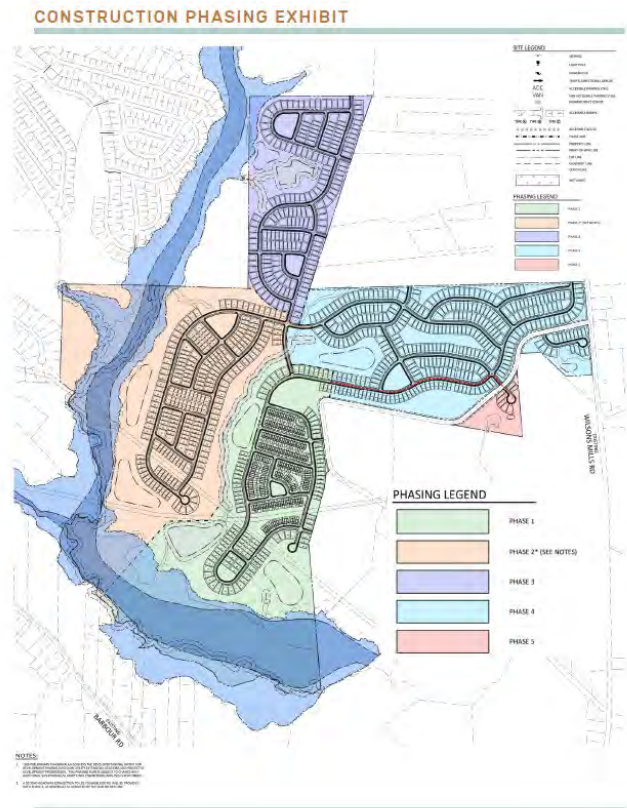
- The comprehensive plan guides the most of the site for low density residential 1-4 dwelling units per acre comprised of primarily single-family residential and context sensitive attached townhouse units - context sensitive in that they are tucked into the center of the development (Table 1, Residential Product by Future Land Use Class, pg.9).
- Encourage a mix of lot sizes and housing types integrated open space and amenities in medium density residential areas (Policy 1B, Strategy 2, pg. 14).
- Strengthen landscape buffers between potentially incompatible uses (Policy 4B, Strategy 1).
- The proposed density of 2.2 matches low density residential guidance.

- **Voluntary Annexation.** The developer has petitioned for voluntary annexation of the entire development site. With annexation, water and sewer will be provided by the Town of Smithfield and electric utilities will be provided by Duke.

- **Proposed Land Uses.** The proposed land uses within the development are shown in this table:

PERMITTED USE TABLE	
	R-8-CZ
Residential Uses	
Dwelling, single-family detached	P
Dwelling, single-family attached (townhouse)	PS (UDO Section 7.3)
Accessory Structures	P
Private Recreation Facility	P
Customary Home Occupation	PS (UDO Section 7.3)
Public or neighborhood swimming pools	P
Public or private neighborhood tennis courts	P
Nature observation points	P
Parks and recreation areas	P
Playgrounds	P
Recreation buildings and facilities for residential developments	P

- **Development Phasing.** The construction is expected to begin in 2028 and last approximately ten years and consist of 5 phases. Phasing is subject to change and sub-phasing may occur. The revised phasing now shows the area by the hog farm to be the last phase of the development.



- **Utilities.** The water and sewer utilities will be Town of Smithfield. Electric utilities will be Duke.
- **Site Access, traffic and lateral connections.**
 - The revised Bellamy subdivision plans leave Lee Youngblood Road in its current location.
 - The access to the development will be from 2 locations on Lee-Youngblood Road and access to a separate cul-de-sac from Lee-Youngblood Road.
 - The master plan shows 7 points of lateral access to connect with future development, including an access to the Tralee land.
 - A Traffic Impact Analysis (TIA) will be required prior to preliminary plat.
- **Streets.**
 - The developer is proposing +/- 46,000 lin. feet (8.75 miles) of streets.
 - 27' wide b/b streets in 50' wide public right-of-way. The Town's standard right-of-way width is 60 feet.
 - Sidewalks are proposed on one side of each street.
 - Standard curb and gutter are proposed throughout the development.

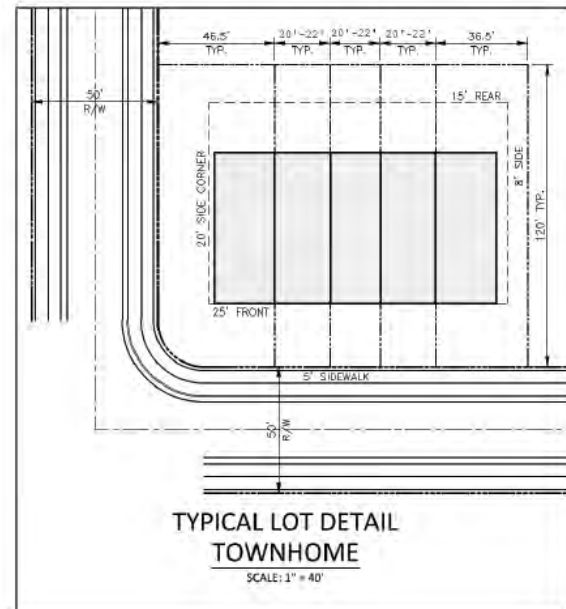
- **Stormwater Management.** The developer has shown conceptual stormwater control measures (SCMs) throughout the development. The development will exceed 24% impervious with up to 30% built-upon-area, requiring specific stormwater measures. A stormwater management plan will be required with the development of the site.
- **Open Space and Site Amenities.** The development includes the following:
 - A private central “main amenity area” (5-acres) to include a pool and clubhouse.
 - 6 private pocket parks (+/-8.3-acres), of at least 0.5 acres in size. At least 3 of the pocket parks will have active play amenity (unspecified) with the remainder to be passive open space.
 - Soft surface trail within the 100’ wide gas easement (subject to gas company approval).
 - Proposed public park dedication (+/-135-acres). This land area includes floodplain and adjacent area that may be suitable for trails and passive recreation. The Parks Department need active park area, not passive parks, however the Johnston County Parks Plan (in planning phase) has identified a future trail corridor along the Poplar Creek to Swift Creek Road that would run in the southern portion of the Bellamy development. The Developer should provide a 30’ wide public trail easement for the future trail as park dedication. Although no trail is proposed at this time, a trail would be a great amenity for the development if constructed.
- **Landscaping and Buffering.**
 - The site is well buffered by floodplain on the west and south. Along Lee-Youngblood Road, a standard 15’ street yard is proposed, however, near the hog farm the buffer has been increased to 20’ and adjacent to the hog farm 500’ of separation is provided.
 - Additionally, a 20’ Type B buffer along the north boundary of the site (long border) is proposed.
- **Trash and Recycling.** The HOA should require trash and recycling roll-offs be screened from the public right-of-way or stored in garages or rear yards.
- **Subdivision Signs.** Ground mounted subdivisions signs are required features of subdivisions. The master plan does not provide this level of detail.
- **Homeowner’s Association.** An HOA will own and maintain the recreation and open space areas and amenities, stormwater facilities, walking trails, and landscaping.
 - The HOA should also manage no parking on streets.
 - The HOA declarations need to be submitted for review by the Town Attorney prior to final plat.
- **Parking.**
 - All residential lots will have at least 2 parking stalls.
 - Guest parking will be in the form of on-street parallel spaces or small off-street parking lots in nearby common areas at least 2 per townhouse building.

- At a minimum, each home will include a rear patio area.
- Houses on corner lots shall have windows on the street side corner.

Townhouse Minimum Standards.

LOT DIMENSIONS	
Minimum Lot Area	2,200 sq ft
Minimum Lot Frontage	20 ft

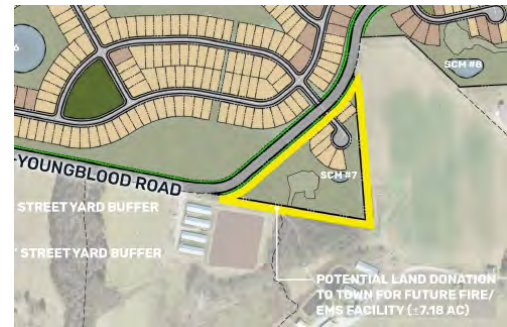
SETBACKS	
Minimum Front	25 ft
Corner Side	20 ft
Minimum Side	8 ft
Minimum Building Separation	20 ft
Minimum Rear	15 ft



Townhouse Architectural Standards:

- All townhouses will be a minimum of two stories and will be a minimum of 20' wide on a slab foundation.
- Each townhouse will, at a minimum, include a front-loaded single-car garage.
- Each Townhouse building (comprised of 3 or more attached units) will include multiple types or styles of vinyl siding to create visual interest.
- The front façade of each townhouse building will include masonry accents, which may be provided in the form of a water table, accent wall, trim elements around windows or doors, or other similar architectural features.
- Each Townhouse building will include variations in roof design through the use of variable roof pitch, dormers, or gables.
- Window accents and trim will be provided for each townhouse.
- Each townhouse will feature one of the following: doorway entry features or covered porch.
- At a minimum, each townhome will include a rear patio.
- Townhouse units on corner lots shall have windows on the street side corner.

- **Potential Land Donation.** The developer is proposing to donate +/- 7.18 acres for a future Fire/EMS Facility. The Town should evaluate the need for such a facility.



CONDITIONAL ZONING:

- **Requested Deviations from UDO.** The developer is seeking deviations from the UDO as part of the rezoning. The purpose of conditional zoning is to provide flexibility from conventional zoning and to allow creative projects to occur through a negotiated (give and take) approach to achieve the desired project that both the developer and town mutually can be satisfied with. The applicant is seeking the following deviations from the following UDO Requirements:

UDO Standard	Existing Standard	Proposed Standard
Single Family Lots		
Min. Lot Area	8,000 sq. ft.	6,000 sq. ft.
Min. Lot Frontage	70 ft.	50 ft.
Min. Front Yard Setback	30 ft.	25 ft.
Min. Corner Side Setback	15 ft.	15 ft.
Min. Side Setback	10 ft.	5 ft. – 7 ft. for lots 60' wide or greater.
Min. Rear Setback	25 ft.	15 ft.
Mi. Acc. Structure Setback	10 ft.	5 ft.
Townhouse Lots		
Min. Lot Area	4500 sq. ft. gross site area	2,200 sq. ft.
Min Lot Frontage	N/A	20 ft.
Min Front Yard Setback	30 ft.	25 ft.
Min. Corner Side Setback	15 ft.	20 ft.
Min. Side Setback	10 ft.	8 ft.
Min. Bldg. Separation	30-40 ft. depending on height of townhouse	20 ft.
Min Rear Setback	25 ft.	15 ft.
Other Standards		
Street R/W	60 ft. wide	50 ft wide

- **Proposed Standards Exceeding UDO Requirements.**
 - More than 135 acres of passive recreation area (potential park dedication).

- Private recreational amenities:
 - A minimum of one (1) neighborhood amenity parcel, approximately five (5) acres in size shall be provided, to include a pool and a clubhouse.
 - Six (6) pocket parks of at least one-half acre (0.5) in size.
 - At least three (3) of the pocket parks will be improved with an active play amenity.
- Offer to donate 7 acres for EMS/Fire Station
- Expanded street yards 20' -500' in width.
- 20' Landscaped perimeter buffer along shared property boundary with NC PIN # 169600-30-1019 to the north.
- Guest parking areas - 2 spaces per townhouse building.
- Architectural standards.

CONSISTENCY STATEMENT (Staff Opinion):

With the approval of the rezoning, the Town Council is required to adopt a statement describing whether the action is consistent with the adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

- **Consistency with the Comprehensive Growth Management Plan** – The development is consistent with the comprehensive plan.
- **Consistency with the Unified Development Code** – The property will be developed in conformance with the UDO conditional zoning provisions that allows flexibility in development standards on a site-by-site basis based on design considerations.
- **Compatibility with Surrounding Land Uses** - The proposed development will be compatible with surrounding land uses with the expanded buffers.

RECOMMENDATION:

Planning Staff recommends the Planning Board recommend approval of CZ-25-06 with the following conditions:

1. That the trash and recycling roll-off containers in the single family and townhouses units be screened from the public right-of-way or stored within a garage or the rear yards and enforced by the HOA.
2. Public sidewalks shall be a minimum of 5' wide.
3. Public sidewalks shall be provided along the Wilson's Mills Road and Lee-Youngblood Road frontages.
4. That an HOA be responsible for the ownership and maintenance of all private open space and recreational amenities, SCMs, parking areas, mail kiosks, etc.

5. That the architectural standards be included in the HOA declarations.
6. The HOA declarations be submitted for review by the Town Attorney with the preliminary plat.
7. That residential driveways be a minimum of 12' wide.
8. Dedicate a 30' wide public trail easement for the future Johnston County Trail.

RECOMMENDED MOTION:

"Move to recommend approval of the zoning map amendment, CZ-25-06, with 8 conditions of approval, finding the rezoning consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans, and that the amendment is reasonable and in the public interest."

CZ-25-06 Bellamy

File Number:

CZ-25-06

Project Name:

Bellamy

Location:

West of Wilson's Mills Rd. and along Lee-Youngblood Rd.

Tax ID#:

17K08039A, 17K08032

Existing Zoning:

R-20A/AG

Property Owner:

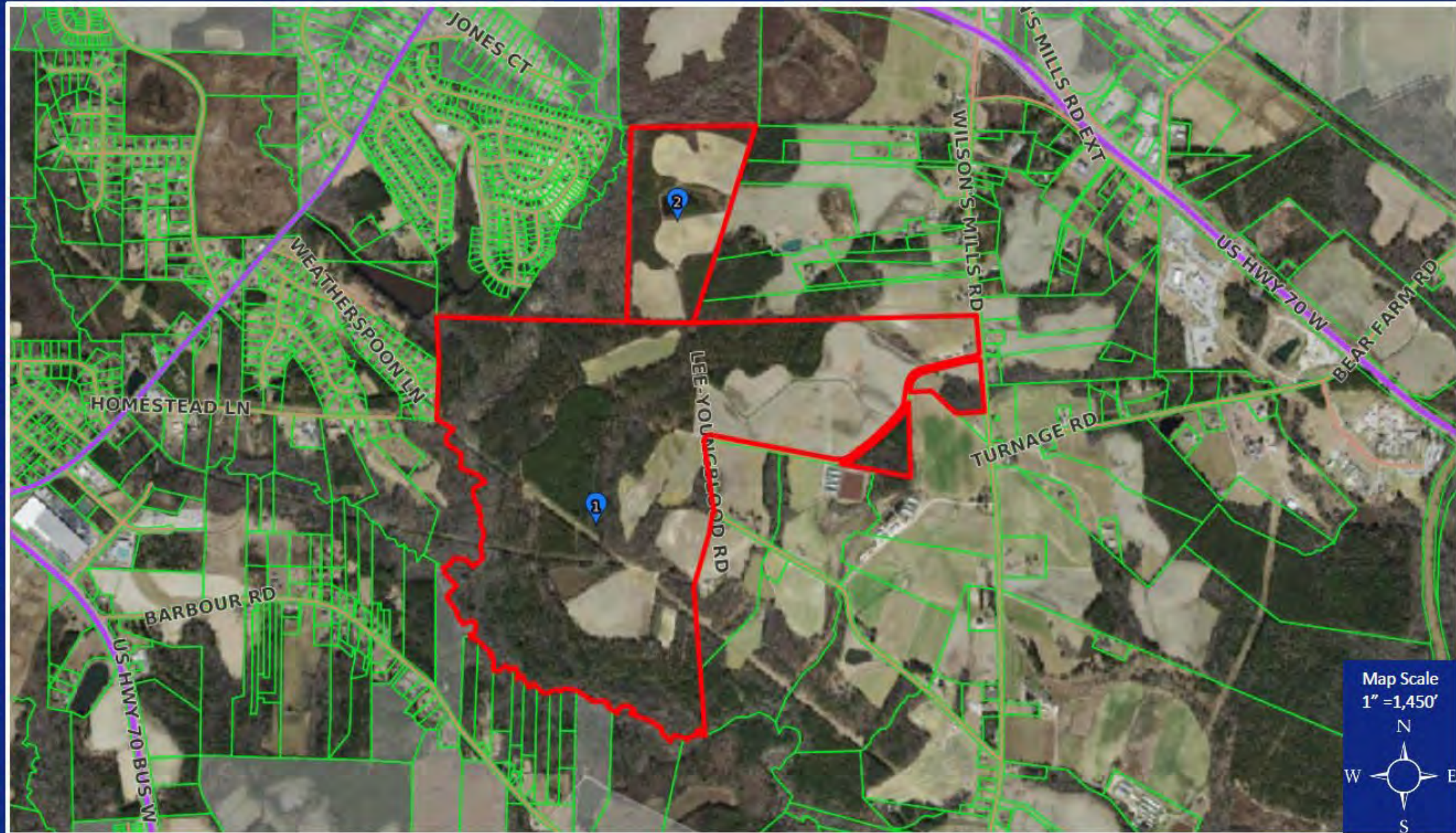
E&F Properties Inc.

Applicant:

Rock Tower Partners,
LLC

City or ETJ:

ETJ



**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
CZ-25-06**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE IS ADOPTED,

That the Planning Board recommendation regarding zoning map amendment CZ-25-06 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public hearing; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public hearing. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE FAILS,

That the final recommendation regarding zoning map amendment CZ-25-06 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



**Town of Smithfield
Planning Department**

350 E. Market St Smithfield, NC 27577

Smithfield-NC.com

919-934-2116

CONDITIONAL ZONING APPLICATION

Development Name **Bellamy**

Proposed Use **Residential - Single Family Detached and Townhouses**

Project location or address

Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN# **168500-97-7612**

TAX ID# **17K08039A**

169600-11-0117

17K08032

Project type? ☐ Single Family ☐ Townhouse ☐ Multi-Family ☐ Non-Residential ☐ PUD/Mixed Use

PROPERTY OWNER INFORMATION

Name

Address

Phone

Email

OWNER/DEVELOPER INFORMATION

Company Name

Contact Name

Address

Phone

Email

CONSULTANT/ENGINEERING FIRM

Company Name

Contact Name

Address

Phone

Email

ZONING INFORMATION


Existing Zoning District

Proposed Zoning District

If more than one district, provide the acreage of each:

Overlay District? ☐ Yes ☐ No

Inside City Limits? ☐ Yes ☐ No

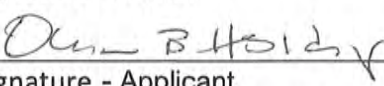
ENVIRONMENTAL QUALITY DATA INFORMATION			
Existing Impervious Surface acres/sf	5,000 SF (estimate)	Flood Hazard Area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface acres/sf	6,534,000 SF (estimate)	Neuse River Buffer	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Watershed Protection Area	WS-IV NSW Protected Area	Wetlands	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
FEMA Map Panel	3720169500K & 3720168500K & 3720169600K	Base Flood Elevation	130.2
* public parkland dedication to count toward impervious/pervious surface ratio			
SITE DATA			
Total # of single-family lots	Maximum 885	Total densities per zoning district	Maximum 2.40 u/ac
Total # of townhouse lots	Maximum 191	Acreage in active open space	~ 5 acres (see Master Plan)
Total # of all lots	Maximum 1,076	Acreage in passive open space	~ 150 acres (see Master Plan)
Linear feet of new roadways	~ 46,000 (see Master Plan)	Linear feet of new sewer mains	~ 50,900 (internal + offsite extension)
Linear feet of new water mains	~ 48,900 (internal + offsite extension)	Linear feet of new sidewalks	~ 46,000 (see Master Plan)
Proposed sewer allocation	~282,450 GPD	Linear feet in new trails	-
SIGNATURE BLOCK (Applicable to all developments)			
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed plan as approved by the Town.</p>			
<p>I hereby designate <u>Rock Tower Partners, LLC</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p>			
<p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.</p>			
Signature - Owner		Date	
<p><i>owner signature on next page</i></p>			
Signature - Applicant		Date	
<p>Rock Tower Partners, LLC</p> 		<p>7-29-25</p>	
APPLICATION FEES			

Conditional Zoning (1 paper copy of the application, 2 paper copies of plan set & 1 Digital copy of all documents on USB flash drive)
\$ 400.00 + \$10 per acre

Application Date

Application Number

Application Fee

ENVIRONMENTAL QUALITY DATA INFORMATION			
Existing Impervious Surface acres/sf	5,000 SF (estimate)	Flood Hazard Area	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Impervious Surface acres/sf	*7,600,000 SF (estimate)	Neuse River Buffer	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Watershed Protection Area	WS-IV NSW Protected Area	Wetlands	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
FEMA Map Panel	3720169500K & 3720168500K & 3720169600K	Base Flood Elevation	130.2
* public parkland dedication to count toward impervious/pervious surface ratio <div style="float: right;">SITE DATA</div>			
Total # of single-family lots	Maximum 905	Total densities per zoning district	Maximum 2.40 u/ac
Total # of townhouse lots	Maximum 153	Acreage in active open space	~ 5 acres (see Master Plan)
Total # of all lots	Maximum 1,058	Acreage in passive open space	~ 150 acres (see Master Plan)
Linear feet of new roadways	~ 46,000 (see Master Plan)	Linear feet of new sewer mains	~ 50,900 (internal + offsite extension)
Linear feet of new water mains	~ 48,900 (internal + offsite extension)	Linear feet of new sidewalks	~ 46,000 (see Master Plan)
Proposed sewer allocation	~ 277,725 GPD	Linear feet in new trails	-
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed plan as approved by the Town.			
I hereby designate <u>Rock Tower Partners, LLC & McAdams</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signature - Owner		Date	
 / E + F Properties Inc		12/5/25	
Signature - Applicant		Date	
Rock Tower Partners, LLC			
APPLICATION FEES			

Conditional Zoning (1 paper copy of the application, 2 paper copies of plan set & 1 Digital copy of all documents on USB flash drive)
\$ 400.00 + \$10 per acre

Application Date

Application Number

Application Fee

OWNER AUTHORIZATION

I hereby give CONSENT to Rock Tower Partners, LLC & McAdams (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Signature of Owner Olivia Holding Printed Name of Owner E+F Properties Inc.

NC

(State)

Johnston

(County)

Julianne Edmonds
Olivia Holding

a Notary Public in and for said County and State, do hereby certify that personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 5th day of December 20 25.

Notary Public:

Julianne Edmonds

(Printed Name)

Julianne Edmonds

(Signature)



County of Commission: Johnston

Commission Expires: 1-15-2028

PROJECT NARRATIVE

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- ☐ A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- ☐ A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- ☐ A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- ☐ A statement showing the proposed density of the project with the method of calculating said density shown;
- ☐ Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision; length of each, expected sewer allocation.
- ☐ A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- ☐ A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- ☐ Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- ☐ A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- ☐ A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).
- ☐ List of deviations from the town's minimum UDO requirements.
- ☐ List of improvements that exceed the town's minimum UDO requirements.
- ☐ Expected sales, rental prices
- ☐ Architectural standards if applicable.

INFORMATION TO BE PROVIDED ON PLAN

The Town of Smithfield Site Plan Requirements is found in Article 5 of the Unified Development Ordinance. Site plans shall contain the following information, if applicable, as determined by the UDO Administrator:

- ☐ Preferred sheet size is 24" x 36" for site plans (maximum sheet size of 30" x 42"); if more than one sheet, all sheets should be numbered; should be the same size and scale; and should show match lines, along with an index sheet.
- ☐ Submittals should also be made in digital PDF file format.
- ☐ The site plan shall be prepared by a professional engineer, registered land surveyor, or licensed architect.
- ☐ Engineer's scale – no smaller than 1" = 100' for Site Plans unless approved by staff. Larger scale showing more detail is better. Include both a graphic scale and a numeric scale. The site plan shall be based on the latest tax map information and shall be of a size as required by each individual site plan.
- ☐ North arrow or compass rose.
- ☐ Date (original and all revisions) should be shown on all sheets.
- ☐ A vicinity map of the site with reference to surrounding areas and existing street locations.
- ☐ The name and address of the owner and site plan applicant, together with the names of the owners of all contiguous land and of property directly across the street as shown by the most recent tax records
- ☐ Proof of ownership - Deed book and page reference demonstrating ownership of property.
- ☐ Parcel Identification Numbers (PIN) for site and adjacent properties.

Existing Conditions:

- ☐ The total area (acreage), and the exterior boundary of all land included in the request for approval (defined by metes and bounds, with the source of all boundary information referenced). All adjoining property lines should also be shown.
- ☐ Location of all existing structures, including their outside dimensions and elevations, streets, entrances, and exits on the site, on contiguous property, and on property directly across the street.
- ☐ Required setbacks, setback lines, or typical lots.
- ☐ Location, width and identification of all existing easements (public and private), defined by centerline bearings, distances and ties to property corners (with standard notes).
- ☐ Location of existing watercourses, ponds, flood zones, water supply watershed areas, and riparian buffers.
- ☐ Show all existing physical features, including existing trees greater than eight (8) inches in diameter measured four and one-half (4.5) feet above ground level include the tree line of wooded areas and individual trees eight (8) inches in diameter or more, identified by common or scientific name, and significant soil conditions.
- ☐ Topography showing existing contours at no greater than ten (10) foot intervals. All reference benchmarks shall be clearly designated.
- ☐ Existing zoning of the property, including zoning district lines where applicable.
- ☐ Location of existing sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel.
- ☐ Other utility lines both under- and above-ground, including electric power, telephone, gas, cable television
- ☐ Existing open space and any other common areas.
- ☐ Existing parking and loading areas.

Proposed Conditions:

- ☐ All proposed streets, drives, parking areas, fire lanes and access, loading and unloading areas with dimensions, traffic patterns, access aisles, and curb radii per the requirements of Article 10, Part I.
- ☐ The total quantity of parking spaces required and the total quantity of parking spaces provided. Indicate uses of buildings.
- ☐ Sight distance triangles (minimum 10' by 70' for driveway intersections at ROW lines; or as per NCDOT requirements or Town of Smithfield UDO Section 2.21 at all other intersections
- ☐ Location of all proposed structures, including their outside dimensions and elevations, streets, entrances and exits on the site.
- ☐ Sidewalks, trails and other pedestrian ways with locations, dimensions and surfacing, including handicap curb cuts. Internal sidewalks and/or other proposed means of pedestrian access (note: internal pedestrian access should connect with public ROW sidewalk).
- ☐ General location and design of proposed sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel, as applicable
- ☐ Proposed other utility lines both under- and above-ground, including electric power, telephone, gas, cable television.
- ☐ Location of all US Clean Water Act Section 404 wetland areas, detention/retention ponds (Best Management Practices), riparian buffers and impervious surface areas with area dimensions, and ratios of impervious surface to the total size of the lot.
- ☐ Location of all proposed common areas.
- ☐ All parcels of land proposed to be designated, dedicated and/or reserved, for public or private use, shown with total land area and boundary descriptions.
- ☐ Distance between buildings and height of buildings.
- ☐ Building locations, footprints, entrances area by floor (sq.ft.), finished floor elevation (first).
- ☐ Location, dimensions, and details of signs per the requirements of Article 10, Part III.
- ☐ Proposed building elevations and floor plans, if applicable.
- ☐ Conceptual traffic impact analysis.
- ☐ Conceptual grading plan: proposed contours with a maximum of two-foot contour intervals within 100 feet of all buildings and along all driveways, entrances, exits, private streets, parking areas, loading areas, retaining walls and a maximum of ten-foot contour intervals for the remainder of the property. Supplement with spot elevations where necessary. All topography should be referred to permanent benchmarks and referenced to accepted datum.
- ☐ Conceptual stormwater management provisions.
- ☐ Total impervious surface square footage and percentage calculations for all development.
- ☐ Conceptual site lighting plan:
- ☐ Dumpster (or any other trash handling facilities) location, proposed screening labeled with height material, dimensions of concrete pad and details of gates, including support. Any dumpster to be used for recycling should be labeled as such.
- ☐ Landscape Plan: Include the genus and species, common name, quantity, size and location of all plant material proposed to meet Article 10, Part II requirements. The plan must include a "plant list" (in chart form), which should be coded to the plan. Show all calculations used to determine the quantity of plants required. All proposed planting, should be coordinated with both the utility plan and the grading/storm drainage plan to eliminate conflicts. No landscaping allowed in water or sewer easements.
- ☐ Description of all fences, walls and/or berms used to fulfill landscaping or screening requirements with details and cross-sections as needed (all fences over 6 feet must be sealed by a licensed Engineer).

Legal Description
E&F Properties INC. Total Boundary
Wilson's Mills, Johnston County, North Carolina

Commencing at a point, said point being an iron pipe set along the western right-of-way of Wilson's Mills Road (SR 1913) in Wilson's Mills Township, Johnston County, North Carolina. Said point also described as the southeastern corner of the Kendall L. Beasley property (PN 17K08034B) as recorded in Deed Book 4596 Page 54, Johnston County Registry. Point further described as the northeastern corner of the E&F Properties Inc. property (PN 17K08039A) as recorded in Deed Book 4377 Page 880 and the **POINT OF BEGINNING**. Thence S 05°19'31" E a distance of 481.93 feet to an iron pipe set. Thence across the right-of-way of Lee-Youngblood Road (SR 1917) S 05°19'31" E a distance of 60.49 feet to an iron pipe set. Thence S 05°19'31" E a distance of 280.70 feet to an iron pipe set. Thence with a curve turning to the right with an arc length of 8.31 feet, with a radius of 970.00 feet, with a chord bearing of S 05°04'47" E, with a chord length of 8.31 feet to an iron pipe set. Thence S 04°50'04" E a distance of 346.94 feet to an iron pipe set. Thence S 87°16'00" W a distance of 333.31 feet to an iron pipe set. Thence N 46°44'00" W a distance of 437.75 feet to an iron pipe set. Thence S 87°16'00" W a distance of 255.56 feet to an iron pipe set. Thence along the right-of-way of Lee-Youngblood Road S 08°01'38" W a distance of 85.26 feet to an iron pipe set. Thence with a curve turning to the right with an arc length of 129.82 feet, with a radius of 555.00 feet, with a chord bearing of S 14°43'41" W, with a chord length of 129.52 feet to an iron pipe set. Thence leaving the right-of-way of Lee-Youngblood Road S 04°44'00" E a distance of 855.16 feet to an iron pipe set. Thence N 80°14'00" W a distance of 908.94 feet to an iron pipe set. Thence crossing the right-of-way of Lee-Youngblood Road N 02°34'56" W a distance of 60.13 feet to an iron pipe set. Thence N 88°21'00" W a distance of 56.92 feet to an iron pipe set. Thence with a curve turning to the right with an arc length of 108.23 feet, with a radius of 670.00 feet, with a chord bearing of N 83°43'20" W, with a chord length of 108.11 feet to an iron pipe set. Thence N 79°05'41" W a distance of 1413.95 feet to an iron pipe set. Thence with a curve turning to the left with an arc length of 180.26 feet, with a radius of 95.00 feet, with a chord bearing of S 46°32'46" W, with a chord length of 154.41 feet to an iron pipe set. Thence S 07°48'47" E a distance of 705.69 feet to an iron pipe set. Thence with a curve turning to the left with an arc length of 122.41 feet, with a radius of 330.00 feet, with a chord bearing of S 18°26'24" E, with a chord length of 121.71 feet to an iron pipe set. Thence leaving Lee-Youngblood Road S 61°47'08" W a distance of 46.50 feet to a 1" pipe. Thence S 07°19'19" W a distance of 209.00 feet to an iron pipe set. Thence S 15°50'04" W a distance of 715.43 feet to a bent 1" pipe. Thence S 04°47'17" E a distance of 1009.24 feet to a ¾" pipe. Thence S 04°47'33" E a distance of 769.54 feet to a ¾" pipe. Thence S 04°40'27" E a distance of 48.83 feet to a 2" pipe. Thence along the run of Little Poplar Creek in

a westerly direction S 62°10'21" W a distance of 57.57 feet to a point. Thence S 48°26'21" W a distance of 60.90 feet to a point. Thence N 66°38'34" W a distance of 68.88 feet to a point. Thence S 88°57'57" W a distance of 43.43 feet to a point. Thence N 70°27'44" W a distance of 68.85 feet to a point. Thence S 72°45'40" W a distance of 40.35 feet to a point. Thence S 83°56'17" W a distance of 66.59 feet to a point. Thence S 67°16'10" W a distance of 52.65 feet to a point. Thence N 62°51'35" W a distance of 180.22 feet to a point. Thence N 52°44'09" E a distance of 79.86 feet to a point. Thence N 15°55'16" W a distance of 32.75 feet to a point. Thence N 75°46'45" W a distance of 63.55 feet to a point. Thence S 85°21'18" W a distance of 41.30 feet to a point. Thence N 12°05'29" W a distance of 56.70 feet to a point. Thence N 82°51'46" W a distance of 36.21 feet to a point. Thence S 78°37'28" W a distance of 113.60 feet to a point. Thence S 51°12'27" W a distance of 86.00 feet to a point. Thence S 79°15'42" W a distance of 76.21 feet to a point. Thence S 71°57'01" W a distance of 182.94 feet to a point. Thence N 84°54'00" W a distance of 55.19 feet to a point. Thence N 65°21'45" W a distance of 135.77 feet to a point. Thence N 31°03'01" W a distance of 132.30 feet to a point. Thence N 58°00'33" W a distance of 216.79 feet to a point. Thence N 68°44'06" W a distance of 55.04 feet to a point. Thence N 82°52'39" W a distance of 111.83 feet to a point. Thence N 80°03'59" W a distance of 123.43 feet to a point. Thence N 72°11'18" W a distance of 56.18 feet to a point. Thence N 60°21'40" W a distance of 50.82 feet to a point. Thence N 79°28'10" W a distance of 56.52 feet to a point. Thence N 66°00'57" W a distance of 53.71 feet to a point. Thence N 21°23'07" W a distance of 45.29 feet to a point. Thence N 57°26'32" W a distance of 97.90 feet to a point. Thence S 73°20'08" W a distance of 100.47 feet to a point. Thence S 88°49'45" W a distance of 78.84 feet to a point. Thence N 58°05'47" E a distance of 63.57 feet to a point. Thence N 37°37'23" E a distance of 43.81 feet to a point. Thence N 04°35'17" E a distance of 34.18 feet to a point. Thence N 50°39'04" W a distance of 79.67 feet to a point. Thence N 64°56'06" W a distance of 97.27 feet to a point. Thence N 32°02'51" W a distance of 32.09 feet to a point. Thence N 55°36'37" E a distance of 80.94 feet to a point. Thence N 00°06'11" W a distance of 37.17 feet to a point. Thence N 60°24'28" W a distance of 69.32 feet to a point. Thence N 85°44'15" W a distance of 49.64 feet to a point. Thence S 62°29'48" W a distance of 82.68 feet to a point. Thence N 82°10'35" W a distance of 61.53 feet to a point. Thence N 42°17'42" W a distance of 43.69 feet to a point. Thence N 20°20'17" W a distance of 81.39 feet to a point. Thence N 07°02'19" W a distance of 75.12 feet to a point. Thence N 51°34'16" W a distance of 188.50 feet to a point. Thence N 42°23'56" W a distance of 85.13 feet to a point. Thence N 07°16'29" E a distance of 68.31 feet to a point. Thence N 21°35'07" E a distance of 90.14 feet to a point. Thence N 10°28'20" W a distance of 52.30 feet to a point. Thence N 66°25'58" W a distance of 31.01 feet to a point. Thence S 89°52'29" W a distance of 56.66 feet to a point. Thence S 41°25'47" W a distance of 53.22 feet to a point. Thence S 64°39'41" W a distance of 42.60 feet to a point. Thence N 45°21'15" W a distance of 59.84 feet to a point. Thence N 30°16'28" W a distance of 74.84 feet to a point. Thence N 06°33'25" W

a distance of 51.40 feet to a point. Thence N 28°57'51" W a distance of 90.39 feet to a point. Thence N 40°49'22" W a distance of 55.06 feet to a point. Thence N 22°41'38" W a distance of 95.25 feet to a point. Thence N 27°14'22" E a distance of 32.04 feet to a point. Thence N 56°00'29" E a distance of 96.16 feet to a point. Thence N 08°32'56" E a distance of 36.35 feet to a point. Thence N 24°07'12" W a distance of 41.23 feet to a point. Thence N 80°51'51" W a distance of 98.20 feet to a point. Thence N 42°29'09" W a distance of 36.62 feet to a point. Thence N 00°22'03" W a distance of 114.66 feet to a point. Thence N 50°39'37" W a distance of 35.34 feet to a point. Thence N 25°38'38" W a distance of 14.40 feet to a point. Thence along the run of Big Poplar Creek in a northerly direction N 49°42'12" E a distance of 29.65 feet to a point. Thence S 77°06'00" E a distance of 34.62 feet to a point. Thence S 48°23'17" E a distance of 29.17 feet to a point. Thence N 28°01'17" E a distance of 43.22 feet to a point. Thence N 04°48'06" W a distance of 23.60 feet to a point. Thence N 44°42'06" E a distance of 45.83 feet to a point. Thence N 29°17'37" E a distance of 52.22 feet to a point. Thence S 85°54'05" E a distance of 23.22 feet to a point. Thence S 05°01'17" E a distance of 29.51 feet to a point. Thence S 69°05'52" E a distance of 64.20 feet to a point. Thence N 62°36'23" E a distance of 51.88 feet to a point. Thence S 30°15'25" E a distance of 84.77 feet to a point. Thence S 70°01'23" E a distance of 29.70 feet to a point. Thence N 18°54'36" E a distance of 20.79 feet to a point. Thence N 48°23'57" E a distance of 45.02 feet to a point. Thence S 36°56'01" E a distance of 28.92 feet to a point. Thence S 87°24'50" E a distance of 12.72 feet to a point. Thence N 14°48'50" E a distance of 19.36 feet to a point. Thence N 52°28'21" E a distance of 43.14 feet to a point. Thence N 18°45'55" E a distance of 31.40 feet to a point. Thence N 10°07'10" W a distance of 109.26 feet to a point. Thence N 00°39'21" W a distance of 32.93 feet to a point. Thence N 07°33'03" E a distance of 109.91 feet to a point. Thence N 27°08'28" W a distance of 66.59 feet to a point. Thence N 33°33'56" E a distance of 61.02 feet to a point. Thence N 13°35'42" W a distance of 61.89 feet to a point. Thence N 19°27'22" E a distance of 48.34 feet to a point. Thence N 38°52'01" W a distance of 66.47 feet to a point. Thence N 17°16'16" E a distance of 77.61 feet to a point. Thence N 39°15'20" W a distance of 80.79 feet to a point. Thence N 14°57'41" W a distance of 49.11 feet to a point. Thence N 29°32'25" W a distance of 73.75 feet to a point. Thence N 09°19'40" E a distance of 89.48 feet to a point. Thence N 67°58'44" E a distance of 91.79 feet to a point. Thence N 34°15'14" E a distance of 29.59 feet to a point. Thence N 09°39'46" W a distance of 33.83 feet to a point. Thence N 40°43'38" W a distance of 75.18 feet to a point. Thence N 61°57'41" W a distance of 33.12 feet to a point. Thence N 81°44'52" W a distance of 31.19 feet to a point. Thence S 87°50'56" W a distance of 42.27 feet to a point. Thence N 75°24'32" W a distance of 25.99 feet to a point. Thence N 49°07'36" W a distance of 37.05 feet to a point. Thence N 57°48'35" W a distance of 38.09 feet to a point. Thence N 29°26'14" W a distance of 35.88 feet to a point. Thence N 00°04'04" W a distance of 57.65 feet to a point. Thence N 07°01'51" E a distance of 58.28 feet to a point. Thence N 32°27'51" W a distance of 70.01 feet to a point. Thence

N 58°04'50" W a distance of 84.58 feet to a point. Thence N 49°56'24" W a distance of 62.26 feet to a point. Thence N 16°14'37" W a distance of 56.61 feet to a point. Thence N 00°14'59" W a distance of 23.07 feet to a point. Thence N 43°18'33" E a distance of 51.58 feet to a point. Thence N 26°11'16" E a distance of 27.64 feet to a point. Thence N 51°47'41" E a distance of 61.52 feet to a point. Thence leaving the run of Big Poplar Creek N 52°26'31" W a distance of 28.36 feet to a ½" rebar. Thence N 52°26'31" W a distance of 218.35 feet to a ½" rebar. Thence N 01°42'53" E a distance of 78.71 feet to a 1" pipe. Thence N 01°43'49" E a distance of 211.69 feet to a 1" pipe. Thence N 01°40'55" E a distance of 259.23 feet to a 1" pipe. Thence N 01°42'46" E a distance of 150.53 feet to a 1" pipe. Thence N 01°24'22" E a distance of 528.75 feet to a bent axle. Thence S 89°02'03" E a distance of 1085.54 feet to an iron pipe set. Thence S 88°10'41" E a distance of 1246.67 feet to a 1" pipe. Thence N 00°27'00" E a distance of 2413.24 feet to a 1" pipe. Thence N 89°30'47" E a distance of 1547.49 feet to a concrete monument. Thence S 18°38'49" W a distance of 476.43 feet to a ¾" pipe. Thence S 17°48'26" W a distance of 1273.32 feet to a 2" pipe. Thence S 18°02'24" W a distance of 529.14 feet to a ¾" pipe. Thence S 18°07'54" W a distance of 275.39 feet to a bent axle. Thence N 88°32'11" E a distance of 3457.38 feet to an iron pipe set along the western right-of-way of Wilson's Mills Road and the **POINT OF BEGINNING** and containing 503.977 acres (21953241 square feet).

BELLAMY

CONDITIONAL REZONING REQUEST

Smithfield, North Carolina

December, 2025



Aerial view of the Bellamy site in Smithfield, NC

CONDITIONAL REZONING

Submittal Date: December 5, 2025

DEVELOPER - ROCK TOWER PARTNERS

Ben Mathis - Managing Partner
Ed Lynch - Land Development & Entitlement Manager

ENGINEERING - MCADAMS

Benjamin Mayo - Project Manager, Residential

PLANNING & DESIGN - MCADAMS

David Bergmark - Practice Lead, Development Entitlement



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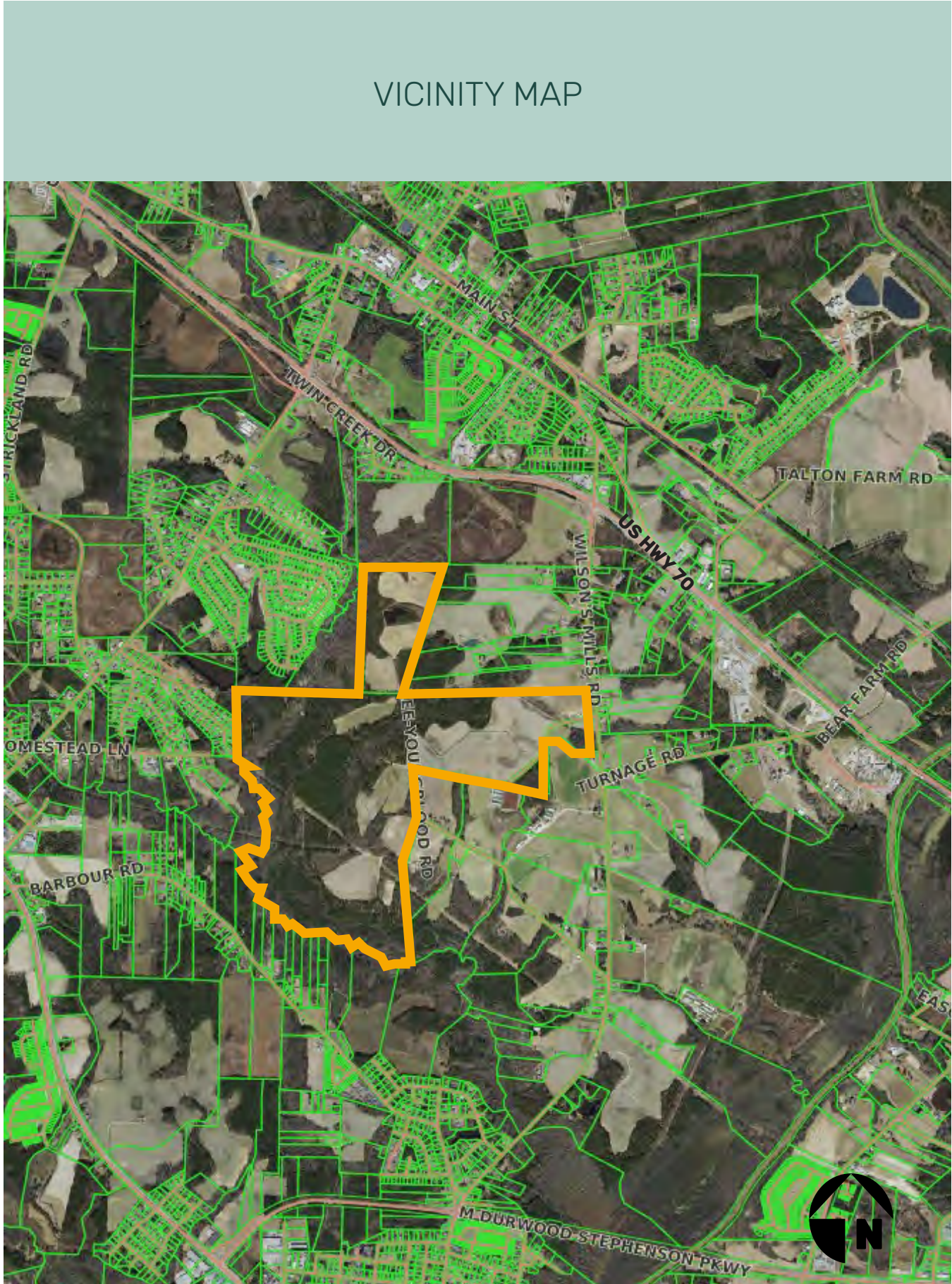
APPENDIX

01

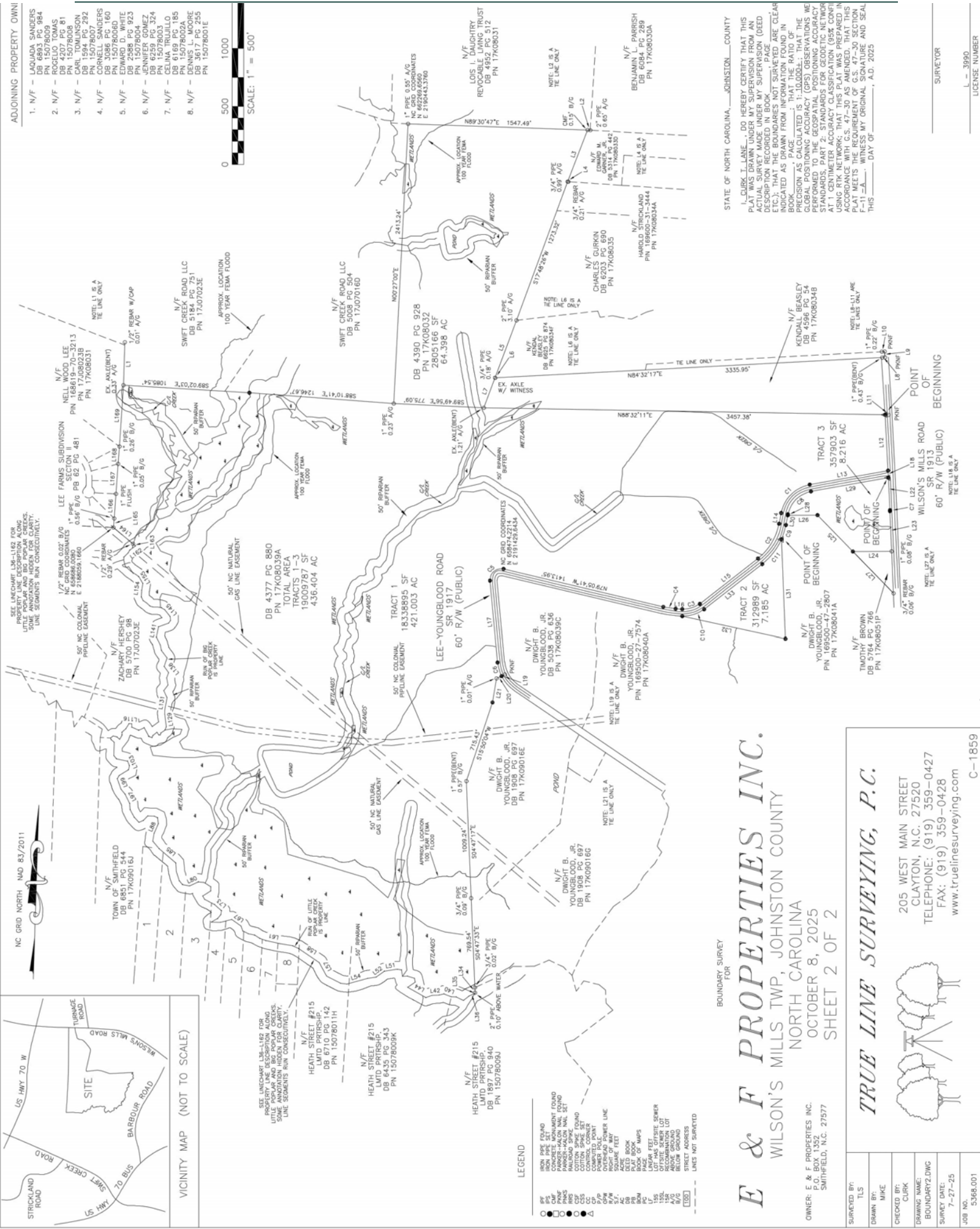
EXISTING CONDITIONS

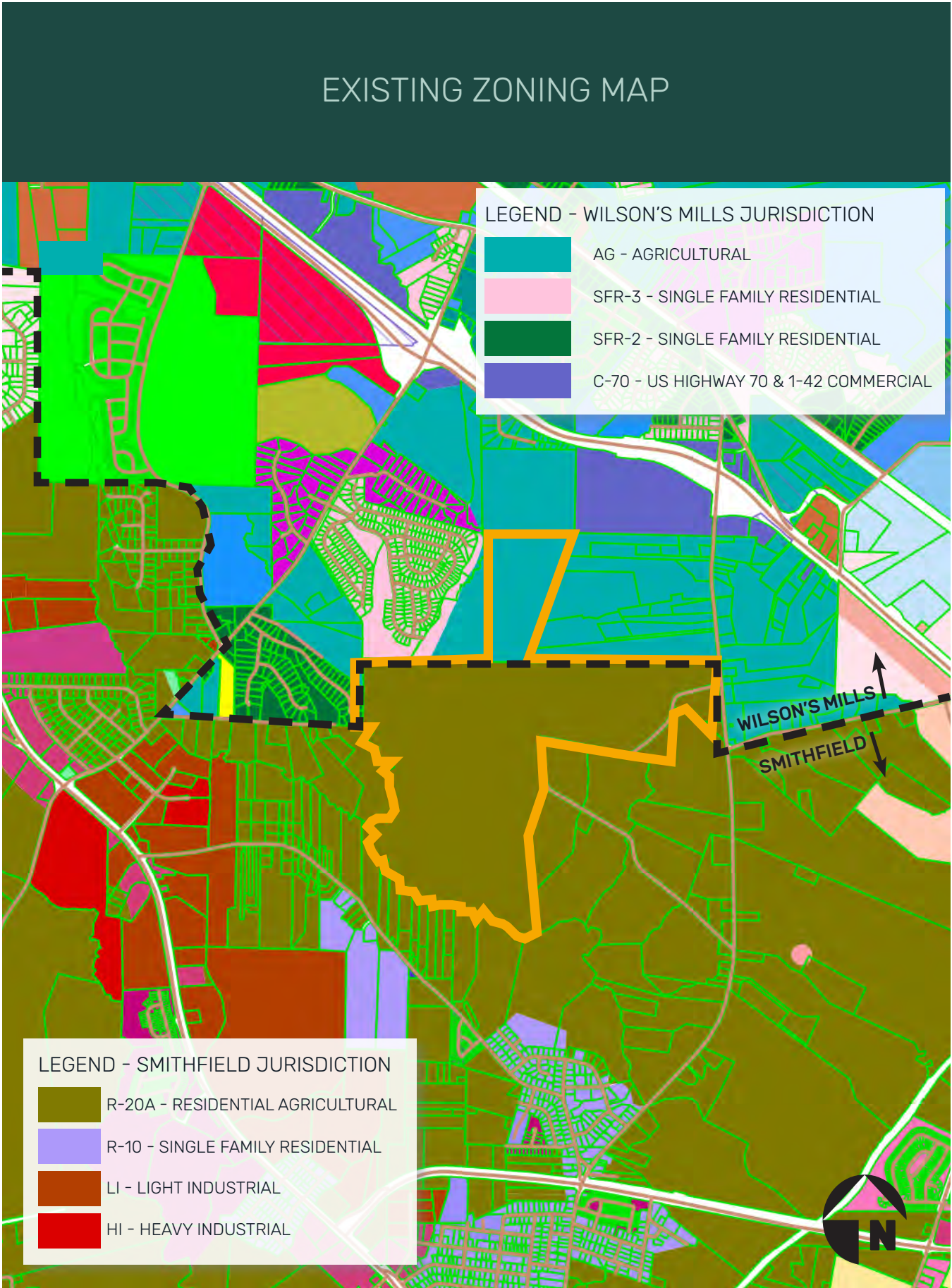
SITE DATA

PROJECT NAME	HOLDING POINTE
DEVELOPER:	ROCK TOWER PARTNERS, LLC PO BOX 1797, CLAYTON NC 27528 PHONE: 252.341.1703 EMAILS: ELYNCH@ROCKTOWERPARTNERS.COM
DESIGN PROFESSIONAL:	MCADAMS 621 HILLSBOROUGH ST, SUITE 500, RALEIGH NC 27603 PHONE: 919.361.5000 EMAIL: BERGMARK@MCADAMSCO.COM
OWNER:	E & F PROPERTIES, INC PO BOX 1352, SMITHFIELD NC 27577
PARCEL IDENTIFICATION NUMBERS:	168500-97-7612 169600-11-0117
DEED REFERENCES:	DEED BOOK 04390, PAGE 0928 DEED BOOK 04377, PAGE 0880
EXISTING ZONING:	SMITHFIELD: R20-A (RESIDENTIAL AGRICULTURAL) WILSON'S MILLS: AG (AGRICULTURAL)
CURRENT USE:	AGRICULTURAL & RURAL RESIDENTIAL
PROPOSED ZONING:	SMITHFIELD: R-8-CZ (RESIDENTIAL, CONDITIONAL ZONING DISTRICT)
PROPOSED USE:	RESIDENTIAL
TOTAL PROJECT AREA:	500.802 NET ACRES (503.977 AC - 3.175 AC OF R.O.W.)
PROPOSED DENSITY:	MAXIMUM 2.40 UNITS/ACRE
PROPOSED LOTS:	1,076
SINGLE FAMILY DETACHED:	885 +/-
TOWNHOUSE	191 +/-
PUBLIC PARK LAND DEDICATION:	MINIMUM 135 ACRES (PROPOSED)
PRIVATE OPEN SPACE:	ONE MAIN AMENITY (+/- 5 acres)
	+/- 6 POCKET PARKS
WATERSHED OVERLAY DISTRICT:	WS-IV NSW PROTECTED
AIRPORT OVERLAY DISTRICT:	ZONE D AND ZONE E
FEMA FIRM PANEL:	3720169500K, 3720168500K, 3720169600K
DEDICATED RIGHTS-OF-WAY:	46,000 LINEAR FEET

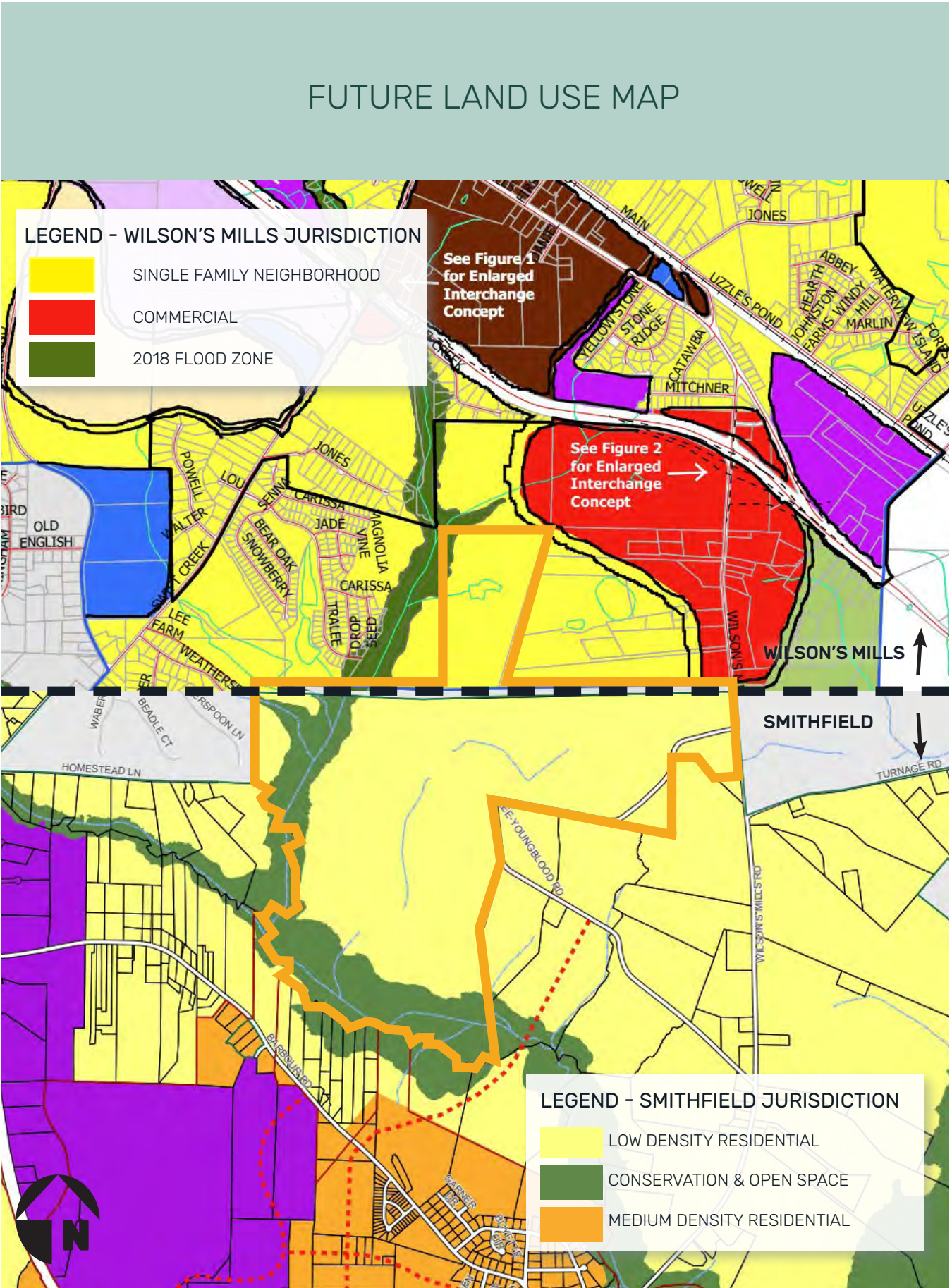


The subject site is located east of Wilson's Mills Road and Lee Youngblood Road



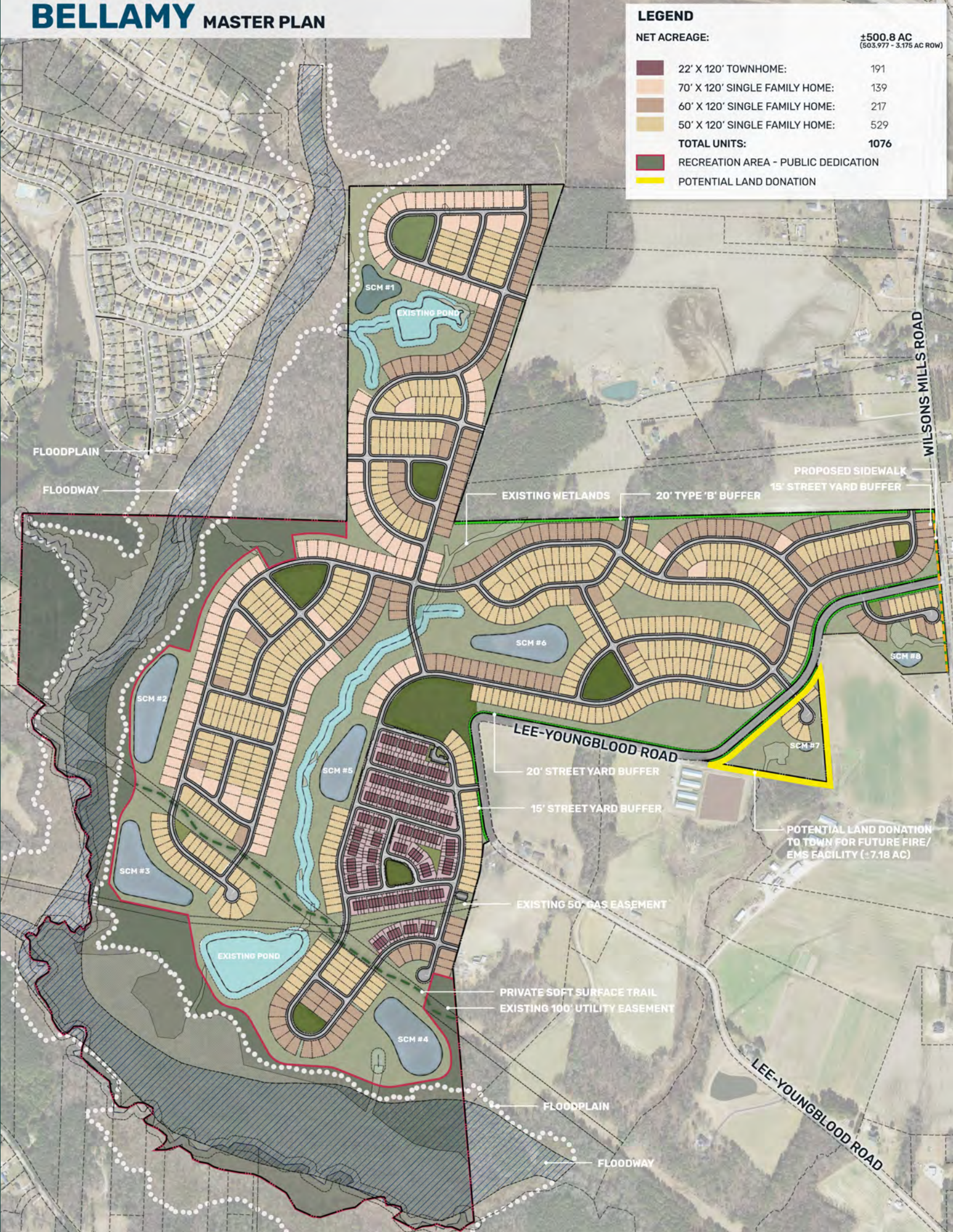


The subject site is within Smithfield and Wilson's Mills Extraterritorial Planning Jurisdctions. The jurisdictional line is indicated above.



The subject site features future land use designations from both Smithfield and Wilson's Mills.

02
MASTER PLAN



VISION + INTENT

This conditional rezoning request is submitted with the purpose and intent of implementing the Town of Smithfield's Future Land Use Map and facilitating the development of a well-designed neighborhood with a range of housing types and densities. The land use designation for this site is Low Density Residential (Smithfield) and Single Family Residential (Wilson's Mills), as shown on page 11 of this booklet. Smithfield's designation specifically envisions primarily single family detached residential, with low gross density (generally 1-4 dwellings per acre). Just to the north of the site, at the intersection of Wilson's Mills Rd and US Hwy 70, Wilson's Mills plans for a large Commercial node. The proximity of this site to future commercial amenities makes it an appropriate place for new residential development, providing a variety of housing options. As development occurs and the land use maps are implemented, residents living in the Bellamy neighborhood will have convenient access to goods and services and support the envisioned businesses in this area.

The development proposes a mix of housing types including detached single family homes on different lot sizes and townhomes at an overall density of less than 2.2 units/acre. A higher proportion of 60' wide and 70' wide single family lots and a reduced proportion of townhouses are included in this submittal. The project's proposed housing types, density, and land set aside for dedication make it consistent with the Low Density Residential land use designation. Furthermore, the proposed neighborhood is similar to other recently approved developments in the Towns of Smithfield and Wilsons Mills, and will continue a predictable development pattern to seamlessly fit the new neighborhood into the existing community.

The Master Plan submitted with this rezoning request carefully transitions densities and scale within the neighborhood and near its boundaries. To this end, the townhome pod previously along the site's northern boundary has been removed.

To help mitigate potential visual impacts to surrounding areas, a minimum 15' Street Yard is required where rear lot lines abut existing right-of-way, and a 20' Type B buffer is provided along the northern property boundary as shown on the Concept Plan. Bellamy will dedicate a minimum of 135 acres of public recreation area to the Town of Smithfield (exceeding the UDO requirement by nearly 50%). In addition, the development will include a minimum of six (6) 0.5-acre pocket parks and a +/-5-acre neighborhood amenity site for future residents to enjoy.

Architectural standards are proposed to ensure high-quality materials and inviting aesthetics. In general, architectural standards provide enhanced architectural accents and differentiating features to support visual interest (see Rezoning Booklet for all architectural standards). The development is expected to provide all units for sale, at prices estimated to start at \$375,000 for detached houses and \$300,000 for townhouses.

The development will bring over 1,000 new families to the Smithfield community. To help address the immediate demand for services, the development will be strategically phased. As the houses are constructed, the need for municipal and utility services will come online incrementally as well.

Phasing will allow for a gradual increase in population (and a gradual increase in property taxes), which will allow the Town to plan for and provide appropriate emergency and municipal services to the houses as they become occupied. To protect and serve the future needs of this area, the developer has offered ~ 7 acres of land along Lee Youngblood Road for donation to the town as a potential future EMS/Fire facility. Furthermore, the proposed public recreation area dedication will increase Smithfield's parks & recreation capacity and will serve the residents of Bellamy as well as the community as a whole.

An annexation petition is submitted in conjunction with this rezoning request to bring the assemblage into Smithfield's town limits.

NEIGHBORHOOD ENGAGEMENT

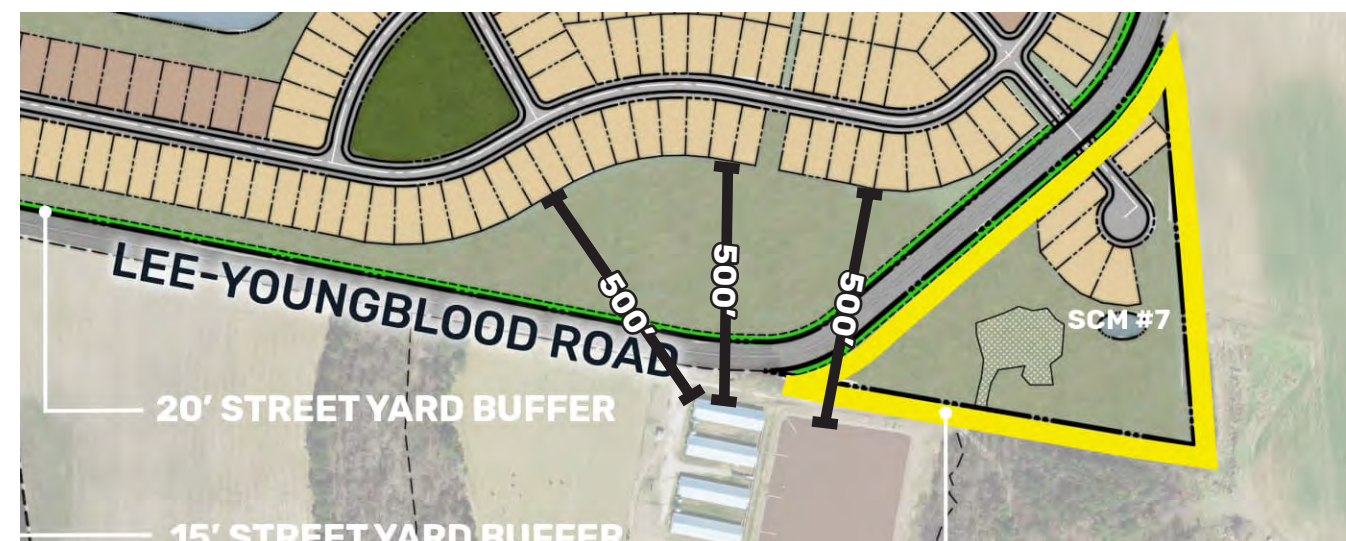
The site is surrounded by moderate density single family detached houses to the west (on the opposite side of the Poplar Creek floodplain) and rural and agricultural uses to the east. The Youngblood Farm, and existing and operating livestock farm, abuts the site to the south and east.

The applicant met with the owners of the Youngblood Farm to listen to their concerns and made appropriate changes as best as they could while keeping the character of the neighborhood. Those changes include the proposed standards below:

In addition to proposed street yard buffers and perimeter buffers, a 500' setback between the adjacent hog lagoon (and it's associated 4 farm buildings) and proposed residential lots has been provided to support the mutual enjoyment and functionality of both land uses. In observance of the farm's existing use of Lee Youngblood Rd, the Bellamy project no longer proposes abandonment of the northern portion of Lee Youngblood Rd, preserving this means of access to the hog farm.

To provide appropriate transition between future homes and existing homes to the north, the northern property boundary will feature a 20-ft Type B perimeter buffer. Townhouses and smaller lots are concentrated toward the center of the development, while larger lots are proposed around the site's edges. Each townhouse building will have two designated guest parking spaces. In response to community feedback at public meetings, a higher proportion of 60' and 70' wide lots have been included in the development overall, and the number of townhomes has been reduced.

500' SEPARATION EXHIBIT



TYPICAL 15' STREET YARD



USE STANDARDS

PERMITTED DENSITY

Proposed 2.20 dwelling units/acre

Density Calculation:

$1,076 \text{ units} / 500.802 \text{ acres} = \text{approximately } 2.148 \text{ units/acre}$

PERMITTED USES

PERMITTED USE TABLE	
	R-8-CZ
Residential Uses	
Dwelling, single-family detached	P
Dwelling, single-family attached (townhouse)	PS (UDO Section 7.35)
Accessory Structures	P
Private Recreation Facility	P
Customary Home Occupation	PS (UDO Section 7.7)
Public or neighborhood swimming pools	P
Public or private neighborhood tennis courts	P
Nature observation points	P
Parks and recreation areas	P
Playgrounds	P
Recreation buildings and facilities for residential developments	P

P - Permitted by Right: Administrative review and approval subject to district provisions and other applicable requirements only.

PS - Permitted with Supplemental Regulations: Administrative review and approval subject to district provisions, other applicable requirements, and supplemental regulations outlined in UDO Article 7.

TYPICAL LOT DIMENSIONS

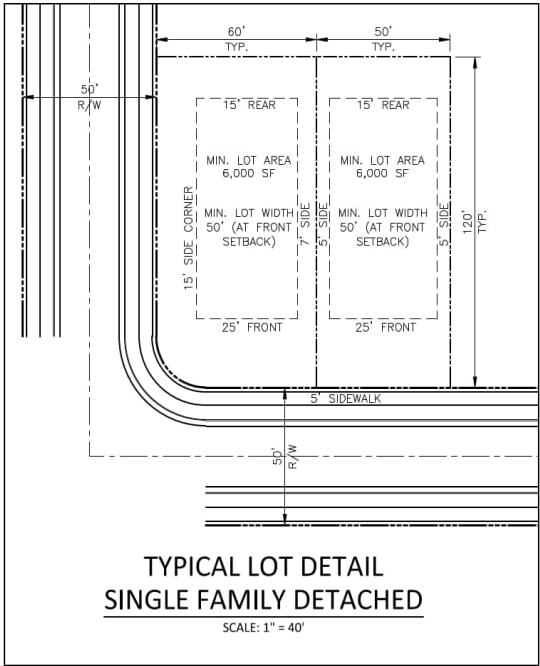
SINGLE FAMILY DETACHED LOTS

LOT DIMENSIONS	
Minimum Lot Area	6,000 sq ft
Minimum Lot Frontage	50 ft

SETBACKS	
Minimum Front	25 ft
Corner Side	15 ft
Minimum Side	5 ft*
Minimum Rear	15 ft
Accessory Building Setback	5 ft
Minimum Driveway Length	25 ft

* Side setbacks for lot widths 60 ft and greater are required to be 7 ft.

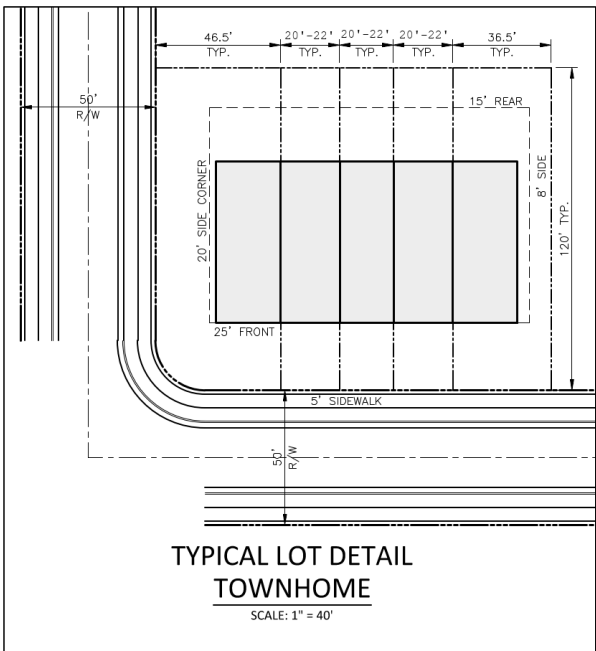
NOTE: Minimum driveway length of 25' required for all single family detached lots.



TOWNHOUSE LOTS

LOT DIMENSIONS	
Minimum Lot Area	2,200 sq ft
Minimum Lot Frontage	20 ft

SETBACKS	
Minimum Front	25 ft
Corner Side	20 ft
Minimum Side	8 ft
Minimum Building Separation	20 ft
Minimum Rear	15 ft



ARCHITECTURAL CONDITIONS

SINGLE FAMILY DETACHED

- All detached houses will be one or two stories with a slab foundation.
- Each single family detached house will include a front-loaded garage.
- Within the development, multiple types and styles of vinyl siding will be utilized to provide visual interest.
- The front façade of each house will include masonry accents, which may be provided in the form of a water table, accent wall, trim elements around windows or doors, or other similar architectural features.
- Variation in roof design will be provided between homes, through the use of variable roof pitch, dormers, gables, or similar visual differentiators.
- Window accents and trim will be provided for each house.
- A covered front porch will be provided for each house.
- At a minimum, each home will include a rear patio area.
- Houses on corner lots shall have windows on the street side corner.

TOWNHOUSES

- All townhouses will be a minimum of two stories and will be a minimum of 20' wide on a slab foundation.
- Each townhouse will, at a minimum, include a front-loaded single-car garage.
- Each Townhouse building (comprised of 3 or more attached units) will include multiple types or styles of vinyl siding to create visual interest.
- The front façade of each townhouse building will include masonry accents, which may be provided in the form of a water table, accent wall, trim elements around windows or doors, or other similar architectural features.
- Each Townhouse building will include variations in roof design through the use of variable roof pitch, dormers, or gables.
- Window accents and trim will be provided for each townhouse.
- Each townhouse will feature one of the following: doorway entry features or covered porch.
- At a minimum, each townhome will include a rear patio.
- Townhouse units on corner lots shall have windows on the street side corner.

ILLUSTRATIVE ELEVATIONS

DETACHED AND ATTACHED



Renderings above are provided as illustrative examples only and do not constitute architectural conditions. Architectural standards listed on page 19 will be binding commitments that building permits will be subject to.

Renderings above are provided as illustrative examples only and do not constitute architectural conditions. Architectural standards listed on page 19 will be binding commitments that building permits will be subject to.

ROADWAY IMPROVEMENTS

ROADWAYS

The development is envisioned to have approximately 46,000 linear feet (around 8.75 miles) of new neighborhood streets to serve the +/- 500 acre development. Streets will be designed to minimize environmental impacts, but promote redundancy and connectivity, allowing for multiple ways to move throughout the neighborhood. Streets will be stubbed to adjacent properties for future connectivity as the area continues to evolve.

A portion of Lee-Youngblood Rd extends through the site and is planned to remain as is, in observance of access needs for the adjacent Lee Youngblood Farm. If any changes to the road are required by NCDOT during development (such as speed limit reduction, or curve realignment for safety), they will be coordinated with NCDOT, the Town, and Lee Youngblood Farm during the subdivision review process.

Neighborhood streets will meet the Town of Smithfield's standard for local streets, including curb, gutter, and sidewalk on at least one side, with a deviation in total right-of-way from 60-feet to 50-feet in width. The back-of-curb to back-of-curb dimensions remain unchanged in the proposed 50' cross-section, **still meeting the full 27 foot wide road pavement, 11 foot wide travel lanes and 2.5 foot curb & gutter.** A typical illustrative cross-section is provided below.

SIDEWALKS & PEDESTRIAN IMPROVEMENTS

Sidewalks will be provided at minimum on one side of all new neighborhood streets in accordance with UDO 10.112, which will total approximately 8.75 miles of new sidewalks. Sidewalks shall be a minimum of five (5) feet in width. See neighborhood street cross-sections provided in the Rezoning Booklet for standard sidewalk design.

New sidewalk will also be constructed along the development's frontage on Wilson's Mills Rd in accordance with UDO 10.112.3.

TYPICAL 50' RESIDENTIAL ROAD

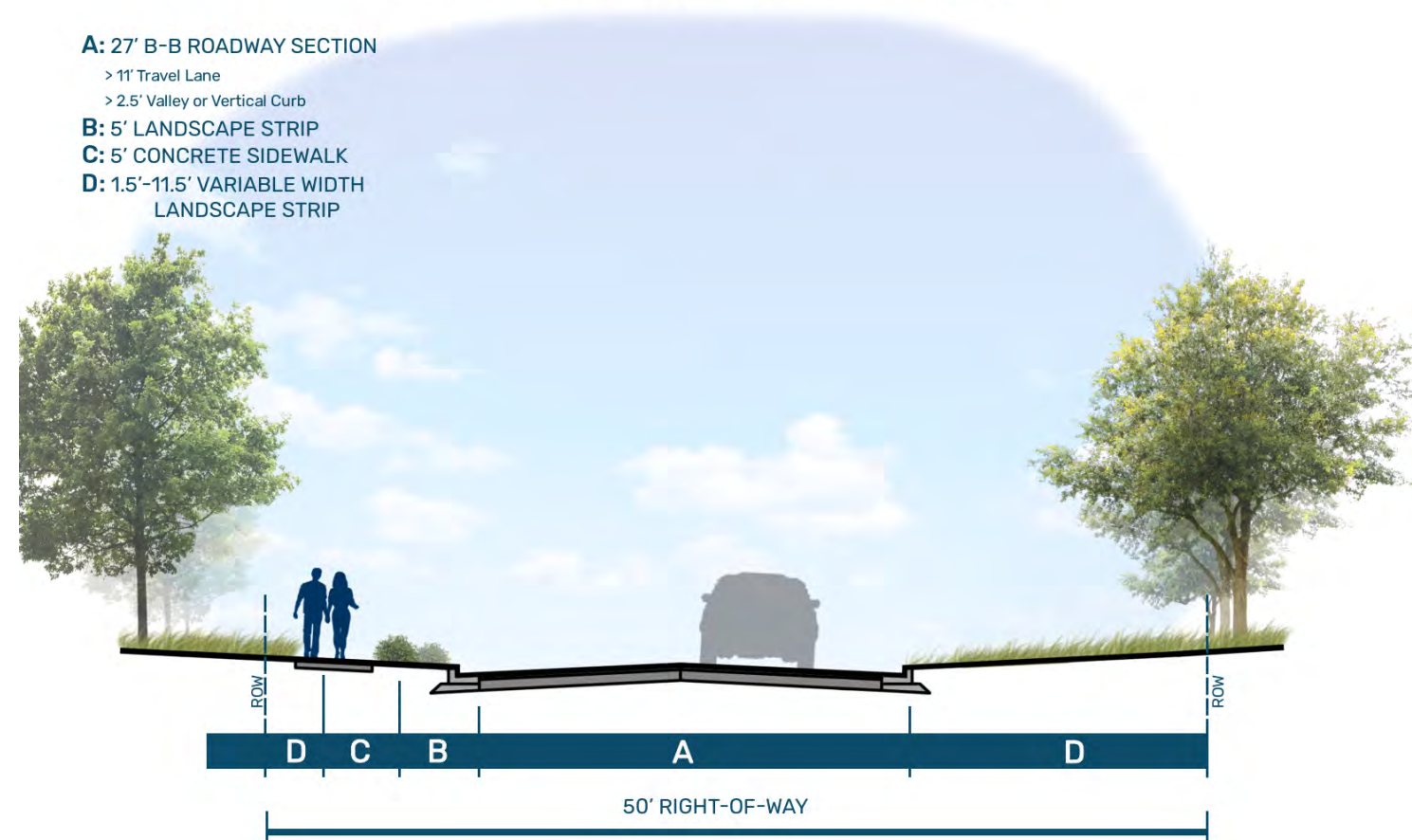
A: 27' B-B ROADWAY SECTION

- > 11' Travel Lane
- > 2.5' Valley or Vertical Curb

B: 5' LANDSCAPE STRIP

C: 5' CONCRETE SIDEWALK

D: 1.5'-11.5' VARIABLE WIDTH LANDSCAPE STRIP



UTILITY IMPROVEMENTS

SEWER

The development will be served by a new internal gravity sewer network that will be pumped from the site through a new on-site pump station. The pump station will be located in a low-lying area of the site, while still being safely outside of the floodplain. As proposed, the sewer will be pumped through a new forcemain extending to the south through an existing 30' Town of Smithfield utility easement to tie into an existing gravity sewer manhole in Bella Square. See the 'Utility Plan' sheet within the conceptual Master Plan package, provided to the right as an exhibit within this Booklet.

The development is expected to generate approximately **282,450 GPD** in sewer demand.

The on-site sewer main extension is anticipated to require approximately 46,000 linear feet within new neighborhood streets.

The off-site sewer extension is anticipated to require approximately 4,900 linear feet within an existing utility easement.

WATER

The development proposes to connect to existing Town of Smithfield water main in Barbour Rd to the south of the site. Two options are contemplated and shown on the Utility Exhibit. The western most option is proposed extending through a parcel owned by the Town of Smithfield. The easternmost option would extend through an existing 30' utility easement, paralleling the proposed sewer forcemain.

Internally, public water main will run underneath all new neighborhood streets to serve each house. Construction will be phased concurrently with the construction of streets.

The on-site water main extension is anticipated to require approximately 46,000 linear feet within new neighborhood streets.

The off-site water extension is anticipated to require approximately 2,900 linear feet within an existing utility easement and/or Town of Smithfield property.



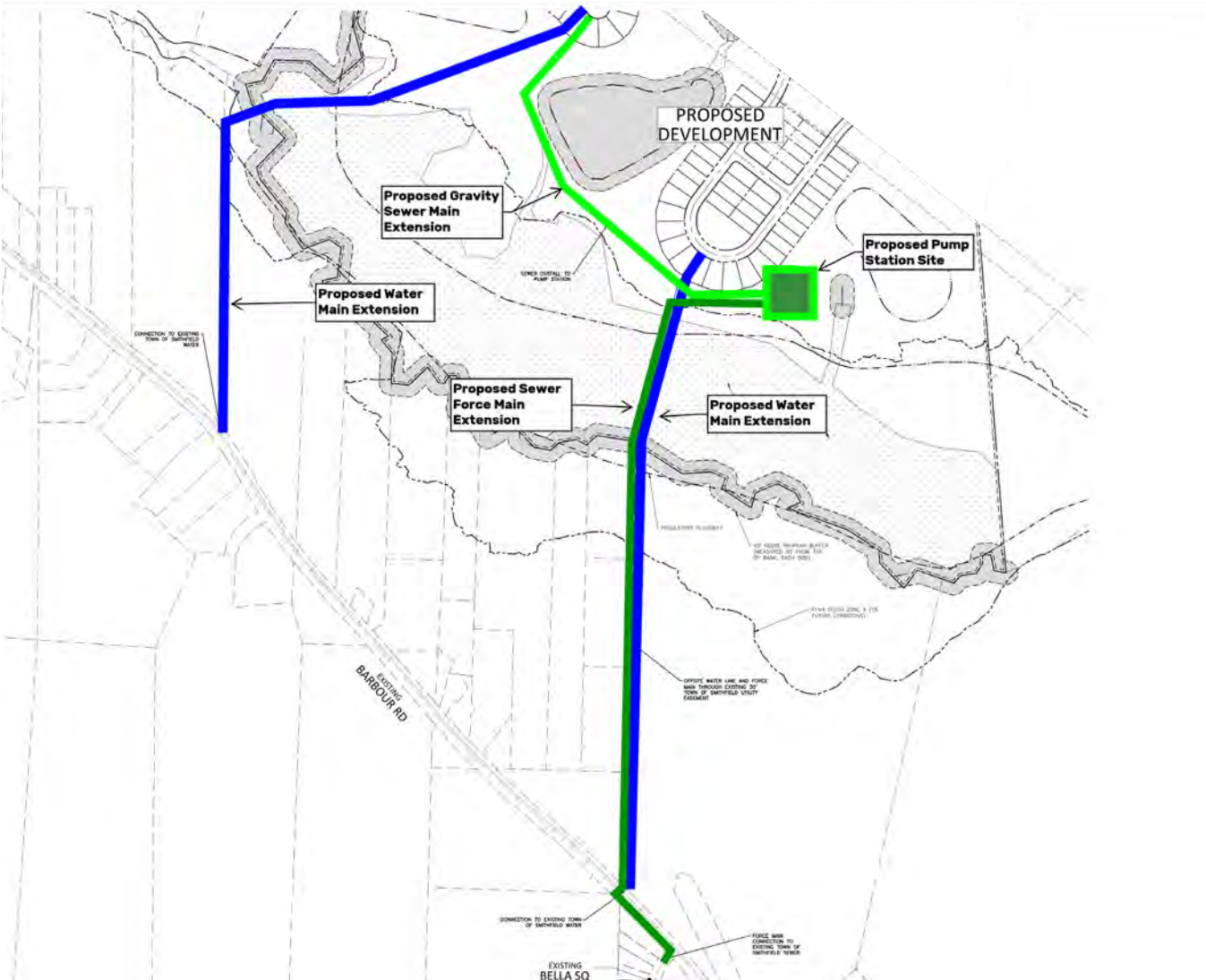
STORMWATER

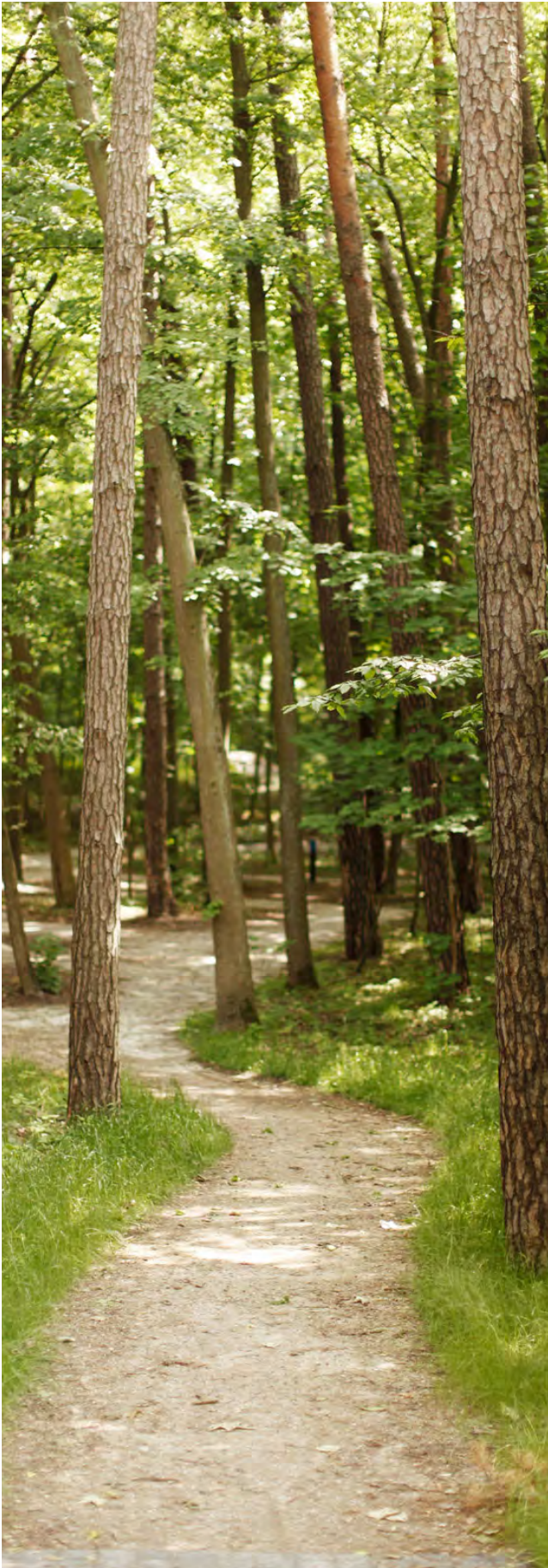
The development will include several stormwater control measures that are designed, constructed, and maintained to achieve either runoff treatment or runoff volume match, in accordance with the UDO and 15A NCAC 02B .0621.

The site is located within the WS-IV NSW Protected Watershed, and as such prioritizes open space and preservation of natural resources as a means of offsetting development impacts. However, to create a development on this scale, special council approval is requested to surpass the otherwise applicable 24% maximum impervious surface limit. The Town of Smithfield has special authority to permit certain areas of town to go up to 70% build-upon area.

This development requests the ability to go up to **30% built-upon area** (including proposed parkland dedication within total impervious surface calculations).

UTILITY EXHIBIT





PARKING + PHASING

PARKING

Each single-family dwelling (either detached or attached) shall have 2 parking spaces.

Parking provided through garages and driveways will be phased concurrently with the construction of lots and houses. Along Townhome pods, guest parking (in the form of on-street parallel spaces or small off-street parking lots) will be provided in nearby common areas to supplement driveway/garage parking. **Two guest parking spots are required per townhouse building.**

PHASING

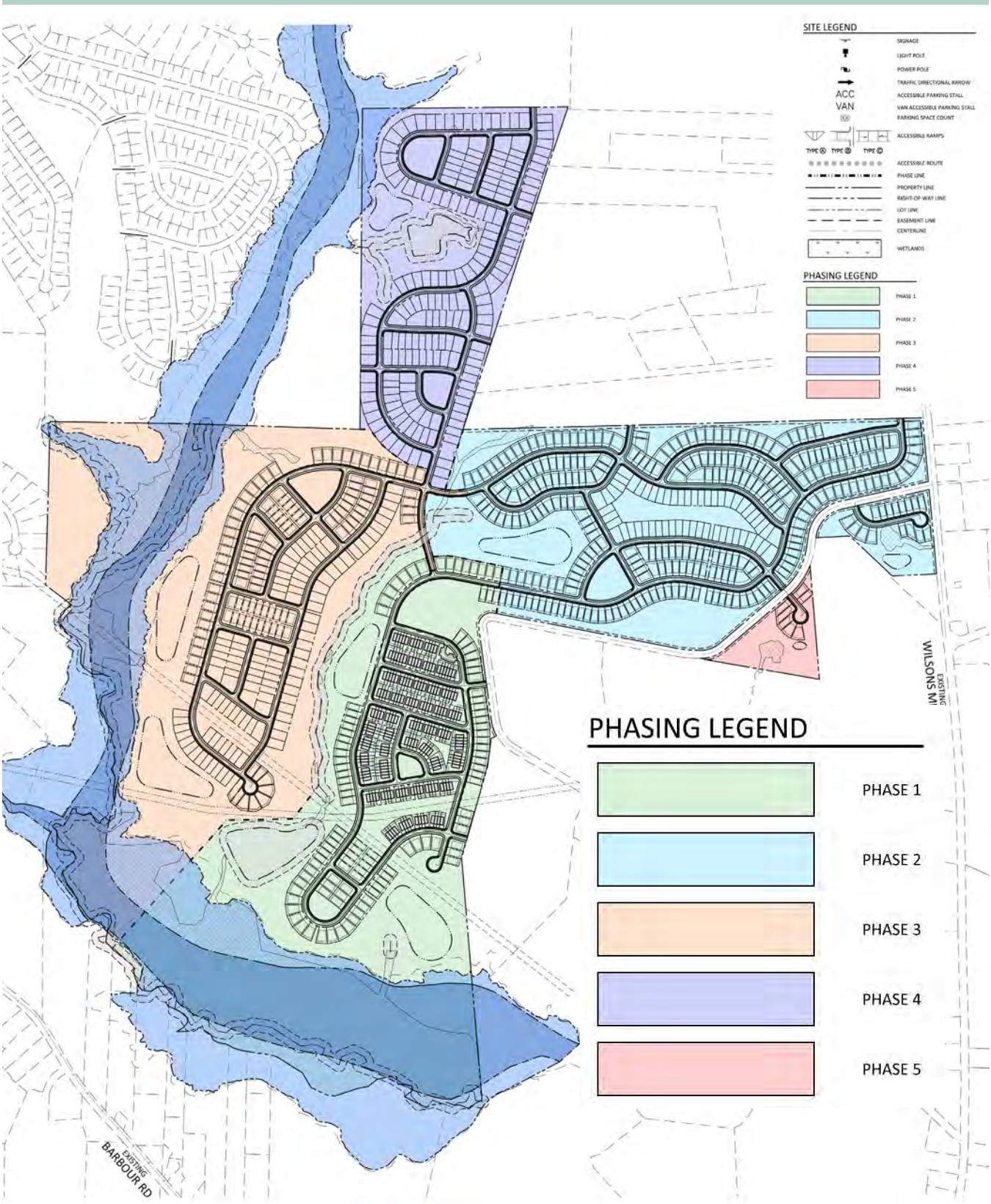
Horizontal construction is expected to begin in early 2028. The building process for the entire Bellamy neighborhood is expected to span approximately 10 years.

The development is expected to be phased per the proposed Preliminary Phasing Plan provided in the Master Plan Set. **Five** main phases are envisioned, starting in the southeast of the site with Phase 1, moving further east with Phase 2, to the west with Phase 3, and north with Phase 4. **The ~7 acre piece offered for dedication for emergency services represents the final phase.** Phase 4 includes the parcel in Wilson’s Mills jurisdiction, which requires annexation prior to zoning action.

Phase 1 will include several major important infrastructure improvements such as the construction of water and sewer main extensions to the south of the site and the construction of the sanitary sewer pump station. Phase 1 will be accessed from Lee Youngblood Rd. The main neighborhood entrance along Wilson’s Mills Rd will be constructed during Phase 2. The internal network of streets and utilities will be phased along with these phase lines.

This preliminary phasing plan conveys the developer’s initial intent for phasing based on utility extension locations and projected development progression. This phasing plan is subject to change and additional sub-phasing as additional engineering analysis is performed.

CONSTRUCTION PHASING EXHIBIT



05
OPEN SPACE

BELLAMY OPEN SPACE AND AMENITIES

LEGEND

- IMPROVED OPEN SPACE
- UNIMPROVED OPEN SPACE
- POTENTIAL LAND DONATION

KEY:

- 01 MAIN AMENITY AREA
- 02 POCKET PARK
- 03 PRIVATE SOFT SURFACE TRAIL
- 04 RECREATION AREA - PUBLIC DEDICATION
- 05 STREAMS AND WETLANDS

OPEN SPACE DATA TABLE:

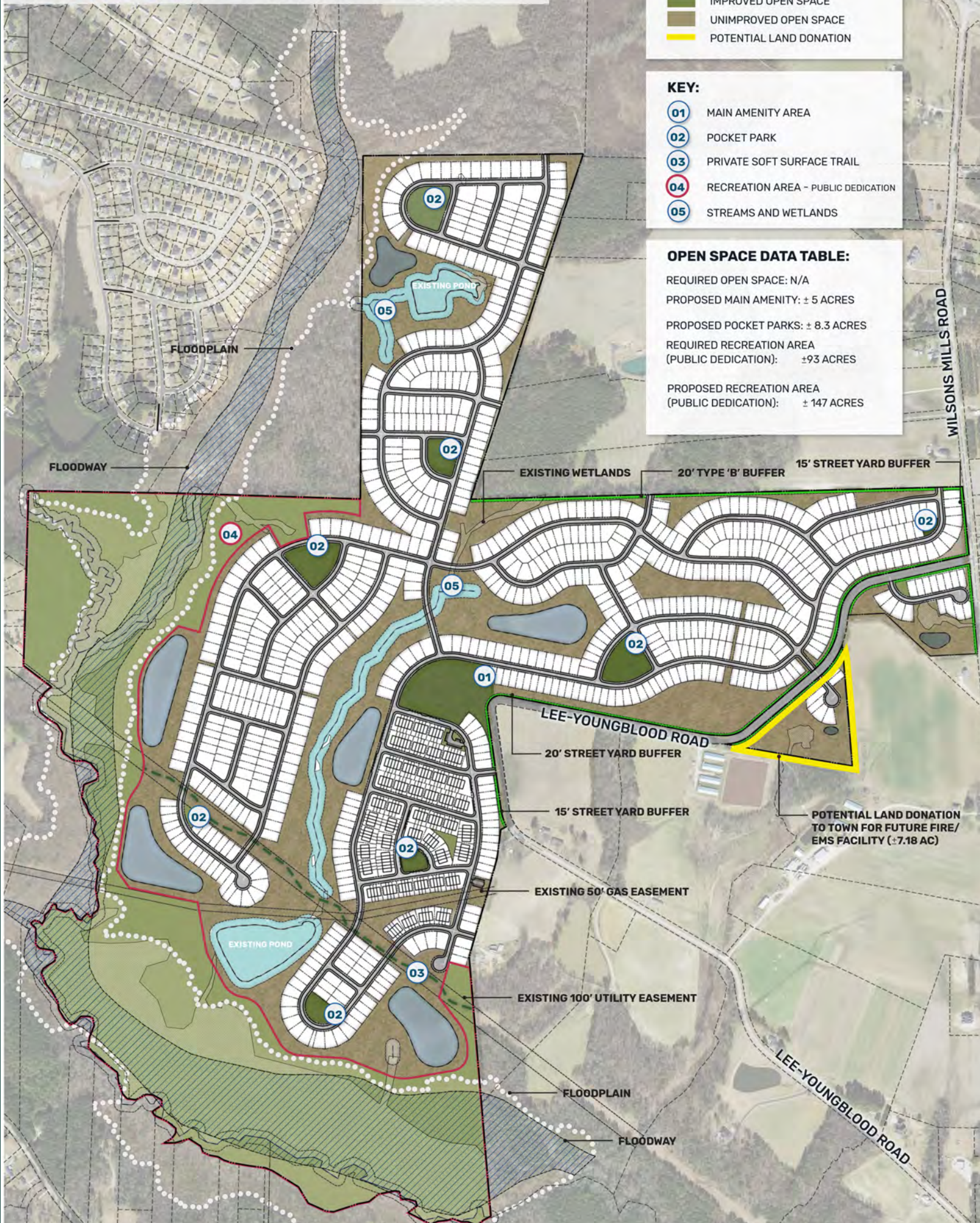
REQUIRED OPEN SPACE: N/A

PROPOSED MAIN AMENITY: ± 5 ACRES

PROPOSED POCKET PARKS: ± 8.3 ACRES

REQUIRED RECREATION AREA (PUBLIC DEDICATION): ±93 ACRES

PROPOSED RECREATION AREA (PUBLIC DEDICATION): ± 147 ACRES



PRIVATE OPEN SPACE POCKET PARKS + AMENITIY

The development will include one (1) neighborhood amenity area of approximately five (5) acres in size. The main amenity is planned to include a pool and a clubhouse.

In addition to the main amenity area, the current conceptual Master Plan shows six (6) pocket parks of 0.5 acres or more in size. At least three (3) of the pocket parks will be equipped with an active play amenity. The remaining pocket parks are planned for passive recreation.

A soft-surface, private walking path is proposed through an existing utility easement to connect residents to the land dedicated for public recreation area. The path is contingent on approval by the controlling utility agency.

Private open space will be dispersed throughout the development to provide broad neighborhood access to green space.

Private open spaces will be maintained by a property owners association in accordance with UDO 7.35.2.



POCKET PARKS EXAMPLE IMAGERY



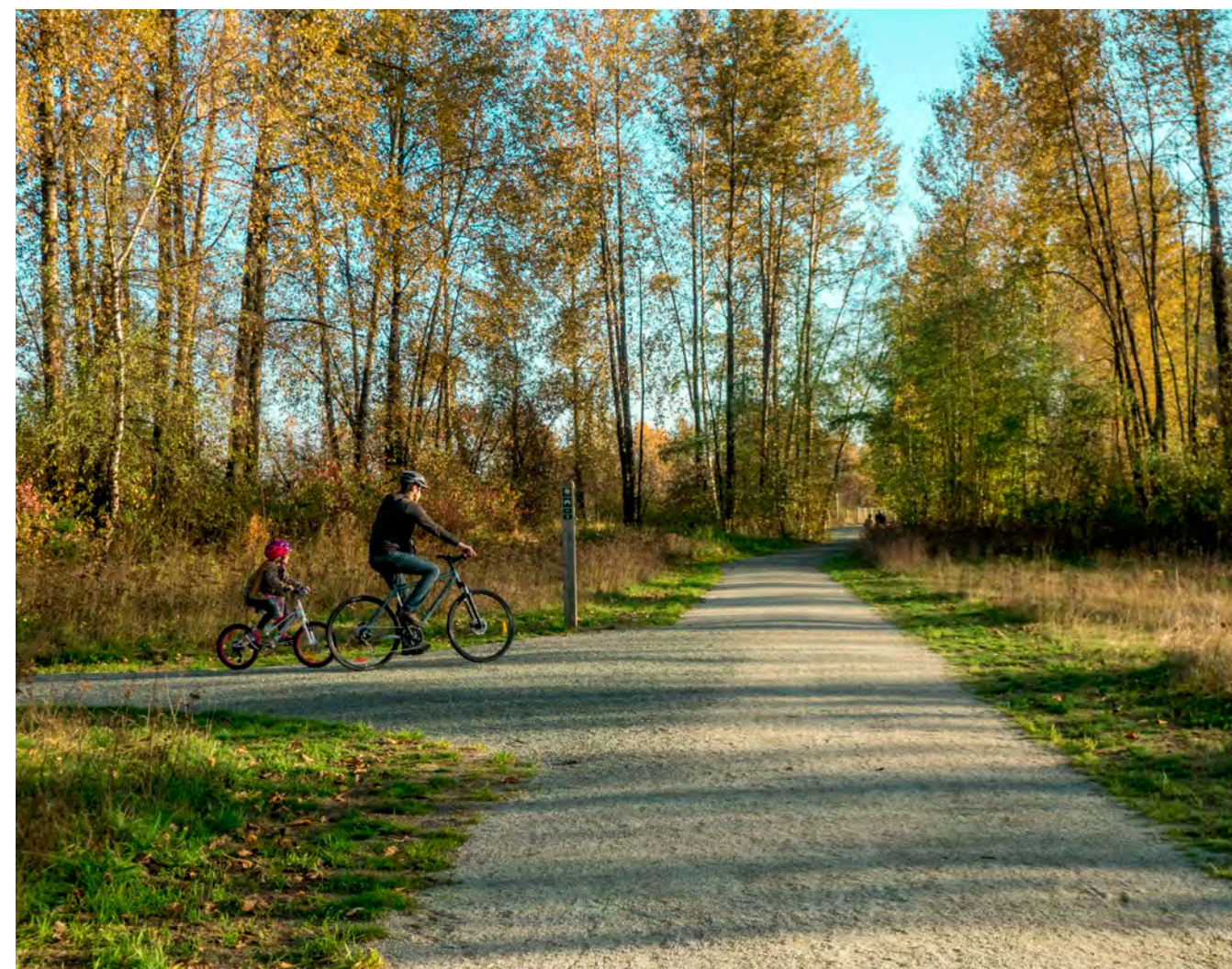
AMENITY EXAMPLE IMAGERY



PUBLIC RECREATION AREA DEDICATION

The development proposes the dedication of a minimum of **135 acres** of forest land surrounding Poplar Creek for the Town's use as a public recreation area. This dedication exceeds the requirement of UDO 10.114.3 **by nearly 50%.**

This recreation area dedication will help to minimize potential disturbance to wetlands, creeks, and floodplain areas as Smithfield continues to grow and change. The Town of Smithfield will have the flexibility to provide amenities on this land on its own time and terms. The dedication of land will enhance resident's access to recreational open space in this area of Town, ensuring that a connection to nature is maintained and encouraged as development occurs to address the community's housing needs.



DEVIATIONS FROM UDO STANDARDS

Deviations are shown in orange.

SINGLE FAMILY DETACHED LOTS

UDO § 8.3.1	Existing Standard	Proposed Standard
Min. Lot Area	8,000 sq. ft.	6,000 sq. ft.
Min. Lot Frontage	70 ft.	50 ft.
Min. Front Yard Setback	30 ft.	25 ft.
Min. Corner Side Setback	-	15 ft. <i>Note: Minimum driveway length of 25' required for all single family detached lots.</i>
Min. Side Yard Setback	10 ft.	5 ft. (7 ft. required for lots 60 ft. wide or greater)
Min. Rear Yard Setback	25 ft.	15 ft.
Max. Building Height	35 ft.	35 ft.
Min. Accessory Building Setback	10 ft.	5 ft.
Min. Driveway Length	-	25 ft.

SINGLE FAMILY ATTACHED (TOWNHOUSE) LOTS

UDO § 8.3.1	Existing Standard	Proposed Standard
Min. Lot Area	4,500 sq. ft. gross site area	2,200 sq. ft. per townhome lot
Min. Lot Frontage	N/A	20 ft. per townhome lot
Min. Front Yard Setback	30 ft.	25 ft.
Min. Corner Side Setback	-	20 ft.
Min. Side Yard Setback	10 ft.	8 ft.
Min. Building Separation	-	20 ft.
Min. Rear Yard Setback	25 ft.	15 ft.
Max. Building Height	35 ft.	35 ft.

DEVIATIONS FROM UDO STANDARDS

Deviations are shown in orange.
All other UDO standards have been met or exceeded.

STREET DESIGN

UDO § 10.110.9	Existing Standard	Proposed Standard
Right-of-Way Width	Local Street—60 feet (may be no less than 50 feet if approved by Town Council due to special conditions).	Requested approval to reduce Local Street right-of-way width to 50 feet. Typical 50' section provided on page 23 of rezoning booklet, with pavement width matching town adopted cross-section.

BUILT UPON AREA

UDO § 10.92.10.2.	Existing Standard	Proposed Standard
Density and Built Upon Limits	The Town Council may approve new development to exceed 24% built-upon-area on a project-by-project basis.	Requested approval to allow up to 30% built-upon-area (built-upon-area calculations shall include areas of land dedication/donation).

EXCEEDING UDO STANDARDS

Improvements are shown in green.

OPEN SPACE + LANDSCAPING

UDO § 10.114.3	Existing Standard	Proposed Standard
Recreation Dedication Dimensional Requirements	At least seven (7) percent of an acre shall be dedicated for each dwelling unit planned or provided for in the subdivision plan, except where land is located in the flood plain of a stream or river as indicated by the flood plain maps of the Federal Insurance Administration and/or is characterized by steep slopes (fifteen (15) percent or greater), then at least ten (10) percent of an acre of such land shall be dedicated for each dwelling unit. Required: 114.7 acres	The developer shall dedicate a minimum of 135 acres to the Town of Smithfield for public recreation, regardless of number of units planned or built. Provided: 135 acres (minimum)
UDO § 7.35.2	Existing Standard	Proposed Standard
Private Open Space	None required.	A minimum of one (1) neighborhood amenity parcel, approximately five (5) acres in size shall be provided, to include a pool and a clubhouse. The current Master Plan shows six (6) pocket parks of at least one-half acre (0.5) in size. At least three (3) of the pocket parks will be improved with an active play amenity. The remaining pocket parks are planned for passive recreation.
Private Open Space	None required.	Private Open Space shall follow all supplemental use standards in UDO 7.35.2.

EXCEEDING UDO STANDARDS

OPEN SPACE + LANDSCAPING

UDO § 10.1.4	Existing Standard	Proposed Standard
Bufferyard Requirements	None.	A 20-ft Type B bufferyard shall be required along the northern property boundary shared with PIN # 169600-30-1019, and as shown on the Concept Plan.

USE SEPARATION

	Existing Standard	Proposed Standard
Additional setbacks between disparate land uses	None.	A 500-ft lot setback shall be required between any new single family detached lot line and the existing hog farm lagoon and its 4 associated farm structures on the adjacent Lee Youngblood Farm.

CIVIC USE LAND DEDICATION

	Existing Standard	Proposed Standard
Dedication of land for Town’s Civic Uses, including Emergency Response Services.	None.	The developer will offer for dedication an approximately 7-acre piece of land, located to the south of Lee Youngblood Rd and indicated on the Concept Plan to the Town to be used as a potential future municipal Fire & Rescue Station.

TOWNHOME PARKING

	Existing Standard	Proposed Standard
Guest Parking for Townhomes	None.	A minimum of 2 guest parking spaces shall be provided for each townhome building.

EXCEEDING UDO STANDARDS

ARCHITECTURAL STANDARDS

SINGLE FAMILY DETACHED

- All detached houses will be one or two stories with a slab foundation.
- Each single family detached house will include a front-loaded garage.
- Within the development, multiple types and styles of vinyl siding will be utilized to provide visual interest.
- The front façade of each house will include masonry accents, which may be provided in the form of a water table, accent wall, trim elements around windows or doors, or other similar architectural features.
- Variation in roof design will be provided between homes, through the use of variable roof pitch, dormers, gables, or similar visual differentiators.
- Window accents and trim will be provided for each house.
- A covered front porch will be provided for each house.
- At a minimum, each home will include a rear patio area.
- Houses on corner lots shall have windows on the street side corner.

SINGLE FAMILY ATTACHED (TOWNHOUSES)

- All townhouses will be a minimum of two stories and will be a minimum of 20’ wide on a slab foundation.
- Each townhouse will, at a minimum, include a front-loaded single-car garage.
- Each Townhouse building (comprised of 3 or more attached units) will include multiple types or styles of vinyl siding to create visual interest.
- The front façade of each townhouse building will include masonry accents, which may be provided in the form of a water table, accent wall, trim elements around windows or doors, or other similar architectural features.
- Each Townhouse building will include variations in roof design through the use of variable roof pitch, dormers, or gables.
- Window accents and trim will be provided for each townhouse.
- Each townhouse will feature one of the following: doorway entry features or covered porch.
- At a minimum, each townhome will include a rear patio.
- Townhouse units on corner lots shall have windows on the street side corner.

ADDITIONAL ZONING CONDITIONS

1. The trash and recycling roll-off containers in the single family and townhouse units shall be screened from the public right-of-way or stored within a garage or the rear yards, to be enforced by the Home Owner’s Association (HOA).
2. The HOA declarations shall be submitted for review by the Town Attorney with the preliminary plat.
3. The HOA declaration shall include an acknowledgement by home buyers that there is an active hog farm adjacent to the site
4. The HOA shall be responsible for the maintenance of all private open space and recreational amenities, stormwater control measures (SCMs), parking areas, mail kiosks, etc.
5. The architectural standards shall be included in the HOA declarations.
6. All residential driveways shall be a minimum of 12 feet wide.
7. If not included within a public dedication of recreation area accepted by the Town, the developer will dedicate a 30 foot wide public trail easement for the future Johnston County Trail along Poplar Creek.

07
APPENDIX

Legal Description
E&F Properties INC. Total Boundary
Wilson’s Mills, Johnston County, North Carolina

Commencing at a point, said point being an iron pipe set along the western right-of-way of Wilson’s Mills Road (SR 1913) in Wilson’s Mills Township, Johnston County, North Carolina. Said point also described as the southeastern corner of the Kendall L. Beasley property (PN 17K08034B) as recorded in Deed Book 4596 Page 54, Johnston County Registry. Point further described as the northeastern corner of the E&F Properties Inc. property (PN 17K08039A) as recorded in Deed Book 4377 Page 880 and the **POINT OF BEGINNING**. Thence S 05°19'31" E a distance of 481.93 feet to an iron pipe set. Thence across the right-of-way of Lee-Youngblood Road (SR 1917) S 05°19'31" E a distance of 60.49 feet to an iron pipe set. Thence S 05°19'31" E a distance of 280.70 feet to an iron pipe set. Thence with a curve turning to the right with an arc length of 8.31 feet, with a radius of 970.00 feet, with a chord bearing of S 05°04'47" E, with a chord length of 8.31 feet to an iron pipe set. Thence S 04°50'04" E a distance of 346.94 feet to an iron pipe set. Thence S 87°16'00" W a distance of 333.31 feet to an iron pipe set. Thence N 46°44'00" W a distance of 437.75 feet to an iron pipe set. Thence S 87°16'00" W a distance of 255.56 feet to an iron pipe set. Thence along the right-of-way of Lee-Youngblood Road S 08°01'38" W a distance of 85.26 feet to an iron pipe set. Thence with a curve turning to the right with an arc length of 129.82 feet, with a radius of 555.00 feet, with a chord bearing of S 14°43'41" W, with a chord length of 129.52 feet to an iron pipe set. Thence leaving the right-of-way of Lee-Youngblood Road S 04°44'00" E a distance of 855.16 feet to an iron pipe set. Thence N 80°14'00" W a distance of 908.94 feet to an iron pipe set. Thence crossing the right-of-way of Lee-Youngblood Road N 02°34'56" W a distance of 60.13 feet to an iron pipe set. Thence N 88°21'00" W a distance of 56.92 feet to an iron pipe set. Thence with a curve turning to the right with an arc length of 108.23 feet, with a radius of 670.00 feet, with a chord bearing of N 83°43'20" W, with a chord length of 108.11 feet to an iron pipe set. Thence N 79°05'41" W a distance of 1413.95 feet to an iron pipe set. Thence with a curve turning to the left with an arc length of 180.26 feet, with a radius of 95.00 feet, with a chord bearing of S 46°32'46" W, with a chord length of 154.41 feet to an iron pipe set. Thence S 07°48'47" E a distance of 705.69 feet to an iron pipe set. Thence with a curve turning to the left with an arc length of 122.41 feet, with a radius of 330.00 feet, with a chord bearing of S 18°26'24" E, with a chord length of 121.71 feet to an iron pipe set. Thence leaving Lee-Youngblood Road S 61°47'08" W a distance of 46.50 feet to a 1” pipe. Thence S 07°19'19" W a distance of 209.00 feet to an iron pipe set. Thence S 15°50'04" W a distance of 715.43 feet to a bent 1” pipe. Thence S 04°47'17" E a distance of 1009.24 feet to a ¾” pipe. Thence S 04°47'33" E a distance of 769.54 feet to a ¾” pipe. Thence S 04°40'27" E a distance of 48.83 feet to a 2” pipe. Thence along the run of Little Poplar Creek in

a westerly direction S 62°10'21" W a distance of 57.57 feet to a point. Thence S 48°26'21" W a distance of 60.90 feet to a point. Thence N 66°38'34" W a distance of 68.88 feet to a point. Thence S 88°57'57" W a distance of 43.43 feet to a point. Thence N 70°27'44" W a distance of 68.85 feet to a point. Thence S 72°45'40" W a distance of 40.35 feet to a point. Thence S 83°56'17" W a distance of 66.59 feet to a point. Thence S 67°16'10" W a distance of 52.65 feet to a point. Thence N 62°51'35" W a distance of 180.22 feet to a point. Thence N 52°44'09" E a distance of 79.86 feet to a point. Thence N 15°55'16" W a distance of 32.75 feet to a point. Thence N 75°46'45" W a distance of 63.55 feet to a point. Thence S 85°21'18" W a distance of 41.30 feet to a point. Thence N 12°05'29" W a distance of 56.70 feet to a point. Thence N 82°51'46" W a distance of 36.21 feet to a point. Thence S 78°37'28" W a distance of 113.60 feet to a point. Thence S 51°12'27" W a distance of 86.00 feet to a point. Thence S 79°15'42" W a distance of 76.21 feet to a point. Thence S 71°57'01" W a distance of 182.94 feet to a point. Thence N 84°54'00" W a distance of 55.19 feet to a point. Thence N 65°21'45" W a distance of 135.77 feet to a point. Thence N 31°03'01" W a distance of 132.30 feet to a point. Thence N 58°00'33" W a distance of 216.79 feet to a point. Thence N 68°44'06" W a distance of 55.04 feet to a point. Thence N 82°52'39" W a distance of 111.83 feet to a point. Thence N 80°03'59" W a distance of 123.43 feet to a point. Thence N 72°11'18" W a distance of 56.18 feet to a point. Thence N 60°21'40" W a distance of 50.82 feet to a point. Thence N 79°28'10" W a distance of 56.52 feet to a point. Thence N 66°00'57" W a distance of 53.71 feet to a point. Thence N 21°23'07" W a distance of 45.29 feet to a point. Thence N 57°26'32" W a distance of 97.90 feet to a point. Thence S 73°20'08" W a distance of 100.47 feet to a point. Thence S 88°49'45" W a distance of 78.84 feet to a point. Thence N 58°05'47" E a distance of 63.57 feet to a point. Thence N 37°37'23" E a distance of 43.81 feet to a point. Thence N 04°35'17" E a distance of 34.18 feet to a point. Thence N 50°39'04" W a distance of 79.67 feet to a point. Thence N 64°56'06" W a distance of 97.27 feet to a point. Thence N 32°02'51" W a distance of 32.09 feet to a point. Thence N 55°36'37" E a distance of 80.94 feet to a point. Thence N 00°06'11" W a distance of 37.17 feet to a point. Thence N 60°24'28" W a distance of 69.32 feet to a point. Thence N 85°44'15" W a distance of 49.64 feet to a point. Thence S 62°29'48" W a distance of 82.68 feet to a point. Thence N 82°10'35" W a distance of 61.53 feet to a point. Thence N 42°17'42" W a distance of 43.69 feet to a point. Thence N 20°20'17" W a distance of 81.39 feet to a point. Thence N 07°02'19" W a distance of 75.12 feet to a point. Thence N 51°34'16" W a distance of 188.50 feet to a point. Thence N 42°23'56" W a distance of 85.13 feet to a point. Thence N 07°16'29" E a distance of 68.31 feet to a point. Thence N 21°35'07" E a distance of 90.14 feet to a point. Thence N 10°28'20" W a distance of 52.30 feet to a point. Thence N 66°25'58" W a distance of 31.01 feet to a point. Thence S 89°52'29" W a distance of 56.66 feet to a point. Thence S 41°25'47" W a distance of 53.22 feet to a point. Thence S 64°39'41" W a distance of 42.60 feet to a point. Thence N 45°21'15" W a distance of 59.84 feet to a point. Thence N 30°16'28" W a distance of 74.84 feet to a point. Thence N 06°33'25" W

a distance of 51.40 feet to a point. Thence N 28°57'51" W a distance of 90.39 feet to a point. Thence N 40°49'22" W a distance of 55.06 feet to a point. Thence N 22°41'38" W a distance of 95.25 feet to a point. Thence N 27°14'22" E a distance of 32.04 feet to a point. Thence N 56°00'29" E a distance of 96.16 feet to a point. Thence N 08°32'56" E a distance of 36.35 feet to a point. Thence N 24°07'12" W a distance of 41.23 feet to a point. Thence N 80°51'51" W a distance of 98.20 feet to a point. Thence N 42°29'09" W a distance of 36.62 feet to a point. Thence N 00°22'03" W a distance of 114.66 feet to a point. Thence N 50°39'37" W a distance of 35.34 feet to a point. Thence N 25°38'38" W a distance of 14.40 feet to a point. Thence along the run of Big Poplar Creek in a northerly direction N 49°42'12" E a distance of 29.65 feet to a point. Thence S 77°06'00" E a distance of 34.62 feet to a point. Thence S 48°23'17" E a distance of 29.17 feet to a point. Thence N 28°01'17" E a distance of 43.22 feet to a point. Thence N 04°48'06" W a distance of 23.60 feet to a point. Thence N 44°42'06" E a distance of 45.83 feet to a point. Thence N 29°17'37" E a distance of 52.22 feet to a point. Thence S 85°54'05" E a distance of 23.22 feet to a point. Thence S 05°01'17" E a distance of 29.51 feet to a point. Thence S 69°05'52" E a distance of 64.20 feet to a point. Thence N 62°36'23" E a distance of 51.88 feet to a point. Thence S 30°15'25" E a distance of 84.77 feet to a point. Thence S 70°01'23" E a distance of 29.70 feet to a point. Thence N 18°54'36" E a distance of 20.79 feet to a point. Thence N 48°23'57" E a distance of 45.02 feet to a point. Thence S 36°56'01" E a distance of 28.92 feet to a point. Thence S 87°24'50" E a distance of 12.72 feet to a point. Thence N 14°48'50" E a distance of 19.36 feet to a point. Thence N 52°28'21" E a distance of 43.14 feet to a point. Thence N 18°45'55" E a distance of 31.40 feet to a point. Thence N 10°07'10" W a distance of 109.26 feet to a point. Thence N 00°39'21" W a distance of 32.93 feet to a point. Thence N 07°33'03" E a distance of 109.91 feet to a point. Thence N 27°08'28" W a distance of 66.59 feet to a point. Thence N 33°33'56" E a distance of 61.02 feet to a point. Thence N 13°35'42" W a distance of 61.89 feet to a point. Thence N 19°27'22" E a distance of 48.34 feet to a point. Thence N 38°52'01" W a distance of 66.47 feet to a point. Thence N 17°16'16" E a distance of 77.61 feet to a point. Thence N 39°15'20" W a distance of 80.79 feet to a point. Thence N 14°57'41" W a distance of 49.11 feet to a point. Thence N 29°32'25" W a distance of 73.75 feet to a point. Thence N 09°19'40" E a distance of 89.48 feet to a point. Thence N 67°58'44" E a distance of 91.79 feet to a point. Thence N 34°15'14" E a distance of 29.59 feet to a point. Thence N 09°39'46" W a distance of 33.83 feet to a point. Thence N 40°43'38" W a distance of 75.18 feet to a point. Thence N 61°57'41" W a distance of 33.12 feet to a point. Thence N 81°44'52" W a distance of 31.19 feet to a point. Thence S 87°50'56" W a distance of 42.27 feet to a point. Thence N 75°24'32" W a distance of 25.99 feet to a point. Thence N 49°07'36" W a distance of 37.05 feet to a point. Thence N 57°48'35" W a distance of 38.09 feet to a point. Thence N 29°26'14" W a distance of 35.88 feet to a point. Thence N 00°04'04" W a distance of 57.65 feet to a point. Thence N 07°01'51" E a distance of 58.28 feet to a point. Thence N 32°27'51" W a distance of 70.01 feet to a point. Thence

N 58°04'50" W a distance of 84.58 feet to a point. Thence N 49°56'24" W a distance of 62.26 feet to a point. Thence N 16°14'37" W a distance of 56.61 feet to a point. Thence N 00°14'59" W a distance of 23.07 feet to a point. Thence N 43°18'33" E a distance of 51.58 feet to a point. Thence N 26°11'16" E a distance of 27.64 feet to a point. Thence N 51°47'41" E a distance of 61.52 feet to a point. Thence leaving the run of Big Poplar Creek N 52°26'31" W a distance of 28.36 feet to a ½" rebar. Thence N 52°26'31" W a distance of 218.35 feet to a ½" rebar. Thence N 01°42'53" E a distance of 78.71 feet to a 1" pipe. Thence N 01°43'49" E a distance of 211.69 feet to a 1" pipe. Thence N 01°40'55" E a distance of 259.23 feet to a 1" pipe. Thence N 01°42'46" E a distance of 150.53 feet to a 1" pipe. Thence N 01°24'22" E a distance of 528.75 feet to a bent axle. Thence S 89°02'03" E a distance of 1085.54 feet to an iron pipe set. Thence S 88°10'41" E a distance of 1246.67 feet to a 1" pipe. Thence N 00°27'00" E a distance of 2413.24 feet to a 1" pipe. Thence N 89°30'47" E a distance of 1547.49 feet to a concrete monument. Thence S 18°38'49" W a distance of 476.43 feet to a ¾" pipe. Thence S 17°48'26" W a distance of 1273.32 feet to a 2" pipe. Thence S 18°02'24" W a distance of 529.14 feet to a ¾" pipe. Thence S 18°07'54" W a distance of 275.39 feet to a bent axle. Thence N 88°32'11" E a distance of 3457.38 feet to an iron pipe set along the western right-of-way of Wilson's Mills Road and the **POINT OF BEGINNING** and containing 503.977 acres (21953241 square feet).





621 Hillsborough Street
Suite 500
Raleigh, NC 27603
919. 361. 5000

SPEC25270.00

December 5, 2025

VIA EMAIL

Stephen Wensman, Planning Director
350 East Market Street
PO Box 761
Smithfield, NC 27577

**RE: Bellamy Conditional Zoning – 2025 Submittal
Summary of Notable Changes from Original Submittal**

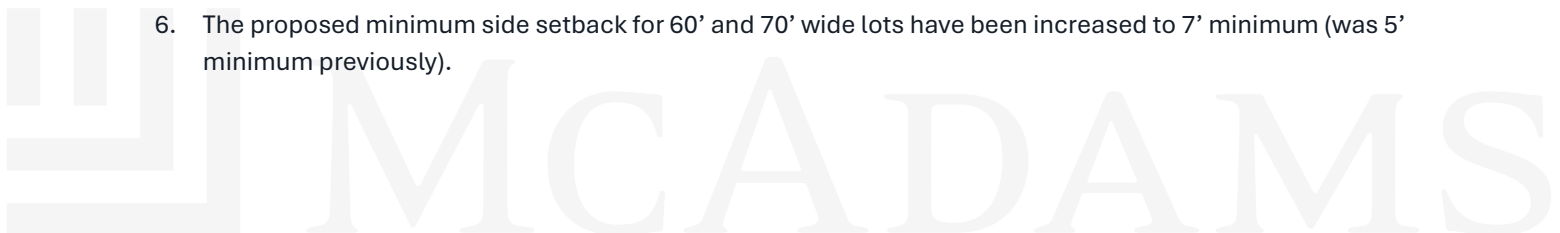
Dear Mr. Wensman, Planning Board, and Council Members,

We represent applicant Rock Tower Partners, LLC ("Rock Tower") in the Bellamy project which includes both conditional zoning and annexation petitions. The Bellamy proposal originally sought the approval of a residential neighborhood with 1147 single family homes and townhomes, integrated open space, and a dedicated recreational area, on an approximately 500-acre assemblage with Tax ID #s 169600-11-0117 and 168500-97-7612.

The Bellamy Proposals were considered by the Smithfield Town Council members at its October 7, 2025 public hearing. Unfortunately, due to reservations expressed at the public hearing, the Town Council ultimately voted to deny the rezoning and annexation requests.

It is our belief that the Bellamy Proposals, as presented to the Smithfield Town Council at the October 7, 2025 public hearing offered meaningful public benefits to the Town, as reflected by its recommendation of approval by Town staff. Nevertheless, Rock Tower is hereby offering to enhance Bellamy with significant changes that specifically address feedback from the community and the Town Council. The following changes are hereby offered by Rock Tower, as reflected in the updated application materials:

1. The total lot count for Bellamy has been reduced from 1147 to 1076 (a 71-unit reduction resulting in a new overall proposed density of 2.15 DU/AC).
2. The northern Townhome POD has been removed and replaced with detached SFD lots, resulting in an 86-unit reduction of the densest product type (from 277 to 191 total Townhomes).
3. Average lot sizes have been increased. The percentage of 60' and 70' wide detached SFD lots was nearly doubled (from ~22.5% to ~40% of SFD lots).
4. All lots within 500' of the existing hog farm lagoon and its associated 4 structures have been removed, resulting in significant separation between the existing hog farm and proposed residential units.
5. Bellamy's layout is no longer proposing to abandon/realign the northern section of Lee Youngblood Rd, leaving this northern access point accessible to support the existing hog farm. No proposed lots will have driveway access off Lee Youngblood Road.
6. The proposed minimum side setback for 60' and 70' wide lots have been increased to 7' minimum (was 5' minimum previously).



7. Due to the reduction in density, the proposed recreation area dedication now represents approximately 50% more land than required by code (~147 acres shown on concept plan; a minimum of 135 acres to be provided per our application; only 93 acres required by code).
8. A 20' Type B perimeter buffer has been added to the shared property boundary with NC PIN # 169600-30-1019 to the north. This parcel represents the only adjacent property with an existing home within 300' of proposed lots.
9. A proposed zoning condition has been added requiring 2 guest parking spaces per townhome *building*, requiring a minimum of 90 guest parking spaces to support the Townhome POD. The required guest parking spaces are now shown on the Master Plan.
10. A roadway stub has been added to NC PIN # 168600-90-9600 on the Master Plan, to support connection to a potential future phase of the Tralee Subdivision.
11. To support the future needs of a growing region, the applicant has offered ~7 acres of land along Lee Youngblood Road for donation to the Town to serve a potential future EMS/Fire facility (location identified on the Master Plan).

We appreciate your consideration of this revised request and look forward to receiving your feedback on the updated Bellamy proposals.

Sincerely,



David Bergmark

McAdams

Consultant/Engineering Firm for the Applicant



PLANNING DEPARTMENT

Micah Woodard, Planner I

ADJOINING PROPERTY OWNERS' CERTIFICATION

I, Micah Woodard, hereby certify that the property owner and adjacent property owners of the following petition(s); ZA-25-05, CZ-25-06, CZ-25-07, CZ-25-08, and CA-25-01 were notified by First Class Mail on 12/23/25 of the Public Meeting on January 8th, 2026.

Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Micah Woodard personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

23rd day of December, 2025

Notary Public Signature

Notary Public Name



Commission expires on 1-15-2028

CZ-25-06 Bellamy Adjacent Property Owners List

ParcelID	Name1	Name2	Address1	Address2	CityStateZip
17K08039A	E & F PROPERTIES INC			PO BOX 1352	SMITHFIELD, NC 27577-0000
17J08024R	CAJAHUARINGA, ROSA ELVIRA		647 WEATHERSPOON LN		SMITHFIELD, NC 27577-9641
17J08025B	ABR PROJECTS, LLC		240 HOMESTEAD LN		SMITHFIELD, NC 27577-9395
17J08025C	VELASQUEZ, ELMER	VELASQUEZ, NERY L	684 WEATHERSPOON LN		SMITHFIELD, NC 27577-9640
17J08024P	SOTO, LENIN SALVADOR		599 WEATHERSPOON LN		SMITHFIELD, NC 27577-9660
17J08026Y	JONES, GARRY LEE	JONES, BEVERLY M	254 HOMESTEAD LN		SMITHFIELD, NC 27577-9395
15078008	TOMAS, ROGELIO FABIAN		117 JUNIPER DR		CLAYTON, NC 27520-9756
15078002A	TRUJILLO, CELINA JAIMES	TRUJILLO, EVER	404 DAVID RD		WENDELL, NC 27591-7304
15078009	SANDERS, LAQUADA D.		3761 HORSESHOE FARM ST		RALEIGH, NC 27610-6425
15078006D	SANDERS, CORNELL	CHANDLER, MARY SANDERS HEIRS	1212 HILLBRIDGE DR		HAINES CITY, FL 33844-7606
17K08051P	BROWN, KAYLA MESSER	BROWN, TIMOTHY JAMES	2735 WILSONS MILLS RD		SMITHFIELD, NC 27577-8965
17K09016I	FOUNDATION OF CHRIST HOLINESS		806 S 3RD ST		SMITHFIELD, NC 27577-4300
17K08041A	YOUNGBLOOD, DWIGHT B JR		301 LEE YOUNGBLOOD LOOP RD		SMITHFIELD, NC 27577-0000
17K09016G	YOUNGBLOOD, DWIGHT B JR		301 LEE YOUNGBLOOD LOOP RD		SMITHFIELD, NC 27577-0000
17K09016J	TOWN OF SMITHFIELD			PO BOX 761	SMITHFIELD, NC 27577-0000
17K09016E	YOUNGBLOOD, DWIGHT B JR		301 LEE YOUNGBLOOD LOOP RD		SMITHFIELD, NC 27577-0000
17J08024X	NIETO, MARTA ALICIA PANIAQUA		750 WEATHERSPOON LN		SMITHFIELD, NC 27577-9651
15078001E	MOORE, DENNIS L		3324 FOX STREET		PHILADELPHIA, PA 19129-0000
15078009K	HEATH STREET #215 LMTD PRTRSH		258 MEADOWBROOK DR		FOUR OAKS, NC 27524-8550
15078011H	HEATH STREET #215 LMTD PRTRSH		258 MEADOWBROOK DR		FOUR OAKS, NC 27524-8550
17K08034B	BEASLEY, KENDALL L		376 PEELE RD		CLAYTON, NC 27520-6869
15078009J	HEATH STREET #215 LMTD PRTRSH		258 MEADOWBROOK DR		FOUR OAKS, NC 27524-8550
17K08049B	LEE, KAREN REBECCA		2892 WILSONS MILLS RD		SMITHFIELD, NC 27577-7653
17K08050	LEE, KAREN REBECCA		2892 WILSONS MILLS RD		SMITHFIELD, NC 27577-7653
17K08049A	WOOD, JOYCE J			P O BOX 1861	SMITHFIELD, NC 27577-0000
17K08049C	LEE, KAREN REBECCA		2892 WILSONS MILLS RD		SMITHFIELD, NC 27577-7653
17K08051L	TYNER, JEAN BARNES		559 TURNAGE RD		SMITHFIELD, NC 27577-0000
17K08049E	LANGDON, LORI WOOD		613 S VERMONT ST		SMITHFIELD, NC 27577-3825
17K08049D	LEE, KAREN REBECCA		2892 WILSONS MILLS RD		SMITHFIELD, NC 27577-7653
17K08044H	LEE, KAREN REBECCA		2892 WILSONS MILLS RD		SMITHFIELD, NC 27577-7653
17J07016D	SWIFT CREEK ROAD LLC		114 W MAIN ST		CLAYTON, NC 27520-2321
17K08040A	YOUNGBLOOD, DWIGHT B JR		301 LEE YOUNGBLOOD LOOP RD		SMITHFIELD, NC 27577-0000
17K08032	E&F PROPERTIES INC			PO BOX 1352	SMITHFIELD, NC 27577-1352
17K08034F	BEASLEY, KENDALL LEON	BEASLEY, WENDY L	376 PEELE ROAD		CLAYTON, NC 27520-0000
17K08039C	YOUNGBLOOD, DWIGHT BENJAMIN JR		301 LEE YOUNGBLOOD LOOP		SMITHFIELD, NC 27577-5577
17K08051M	CEMETERY				
17J08024T	WEEKS, ISAAC	WEEKS, ALICE	691 WEATHERSPOON LN		SMITHFIELD, NC 27577-0000
17J08024V	CHAGOLLA, RAFAEL HURTADO	JUAREZ, BERTHA	743 WEATHERSPOON LN		SMITHFIELD, NC 27577-9652
17J08024	HERSHEY, ZACHARY LYNN	HERSHEY, LAURA ELIZABETH	410 BEECHWOOD DR		SMITHFIELD, NC 27577-3702
17J08024S	SAYLOR, SHANTA	SAYLOR, BRANDON	665 WEATHERSPOON LANE		SMITHFIELD, NC 27577
17J08024Y	VELASQUEZ, ELMER	VELASQUEZ, NERY L	684 WEATHERSPOON LN		SMITHFIELD, NC 27577-9640
17J08024Q	SOTO, LENIN S		627 WEATHERSPOON LANE		SMITHFIELD, NC 27577-0000
17J08024W	URREGO, EDISON D		749 WEATHERSPOON LANE		SMITHFIELD, NC 27577-0000
17J08024Z	PHIPPS, RAYMOND T		734 WEATHERSPOON LANE		SMITHFIELD, NC 27577-0000
17J08025D	DAVIS, CALEB WAYNE	DAVIS, JESSICA HOPE	638 WEATHERSPOON LN		SMITHFIELD, NC 27577-9640
17J08024U	DUARTE, NAZAREO		717 WEATHERSPOON LN		SMITHFIELD, NC 27577-9652
15078003	GOMEZ, JENNIFER TOMAS	GOMEZ, MARCELINO MUNOZ	405 HUNTING DR		SELMA, NC 27576-3666
15078004	WHITE, EDWARD D			P O BOX 831	SMITHFIELD, NC 27577-0000
17J07017O	HOLLEY, KEVIN	HOLLEY, VALERIE RICHARDSON	612 TRALEE DR		SMITHFIELD, NC 27577-9663
17J07023E	SWIFT CREEK ROAD LLC		114 W MAIN ST		CLAYTON, NC 27520-2321
17J07017N	BLIZZARD, WANDA E		624 TRALEE DR		SMITHFIELD, NC 27577-9663
17J07017M	CBAR ASSET COMPANY LLC		5001 PLAZA ON THE LK STE 200		AUSTIN, TX 78746-1053
15078007	TOMLINSON, CARL	TOMLINSON, ANTHONY	2320 N GRATZ ST		PHILADELPHIA, PA 19132-4337
17J08024O	WATSON, AKHIRA CHAUNTY		565 WEATHERSPOON LN		SMITHFIELD, NC 27577-9660
17J08023B	LEE, NELL WOOD		233 LEE FARM LN		SMITHFIELD, NC 27577-9317
17J07015Y	JONES, KENNETH RAY			PO BOX 208	WILSONS MILLS, NC 27593-0208
17J07039I	FIELDS, LATESHA		126 CARISSA DR		SMITHFIELD, NC 27577-9582
17K08030A	PARRISH, BENJAMIN L. JR.		3467 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17K08031	LOIS I. DAUGHTRY REVOCABLE LIVING TRU	LOIS I. TRUSTEE	4407 STONEY HILL CHURCH RD		BAILEY, NC 27807-8761
17K08005	JONES, KENNETH R			PO BOX 208	WILSONS MILLS, NC 27593-0208
17J07039L	ZUNIGA, FRANCISCO MORENO	MORENO, ELIZABETH	123 CARISSA DR		SMITHFIELD, NC 27577-9581
17J07040P	SWIFT CREEK ROAD LLC		114 W MAIN ST		CLAYTON, NC 27520-2321
17K08033D	GARNER, EDWARD M. JR.		3409 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17J07039J	KENNEY, CATHERINE LEE		124 CARISSA DR		SMITHFIELD, NC 27577-9582
17J07039K	SFR JV-2 2024-2 BORROWER LLC			PO BOX 4900	SCOTTSDALE, AZ 85261-4900
17K08035	GURKIN, CHARLES RANDALL	GURKIN, CYNTHIA L.	3187 WILSONS MILLS RD		SMITHFIELD, NC 27577-7648
17K08034A	STRICKLAND, HAROLD WATSON		3275 WILSONS MILLS RD		SMITHFIELD, NC 27577-7642
17K09007	KEEN, PAMELA R.		1853 WILSONS MILLS RD		SMITHFIELD, NC 27577-7668
17K09007A	KEEN, TERRY M	KEEN, PAMELA R		PO BOX 943	SELMA, NC 27576-0943
17K08033V	BREWER, CHARLES & TRACEY		3411 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17K08033D	GARNER, EDWARD M. JR.		3409 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17K08033V	BREWER, TRACEY LEIGH GARNER		3411 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17K08033	DERASMO LIVING TRUST		3405 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17K08033C	BREWER, TRACEY LEIGH GARNER		3411 WILSONS MILLS RD		SMITHFIELD, NC 27577-7646
17K08033I	BREWER, CHARLES ERIC	BREWER, TRACEY GARNER	3411 WILSONS MILLS ROAD		SMITHFIELD, NC 27577-0000

17K08033A	MARTIN, SHELIA A.		3353 WILSONS MILLS RD		SMITHFIELD, NC 27577-7644
17K08034J	STRICKLAND, HAROLD W	STRICKLAND, GENDA B	3275 WILSONS MILLS RD		SMITHFIELD, NC 27577-0000
17K08034A	STRICKLAND, HAROLD WATSON		3275 WILSONS MILLS RD		SMITHFIELD, NC 27577-7642
17K08035	ROMERO, JOSE JUAN MONTALVO	MONTALVO, NARCISA	109 BALD DR		CLAYTON, NC 27520-5403
17K08034F	BEASLEY, KENDALL LEON	BEASLEY, WENDY L	376 PEELE ROAD		CLAYTON, NC 27520-0000
17K08034H	BEASLEY, MARK T.		800 OLD EASON RD		ZEBULON, NC 27597-7450
17K08034D	STRICKLAND LIVING TRUST	STRICKLAND, DONALD BENNETT TRUST	3185 WILSONS MILLS RD		SMITHFIELD, NC 27577-7648
17K08034C	BEASLEY, MARK T.		800 OLD EASON RD		ZEBULON, NC 27597-7450
17K08034E	BEASLEY, TONY EUGENE			PO BOX 1127	SMITHFIELD, NC 27577-1127
17K08034S	BEASLEY, KENDALL LEON	BEASLEY, WENDY L	376 PEELE ROAD		CLAYTON, NC 27520-0000
17K08034G	BEASLEY, HOWARD ELTON	BEASLEY, ALICE B	3085 WILSON'S MILLS RD		SMITHFIELD, NC 27577-0000
17K08034R	BEASLEY, HOWARD ELTON	BEASLEY, ALICE B	3085 WILSON'S MILLS RD		SMITHFIELD, NC 27577-0000
17K08034B	BEASLEY, KENDALL L		376 PEELE RD		CLAYTON, NC 27520-6869

Sign Posted on Lee-Youngblood Rd.
CZ-25-06



12/22/2025 10:12



Sign Posted on Wilson's Mills Rd.
CZ-25-06

12/22/2025 10:08



Request for Planning Board Action

Agenda
Item: CZ-25-07
Date: 1/8/26

Subject: West Smithfield Amazon Commercial
Department: Planning
Presented by: Micah Woodard
Presentation: Public Meeting

Issue Statement

Real Zeal Property Group, LLC. requests a conditional rezoning of +/- 3 acres of land from LI - Light Industrial to B-3 CZ - Highway Entranceway Business Conditional District with a site plan for a convenience store.

Financial Impact

The commercial development will contribute to the Town's tax base.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the application and to recommend approval, approval with conditions or denial of the request.

Recommendation

Planning Staff recommend approval of CZ-25-07 with 1 condition and with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan, and other adopted plans, and that the request is reasonable and in the public interest.

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application
3. Site Plan
4. Statement of Justification



Staff Report

Agenda
Item: CZ-25-07

OVERVIEW:

The applicant, Real Zeal Property Group, LLC. requests the rezoning of +/- 3 acres of land in the Light Industrial District to B-3 Conditional with a site plan for a C-store. The convenience store is planned to have direct access to the highway with a right-in and right-out driveway and a secondary access to the future industrial road. The convenience store will be approximately 6,139 square feet in size with 40 parking stalls for employees and customers. The site plans show 7 gas pumps with an overhead canopy. The convenience store includes a restaurant with drive-through service and adequate stacking space.

PROPERTY LOCATION:

The site address is 2100 US Highway 70 Business West, located at the northeast corner of US Highway 70 Business West and the Amazon main entrance.

APPLICATION DATA:

Owner:	SST Properties
Applicant:	Real Zeal Property Group, LLC
Project Name:	West Smithfield Amazon Commercial
Parcel ID	15078011G
Acreage	+/- 3 acres
Present Zoning:	Light Industrial
Town/ETJ:	Town
Existing Use:	Undeveloped land
Proposed Use:	Commercial Convenience Store
Fire District:	Smithfield
School Impacts:	N/A
Parks and Recreation:	N/A
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Town of Smithfield

ADJACENT ZONING AND LAND USES:

(see attached map)

	Zoning	Existing Land Uses
North	LI	Vacant land
South	B-3	Vacant land
East	R-10/LI	Vacant land, and single-family residential
West	LI	Warehouse and Distribution

MINOR SUBDIVISION:

The proposed convenience store site will require a minor subdivision from the parent parcel. The existing industrial lots were configured as part of a recombination plat, so a minor subdivision is appropriate.

ANALYSIS:

Comprehensive Plan. The comprehensive plan (Town Plan) guides the property for Industrial/Employment. Industrial/Employment is defined as Manufacturing, distribution, storage and light industrial "flex-space" along with associated offices and supporting uses. Office uses are considered accessory to the above listed uses. Commercial is not specifically listed as a supporting use, but the convenience store is specifically being planned to support the Amazon facility with convenient gas, restaurant and other convenience items for employees on their breaks and between shifts. Staff considers the convenience store to be an accessory use for the adjacent and planned industrial.

If approved, the zoning district will be a spot commercial zone, however, Staff considers the land use to be an accessory to the light industrial zoning that surrounds, and an appropriate land use as a result.

Access. The proposed convenience store will have a direct right-in, right-out access from US 70 Highway Business West with a new turn lane for ingress. A secondary access is proposed from the future industrial road and across from the Amazon driveway.

Sidewalks. A sidewalk is required along the frontage of US 70 Business.

Parking.

Parking requirements for commercial retail is 1 space/200 sq. ft. and restaurant are 1 space/150 sq. ft. The site plans show 40 spaces (including handicap accessible spaces) for a 6,139 sq. ft. store, which meets the restaurant standard. The site plan has no semi tractor/trailer parking spaces. The Sheetz on East Market Street attracts semi tractor/trailers which tend to park on the adjacent street. Staff believes there should be some accommodation for short-term parking for semi tractor/trailers.

Dumpster Enclosure. A trash enclosure is shown on the site plan at the north-east corner of the development.

Drive-through. The convenience store will include a future restaurant and drive through. The site plan shows adequate stacking for both the order station and the pickup area.

Stormwater Management. The site plan shows a location for future stormwater facility. Stormwater is a requirement of site plan approval. The storm water facility shown on the corner of US 70 Business West and the industrial road was constructed in association with the road construction. This will be retained by Samet and later a future industrial lot.

Commercial Signs. No signs have been proposed. Signs are approved by a separate sign permit application process.

Future Site Plan Submittal.

After zoning approval, the next step in the development process is submittal of a site plan.

A site plan submittal will require the following meeting Town UDO standards:

- Lighting plan
- Curb and gutter
- Landscape plan
- Grading and erosion control
- Sidewalk along US 70 Business W
- Concrete driveway aprons
- Wheel stops
- Stormwater management

CONDITIONAL ZONING DEVIATIONS:

Conditional zoning allows for variances, or deviations from UDO requirements in exchange for other improvements that may exceed UDO standards. The developer has not requested any deviations from UDO requirements.

CONSISTENCY STATEMENT (Staff Opinion):

With approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

Consistency with the Comprehensive Growth Management Plan – *The development is consistent with the comprehensive plan. The convenience store is intended to serve industrial development and is an accessory use to the Industrial/Employment land use category in the Town Plan.*

Consistency with the Unified Development Code – *The property will be developed in conformance with the UDO conditional zoning provisions that allows a good faith negotiation of development standards.*

Compatibility with Surrounding Land Uses - *The property considered for rezoning will be compatible with the surrounding land uses. The convenience store will be contained within the light industrial zoning/development.*

RECOMMENDATION:

Staff recommend the planning board recommend approval of the rezoning, CZ-25-07, with the following conditions:

1. A minor subdivision be prepared by the applicant to separate the lot from the parent parcel.

RECOMMENDED MOTION:

"Move to recommend approval the rezoning, CZ-25-07 with 1 condition with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans and that the request is reasonable and in the public interest.

CZ-25-07 West Smithfield Amazon Commercial

File Number:
CZ-25-07

Project Name:
West Smithfield Amazon
Commercial

Location:
A portion of 2100 US Hwy
70 Business Smithfield, NC
27577

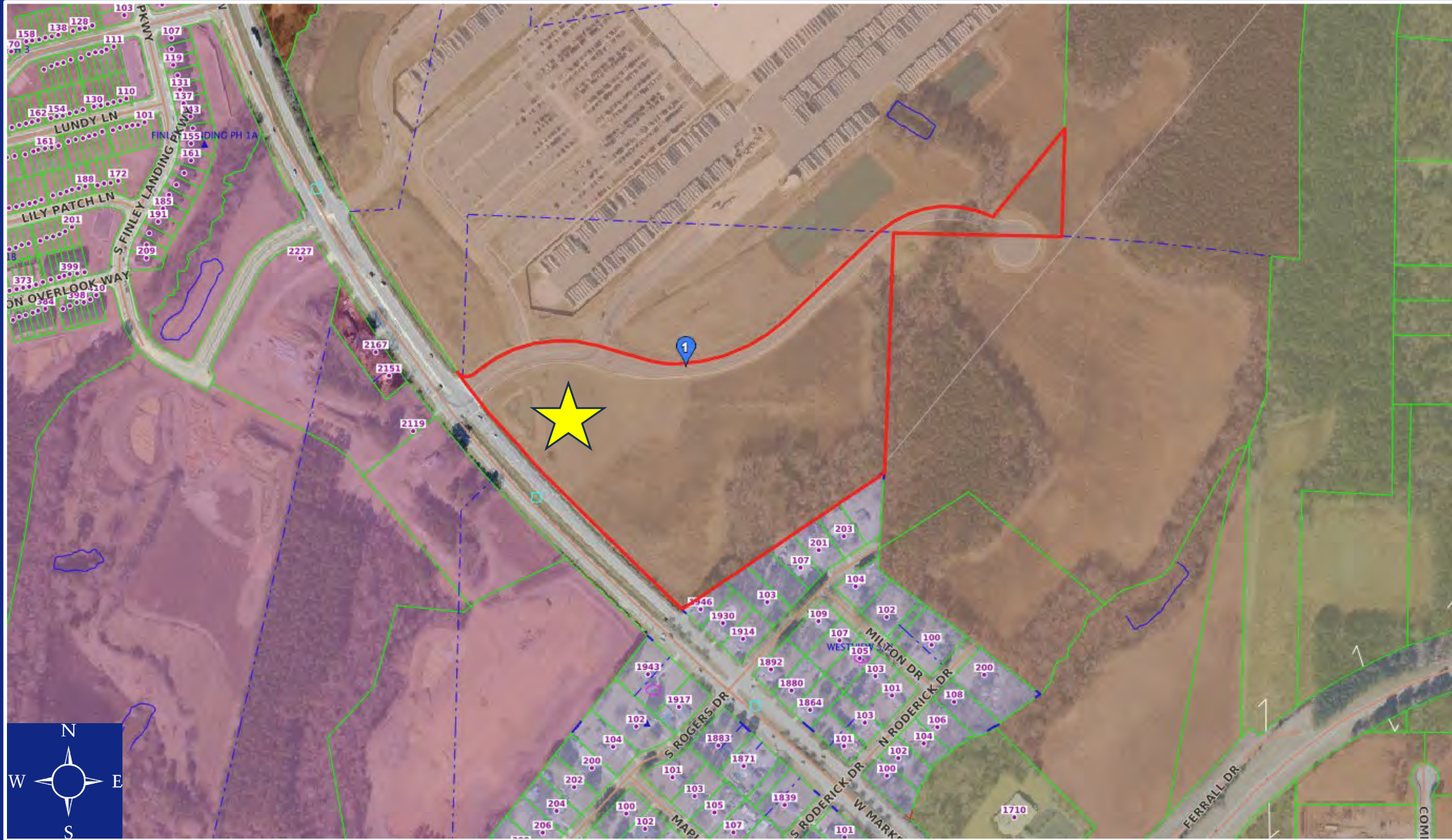
Tax ID#:
15078011G

Existing Zoning:
LI (Light Industrial)

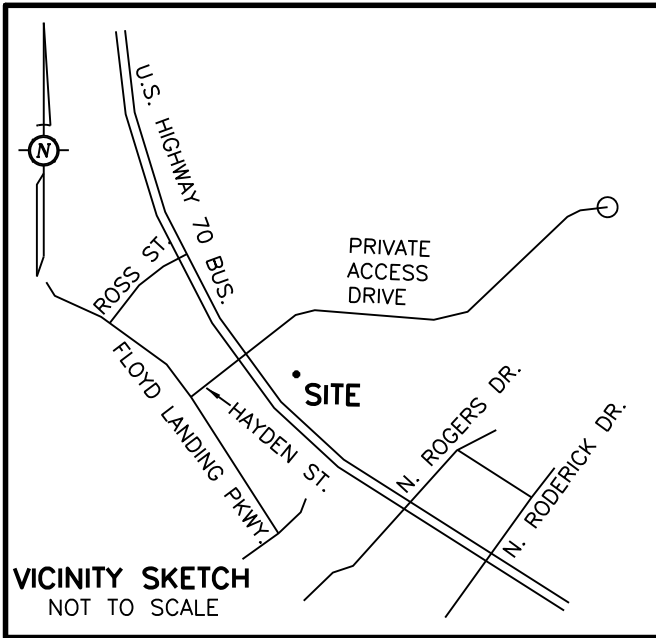
Property Owner:
SST Properties, LLC c/o
Brian Hall

Applicant:
Real Zeal Property Group,
LLC - John Featherston

City or ETJ:
City



Map created by Micah Woodard, Map Scale
Planner I on 12/30/2025 1" = 260'



LEGEND

IPF = IRON PIPE FOUND
IPS = IRON PIPE SET
CP = COMPUTED POINT (NO CORNER MONUMENT FOUND OR SET)
R/W = RIGHT OF WAY
N/F = NOW OR FORMERLY
Ch. = CHORD
ESMT = EASEMENT

LEG TABLE:

LINE	BEARING	DISTANCE
L1	N 50°15'13" E	16.89'
L2	N 05°39'44" E	39.98'
L3	N 50°15'04" E	32.39'
L4	S 74°07'21" E	96.14'
L4	N 50°15'13" E	16.89'

CURVE TABLE:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	4837.03'	680.36'	679.80'	N 43°06'57" W	8°03'33"
C1a	4837.03'	10.30'	10.30'	N 47°05'03" W	0°07'19"
C1b	4837.03'	396.65'	396.54'	N 44°40'27" W	4°41'54"
C1c	4837.03'	273.41'	273.37'	N 40°42'20" W	3°14'19"
C2	4837.03'	149.82'	149.82'	N 38°11'56" W	1°46'29"
C3	40.00'	64.52'	57.75'	S 83°32'12" E	92°25'09"
C4	447.97'	434.92'	418.04'	N 78°04'01" E	55°37'35"
C5	367.99'	158.42'	157.20'	N 62°35'01" E	24°39'56"
C5a	367.99'	130.18'	129.50'	N 60°23'08" E	20°16'08"
C5b	367.99'	28.24'	28.23'	N 72°43'06" E	4°23'47"
C6	367.99'	200.58'	198.10'	S 89°28'06" E	31°13'49"
C6a	367.99'	33.17'	33.16'	N 77°29'57" E	5°09'55"
C6b	367.99'	167.40'	165.96'	S 86°53'09" E	26°03'54"
C7	110.12'	9.64'	9.64'	S 76°45'05" E	5°01'02"
C8	641.32'	53.50'	53.49'	S 81°39'02" E	4°46'48"
C9	100.00'	7.03'	7.03'	S 82°01'39" E	4°01'43"
C10	645.83'	136.31'	136.05'	S 86°03'36" E	12°05'33"

NOTES:

THE PURPOSE OF THIS EXHIBIT IS TO SHOW THE PROPOSED REZONING OF A 2.997 Ac. ± PORTION OF PB 93 PG 241, LOT 1

ALL BOUNDARY INFORMATION IS SHOWN PER AN ALTA & TOPOGRAPHIC SURVEY BY SACKS SURVEYING & MAPPING DATED NOVEMBER 24, 2025. THIS EXHIBIT DOES NOT CONSTITUTE A COMPLETE BOUNDARY SURVEY OF THE SUBJECT PROPERTY.

THERE MAY BE EASEMENTS, RIGHTS-OF-WAY, OR OTHER MATTERS AFFECTING THIS PROPERTY WHICH ARE NOT SHOWN.

APPARENT SOURCE OF TITLE: DB 5931 PG 891

PLAT REFERENCE: PB 93 PP 241-242, LOT 2
PB 95 PP 365-366 LOT 2

TAX PARCEL #15078011G

TOTAL SITE AREA: 23.353 Ac., MORE OR LESS (PER PB 93 PG 241)

ALL DEEDS AND MAPS NOTED HEREON WERE USED AS REFERENCES IN PREPARING THIS EXHIBIT.

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL #37120168500-K, EFFECTIVE 20 JUNE, 2018, THIS SITE DOES NOT LIE WITHIN THE FEMA 100-YEAR OR ANY OTHER SPECIAL HAZARD FLOOD ZONES.

THIS SURVEY WAS ORIENTED TO N.C. GRID NORTH (NAD 83/2011) USING SPECTRA PRECISION SP-100 GPS EQUIPMENT, HOLDING LOCAL CORS STATIONS AS A FIXED HORIZONTAL & VERTICAL REFERENCE. COORDINATES WERE ESTABLISHED USING A WEIGHTED LEAST SQUARES ADJUSTMENT OF THREE INDEPENDENT OBSERVATIONS.

Class of Survey: A
Positional Accuracy: 0.02' Horiz. / 0.03' Vert.
Type of GPS field procedure: Rapid Static (VRS)
Date of Survey: 11 November, 2025
Datum/Epoch: NAD 83 (2011)
Published/fixed-control used: Local CORS Stations
Geoid Model: Geoid 18
Combined grid factor: 0.99988253
Units: US Survey Feet

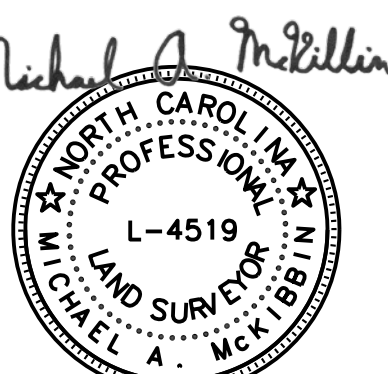
ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS NOTED OTHERWISE.

THERE ARE IMPROVEMENTS TO THIS PROPERTY WHICH ARE NOT SHOWN HEREON.

UNLESS THIS MAP IS SIGNED, SEALED AND DATED, THIS IS A PRELIMINARY PLAT, NOT FOR RECORDING, SALES OR CONVEYANCE.



Land Surveyors
3308-B Edgefield Road
Greensboro, NC 27409
(336) 931-0566
FAX 931-0558
WWW.SSMLAND
FIRM LIC #C-2741



12-01-25

UNLESS SIGNED, SEALED AND DATED, THIS IS A PRELIMINARY PLAT NOT FOR RECORDING, SALES OR CONVEYANCES.

LEGAL DESCRIPTION, PROPOSED 2.997 Ac. ± REZONING

COMMENCING at an iron pipe found at the southwesterly corner of Lot 1 of the West Smithfield Business Park as shown on Plat Book 93, Pages 241 & 242, Johnston County Register of Deeds, said iron having North Carolina Grid Coordinates (NAD 83/2011) of North(y) = 651,295.38 feet and East(x) = 2,185,633.63 feet; running thence the following four (4) courses and distances to the true point and place of BEGINNING: 1) with the northeasterly right-of-way of U.S. Highway 70 Business along a curve to the left a chord bearing of South 38 deg. 11' 56" East, a chord distance of 149.82 feet to an iron pipe found, said curve having a radius of 4837.03 feet and an arc length of 149.82 feet; 2) with the southerly line of a private access easement as shown in Plat Book 95, Page 365, Johnston County Register of Deeds North 05 deg. 39' 44" East a distance of 39.98 feet to an iron pipe found; 3) with the southerly line of said private access easement North 50 deg. 15' 04" East a distance of 32.39 feet to a point; and 4) with the southerly line of said private access easement along a curve to the right a chord bearing of North 60 deg. 23' 08" East, a chord distance of 129.50 feet to a point, being the true point and place of BEGINNING, said curve having a radius of 367.99 feet and an arc length of 130.18 feet; continuing thence from said point of BEGINNING with the southerly line of said private access easement the following two (2) courses and distances: 1) along a curve to the right a chord bearing of North 72 deg. 43' 06" East, a chord distance of 28.23 feet to an iron pipe found, said curve having a radius of 367.99 feet and an arc length of 28.24 feet; and 2) along a curve to the right a chord bearing of North 77 deg. 29' 57" East, a chord distance of 33.16 feet to a point, said curve having a radius of 367.99 feet and an arc length of 33.17 feet; thence leaving the line of said private access easement with a new line the following eight (8) courses and distances: 1) South 26 deg. 41' 39" East a distance of 69.13 feet to a point; 2) South 18 deg. 54' 33" East a distance of 165.94 feet to a point; 3) North 47 deg. 09' 35" East a distance of 104.25 feet to a point; 4) North 89 deg. 59' 25" East a distance of 82.23 feet to a point; 5) South 42 deg. 50' 25" East a distance of 265.73 feet to a point; 6) South 47 deg. 09' 35" West a distance of 181.85 feet to a point; 7) South 42 deg. 50' 25" East a distance of 96.00 feet to a point; and 8) South 47 deg. 09' 35" West a distance of 136.10 feet to a point in the northeasterly right-of-way of U.S. Highway 70 Business; thence with the northeasterly right-of-way of U.S. Highway 70 Business along a curve to the right a chord bearing of North 44 deg. 40' 27" West, a chord distance of 396.54 feet to a point, said curve having a radius of 4837.03 feet and an arc length of 396.65 feet; thence leaving the right-of-way of U.S. Highway 70 Business with a new line the following three (3) courses and distances: 1) North 47 deg. 09' 35" East a distance of 91.00 feet to a point; 2) North 18 deg. 54' 33" West a distance of 211.78 feet to a point; and 3) North 26 deg. 41' 39" West a distance of 77.80 feet to the point and place of BEGINNING, containing 2.997 Acres, more or less, BEING a portion of Lot 2 as shown on Plat Book 93, Pages 241 & 242, Johnston County Register of Deeds.

REZONING EXHIBIT PORTION OF WEST SMITHFIELD BUSINESS PARK, LOT 2

PLAT BOOK 93, PAGES 241-242

PART OF TAX PARCEL #15078011G

CITY OF SMITHFIELD

JOHNSTON COUNTY, NORTH CAROLINA

DATE PREPARE: 01 DECEMBER, 2025

SCALE 1 INCH = 100 FEET



DRAWING FILE NAME: RZPG-SMITHFIELD-REZONE.DWG

FOR REVIEW ONLY

SMITHFIELD CONVENIENCE STORE
REAL ZEAL PROPERTY GROUP
HWY 70 BUSINESS
SMITHFIELD, NORTH CAROLINA

ORIGINAL ISSUE DATE: 12/03/2025

[illegible]

PROJ. NO.: RZ - SMITHFIELD

CONCEPT SITE PLAN #4



**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
CZ-25-07**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE IS ADOPTED,

That the Planning Board recommendation regarding zoning map amendment CZ-25-07 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public hearing; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public hearing. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE FAILS,

That the final recommendation regarding zoning map amendment CZ-25-07 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



**Town of Smithfield
Planning Department**

350 E. Market St Smithfield, NC 27577

Smithfield-NC.com

919-934-2116

CONDITIONAL ZONING APPLICATION

Development Name
West Smithfield Amazon Retail

Proposed Use
Convenience Store

Project location or address
A portion of 2100 US Hwy 70 Business Smithfield, NC 27577

Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:

PIN#	TAX ID#
168519-61-6073	

Project type? ☐ Single Family ☐ Townhouse ☐ Multi-Family ☒ Non-Residential ☐ PUD/Mixed Use

PROPERTY OWNER INFORMATION

Name
SST Properties, LLC c/o Brian Hall

Address
PO Box 8050 Greensboro, NC 27419

Phone 336-362-2026	Email bhall@sametcorp.com
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OWNER/DEVELOPER INFORMATION

Company Name Real Zeal Property Group, LLC	Contact Name John Featherston
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Address
1437 Wintercress Ct. Marietta, GA 30068

Phone 404-307-0892	Email john.featherston.jr@gmail.com
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CONSULTANT/ENGINEERING FIRM

Company Name P3 Engineering	Contact Name Kevin Pulis
--------------------------------	-----------------------------

Address


Phone 843-633-3579	Email kevin@p3eq.com
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ZONING INFORMATION

Existing Zoning District LI	Proposed Zoning District Conditional Rezoning to allow for a convenience store
--------------------------------	---

If more than one district, provide the acreage of each:

Overlay District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
---	---

ENVIRONMENTAL QUALITY DATA INFORMATION			
Existing Impervious Surface acres/sf	Flood Hazard Area	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Proposed Impervious Surface acres/sf	Neuse River Buffer	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Watershed Protection Area	Wetlands	<input type="checkbox"/> Yes	<input type="checkbox"/> No
FEMA Map Panel	Base Flood Elevation		
SITE DATA			
Total # of single-family lots	Total densities per zoning district		
Total # of townhouse lots	Acreage in active open space		
Total # of all lots	Acreage in passive open space		
Linear feet of new roadways	Linear feet of new sewer mains		
Linear feet of new water mains	Linear feet of new sidewalks		
Proposed sewer allocation	Linear feet in new trails		
3684	0		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed plan as approved by the Town.			
I hereby designate <u>Real Zeal Property Group, LLC</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signature 		Date December 3, 2025	
Signature		Date	
APPLICATION FEES			

Conditional Zoning (1 paper copy of the application, 2 paper copies of plan set & **1 Digital copy of all documents on USB flash drive**)
\$ 400.00 + \$10 per acre

Application Date

Application Number

Application Fee

OWNER AUTHORIZATION

I hereby give CONSENT to Real Zeal Property Group, LLC (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

DocuSigned by:

Brian Hall

9D87B33C4A6141D...

Signature of Owner

Printed Name of Owner

Brian Hall

(State)

(County)

I, _____, a Notary Public in and for said County and State, do hereby certify that _____ personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the _____ day of _____ 20_____.

Notary Public:

(Printed Name)

(Signature)

(Seal)

County of Commission: _____

Commission Expires: _____

PROJECT NARRATIVE

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- A statement showing the proposed density of the project with the method of calculating said density shown;
- Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision; length of each, expected sewer allocation.
- A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- ☐ A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas). Not yet completed but will provide ASAP upon conditional rezoning.
- ☐ List of deviations from the town's minimum UDO requirements. N/A
- ☐ List of improvements that exceed the town's minimum UDO requirements. N/A
- ☐ Expected sales, rental prices N/A
- ☐ Architectural standards if applicable. N/A

INFORMATION TO BE PROVIDED ON PLAN

The Town of Smithfield Site Plan Requirements is found in Article 5 of the Unified Development Ordinance. Site plans shall contain the following information, if applicable, as determined by the UDO Administrator:

- ☐ Preferred sheet size is 24" x 36" for site plans (maximum sheet size of 30" x 42"); if more than one sheet, all sheets should be numbered; should be the same size and scale; and should show match lines, along with an index sheet.
- Submittals should also be made in digital PDF file format.
- The site plan shall be prepared by a professional engineer, registered land surveyor, or licensed architect.
- Engineer's scale – no smaller than 1" = 100' for Site Plans unless approved by staff. Larger scale showing more detail is better. Include both a graphic scale and a numeric scale. The site plan shall be based on the latest tax map information and shall be of a size as required by each individual site plan.
- North arrow or compass rose.
- Date (original and all revisions) should be shown on all sheets.
- A vicinity map of the site with reference to surrounding areas and existing street locations.
- The name and address of the owner and site plan applicant, together with the names of the owners of all contiguous land and of property directly across the street as shown by the most recent tax records
- Proof of ownership - Deed book and page reference demonstrating ownership of property.
- Parcel Identification Numbers (PIN) for site and adjacent properties.

Existing Conditions:

- The total area (acreage), and the exterior boundary of all land included in the request for approval (defined by metes and bounds, with the source of all boundary information referenced). All adjoining property lines should also be shown.
- Location of all existing structures, including their outside dimensions and elevations, streets, entrances, and exits on the site, on contiguous property, and on property directly across the street.
- Required setbacks, setback lines, or typical lots.
- Location, width and identification of all existing easements (public and private), defined by centerline bearings, distances and ties to property corners (with standard notes).
- Location of existing watercourses, ponds, flood zones, water supply watershed areas, and riparian buffers.
- Show all existing physical features, including existing trees greater than eight (8) inches in diameter measured four and one-half (4.5) feet above ground level include the tree line of wooded areas and individual trees eight (8) inches in diameter or more, identified by common or scientific name, and significant soil conditions.
- Topography showing existing contours at no greater than ten (10) foot intervals. All reference benchmarks shall be clearly designated.
- Existing zoning of the property, including zoning district lines where applicable.
- Location of existing sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel.
- Other utility lines both under- and above-ground, including electric power, telephone, gas, cable television
- Existing open space and any other common areas.
- Existing parking and loading areas.

Proposed Conditions:

- All proposed streets, drives, parking areas, fire lanes and access, loading and unloading areas with dimensions, traffic patterns, access aisles, and curb radii per the requirements of Article 10, Part I.
- The total quantity of parking spaces required and the total quantity of parking spaces provided. Indicate uses of buildings.
- Sight distance triangles (minimum 10' by 70' for driveway intersections at ROW lines; or as per NCDOT requirements or Town of Smithfield UDO Section 2.21 at all other intersections)
- Location of all proposed structures, including their outside dimensions and elevations, streets, entrances and exits on the site.
- ☐ Sidewalks, trails and other pedestrian ways with locations, dimensions and surfacing, including handicap curb cuts. Internal sidewalks and/or other proposed means of pedestrian access (note: internal pedestrian access should connect with public ROW sidewalk).
- General location and design of proposed sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel, as applicable
- ☐ Proposed other utility lines both under- and above-ground, including electric power, telephone, gas, cable television.
- Location of all US Clean Water Act Section 404 wetland areas, detention/retention ponds (Best Management Practices), riparian buffers and impervious surface areas with area dimensions, and ratios of impervious surface to the total size of the lot.
- Location of all proposed common areas.
- All parcels of land proposed to be designated, dedicated and/or reserved, for public or private use, shown with total land area and boundary descriptions.
- Distance between buildings and height of buildings.
- Building locations, footprints, entrances area by floor (sq.ft.), finished floor elevation (first).
- ☐ Location, dimensions, and details of signs per the requirements of Article 10, Part III.
- ☐ Proposed building elevations and floor plans, if applicable.
- ☐ Conceptual traffic impact analysis.
- ☐ Conceptual grading plan: proposed contours with a maximum of two-foot contour intervals within 100 feet of all buildings and along all driveways, entrances, exits, private streets, parking areas, loading areas, retaining walls and a maximum of ten-foot contour intervals for the remainder of the property. Supplement with spot elevations where necessary. All topography should be referred to permanent benchmarks and referenced to accepted datum.
- Conceptual stormwater management provisions.
- ☐ Total impervious surface square footage and percentage calculations for all development.
- ☐ Conceptual site lighting plan:
- Dumpster (or any other trash handling facilities) location, proposed screening labeled with height material, dimensions of concrete pad and details of gates, including support. Any dumpster to be used for recycling should be labeled as such.
- ☐ Landscape Plan: Include the genus and species, common name, quantity, size and location of all plant material proposed to meet Article 10, Part II requirements. The plan must include a "plant list" (in chart form), which should be coded to the plan. Show all calculations used to determine the quantity of plants required. All proposed planting, should be coordinated with both the utility plan and the grading/storm drainage plan to eliminate conflicts. No landscaping allowed in water or sewer easements.
- ☐ Description of all fences, walls and/or berms used to fulfill landscaping or screening requirements with details and cross-sections as needed (all fences over 6 feet must be sealed by a licensed Engineer).

1. Purpose of the Application

This application requests the conditional rezoning of the subject property from Light Industrial (L-I) to permit the development of a retail use intended to serve residents, employees, and visitors in the surrounding area. The current L-I zoning does not allow for the proposed retail use despite strong local demand for accessible, small-format commercial services. Conditional rezoning will enable development that aligns with emerging community needs and municipal planning objectives. This request is consistent with other retail uses along this transportation corridor.

2. Alignment With Municipal Planning Objectives

The proposed conditional zoning is consistent with the municipality's long-term planning vision, including:

- **Encouraging mixed-use and service-oriented development** in strategically located areas to support both residential neighborhoods and employment districts.
- **Promoting accessible amenities** that reduce travel distances for daily needs and contribute to a complete community.
- **Supporting economic diversification** by introducing retail services that complement, rather than compete with, existing industrial uses.

The subject property lies at a transition point between employment lands and residential or mixed-use areas. As such, a convenience store represents an appropriate and context-sensitive commercial use.

3. Compatibility With Surrounding Land Uses

The surrounding area features a combination of light industrial operations, office uses, and nearby residential neighborhoods. A convenience store:

- Creates **minimal noise, traffic, and environmental impacts**, making it compatible with both industrial and non-industrial neighbors.
- Serves the **daytime workforce** of adjacent industrial and commercial businesses.
- Provides a **valuable amenity** for nearby residents lacking convenient retail options within walking or short driving distance.

The scale and design of the proposed development will ensure it integrates seamlessly with existing buildings and maintains the character of the area.

4. Transportation and Access Considerations

The site is well-positioned to accommodate commercial traffic:

- It is located along a collector or arterial roadway with **sufficient capacity** to manage low-intensity retail use.
- On-site parking and access will be designed to **meet or exceed municipal standards**, ensuring safe and efficient circulation.
- The convenience store will primarily serve **local and pass-by traffic**, resulting in minimal incremental impact on the transportation network.
- Applicant contemplates **enhanced traffic movement** to accommodate this use by constructing a deceleration lane.

5. Economic and Community Benefits

The rezoning will generate multiple community benefits, including:

- **Job creation** through both construction and ongoing retail employment.
- **Increased municipal tax revenue** from a higher-value commercial use.
- **Enhanced local services**, reducing the need for residents and employees to travel farther for basic goods.
- **Activation of underutilized land**, supporting municipal goals for redevelopment and intensification.

6. Servicing and Infrastructure

The subject property is already serviced with appropriate municipal infrastructure, including water, sanitary, stormwater, and utilities. The proposed convenience store will place **lower or comparable servicing demands** relative to the permitted light industrial uses. No upgrades to off-site infrastructure are anticipated.

7. Much Needed Amenity to Attract New Tenants to Industrial Park

The owner and developer of Amazon, Samet Corporation, agrees with Applicant that this use will provide a visible convenient amenity to the Park. This will greatly **enhance the Park's marketability** to prospective tenants and future employers in the project.

8. Requests to Modify Several Aspects of the UDO

Our client already operates a successful location in Smithfield.

- a) **Signage** We will be seeking the same height primary identification sign as the existing location. We submit this is critical to effective messaging to assure safe traffic movements. We will also be seeking support for enhanced wall and canopy signage.
- b) **Operations** We are seeking support to have these as part of our client's operations:
 - propane tank storage,
 - air and vacuum stations
 - electric vehicle charging stations
- c) **Foundation Plantings** We would typically seek to be relieved of this requirement. However, as an accommodation to acknowledge the other requested modifications to the UDO, we propose to keep this requirement of the UDO.

9. Planning Rationale and Conclusion

The proposed conditional rezoning from Light Industrial (L-I) represents a logical, responsible, and beneficial land-use transition. It is:

- **Consistent with municipal planning policies,**
- **Compatible with surrounding uses,**
- **Supportive of economic development, and**
- **Responsive to community needs** for accessible retail services.

For these reasons, approval of this conditional rezoning application is respectfully requested.



PLANNING DEPARTMENT

Micah Woodard, Planner I

ADJOINING PROPERTY OWNERS' CERTIFICATION

I, Micah Woodard, hereby certify that the property owner and adjacent property owners of the following petition(s); ZA-25-05, CZ-25-06, CZ-25-07, CZ-25-08, and CA-25-01 were notified by First Class Mail on 12/23/25 of the Public Meeting on January 8th, 2026.

Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Micah Woodard personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

23rd day of December, 2025

Notary Public Signature

Notary Public Name



Commission expires on 1-15-2028

CZ-25-07 West Smithfield Amazon Commercial Adjacent Property Owners List

ParcelID	Name1	Name2	Address1	Address2	CityStateZip
15078011G	SST PROPERTIES, LLC		PO BOX 8050		GREENSBORO, NC 27419-0050
15077033C	SST PROPERTIES, LLC		PO BOX 8050		GREENSBORO, NC 27419-0050
15077035	WILLIAMS, ZANE G	WILLIAMS, BETTY B		PO BOX 2590	SMITHFIELD, NC 27577-0000
15093007	BYRD, MARY S LIFE ESTATE	BYRD, CARVUS A III REMAINDER	3777 US 70 BUS HWY W		CLAYTON, NC 27520-6826
15078011	FNLI AGOUTI JNX LLC			PO BOX 80416	SEATTLE, WA 98108-0416
15093009	BEST, HELEN M.		203 N ROGERS DR		SMITHFIELD, NC 27577-3029
15093005	UNDERWOOD, DAVID LEE		107 N ROGERS DR		SMITHFIELD, NC 27577-0000
15093008	BEST, HELEN M.		203 N ROGERS DR		SMITHFIELD, NC 27577-3029
15077033E	SST PROPERTIES, LLC		PO BOX 8050		GREENSBORO, NC 27419-0050
15093004	BRIGHTLEAF #2004, LLC			PO BOX 1266	SMITHFIELD, NC 27577-1266
15093014	MASSENGILL, JEANETTE A		1010 S BRIGHTLEAF BLVD		SMITHFIELD, NC 27577-4381
15093006	UNDERWOOD, DAVID LEE	UNDERWOOD, JUDY	107 N ROGERS DR		SMITHFIELD, NC 27577-3027
15093013	BAKER, ROY H		109 MILTON DRIVE		SMITHFIELD, NC 27577
15093018	PANIAGUA, MARIA SORIANO	PANIAGUA, IGNACIO	100 FAREWAY DR		SMITHFIELD, NC 27577-3104
15094002	BLACK, SHIRLEY R		1917 WEST MARKET STREET		SMITHFIELD, NC 27577-3066
15094001	PARRISH, FRANK H	GRIFFIN, KIMBERLY W	1943 W MARKET ST		SMITHFIELD, NC 27577-3066
15093002	T & T BOYS, INC.		121 MERIDIAN DR		GARNER, NC 27529-6898
15093010	STARLING, JONATHAN R.		104 MILTON DR		SMITHFIELD, NC 27577-3022
15094008	OSORIO, PABLO JIMENEZ	ARREAGA, VEDA M	102 S ROGERS DRIVE		SMITHFIELD, NC 27577-0000
15093001	MCNEAL, SCOTT P.O.	MCNEAL, JENNIFER G.	1946 W MARKET ST		SMITHFIELD, NC 27577-3065
15093003	GOWER, JEWEL P LIFE ESTATE	JOHNSON, KIMBERLY GOWER REMAINDER	720 CHESTNUT STREET		SMITHFIELD, NC 27577-0000
15093011	POLLARD, MELISSA MARIE	POLLARD, LILIANA GARCIA	102 MILTON DR		SMITHFIELD, NC 27577-3022
15077035C	FL SMITHFIELD, LLC			PO BOX 5488	CARY, NC 27512-5488
15078012	FL SMITHFIELD, LLC			PO BOX 5488	CARY, NC 27512-5488
15078012B	FLOYD LANDING DEVELOPERS, LLC			PO BOX 5488	CARY, NC 27512-5488

**Sign Posted on US HWY 70
Business West for CZ-25-07**

**NOTICE OF
PUBLIC HEARING**

For Information Please Contact
The Smithfield Planning and Zoning Department
(919) 934-2116

300 EAST MARKET STREET
SMITHFIELD, NC 27577
www.smithfieldnc.gov

12/22/2025 10:31

**Sign Posted on US HWY 70 Business
West for CZ-25-07**

**NOTICE OF
PUBLIC HEARING**

For information Please Contact
The Smithfield Planning and Zoning Department
(919) 934-2116

1000 EAST HARTWELL STREET
SMITHFIELD, NC 27589

12/22/2025 10:33



Request for Planning Board Action

Agenda
Item: CZ-25-08
Date: 1/8/26

Subject: Grace Homemade Intl. Community Flex Building B-2 CZ
Department: Planning
Presented by: Micah Woodard
Presentation: Public Meeting

Issue Statement

Dalton Engineering is requesting the rezoning of a 1.15 acres property located on the north side of East Market Street between 6th and 7th Street from B-2 to B-2 Conditional with a master plan for a flex commercial building and site development.

Financial Impact

The commercial development will contribute to the Town's tax base.

Action Needed

The Planning Board is respectfully requested to hold a public meeting to review the application and to recommend approval, approval with conditions or denial of the request.

Recommendation

Planning Staff recommend approval of CZ-25-08 with __ conditions and with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan, and other adopted plans, and that the request is reasonable and in the public interest.

Approved: ☐ Town Manager ☐ Town Attorney

Attachments:

1. Staff report
2. Consistency Statement
3. Application
3. Site Plan
4. Statement of Justification



Staff Report

Agenda
Item: CZ-25-08

OVERVIEW:

The proposed development site consists of the former Pontiac dealership building and garage and adjacent residential home on about 1.15 acres of land. The applicant intends to tear down the existing buildings, except for the garage fronting on 7th Street and to construct a new flex commercial building fronting on East Market Street. The request from B-2 to B-2 CZ is mainly driven by the desire to develop the site to mimic the traditional downtown with reduced or zero front setback with parking to the rear side of the building. Additionally, the applicant seeks relief from the parking regulations and height restrictions of the B-2 Zoning District.

PROPERTY LOCATION:

The proposed redevelopment property is located on the north side of east Market Street between 6th and 7th Street.

APPLICATION DATA:

Owner:	Grace Homemade Intl, LLC.
Applicant:	Dalton Engineering (Jerry Dalton)
Project Name:	Grace Homemade Intl. Community Flex Building
Parcel ID	15021009
Acreage	1.15
Present Zoning:	B-2
Proposed Zoning	B-2 CZ
Town/ETJ:	Town
Existing Use:	Vacant buildings
Proposed Use:	Flex commercial
Fire District:	Smithfield
School Impacts:	N/A
Parks and Recreation:	N/A
Water and Sewer Provider:	Town of Smithfield
Electric Provider:	Town of Smithfield

ADJACENT ZONING AND LAND USES:

(see attached map)

	Zoning	Existing Land Uses
North	B-2	Church and daycare
South	B-2	Office
East	B-2	Restaurant and convenience gas station
West	B-2	Multi-tenant commercial

ANALYSIS:

Comprehensive Plan. The comprehensive plan (Town Plan) guides the property for Downtown Support – a vibrant downtown is surrounded by supporting, complimentary uses and a mix of residential development types, which creates a civic community around the downtown and provides opportunity for future expansion.

The proposed flex-commercial reflects the desire to expand the traditional downtown to the east towards US 301.

Other relevant citations include:

Goal: Balanced Growth

Objective 1: Encourage the efficient use of land

Policy 1A: Encourage a diverse tax base (residential, commercial and industrial development)

3. Allow taller buildings in Commercial and Industrial zoning districts within Mixed Use Centers and Industrial / Employment Areas identified on the Future Land Use Map.

- Currently height limit is 40 feet in commercial and industrial district, a Special Use Permit is required for taller buildings. In some areas increasing a height limit may be beneficial to encourage economic development.
- Require upper story step backs, step downs and/or enhanced buffers to reduce impacts on existing and future residential areas and/or to honor pedestrian scale of downtown.

Policy 1C: Consider incentives to encourage infill and redevelopment in downtown and/or mixed-use centers

Strategies:

1. Consider density and/or height bonuses or relaxation of minimum parking requirements.

- Incentives might make some projects more feasible and provide a higher-quality product.

Goal: Vibrant Downtown

Objective 1: Foster economic vitality within and near downtown

Policy 1A: Encourage active uses on the ground floor along Market Street and 3rd Street

Strategies:

1. Encourage active first floor uses, especially in the Downtown Core along the frontages of 3rd Street and Market Street.
 - Active uses include retail, restaurants and services. Office and residential uses should be encouraged on upper floors.

Policy 1B: Encourage downtown revitalization through encouraging adaptive reuse and infill

Strategies:

1. Remove barriers to adaptive reuse projects by creating processes to allow flexibility in meeting development standards, as appropriate.
 - Many historic structures may not meet current development requirements but may be able to meet the intent of the requirements through alternative improvements.

Objective 2: Enhance the physical and visual assets of downtown

Policy 2B: Create clear and enforceable design standards for new development and adaptive reuse

5. Consider establishing a "build-to" line or maximum setback along key gateways in the Downtown Core and transition areas.

Access. The parking lot will be accessible from 6th and 7th streets.

Sidewalks. The applicant intends to create a wider sidewalk that mimics the downtown sidewalks with street trees.

Parking. The applicant proposes a mix of retail, restaurant/bar, flex assembly space totaling 13,980/sq. ft. or 41,940 sq. ft. in total.

Floor	Land Use	Parking Calculation	Required Parking
First Floor	Retail (11,880 sq. ft.)	1 parking space/200 sq. ft.	59
Second Floor	Restaurant (60 seats)	1 parking space/3 seats	20
	Retail (3,200 sq. ft.)	1 parking space/200 sq. ft.	16
Third Floor	Restaurant (224 seats)	1 space/3 seats	75
Total Required Parking	170		
Parking provided	60		
Parking deviation	110*		

* In a mixed retail setting, not all tenants will operate at full capacity at the same time, for instance, restaurants and venue space will likely be use more on evenings and weekends at peak times, whereas retail may be more evenly distributed during business hours.

The UDO allows remote parking within 400' of the door of the business with approval of property owner to satisfy parking requirements. The shopping center to the east has a large, under-utilized parking lot and the Insurance business across Market Street also has under-utilized parking lots. At this point, there are no such arrangements but there is an opportunity for such in the future.

The row of parking adjacent the building has 19 parking stalls in a row, whereas the UDO requires a landscape island at the end of each block of 15 consecutive parking spaces.

Dumpster Enclosure. A trash enclosure is shown on the site plan at the north-east corner of the development behind the existing garage building.

Stormwater Management. The applicant has indicated that stormwater management will be addressed through an underground system under the parking lot.

Commercial Signs. No signs have been proposed. Signs are approved by a separate sign permit application process.

Building Height. The applicant proposes a 3-story building with a height of 51' whereas the B-2 standards only allow for a 40'.

Building Setback. The building setbacks in the B-2 Zoning District are:

Required B-2 Minimum Setbacks	
Front	20 feet
Corner side	20 feet
Side	8 feet
Rear	15 feet

The proposed building is being designed to complement the historic downtown Smithfield where buildings are set up to the sidewalks with parking to the rear. The proposed setbacks are:

Proposed B-2 CZ Minimum Setbacks	
Front	4 feet
Corner side	8 feet,
Side	8 feet
Rear	15 feet, except existing garage is 2.5 feet

Street Yard Landscaping. With the building located 4' from the public sidewalk in the front and 8' in the side, a full streetyard is not possible. The site will be well planted where appropriate.

Future Site Plan Submittal.

After zoning approval, the next step in the development process is the submittal of a site plan. A site plan submittal will require the following meeting Town UDO standards:

- Lighting plan
- Landscape plan
- Grading and erosion control
- Concrete driveway aprons
- Wheel stops
- Stormwater management

CONDITIONAL ZONING:

Conditional zoning allows for variances, or deviations from UDO requirements in exchange for other improvements that may exceed UDO standards. The developer is requesting the following deviations from the UDO:

Code /Item	Requirement	Proposed	Deviation
10.3 Parking	+/-170 spaces	60	+/- 110
8.8 Building height	40' maximum	+/- 51'	+/-11'
10.13.1.7.3 Landscape island requirement	15 spaces in a row	19	+3
10.13.1.8.1 Street Yard	10' (1/2 front setback)	4'-8' in the front, 8' corner side	2-6' in front, 2' corner side

The applicant is providing the following enhancements that exceed UDO requirements:

Enhancements:
Street yard planters with irrigation
Enlarged sidewalk on E. Market Street
Brick building materials with architectural features (see plans)
Outdoor lighting of building/trees

In addition to the enhancements listed, the development will result in the removal of a blighting building on East Market Street.

CONSISTENCY STATEMENT (Staff Opinion):

With approval of the rezoning, the Planning Board/Town Council is required to adopt a statement describing whether the action is consistent with adopted comprehensive plan and other applicable adopted plans and that the action is reasonable and in the public interest. Planning Staff considers the action to be consistent and reasonable:

Consistency with the Comprehensive Growth Management Plan – *The development is consistent with the comprehensive plan. The proposed use is in accordance with numerous objectives and policies for the Downtown Support guidance.*

Consistency with the Unified Development Code – *The property will be developed in conformance with the UDO conditional zoning provisions that allows a good faith negotiation of development standards.*

Compatibility with Surrounding Land Uses - *The property considered for rezoning will be compatible with the surrounding land uses. The development is being designed to be an extension of the downtown core.*

RECOMMENDATION:

Staff recommend the planning board recommend approval of the rezoning, CZ-25-08, with the following conditions:

- None

RECOMMENDED MOTION:

"Move to recommend approval the rezoning, CZ-25-08 with a statement declaring the request consistent with the Town of Smithfield Comprehensive Growth Management Plan and other adopted plans and that the request is reasonable and in the public interest.

CZ-25-08 Grace Homemade Flex Commercial

File Number:
CZ-25-08

Project Name:
Grace Homemade Flex
Commercial

Location:
601 E Market St, Smithfield,
NC 27577

Tax ID#:
15021009

Existing Zoning:
B-2

Property Owner:
Grace Homemade Int., LLC

Applicant:
Dalton Engineering &
Associates, PA – Jerry Dalton

City or ETJ:
City



Map created by Micah Woodard,
Planner I on 12/30/2025

Map Scale
1" = 80'

**THE TOWN OF SMITHFIELD
UNIFIED DEVELOPMENT ORDINANCE
ZONING MAP AMENDMENT CONSISTENCY STATEMENT
BY THE SMITHFIELD PLANNING BOARD
CZ-25-08**

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to approve a statement describing how the action is consistent with the Town of Smithfield *Comprehensive Growth Management Plan*; and

Whereas the Smithfield Planning Board, upon acting on a zoning map amendment to the *Unified Development Ordinance* and pursuant to NCGS §160A-383, is required to provide a brief statement indicating how the action is reasonable and in the public interest.

NOW THEREFORE, BE IT ADOPTED BY THE SMITHFIELD PLANNING BOARD AS APPROPRIATE:

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE IS ADOPTED,

That the Planning Board recommendation regarding zoning map amendment CZ-25-08 is based upon review of and consistency with, the Town of Smithfield *Comprehensive Growth Management Plan* and any other officially adopted plan that is applicable, along with additional agenda information provided to the Planning Board and information provided at the public hearing; and

It is the objective of the Town of Smithfield Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment promotes this by offering fair and reasonable regulations for the citizens and business community of the Town of Smithfield as supported by the staff report and attachments provided to the Planning Board and information provided at the public hearing. Therefore, the amendment is reasonable and in the public interest.

IN THE EVENT THAT THE MOTION TO RECOMMEND THE ORDINANCE FAILS,

That the final recommendation regarding zoning map amendment CZ-25-08 is based upon review of, and consistency, the Town of Smithfield *Comprehensive Growth Management Plan* and other officially adopted plans that are applicable; and

It is the objective of the Planning Board to have the *Unified Development Ordinance* promote regulatory efficiency and consistency and the health, safety, and general welfare of the community. The zoning map amendment does not promote this and therefore is neither reasonable nor in the public interest.



**Town of Smithfield
Planning Department**

350 E. Market St Smithfield, NC 27577

Smithfield-NC.com

919-934-2116

CONDITIONAL ZONING APPLICATION

Development Name	GRACE HOMEMADE INTL. COMMUNITY FLEX BLDG.
Proposed Use	COMMERCIAL FLEX
Project location or address	601 E. MARKET ST. - SMITHFIELD, NC 27577
Property Identification Number(s) and Tax ID Number (s) for each parcel to which these guidelines will apply:	

PIN#	169419-51-8030	TAX ID#	15021009
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Project type? ☐ Single Family ☐ Townhouse ☐ Multi-Family ☒ Non-Residential ☐ PUD/Mixed Use

PROPERTY OWNER INFORMATION

Name	GRACE HOMEMADE INTL, LLC		
Address	1250 WENDELL RD - WENDELL, NC 27591		
Phone	919.616.2044	Email	Kelly@gracehomemade.com

OWNER/DEVELOPER INFORMATION

Company Name	GRACE HOMEMADE INTL, LLC	Contact Name	KELLY GRIFFIN
Address	1250 WENDELL RD - WENDELL, NC 27591		
Phone	919.616.2044	Email	Kelly@gracehomemade.com

CONSULTANT/ENGINEERING FIRM

Company Name	DALTON ENGINEERING ASSOCIATES, PA	Contact Name	JERRY DALTON
Address	446 E. MAIN ST. - CLAYTON, NC 27520		
Phone	919.550.4740	Email	Jd@daltonengineering.com

ZONING INFORMATION

Existing Zoning District	B2	Proposed Zoning District	B1
If more than one district, provide the acreage of each:			
Overlay District?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Inside City Limits?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

ENVIRONMENTAL QUALITY DATA INFORMATION

Existing Impervious Surface acres/sf 13,715 SF	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface acres/sf 42,132 SF	Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Watershed Protection Area	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FEMA Map Panel	Base Flood Elevation

SITE DATA


Total # of single-family lots 0	Total densities per zoning district
Total # of townhouse lots 0	Acreage in active open space
Total # of all lots 1	Acreage in passive open space
Linear feet of new roadways 0	Linear feet of new sewer mains
Linear feet of new water mains	Linear feet of new sidewalks 1677 LF (ROW)
Proposed sewer allocation	Linear feet in new trails 0

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed plan as approved by the Town.

I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signature 	Date 12/8/2025
Signature	Date

APPLICATION FEES

Conditional Zoning (1 paper copy of the application, 2 paper copies of plan set & **1 Digital copy of all documents on USB flash drive**)
\$ 400.00 + \$10 per acre

Application Date

Application Number

Application Fee

OWNER AUTHORIZATION

I hereby give CONSENT to _____ (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in the subject of this application. I understand that any false, inaccurate or incomplete information provided by me or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Smithfield to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

Signature of Owner

Kelly E. Griffin

Printed Name of Owner

Kelly E. Griffin

NC

(State)

Wake

(County)

I, *Chacon Leach*, a Notary Public in and for said County and State, do hereby certify that *Kelly E. Griffin* personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the

8th

day of

December 20 *25*

Notary Public:

Chacon Leach

(Printed Name)

Ch Leach

(Signature)



County of Commission:

Wake

Commission Expires:

8/4/2030

PROJECT NARRATIVE

GRACE HOMEMADE INTERNATIONAL, LLC COMMERCIAL FLEX BUILDING

Contact Information:

Kelly Griffin - Owner	1250 Wendell Rd. – Wendell, NC 27591	919-616-2044
Patricia Griffin - Owner	1250 Wendell Rd. – Wendell, NC 27591	919-482-1701
Robert Calhoun Contractor	Dalton General Contractors, LLC 446 E. Main St. – Clayton, NC 27520	919-669-9447
Jerry Dalton Civil Engineer	Dalton Engineering and Associates, PA 446 E. Main St. – Clayton, NC 27520	919-550-4740
Newberry, Truman L. Jr Architect	1821 Falls Church Rd. - Raleigh, NC 27609	919-790-8918
Bobby Fuquay & Associates Surveyor	6525 Mal Weathers Rd. – Raleigh, NC 27603	919-880-3309

Site Data:

601 E. Market St. – Smithfield, NC 27577
Current zoning: B-2
Parcel size: 1.15 Acres – 50,099 SF
Pin no.: 169419-51-8030

Current legal description:

BEING all of that parcel of land containing 1.15 acres, more or less, as shown on a map recorded in Plat Book 102, Pages 86 and 87, Johnston County Registry, to which plat reference is hereby made for a full and complete description of said parcel of land. (See Recombination Survey for Grace Homemade International, LLC prepared by Bobby Fuquay and Associates. Recorded date 10/15/2024.)

General Information:

Proposed name of project:	Grace Homemade International, LLC Commercial Flex Building
Number of proposed lots:	One
Acreage dedicated for open space or public use:	N/A
Acreage dedicated within rights of way:	N/A

Some uses for the proposed building on Main Street:

Ground Floor: Possible Brewery, Market, and additional retail or office spaces.

Second Floor: Fine Dining with indoor and outdoor dining areas. Additional office spaces for lease.

Third Floor: Venue - Gabriel Hall

The project's mission is to cultivate a vibrant, prosperous, and inclusive downtown that serves as the cultural and social heart of the community.

Encouraging economic growth: This project will promote downtown as a destination for working, dining, and shopping. It supports existing businesses, attracts new ventures, and drives growth. We estimate employing approximately 35+ employees for our Owner-occupied spaces. We will offer competitive wages, benefits and health insurance.

Promoting historic charm: We aim to preserve the historic character of downtown while creating a high-quality environment that will look as if it has always been there.

Improving aesthetics and walkability: This prominent downtown spot has been neglected for over 40 years. We will significantly enhance the physical appearance of this prominent downtown area by redeveloping the site and streetscapes with pedestrian-friendly sidewalks, better lighting, and landscaping to create a safer and more welcoming atmosphere. We hope that public art and other improvements will help create a vibrant, creative, and energetic environment.

Fostering community connection: We plan to collaborate with local partners to organize downtown events that serve as points of activity for residents and visitors.

Providing unique experiences: Our Menus feature fresh, local farm-to-table ingredients that are thoughtfully prepared for the second-floor restaurant and Gabriel Hall.

Flexibility: Gabriel Hall provides three soundproof event spaces ensuring privacy and professionalism for confidential meetings and gatherings. Our facility is designed to host events ranging from 25 to over 200+ attendees. The ballroom provides flexible configuration options, including division into three separate meeting rooms suitable for seminars, training sessions, and product launches. Each section is designed to accommodate approximately 100 individuals.

Break-out spaces: These spaces enhance the overall event experience by offering guests diverse options for relaxation and informal discussions outside the main event spaces.

Technology: All meeting rooms will feature state-of-the-art AV equipment designed to ensure smooth and effective presentations for any event. Using state-of-the-art fiber-optic internet ensures stable, high-speed connectivity for video conferencing, live streaming, and real-time collaboration.

Accessibility and Location: Conveniently located within five minutes of I-95 and I-40, with free parking and ADA-compliant access throughout the facility.

In-house catering: Menus by our executive chef will use local ingredients and offer flexible choices for any diet.

Some proposed uses for the existing building on 7th Street:

Open-Air Farmers Market, hydroponic vegetable gardening, or office space.

Project Density: N/A

Proposed infrastructure improvements and phasing: N/A

Addressing Concerns raised by neighboring properties: After talking with my neighbors about this proposed project I have had no negative comments.

DESCRIPTION OF ADVANTAGES WITH NEARBY LAND USES:

Aesthetics: My main goal for this redevelopment is to preserve the small-town charm by using materials that help the building blend naturally.

Livability:

Attraction of Future Residents and Businesses: A robust commercial sector can make Smithfield more attractive to new families, professionals, and retirees, contributing to a vibrant, growing community.

Revitalization: Redeveloping underused or older areas can breathe new life into commercial corridors.

Increased Convenience and Amenities: A new commercial development would provide more diverse local retail, dining, and entertainment options, reducing the need for residents to travel for specific goods and services.

Economic Growth and Jobs: Commercial development brings new businesses, local jobs, and increased sales tax revenue.

Enhanced Walkability and Connectivity: This new development includes plans for public infrastructure improvements, such as fifteen-foot-wide public sidewalks along E. Market Street and better street access, all of which enhance walkability and connectivity within the area and to other parts of town.

Value: A rehabilitated area for commercial development in Smithfield would have a significant positive impact on property values in the surrounding area due to increased economic activity, improved accessibility, and enhanced local amenities.

Increased Commercial Activity and Investment: Rehabilitation encourages new businesses and private-sector investors, leading to a more vibrant economic environment. This increased activity raises the desirability of the location for both businesses and residents, which in turn drives up commercial property values.

Job Creation and Tax Revenue: New developments bring jobs and generate additional tax revenues (property and sales taxes) for county and municipal governments. This revenue can be reinvested into public services and infrastructure, further enhancing the area's overall value and quality of life.

Aesthetics and Blight Removal: The process of rehabilitation replaces distressed or poorly maintained properties with a high-quality built environment, which can stabilize and increase the value of neighboring properties by improving the overall appearance and character of the neighborhood.

Attraction of Demographics: A new commercial development can attract a higher-income demographic of residents and visitors, making the area more appealing for potential homeowners and other commercial entities, thus pushing property values up.

Potential future development: The rehabilitation of commercial development in Smithfield is expected to drive significant future developments, primarily focusing on mixed-use projects to create a more vibrant and balanced community.

Economic Growth and Job Creation: Town officials and the economic development strategic plan emphasize the need for more commercial and industrial growth. The new retail and business spaces created by these rehabilitations are intended to attract national anchor tenants and new businesses, contributing to job creation and a stronger local economy.

In short, the rehabilitation of this area in Smithfield serves as a catalyst for a broader, more integrated approach to development, moving the town toward a more self-sufficient and vibrant community.

Disturbances to natural areas: The existing conditions negatively impact this property. Most trees on the lot have chain-linked fencing entangled with the tree trunks.

Stormwater management and infrastructure: The required stormwater Best Management Practices (BMP) shall be provided using an engineered underground detention system.

Justification that the proposal will not place an excessive burden on traffic: There will be more traffic in this area after the redevelopment. However, the flow of traffic will be improved by incorporating two points of egress on both 6th St. and 7th St. within the parking area. These points of egress are approximately 150 feet from the intersections at East Market St. It is my belief that this project will not place an excessive burden on any existing public infrastructure, facilities, or services.

Proposed common areas and outdoor open spaces: This project includes common areas inside and outside. The ground floor layout includes multiple landscaped areas for beauty and public recreation. There is also a large, covered breezeway for pedestrian access and outdoor dining between the parking area and E. Market Street.

Grace Homemade International, LLC will be leasing NNN tenant spaces. A NNN lease shifts most property costs (taxes, insurance, CAM) to the tenant, but ownership remains with the landlord, though the tenant gains control over operations; for common areas, the tenant pays for maintenance (CAM), but the lease contract will define who handles major structural repairs.

Proposed development schedule:

Approximate construction commencement date: 2026

Approximate construction completion date: 2027

LIST OF DEVIATIONS FROM THE TOWN'S MINIMUM UDO REQUIREMENTS:

Front yard building setback: 20' Required/4' Provided (Proposed Building)

Rear yard Building setback: 15' Required/2.5' Currently (Existing Building). The 2,347 SF existing building currently encroaches into the rear yard setback, however retaining this building would provide additional screening of the parking area and dumpster enclosure. Also, it would promote more pedestrian walkability and amenities.

Maximum building height: 40' Maximum/50'-8" Requested

Parking: Requirement unknown/60 parking spaces provided

Street yard: May or may not meet requirements

LIST OF IMPROVEMENTS THAT EXCEED THE TOWN'S MINIMUM UDO REQUIREMENTS:

Side yard building setbacks: Greater than the 8' Requirement

Landscaping: Approximately 8,000 sf of landscaped areas will be provided in addition to 4 or more proposed street yard tree planters with irrigation and uplighting.

Outdoor lighting: Shall meet or exceed the UDO Requirements to provide a well-lit outdoor environment for aesthetics and safety.

PROJECT NARRATIVE

As part of a complete application, a written project narrative that provides detailed information regarding your proposal must be included. On a separate sheet of paper, please address each of the lettered items listed below (answers must be submitted in both hard copy and electronic copy using the Adobe .PDF or MS Word .DOCX file formats):

- ☐ A listing of contact information including name(s), address(es) and phone number(s) of: the owner of record, authorized agents or representatives, engineer, surveyor, and any other relevant associates;
- ☐ A listing of the following site data: Address, current zoning, parcel size in acres and square feet, property identification number(s) (PIN), and current legal description(s);
- ☐ A listing of general information including: the proposed name of the subdivision, the number of proposed lots, acreage dedicated for open space or public use, acreage dedicated within rights of way;
- ☐ A statement showing the proposed density of the project with the method of calculating said density shown;
- ☐ Discuss proposed infrastructure improvements and phasing thereof (i.e. proposed roadways, sewer systems, water systems, sidewalks/trails, parking, etc.) necessary to serve the subdivision; length of each, expected sewer allocation.
- ☐ A narrative addressing concerns/issues raised by neighboring properties (discussing your proposal with the neighboring land owners is recommended to get a sense of what issues may arise as your application is processed);
- ☐ A description of how conflicts with nearby land uses (livability, value, potential future development, etc.) and/or disturbances to wetlands or natural areas are being avoided or mitigated;
- ☐ Provide justification that the proposal will not place an excessive burden on roads (traffic), sewage, water supply, parks, schools, fire, police, or other public facilities/services (including traffic flows) in the area;
- ☐ A description of proposed parks and/or open space. Please include a brief statement on the proposed ownership and maintenance of said areas;
- ☐ A proposed development schedule indicating the approximate date when construction of the project, or stages of the same, can be expected to begin and be completed (including the proposed phasing of construction of public improvements and recreational and common space areas).
- ☐ List of deviations from the town's minimum UDO requirements.
- ☐ List of improvements that exceed the town's minimum UDO requirements.
- ☐ Expected sales, rental prices
- ☐ Architectural standards if applicable.

INFORMATION TO BE PROVIDED ON PLAN

The Town of Smithfield Site Plan Requirements is found in Article 5 of the Unified Development Ordinance. Site plans shall contain the following information, if applicable, as determined by the UDO Administrator:

- ☒ Preferred sheet size is 24" x 36" for site plans (maximum sheet size of 30" x 42"); if more than one sheet, all sheets should be numbered; should be the same size and scale; and should show match lines, along with an index sheet.
- ☒ Submittals should also be made in digital PDF file format.
- ☐ The site plan shall be prepared by a professional engineer, registered land surveyor, or licensed architect.
- ☒ Engineer's scale – no smaller than 1" = 100' for Site Plans unless approved by staff. Larger scale showing more detail is better. Include both a graphic scale and a numeric scale. The site plan shall be based on the latest tax map information and shall be of a size as required by each individual site plan.
- ☒ North arrow or compass rose.
- ☒ Date (original and all revisions) should be shown on all sheets.
- ☒ A vicinity map of the site with reference to surrounding areas and existing street locations.
- ☒ The name and address of the owner and site plan applicant, together with the names of the owners of all contiguous land and of property directly across the street as shown by the most recent tax records
- ☒ Proof of ownership - Deed book and page reference demonstrating ownership of property.
- ☒ Parcel Identification Numbers (PIN) for site and adjacent properties.

Existing Conditions:

- ☒ The total area (acreage), and the exterior boundary of all land included in the request for approval (defined by metes and bounds, with the source of all boundary information referenced). All adjoining property lines should also be shown.
- ☒ Location of all existing structures, including their outside dimensions and elevations, streets, entrances, and exits on the site, on contiguous property, and on property directly across the street.
- ☒ Required setbacks, setback lines, or typical lots.
- ☐ Location, width and identification of all existing easements (public and private), defined by centerline bearings, distances and ties to property corners (with standard notes).
- ☐ Location of existing watercourses, ponds, flood zones, water supply watershed areas, and riparian buffers.
- ☐ Show all existing physical features, including existing trees greater than eight (8) inches in diameter measured four and one-half (4.5) feet above ground level include the tree line of wooded areas and individual trees eight (8) inches in diameter or more, identified by common or scientific name, and significant soil conditions.
- ☐ Topography showing existing contours at no greater than ten (10) foot intervals. All reference benchmarks shall be clearly designated.
- ☒ Existing zoning of the property, including zoning district lines where applicable.
- ☐ Location of existing sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel.
- ☐ Other utility lines both under- and above-ground, including electric power, telephone, gas, cable television
- ☐ Existing open space and any other common areas.
- ☐ Existing parking and loading areas.

Proposed Conditions:

- ☒ All proposed streets, drives, parking areas, fire lanes and access, loading and unloading areas with dimensions, traffic patterns, access aisles, and curb radii per the requirements of Article 10, Part I.
- ☒ The total quantity of parking spaces required and the total quantity of parking spaces provided. Indicate uses of buildings.
- ☐ Sight distance triangles (minimum 10' by 70' for driveway intersections at ROW lines; or as per NCDOT requirements or Town of Smithfield UDO Section 2.21 at all other intersections)
- ☒ Location of all proposed structures, including their outside dimensions and elevations, streets, entrances and exits on the site.
- ☒ Sidewalks, trails and other pedestrian ways with locations, dimensions and surfacing, including handicap curb cuts. Internal sidewalks and/or other proposed means of pedestrian access (note: internal pedestrian access should connect with public ROW sidewalk).
- ☐ General location and design of proposed sanitary waste disposal systems, water mains and appurtenances (including fire hydrants) on or adjacent to the parcel, as applicable
- ☐ Proposed other utility lines both under- and above-ground, including electric power, telephone, gas, cable television.
- ☒ Location of all US Clean Water Act Section 404 wetland areas, detention/retention ponds (Best Management Practices), riparian buffers and impervious surface areas with area dimensions, and ratios of impervious surface to the total size of the lot.
- ☐ Location of all proposed common areas.
- ☐ All parcels of land proposed to be designated, dedicated and/or reserved, for public or private use, shown with total land area and boundary descriptions.
- ☐ Distance between buildings and height of buildings.
- ☐ Building locations, footprints, entrances area by floor (sq.ft.), finished floor elevation (first).
- ☐ Location, dimensions, and details of signs per the requirements of Article 10, Part III.
- ☒ Proposed building elevations and floor plans, if applicable.
- ☐ Conceptual traffic impact analysis.
- ☐ Conceptual grading plan: proposed contours with a maximum of two-foot contour intervals within 100 feet of all buildings and along all driveways, entrances, exits, private streets, parking areas, loading areas, retaining walls and a maximum of ten-foot contour intervals for the remainder of the property. Supplement with spot elevations where necessary. All topography should be referred to permanent benchmarks and referenced to accepted datum.
- ☒ Conceptual stormwater management provisions.
- ☒ Total impervious surface square footage and percentage calculations for all development.
- ☐ Conceptual site lighting plan:
- ☒ Dumpster (or any other trash handling facilities) location, proposed screening labeled with height material, dimensions of concrete pad and details of gates, including support. Any dumpster to be used for recycling should be labeled as such.
- ☐ Landscape Plan: Include the genus and species, common name, quantity, size and location of all plant material proposed to meet Article 10, Part II requirements. The plan must include a "plant list" (in chart form), which should be coded to the plan. Show all calculations used to determine the quantity of plants required. All proposed planting, should be coordinated with both the utility plan and the grading/storm drainage plan to eliminate conflicts. No landscaping allowed in water or sewer easements.
- ☐ Description of all fences, walls and/or berms used to fulfill landscaping or screening requirements with details and cross-sections as needed (all fences over 6 feet must be sealed by a licensed Engineer).

NORTH CAROLINA
WAKE COUNTY

I, BOBBY O. FUQUAY, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. (DEED DESCRIPTION RECORDED IN DEED BOOK 5188, PAGE 679, DEED BOOK 5812, PAGE 100, AND DEED BOOK 6177, PAGE 70; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY SHOWN AS DASHED, AS DRAWN FROM INFORMATION ON PLAT BOOK 1, PAGE 21; THAT THE RATIO OF PRECISION AS CALCULATED BY COORDINATE METHOD IS 1:15,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 03 RD DAY OF OCTOBER, 2024.

This survey shown hereon is of another category, such as a recombination of existing parcels, a court-ordered survey, or other exception to the definition of subdivision.



Bobby O. Fuquay
PROFESSIONAL LAND SURVEYOR
L - 3194
LICENSE NUMBER

RECOMBINED AREA DATA

0.78 ACRE PIN 169419-84-9082
(34,269 SQ. FT.)
+ 0.23 ACRE PIN 169419-50-8998
(9,923 SQ. FT.)
+ 0.14 ACRE PIN 169419-51-8030
(5,907 SQ. FT.)
1.15 ACRES RECOMBINED
(50,099 SQ. FT.)

HIGHER CALLING MINISTRIES AND CHILD CARE, INC.
D.B. 5568, PG. 990
P.B. 1, PG. 21
PIN 169419-61-0298

KENNEDY PROPERTIES 1996 LTD PARTNERSHIP
D.B. 4710, PG. 742
P.B. 1, PG. 21
PIN 169419-51-7109

NORTH SIXTH STREET
25' R/W PER JOHNSTON COUNTY GIS DATA
ALLEY (see PB 1, PG 21)

GRACE HOMEMADE INTERNATIONAL, LLC
D.B. 6177, PG. 70
PIN 169419-51-8030

GRACE HOMEMADE, LLC
D.B. 5188, PG. 679
PIN 169419-51-9082

1.15 ACRES RECOMBINED
(50,099 SQ. FT.)

GRACE HOMEMADE INTERNATIONAL, LLC
D.B. 5812, PG. 100
PLAT BK. 1, PG. 21
PIN 169419-50-8998

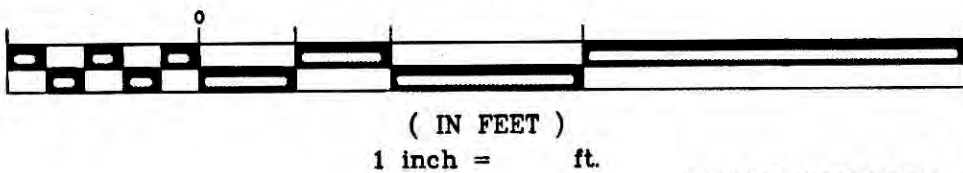
COC REAL ESTATE CO, LLC
D.B. 5605, PG. 875
PIN 169419-61-2072

US HIGHWAY 70 BUS. EAST MARKET STREET
80' PUBLIC ROAD R/W (see PB 72, PG 348 and PB 74, PG 325)

THIS SURVEY WAS BALANCED USING THE COMPASS RULE ADJUSTMENT.
AREA DETERMINED USING COORDINATE METHOD.
ALL DISTANCES ARE U.S. SURVEY FEET HORIZONTAL GROUND MEASUREMENTS.
REFERENCES: DEED BOOK 5188, PAGE 679
DEED BOOK 5812, PAGE 100
DEED BOOK 6177, PAGE 70
PLAT BOOK 1, PAGE 21 (LOTS 4 & 5, PORTION OF LOTS 6 & 7)

THE PROPERTIES SHOWN HEREON ARE NOT WITHIN A 100 YEAR FLOOD ZONE PER FEMA FIRM MAP No. 3720169400K, WITH EFFECTIVE DATE OF JUNE 20, 2018.
PROPERTY IS CURRENTLY ZONED B-2 (TOWN OF SMITHFIELD)
SEE UNRECORDED MAP PREPARED BY JIMMY BARBOUR SURVEYING, P.A., ENTITLED "SURVEY FOR: GRACE HOMEMADE, LLC", DATED JUNE 12, 2018.

GRAPHIC SCALE



- LEGEND:
- SURVEYED LINE
 - RIGHT-OF-WAY LINE
 - UNSURVEYED LINE
 - FORMER PROPERTY LINE
 - CENTERLINE
 - IRON SET UNLESS OTHERWISE NOTED
 - IRON FOUND UNLESS OTHERWISE NOTED
 - SCD = SEWER CLEANOUT
 - EPF = EXISTING IRON PIPE FOUND
 - REFP = REBAR FOUND
 - NPS = NO POINT SET
 - R/W = RIGHT OF WAY
 - TL = TOTAL LENGTH OF LINE
 - CL = CENTERLINE

LISTED OWNERS:
GRACE HOMEMADE INTERNATIONAL, LLC
3219 PAGE ROAD
MORRISVILLE, N.C. 27560-9410
Filed in JOHNSTON, NC
Filed 10/18/2024 11:58:03 AM
CARRIG OLIVE, Register of Deeds
Dep/Asst asstons
PLAT B: 102 P: 87

Jodie R. H. Gay, Review Officer of Johnston County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

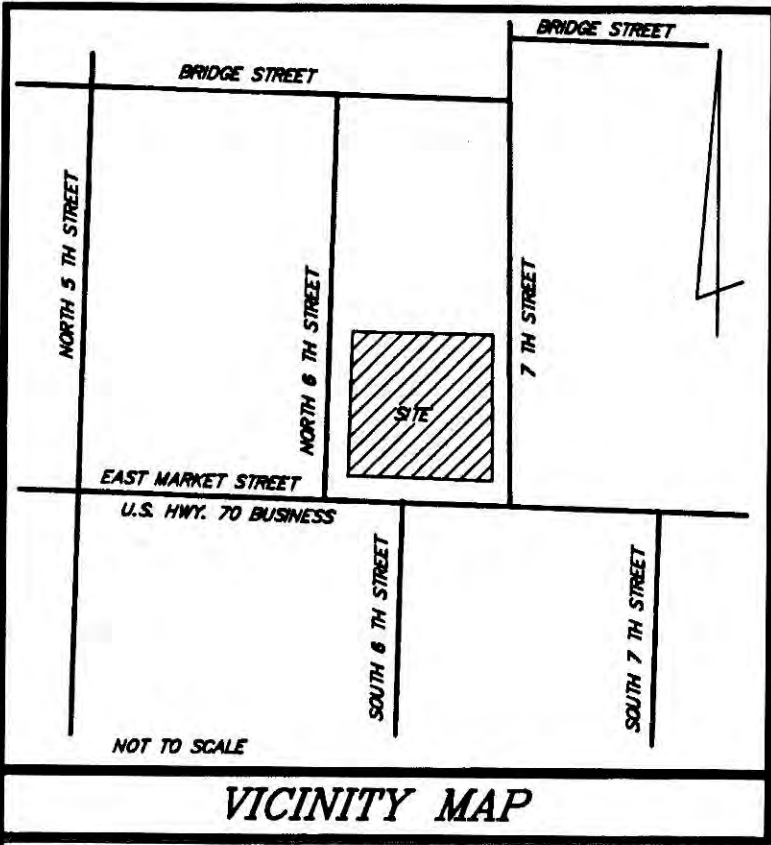
Bobby O. Fuquay
Review Officer

10-16-2024
Date

Sheet 1 of 2

RECORDED IN PLAT BOOK _____, PAGE _____.

RECOMBINATION SURVEY FOR		BOBBY FUQUAY and ASSOCIATES	
GRACE HOMEMADE INTERNATIONAL, LLC		6525 MAL WEATHERS RD., RALEIGH N.C., 27603 (919) 880-3309	
"TOWN OF SMITHFIELD"			
TOWNSHIP: SMITHFIELD	COUNTY: JOHNSTON	DATE OF SURVEY: SEPTEMBER 07, 2024	
PIN: 169419-51-9082 139419-51-8030 169419-50-8998	STATE: NORTH CAROLINA	DATE OF MAP: SEPTEMBER 11, 2024	
	SCALE: 1" = 30'	CHECK AND CLOSURE BY: BOF	DRAWING 202438



VICINITY MAP

CERTIFICATION OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF JOHNSTON COUNTY AND THAT I HEREBY ADOPT THIS SUBDIVISION PLAN WITH MY FREE CONSENT, ESTABLISH MINIMUM SETBACK LINES AND DEDICATE ALL STREETS, ALLEYS, PARKS, AND OTHER SITES AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED.

10-15-2024 Kelly E. Linder
DATE OWNER

CERTIFICATE OF EXEMPTION FROM SUBDIVISION ORDINANCE

THE COMBINATION OR RECOMBINATION OF PORTIONS OF PREVIOUSLY SUBDIVIDED AND RECORDED LOTS WHERE THE TOTAL NUMBER OF LOTS IS NOT INCREASED AND THE RESULTANT LOTS ARE EQUAL TO OR EXCEED THE STANDARDS CONTAINED IN ARTICLE 10 OF THE TOWN OF SMITHFIELD UNIFIED DEVELOPMENT ORDINANCE.

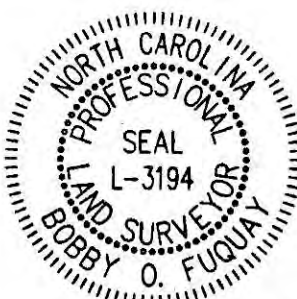
PURSUANT TO NC GENERAL STATUTE 47-30(B) (11) NO APPROVAL IS REQUIRED BY THE TOWN OF SMITHFIELD.

10-15-24 Stephen Wren
DATE UDO DIRECTOR - TOWN OF SMITHFIELD

RECOMBINED AREA IMPERVIOUS SURFACE DATA

EXISTING DWELLING, PORCH, DECK, STEPS	1,709 SQ. FT.
EXISTING BUILDINGS, STEPS	11,054 SQ. FT.
EXISTING CONCRETE DRIVE	473 SQ. FT.
EXISTING SIDEWALKS	479 SQ. FT.
TOTAL EXISTING IMPERVIOUS AREA = 13,715 SQ. FT.	

13,715 SQ. FT. DIVIDED BY 50,099 SQ. FT.
= 27.4% EXISTING IMPERVIOUS AREA



Bobby O. Fuquay
10-13-24

Filed in JOHNSTON, NC
Filed 10/15/2024 11:58:03 AM
CRAIG OLIVE, Register of Deeds
Dep/Asst asstos
PLAT B: 102 P: 88

LISTED OWNERS:
GRACE HOMEMADE
INTERNATIONAL, LLC
3219 PAGE ROAD
MORRISVILLE, N.C. 27560-9410

RECOMBINATION SURVEY FOR

GRACE HOMEMADE
INTERNATIONAL, LLC
"TOWN OF SMITHFIELD"

BOBBY FUQUAY and ASSOCIATES
6525 MAL WEATHERS RD., RALEIGH N.C., 27603 (919) 880-3309

REVISIONS

TOWNSHIP: SMITHFIELD		COUNTY: JOHNSTON	DATE OF SURVEY	SEPTEMBER 07, 2024
PIN: 169419-51-9082 139419-51-8030 169419-50-8998		STATE: NORTH CAROLINA	DATE OF MAP	SEPTEMBER 11, 2024
		SCALE: 1" = 30'	CHECK AND CLOSURE BY:	BOF
				DRAWING 202438



VICINITY MAP

TOTAL SITE AREA: 1.15 ACRES (50,099 SF)

SITE BOUNDARY INFORMATION PROVIDED BY RECOMBINATION SURVEY FOR GRACE HOMEMADE INTERNATIONAL, LLC PREPARED BY BOBBY FUQUAY AND ASSOCIATES (DATED 09/11/2024)

EXISTING ZONING: B-2: GENERAL BUSINESS

EXISTING IMPERVIOUS SURFACE: 13,715 SF (27%)
PROPOSED IMPERVIOUS SURFACE: 42,132 SF (84%)
PROPOSED IMPERVIOUS SURFACE INCREASE: 28,417 SF
PERCENTAGE OF IMPERVIOUS SURFACE INCREASE: 57%

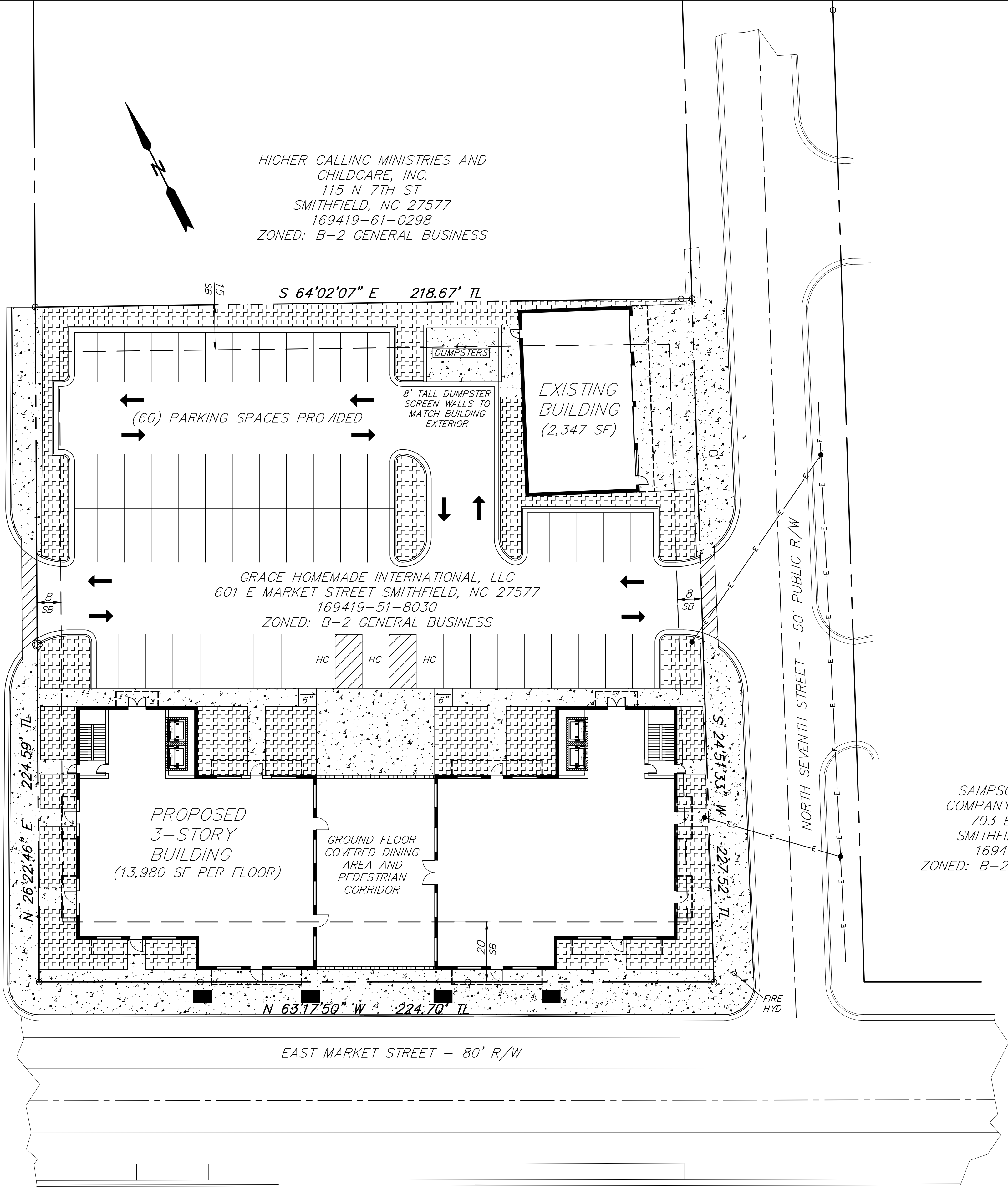
PROPOSED PARKING LOT AND C&G AREA: 20,620 SF
PROPOSED ON-SITE CONCRETE SIDEWALKS: 5,185 SF
PROPOSED ROW CONCRETE SIDEWALKS: 6,785 SF

- PROPOSED LANDSCAPED AREAS: 7,967 SF
- PROPOSED STREET YARD TREE PLANTERS

KENNEDY PROPERTIES 1996 LTD PARTNERSHIP & DAUGHTRY FARMS, LLC
513 E MARKET ST
SMITHFIELD, NC 27577
169419-51-7109
ZONED: B-2 GENERAL BUSINESS

STORMWATER BEST MANAGEMENT PRACTICES (BMP) SHALL BE PROVIDED USING AN ENGINEERED UNDERGROUND DETENTION SYSTEM

NORTH SIXTH STREET - 50' PUBLIC R/W



BHPS,LLC HOLTON, J. R. JR.
512 E MARKET ST
SMITHFIELD, NC 27577
169419-50-6870
ZONED: B-2 GENERAL BUSINESS

TRIANGLE INSURANCE GROUP PATNR
614 E MARKET ST
SMITHFIELD, NC 27577
169419-50-9713
ZONED: B-2 GENERAL BUSINESS

PRELIMINARY SITE LAYOUT
GRACE HOMEMADE
COMMERCIAL FLEX BUILDING

SCALE: 1" = 20'-0"

PRELIMINARY SITE PLAN FOR
CONDITIONAL ZONING APPROVAL

GRACE HOMEMADE
INTERNATIONAL, LLC
COMMERCIAL FLEX BUILDING
601 EAST MARKET STREET
SMITHFIELD, NC 27577

Dalton General Contractors

446 East Main Street
P.O. Box 426
Clayton, NC 27520

(919) 550-4740

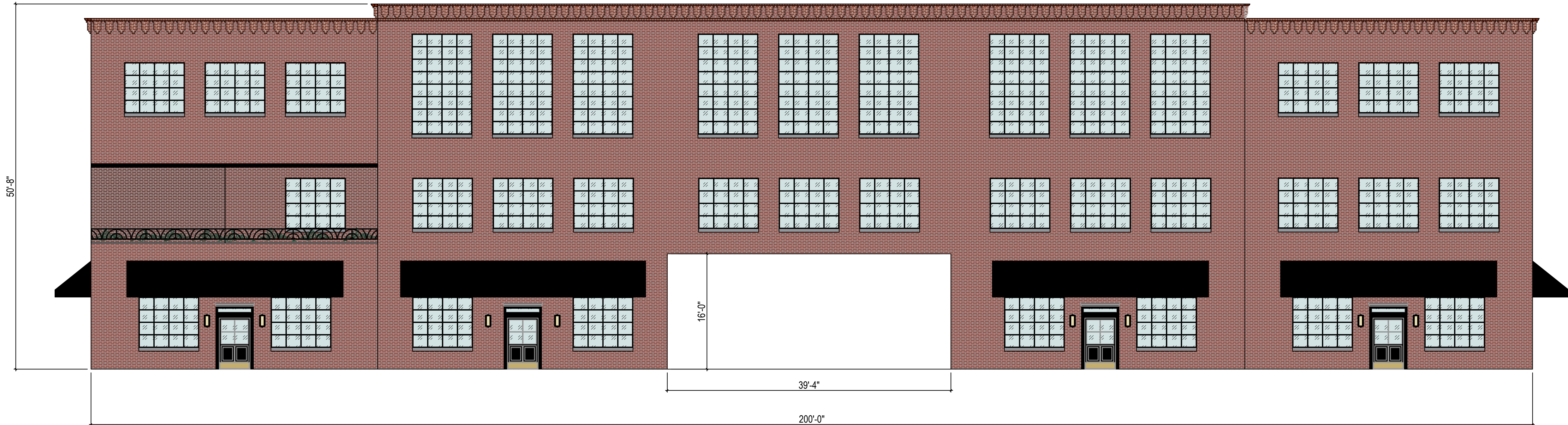
DECEMBER 4, 2025

REVISIONS


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SHEET NO.

S1.0



FRONT BUILDING ELEVATION
SCALE: 1/8" = 1'-0"



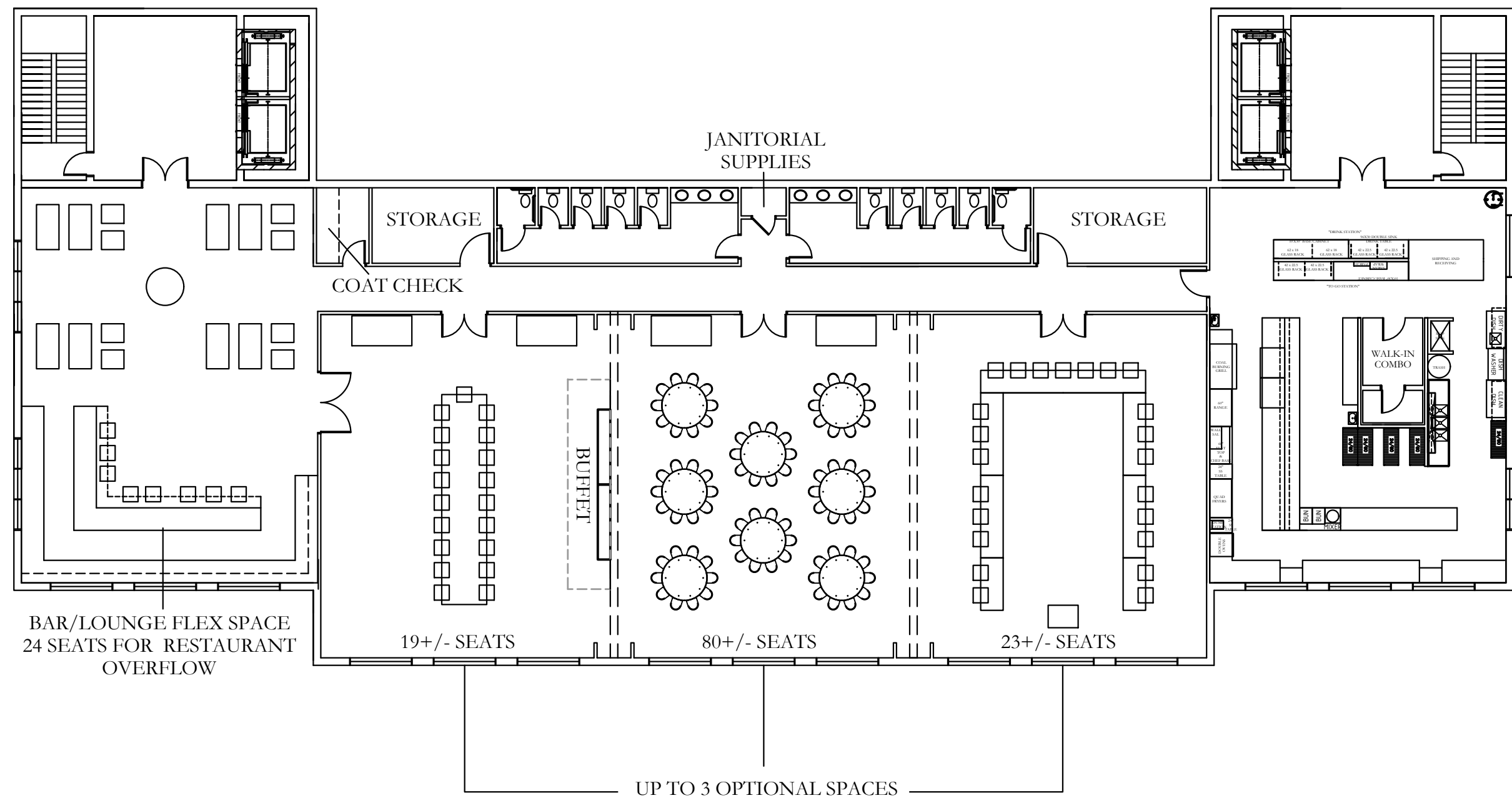
Dalton Engineering
and Associates, P. A.
446 East Main Street
P.O. Box 426
Clayton, NC 27520

License No. C-1420
(919) 550-4740
Fax (919) 550-4741

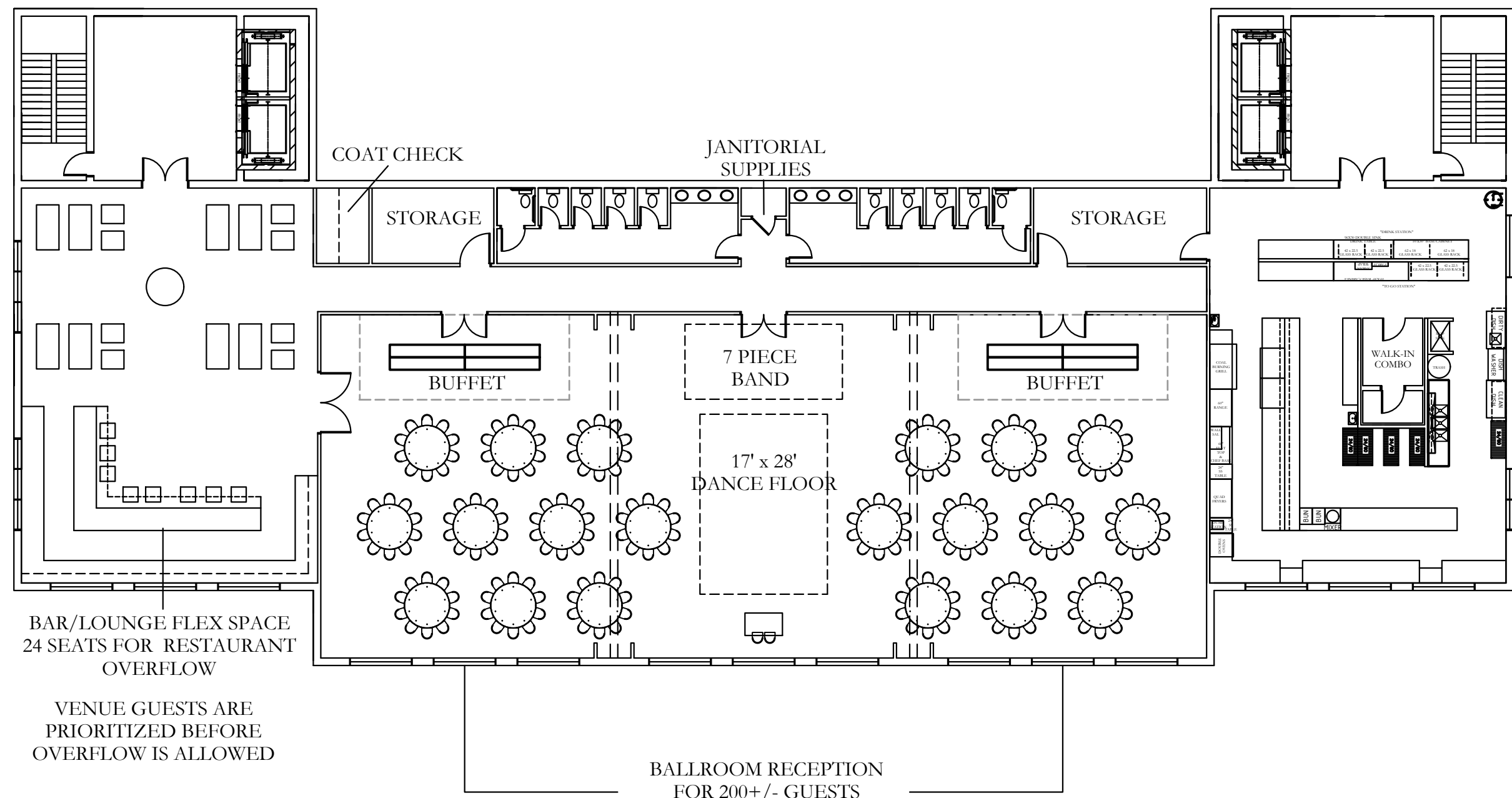
GRACE HOMEMADE INTERNATIONAL, LLC
COMMERCIAL FLEX BUILDING
601 E MARKET STREET
SMITHFIELD, NC 27577

PROPOSED BUILDING
FRONT ELEVATION
TRUMAN L. NEWBERRY, JR.
ARCHITECT
1821 FALLS CHURCH ROAD RALEIGH, N.C. 27609

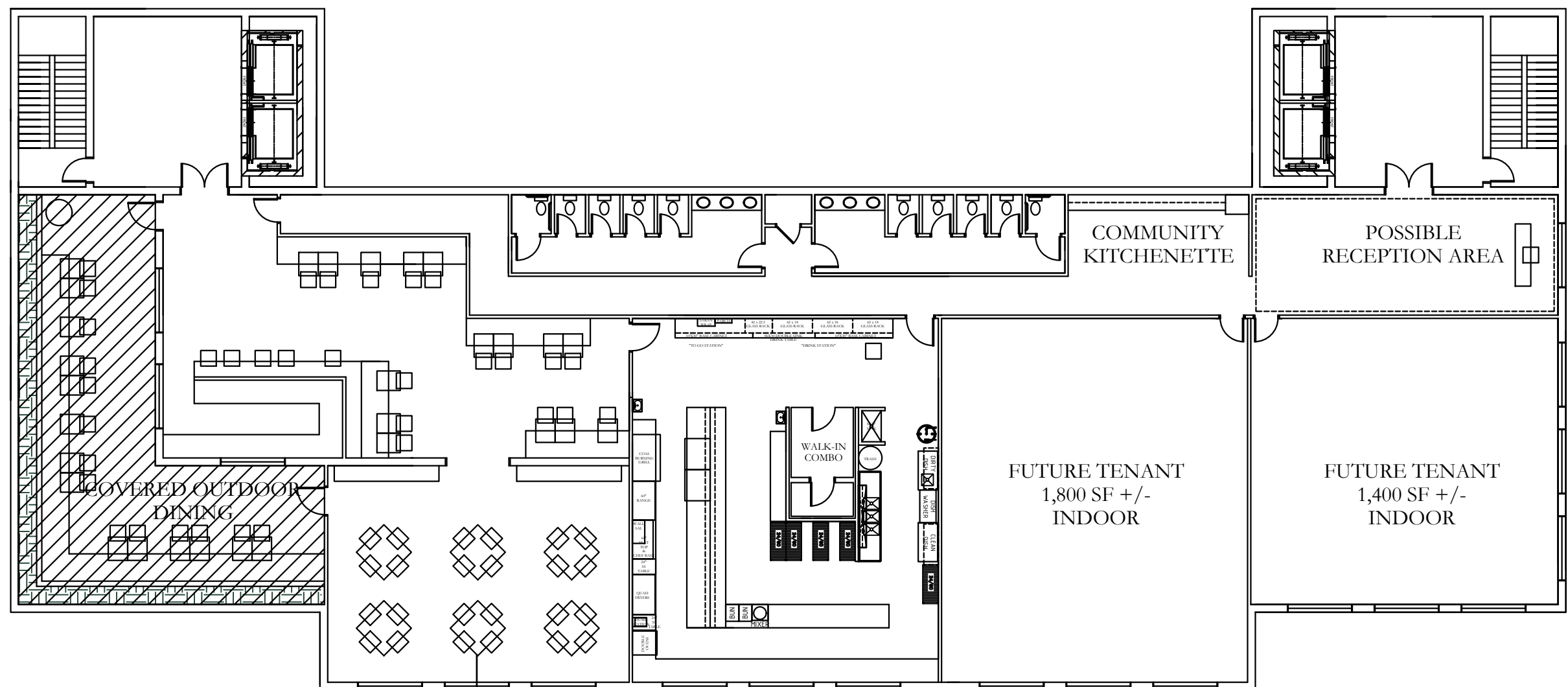
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REVISIONS	
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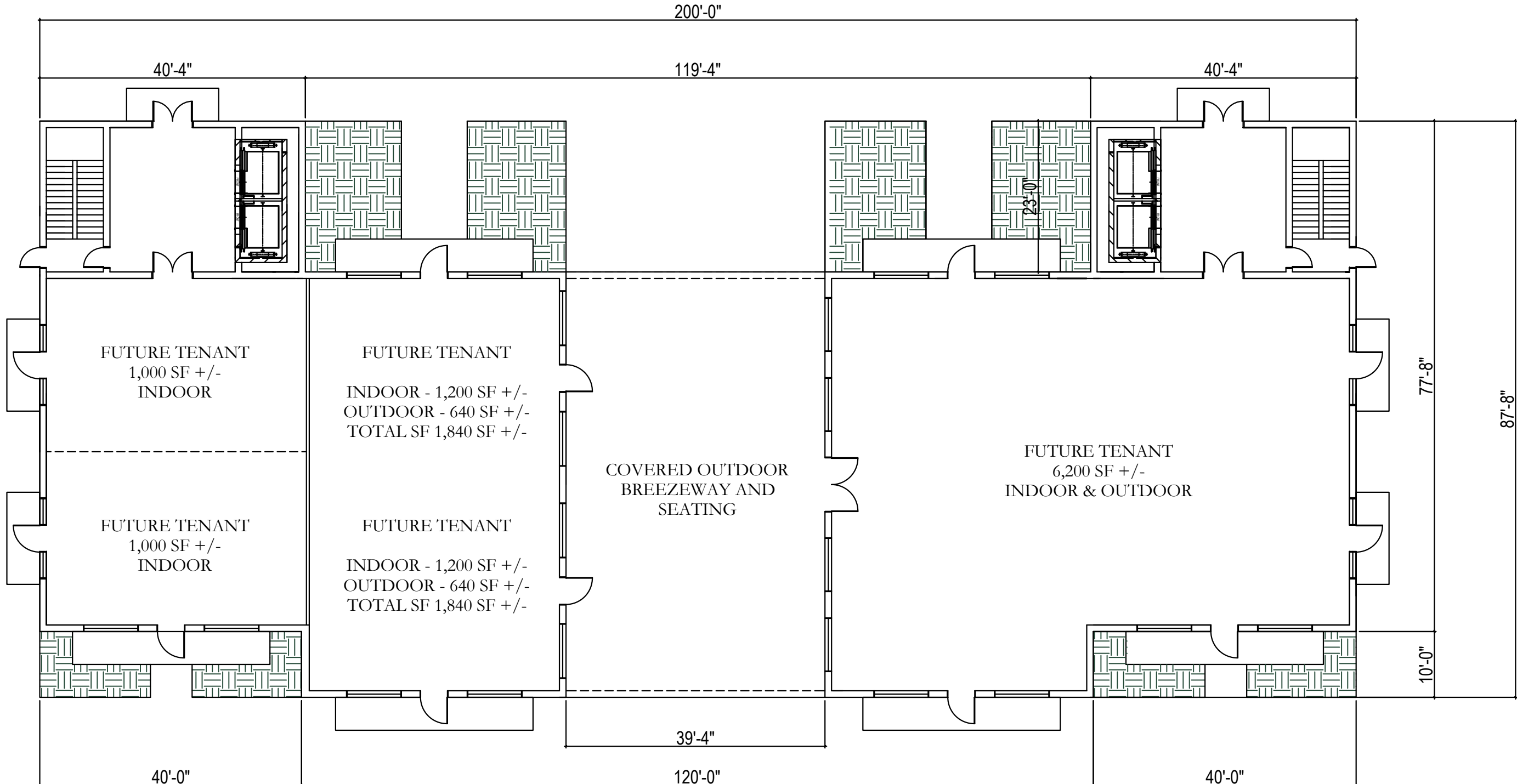
THIRD FLOOR PLAN - OPTION #2
SCALE: 1/16" = 1'-0"



THIRD FLOOR PLAN - OPTION #1
SCALE: 1/16" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"

TOTAL SQUARE
FOOTAGE FROM
EXTERIOR WALLS
13,980/FLOOR
TOTAL SF: 41,940

PROPOSED BUILDING
FLOOR PLANS

TRUMAN L. NEWBERRY, JR.
A R C H I T E C T
1821 FALLS CHURCH ROAD RALEIGH, N.C. 27609

GRACE HOMEMADE INTERNATIONAL, LLC
COMMERCIAL FLEX BUILDING

601 E MARKET STREET
SMITHFIELD, NC 27577

Dalton Engineering
and Associates, P. A.
License No. C-1420
446 East Main Street
P.O. Box 426
Clayton, NC 27520
(919) 550-4740
Fax (919) 550-4741

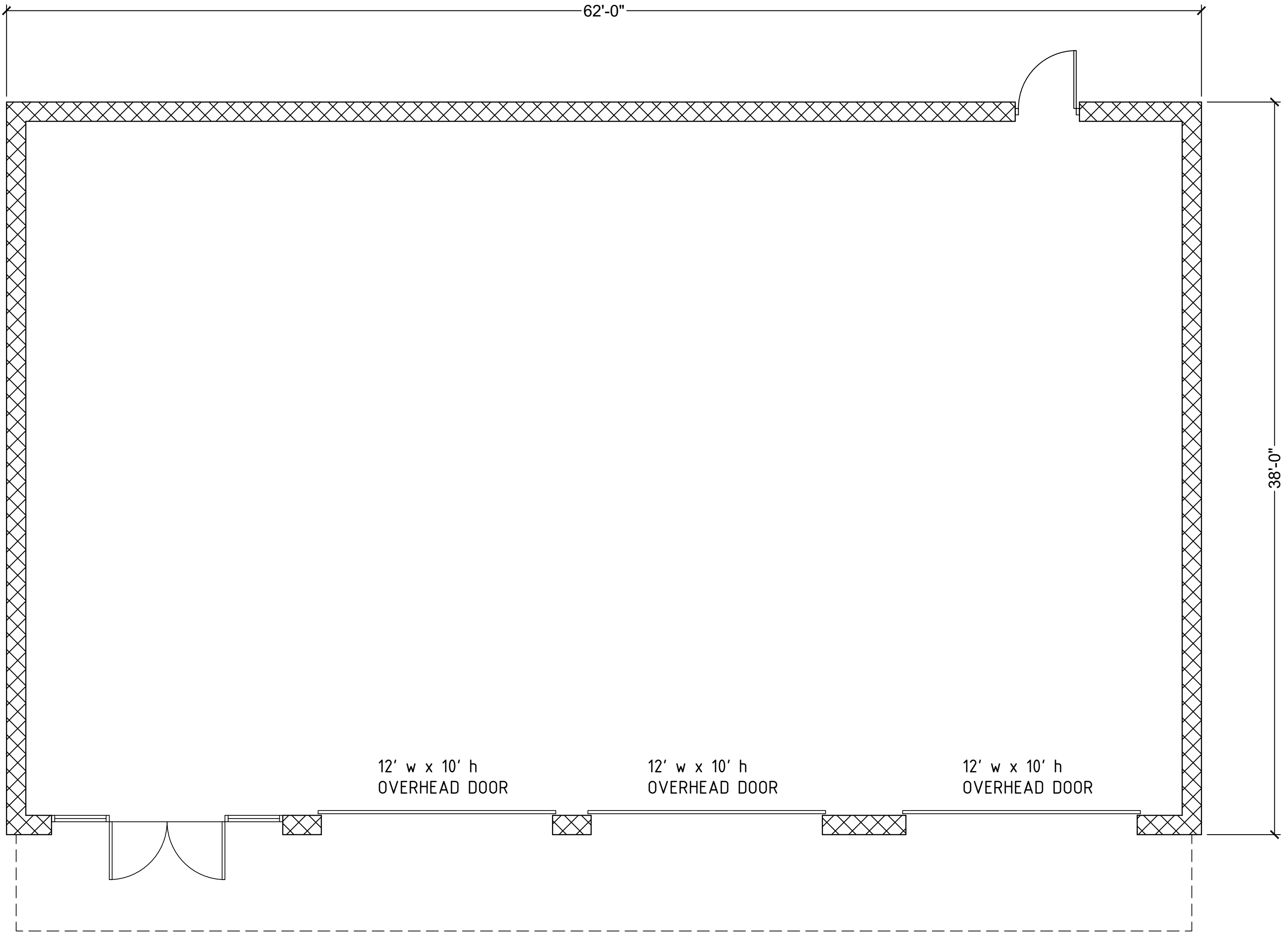
DECEMBER 4, 2025

REVISIONS

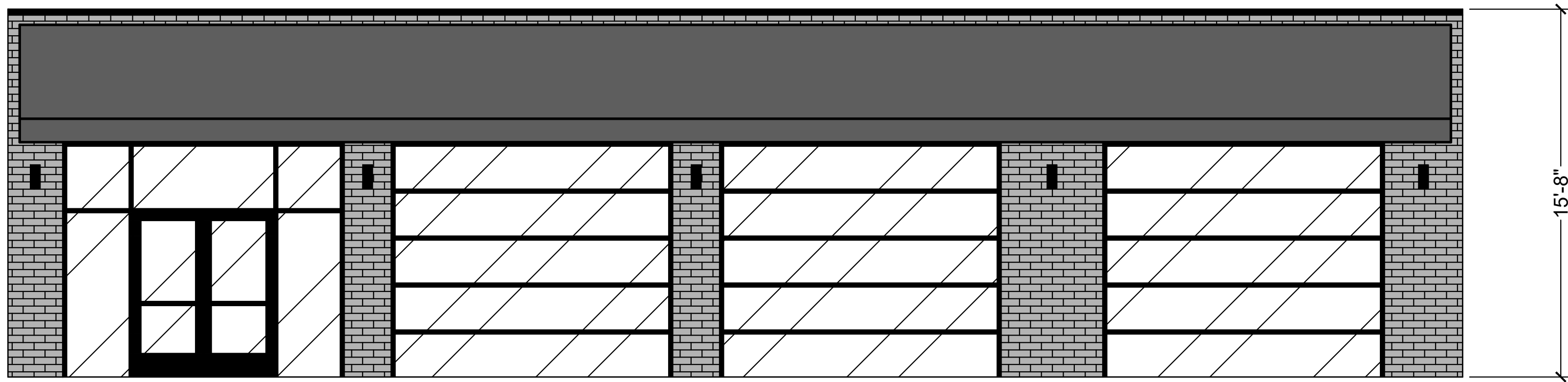
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SHEET NO.

A2.0




EXISTING BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"



EXISTING BUILDING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED MODIFICATIONS TO
EXISTING BUILDING
FLOOR PLAN & ELEVATION
TRUMAN L. NEWBERRY, JR.
A R C H I T E C T
1821 FALLS CHURCH ROAD RALEIGH, N.C. 27609

GRACE HOMEMADE INTERNATIONAL, LLC
COMMERCIAL FLEX BUILDING
601 E MARKET STREET
SMITHFIELD, NC 27577



Dalton Engineering
and Associates, P. A.
446 East Main Street
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Clayton, NC 27520
License No. C-1420
(919) 550-4740
Fax (919) 550-4741

DECEMBER 4, 2025	
REVISIONS	
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SHEET NO.	
A3.0	



PLANNING DEPARTMENT

Micah Woodard, Planner I

ADJOINING PROPERTY OWNERS' CERTIFICATION

I, Micah Woodard, hereby certify that the property owner and adjacent property owners of the following petition(s); ZA-25-05, CZ-25-06, CZ-25-07, CZ-25-08, and CA-25-01 were notified by First Class Mail on 12/23/25 of the Public Meeting on January 8th, 2026.

Signature

Johnston County, North Carolina

I, Julianne Edmonds, Notary Public for Johnston County and State of North Carolina do hereby certify that Micah Woodard personally appeared before me on this day and acknowledged the due execution of the foregoing instrument. Witness my hand and official seal, this the

23rd day of December, 2025

Notary Public Signature

Notary Public Name



Commission expires on

1-15-2028

CZ-25-08 Grace Homemade Flex Commercial Adjacent Properties List

ParcelID	Name1	Name2	Address1	Address2	CityStateZip
15021009	GRACE HOMEMADE INTERNATIONAL, LLC		879 AIREDALE TRL		GARNER, NC 27529-3887
15021035	DAUGHTRY, WILLIAM OTIS	DAUGHTRY, TERESA H	25 WHITE OAK DR		SMITHFIELD, NC 27577-4806
15026033	BHPS, LLC	HOLTON, J. R. JR.		PO BOX 968	SANFORD, NC 27331-0968
15026031	BHPS, LLC	HOLTON, J. R. JR.		PO BOX 968	SANFORD, NC 27331-0968
15021023	K RENTAL PROPERTIES LLC		121 W RIVERSIDE DRIVE		SMITHFIELD, NC 27577-0000
15021001	DAUGHTRY FARMS, LLC	KENNEDY PROPERTIES 1996 LIMITED PARTNERSHIP	299 VENTASSO DR		CLAYTON, NC 27527-7082
15021020	K RENTAL PROPERTIES LLC		121 W RIVERSIDE DRIVE		SMITHFIELD, NC 27577-0000
15026030	BHPS, LLC	HOLTON, J. R. JR.		PO BOX 968	SANFORD, NC 27331-0968
15027009	WATSON, CARL LIFE ESTATE	WATSON, SHERRY C	107 S 7TH ST		SMITHFIELD, NC 27577-4976
15026022	ALLIED COMMERCIAL PROPERTIES	OF JOHNSTON COUNTY		PO BOX 1761	SMITHFIELD, NC 27577-1761
15026023	TWIN STATES FARMING INC			P O BOX 1352	SMITHFIELD, NC 27577-1352
15021004	KENNEDY PROPERTIES 1996 LTD PARTNERSHIP	DAUGHTRY FARMS, LLC		PO DRAWER 1960	SMITHFIELD, NC 27577
15021032	SAMPSON-BLADEN OIL COMPANY, INCORPORATED			PO BOX 469	CLINTON, NC 28329-0469
15027015	ESCAMILLA, GIA	ESCAMILLA-GILONI, MAGALI	230 HARRIS RD		SMITHFIELD, NC 27577-6906
15021003	KENNEDY PROPERTIES 1996 LTD PARTNERSHIP	DAUGHTRY FARMS, LLC		PO DRAWER 1960	SMITHFIELD, NC 27577
15021012	HIGHER CALLING MINISTRIES AND CHILDCARE, INC.		115 N 7TH ST		SMITHFIELD, NC 27577-3935
15026037	TRIANGLE INSURANCE GROUP PATNR			PO BOX 410	SMITHFIELD, NC 27577-0000
15022007	BON-RIC LLP			PO BOX 3068	WILSON, NC 27895-3068
15022003	MOHAMED & SONS INC			PO BOX 1236	SMITHFIELD, NC 27577-1236
15027016	ESCAMILLA, GIA	ESCAMILLA-GILONI, MAGALI	230 HARRIS RD		SMITHFIELD, NC 27577-6906
15099031L	ANYON, ANDRE G		118 N 7TH STREET		SMITHFIELD, NC 27577-3936
15021034	WALKER, GWENDOLYN S		508 BRIDGE ST # A		SMITHFIELD, NC 27577-3910
15026038	ZACKS PROPERTIES LLC		5 HAZELWOOD CT		SMITHFIELD, NC 27577-8337
15026044	TRIANGLE INSURANCE GROUP PARTNERS LLC			PO BOX 410	SMITHFIELD, NC 27577-0410
15021005	THOMPSON, CLARICE L.		510 BRIDGE ST		SMITHFIELD, NC 27577-3910
15021006	KENNEDY, WILLIAM T	DAUGHTRY, N LEO	121 W RIVERSIDE DR		SMITHFIELD, NC 27577-0000
15022008	MARQUIS, ISAAC LEONARD		710 BRIDGE ST		SMITHFIELD, NC 27577-4038
15022012B	EVANS, TIMOTHY KENT	EVANS, DEBBIE E	207 NORTH BRIGHTLEAF BLVD		SMITHFIELD, NC 27577-0000
15021023A	ROSS, JAMES MARSHALL III		1535 OLD DAM RD		KENLY, NC 27542-8014
15021022	K RENTAL PROPERTIES LLC		121 W RIVERSIDE DRIVE		SMITHFIELD, NC 27577-0000

Sign Posted on corner of E. Market
St. and N. Sixth St. for CZ-25-08



12/22/2025 09:52

Area of Interest #1

FINAL DRAFT

Legend

- Town Corporate Limits
- ETJ Boundaries

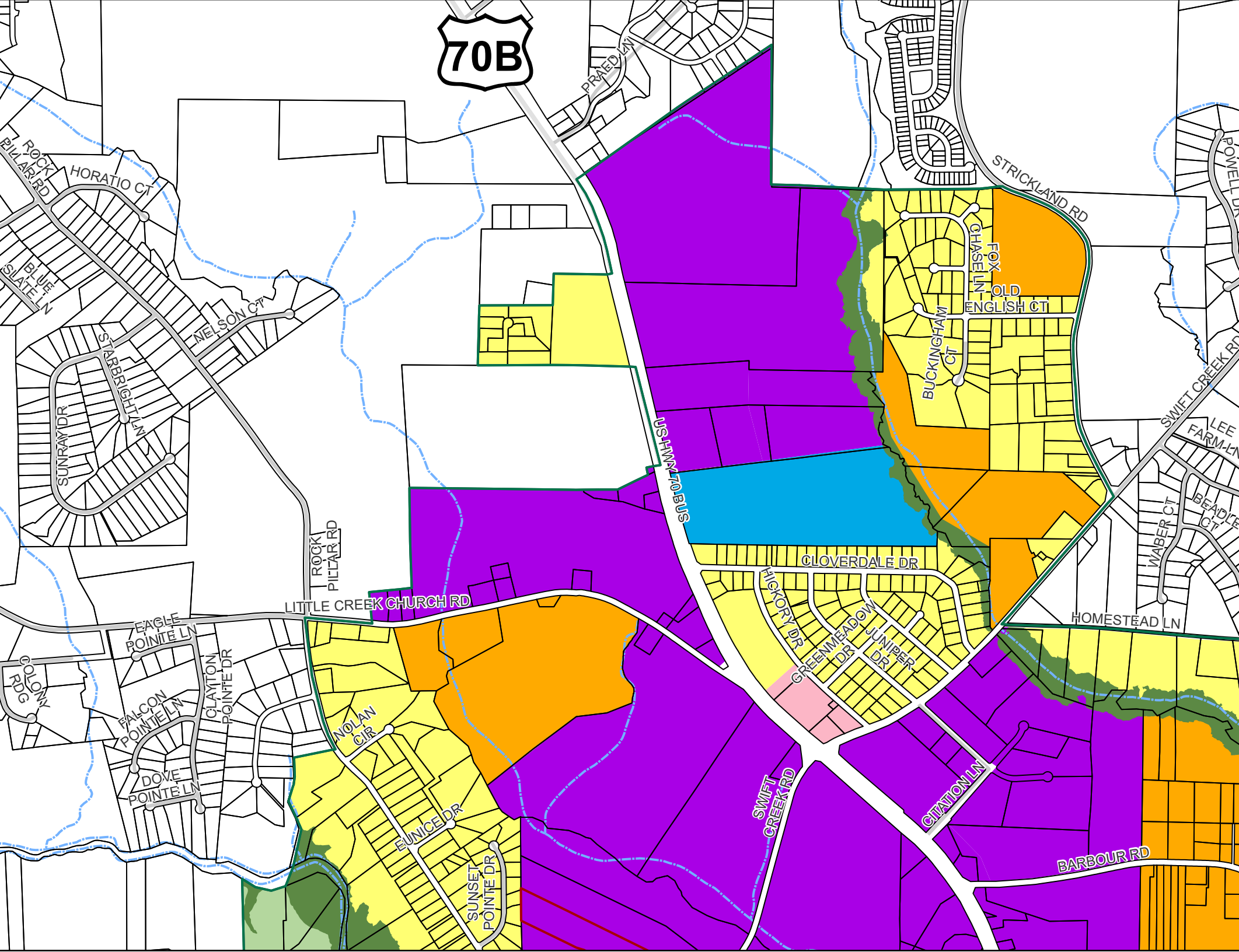
Future Land Use

Non-Residential and Mixed Use Areas

- Conservation and Open Space
- Commercial
- Downtown Core
- Downtown Support
- Industrial / Employment
- Mixed Use Center
- Office / Residential

Residential Character Areas



- Medium Density Residential
- Low Density Residential
- Rural Residential
- Tax Parcels



Area of Interest #2








FINAL DRAFT

Legend





-  Town Corporate Limits
-  ETJ Boundaries

Future Land Use

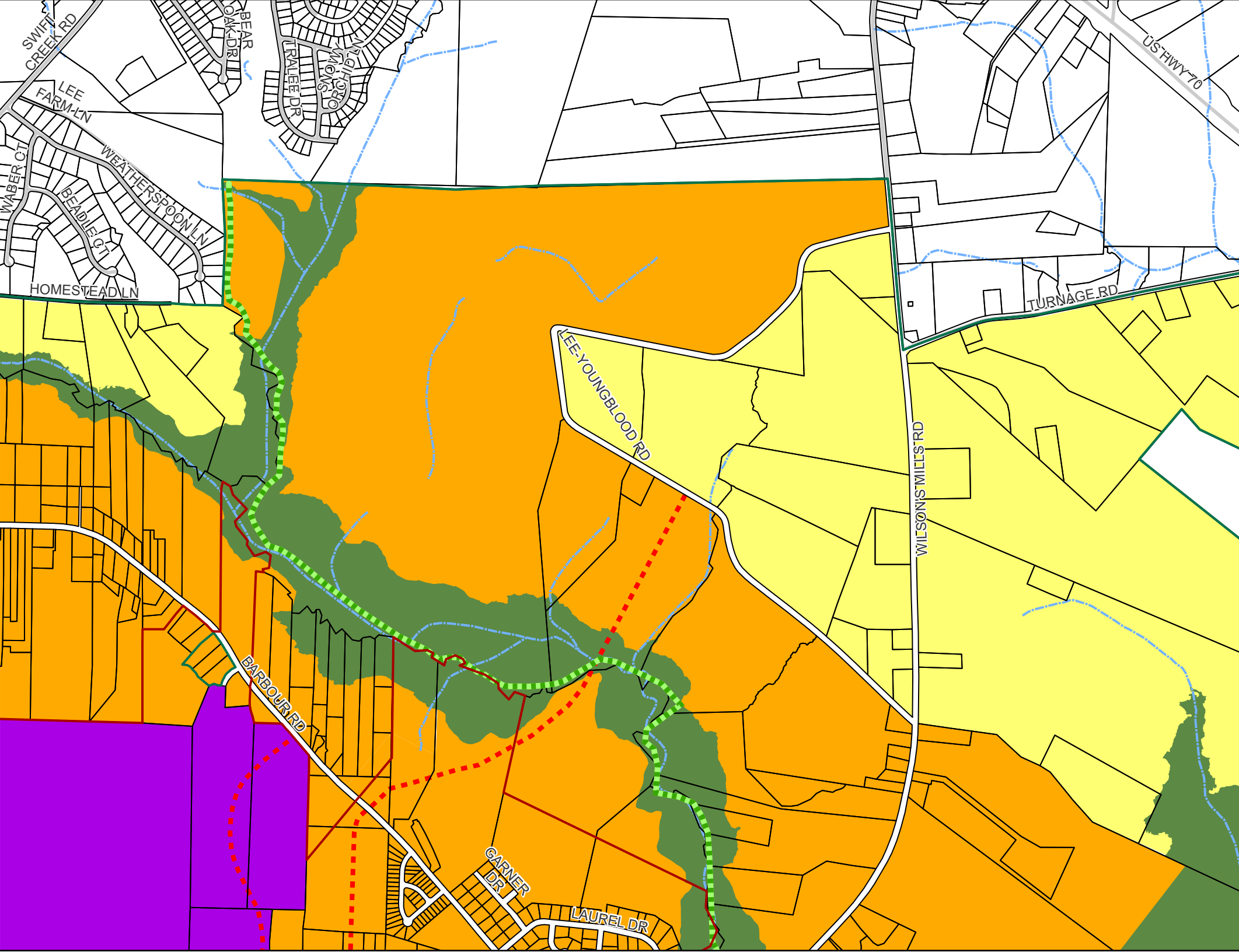
Non-Residential and Mixed Use Areas

-  Conservation and Open Space
-  Commercial
-  Downtown Core
-  Downtown Support
-  Industrial / Employment
-  Mixed Use Center
-  Office / Residential

Residential Character Areas

-  Medium Density Residential
-  Low Density Residential
-  Rural Residential
-  Tax Parcels

N



Area of Interest #3

FINAL DRAFT

Legend

- Town Corporate Limits
- ETJ Boundaries

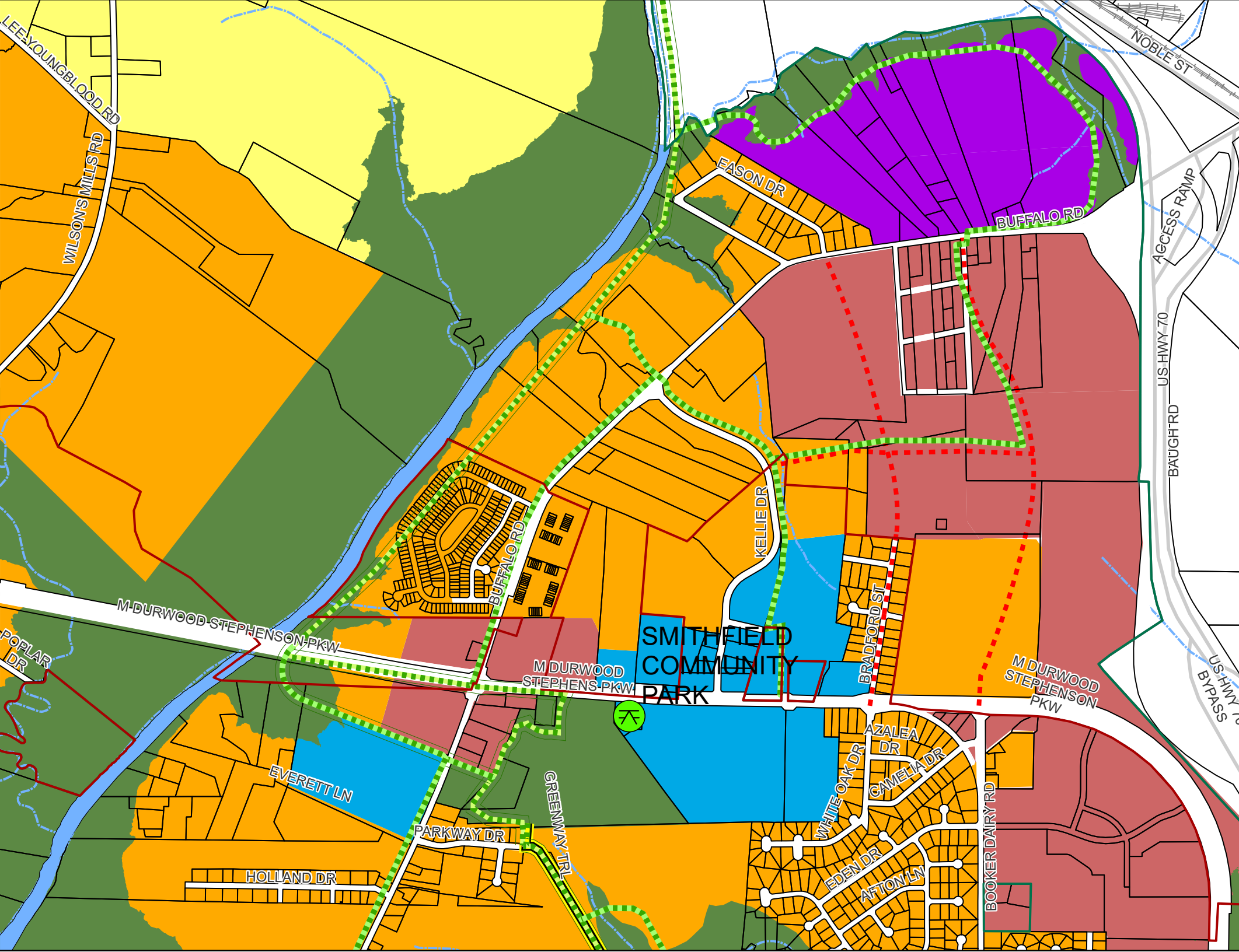
Future Land Use

Non-Residential and Mixed Use Areas

- Conservation and Open Space
- Commercial
- Downtown Core
- Downtown Support
- Industrial / Employment
- Mixed Use Center
- Office / Residential

Residential Character Areas

- Medium Density Residential
- Low Density Residential
- Rural Residential
- Tax Parcels



Area of Interest #4

FINAL DRAFT

Legend

- Town Corporate Limits
- ETJ Boundaries

Future Land Use

Non-Residential and Mixed Use Areas

- Conservation and Open Space
- Commercial
- Downtown Core
- Downtown Support
- Industrial / Employment
- Mixed Use Center
- Office / Residential

Residential Character Areas

- Medium Density Residential
- Low Density Residential
- Rural Residential
- Tax Parcels

